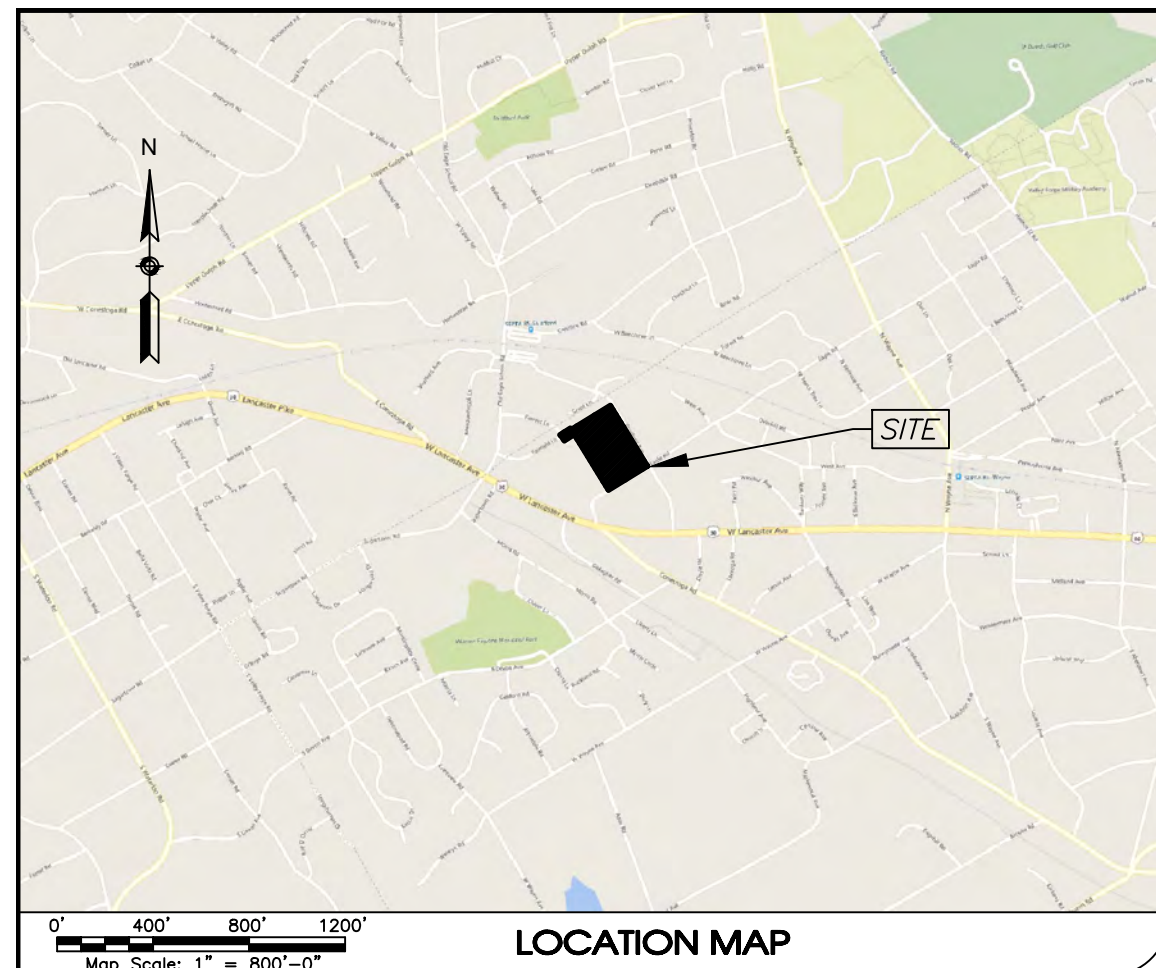


# Exhibit A-7



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325



ZONING SUMMARY			
R-4 RESIDENTIAL DISTRICT - PROPOSED DENSITY MODIFICATION DEVELOPMENT (TOWNHOUSES)			
ORDINANCE ITEM	REQUIREMENT	EXISTING	PROPOSED
MIN. NET TRACT AREA SIZE	-	N/A	7.754 ACRES
MIN. RESIDENTIAL BUFFER	-	N/A	26 FT.
MIN. SETBACKS			
FROM ROW	40 FT.	N/A	41 FT.
FROM PROPERTY LINE	25 FT.	N/A	31 FT.
MAX. UNITS PER BUILDING	8		6
MIN. SIDE TO SIDE DISTANCE	20 FT.		21 FT.
MAX. DENSITY	5.5 DU/ACRE	N/A	41
MAX. BUILDING COVERAGE	35%	7.6%	25.1%
MAX. IMPERVIOUS COVERAGE	45%	23.9%	43.6%
MIN. OPEN SPACE	15%	15%	15%

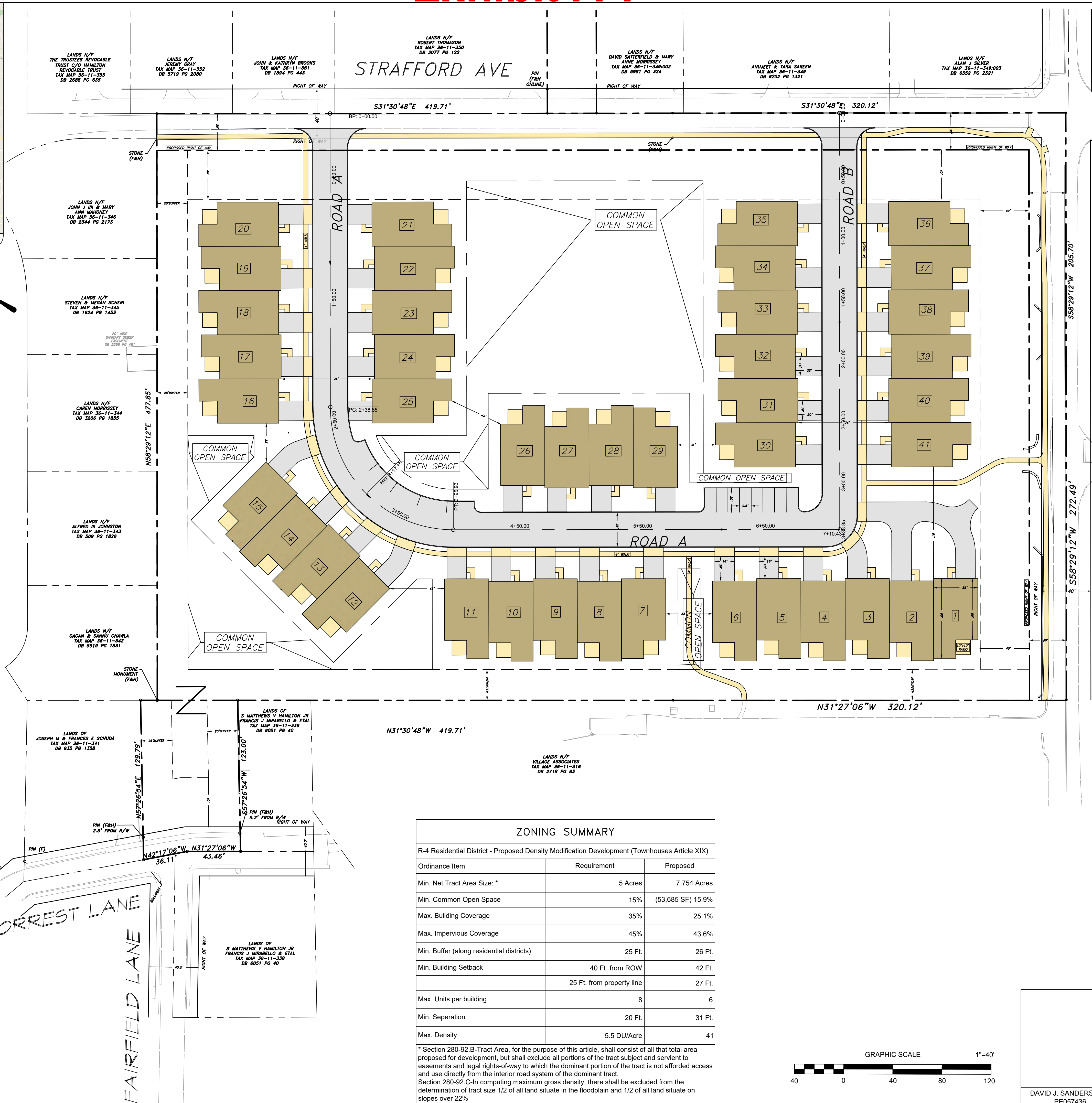
IMPERVIOUS SUMMARY (SQ. FT.)				
NET LOT AREA	EXISTING	TO BE REMOVED	TO BE ADDED	PROPOSED
BUILDINGS	25,600	25,600	84,870	84,870
ASPHALT	27,676	27,676	47,427	47,427
WALKS/CONC.	9,634	9,634	14,845	14,845
OTHER IMPERVIOUS	17,877	17,877	0	0
TOTAL BUILDING COVERAGE	25,600	25,600	84,870	84,870
TOTAL BUILDING PERCENTAGE	7.6%			25.1%
TOTAL IMPERVIOUS COVERAGE	80,787	80,787	147,142	147,142
TOTAL IMPERVIOUS PERCENTAGE	23.9%			43.6%
IMPERVIOUS REMAINING FOR FUTURE DEVELOPMENT				4,852

**PLAN LEGEND**

BOLD LINES: PROPOSED  
FADED LINES: EXISTING

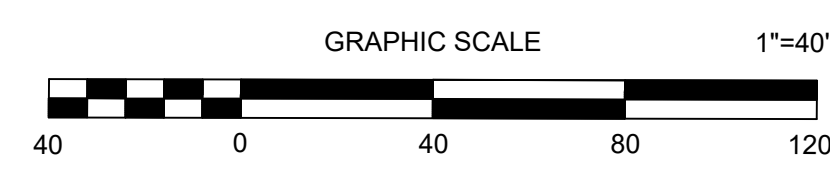
- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- ST --- STORM SEWER PIPING
- S --- SANITARY SEWER PIPING
- G --- GAS MAIN
- W --- WATER MAIN / SERVICE
- OW --- OVERHEAD WIRE
- T --- UNDERGROUND TELEPHONE
- E --- EDGE OF PAVEMENT
- X --- FENCE LINE

- PROPOSED BUILDINGS
- PROPOSED ASPHALT
- PROPOSED WALKWAY



ZONING SUMMARY		
R-4 Residential District - Proposed Density Modification Development (Townhouses Article XIX)		
Ordinance Item	Requirement	Proposed
Min. Net Tract Area Size: *	5 Acres	7.754 Acres
Min. Common Open Space	15%	(53,685 SF) 15.9%
Max. Building Coverage	35%	25.1%
Max. Impervious Coverage	45%	43.6%
Min. Buffer (along residential districts)	25 Ft.	26 Ft.
Min. Building Setback	40 Ft. from ROW	42 Ft.
	25 Ft. from property line	27 Ft.
Max. Units per building	8	6
Min. Separation	20 Ft.	31 Ft.
Max. Density	5.5 DU/Acre	41

\* Section 280-92.B-Tract Area, for the purpose of this article, shall consist of all that total area proposed for development, but shall exclude all portions of the tract subject and servient to easements and legal rights-of-way to which the dominant portion of the tract is not afforded access and use directly from the interior road system of the dominant tract.  
Section 280-92.C-In computing maximum gross density, there shall be excluded from the determination of tract size 1/2 of all land situate in the floodplain and 1/2 of all land situate on slopes over 22%



## GENERAL NOTES

1. THE TOWNHOUSE DEVELOPMENT SHALL BE CONSTRUCTED OWNED AND OPERATED UNDER SINGLE OWNERSHIP, OR UNDER THE PENNSYLVANIA UNIT PROPERTY ACT, OR SIMILAR STATUTE SUCH AS THE PLANNED COMMUNITY ACT.
2. THE DEVELOPMENT WILL BE SERVED BY SANITARY SEWERS AND PUBLIC WATER SUPPLY.
3. EACH TOWNHOUSE SHALL HAVE AT LEAST TWO FLOORS IN COMPLIANCE WITH APPLICABLE HEIGHT LIMITS AND SHALL BE OCCUPIED AS A SINGLE-FAMILY DWELLING.
4. NO MORE THAN TWO CONTIGUOUS TOWNHOUSES IN ANY GROUP MAYBE CONSTRUCTED IN LINE AND EACH TOWNHOUSE SHALL HAVE AT LEAST ONE PLAN ELEMENT ON ANY FLOOR WHICH PROJECTS OR RECESSES WITHIN THE WALL PLANE OF THE FACADE A MINIMUM DIMENSION OF TWO FEET.
5. THE DEVELOPMENT WILL BE SERVED BY PECO ELECTRIC.

PROPERTY OWNER  
COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DELAWARE

ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, \_\_\_\_\_ OF \_\_\_\_\_ COUNTY, PENNSYLVANIA, WHO ACKNOWLEDGED HIM/HERSELF TO BE THE \_\_\_\_\_ OWNER OF THE PROPERTIES PROPOSED TO BE DEVELOPED IN THE SUBJECT PLAN, BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTIES SHOWN THEREON, SITUATED IN THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN IS MADE WITH THE OWNER'S FREE CONSENT AND INTENDED TO BE RECORDED ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

NOTARY \_\_\_\_\_

OWNER \_\_\_\_\_

RADNOR TOWNSHIP: \_\_\_\_\_

THIS IS TO CERTIFY THE BOARD OF SUPERVISORS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR STRAFFORD AVENUE AND EAGLE ROAD, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, FOR RECORDING AT THE RECORDER OF DEEDS OF DELAWARE COUNTY, MEDIA, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT.

APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_

BOARD OF SUPERVISORS SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIRMAN \_\_\_\_\_

MEMBER \_\_\_\_\_

TOWNSHIP ENGINEER \_\_\_\_\_

ATTEST: \_\_\_\_\_

MANAGER \_\_\_\_\_

DELAWARE COUNTY PLANNING COMMISSION:

REVIEWED BY THE DELAWARE COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

SECRETARY \_\_\_\_\_

RECORDER OF DEEDS

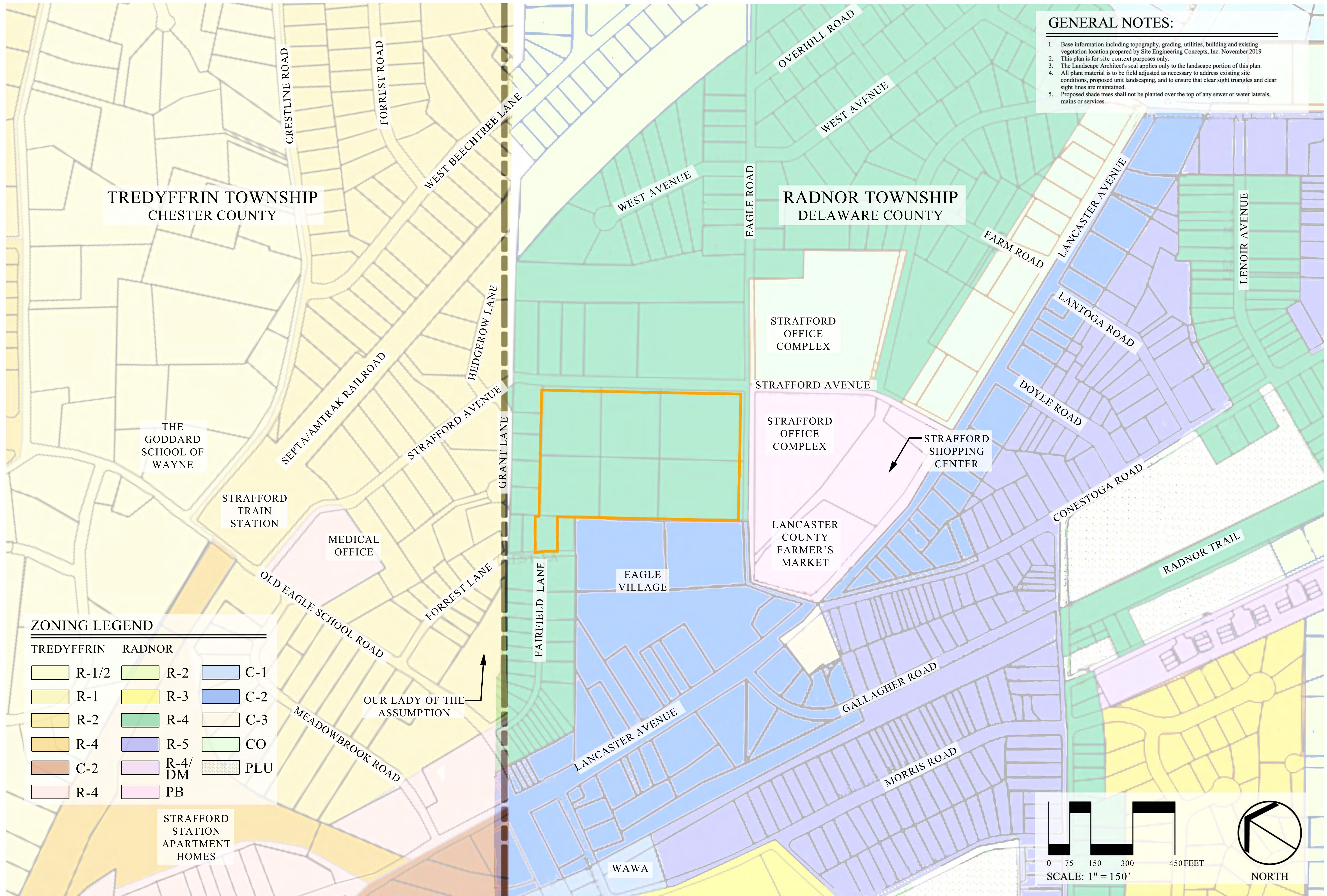
RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF DELAWARE COUNTY AT MEDIA CHESTER, PENNSYLVANIA IN THE

PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

RECORDER OF DEEDS \_\_\_\_\_

1.	12/08/2020	REVISED LAYOUT	REVISION
PLAN PREPARED BY:			
SITE ENGINEERING CONCEPTS, LLC			
P.O. BOX 1992			
SOUTHEASTERN, PA 19399			
P: 610-240-0450		F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM	
PLAN PREPARED FOR:			
HAMILTON ESTATE			
208 & 228 STRAFFORD AVE AND 18 FORREST LANE			
WAYNE, PA 19087			
RADNOR TOWNSHIP	DELAWARE COUNTY	PENNSYLVANIA	
DATE: AUGUST 27, 2020			
RECORD PLAN			SHEET 4 of 15
DAVID J. SANDERS, P.E. PE057436			SCALE: 1" = 40'

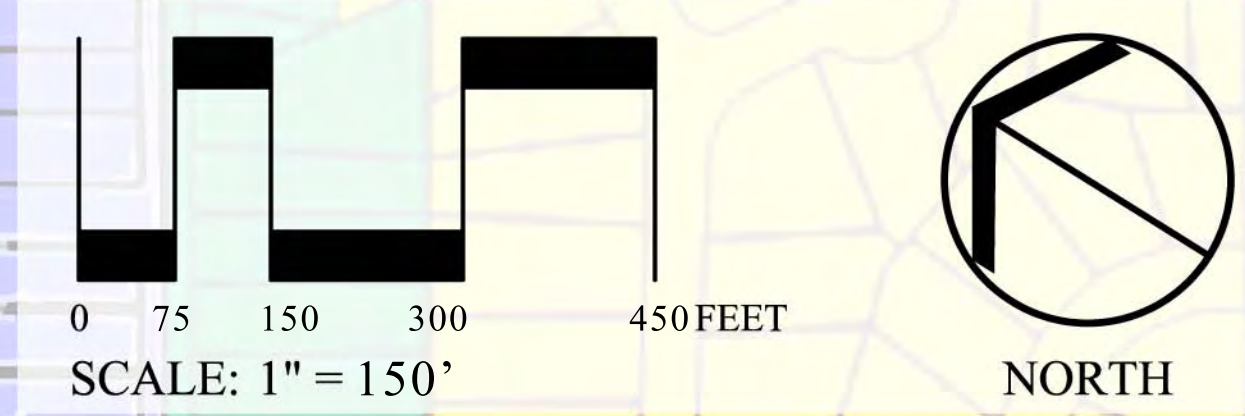
# Exhibit A-8



- GENERAL NOTES:**
1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
  2. This plan is for site context purposes only.
  3. The Landscape Architect's seal applies only to the landscape portion of this plan.
  4. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
  5. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services.

**ZONING LEGEND**

TREDYFFRIN	RADNOR
R-1/2	R-2
R-1	R-3
R-2	R-4
R-4	R-5
C-2	R-4/DM
R-4	PB
	C-1
	C-2
	C-3
	CO
	PLU



**GLACKIN THOMAS PANZAK**  
 LAND PLANNING  
 LANDSCAPE ARCHITECTURE

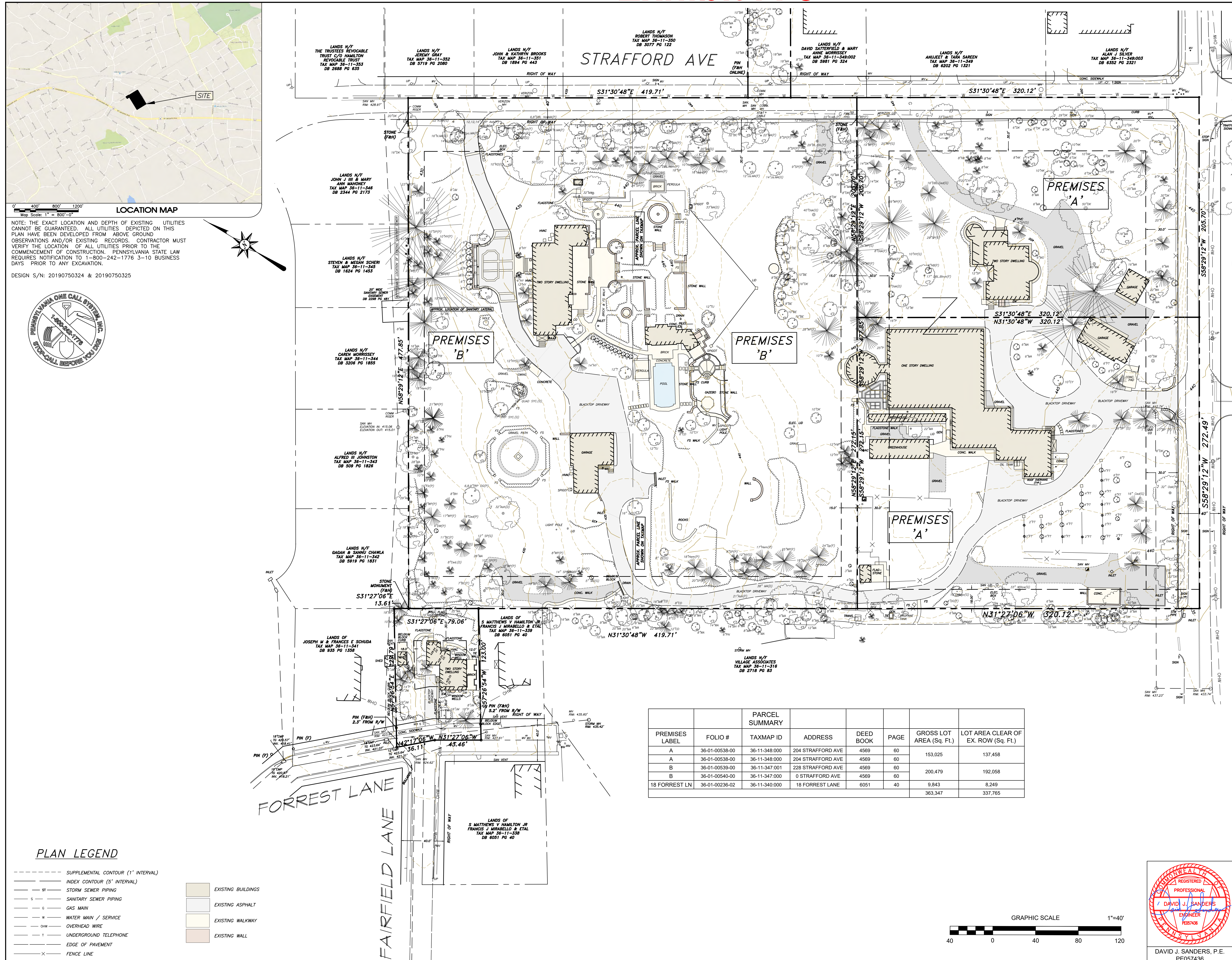
Glackin Thomas Panzak, Inc.  
 Paoli Executive Green I  
 Suite 300  
 41 Leopard Road  
 Paoli, Pennsylvania 19301  
 610.408.9011  
 Fax: 610.408.9477  
 E-mail: plans@glackinplan.com

ZONING MAP  
**Hamilton Estate**  
 208 & 228 STRAFFORD AVE., 18 FORREST LANE AND EAGLE ROAD  
 RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033  
 DATE: 01/30/20 (ab)  
 REV.:

SHEET:  
 Zoning Map

# Exhibit A-9



### GENERAL NOTES

- BEARINGS SHOWN ARE BASED ON A MERIDIAN ESTABLISHED USING PA STATE PLANE COORDINATES. MERIDIAN DIFFERS FROM THE RECORDED DEED BY 6'35"48".
- CONTOURS PLOTTED FROM FIELD RUN SURVEY. GPS CONTROL PERFORMED ON SITE TO ESTABLISH BENCHMARK. DATUM NAD83/NAVDB88.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FEMA FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428 0017F OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- PLANS REFERENCED: LOT LINE CHANGE PLAN PREPARED BY YERKES ASSOCIATES, INC. FOR MRS. S.M.V HAMILTON DATED JULY 21, 2001.

### ZONING SUMMARY

R-4 - RESIDENTIAL DISTRICT	
ORDINANCE ITEM	REQUIREMENT
MIN. LOT AREA	7,000 SF
MIN. LOT WIDTH @ BLDG	55 FT
MIN. SETBACKS	
FRONT	30 FT
SIDE (INDIVIDUAL/AGGREGATE)	12 FT / 30 FT
REAR	30 FT
MAX. BUILDING HEIGHT	35 FT
MAX. BUILDING COVERAGE	30%
MAX. IMPERVIOUS COVERAGE	40%
RIPARIAN BUFFER SETBACK	25 FT

PREMISES LABEL	FOLIO #	TAXMAP ID	ADDRESS	DEED BOOK	PAGE	GROSS LOT AREA (Sq. Ft.)	LOT AREA CLEAR OF EX. ROW (Sq. Ft.)
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
B	36-01-00539-00	36-11-347-001	228 STRAFFORD AVE	4569	60	200,479	192,058
B	36-01-00540-00	36-11-347-000	0 STRAFFORD AVE	4569	60	9,843	8,249
18 FORREST LN	36-01-00236-02	36-11-340-000	18 FORREST LANE	6051	40	363,347	337,765

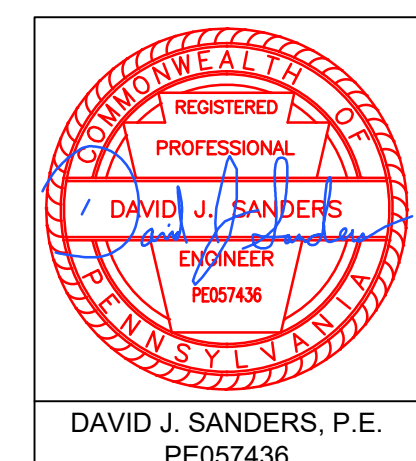
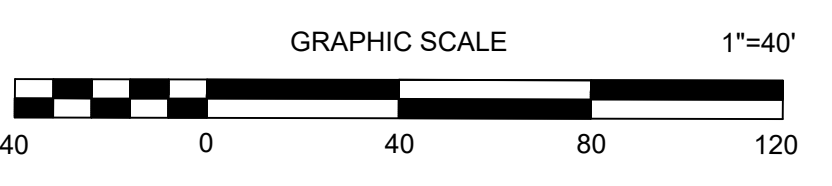
NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325



### PLAN LEGEND

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	EXISTING BUILDINGS
- - - INDEX CONTOUR (5' INTERVAL)	EXISTING ASPHALT
--- ST --- STORM SEWER PIPING	EXISTING WALKWAY
--- S --- SANITARY SEWER PIPING	EXISTING WALL
--- G --- GAS MAIN	
--- W --- WATER MAIN / SERVICE	
--- OW --- OVERHEAD WIRE	
--- T --- UNDERGROUND TELEPHONE	
--- E --- EDGE OF PAVEMENT	
--- X --- FENCE LINE	



NUM.	DATE	REVISION

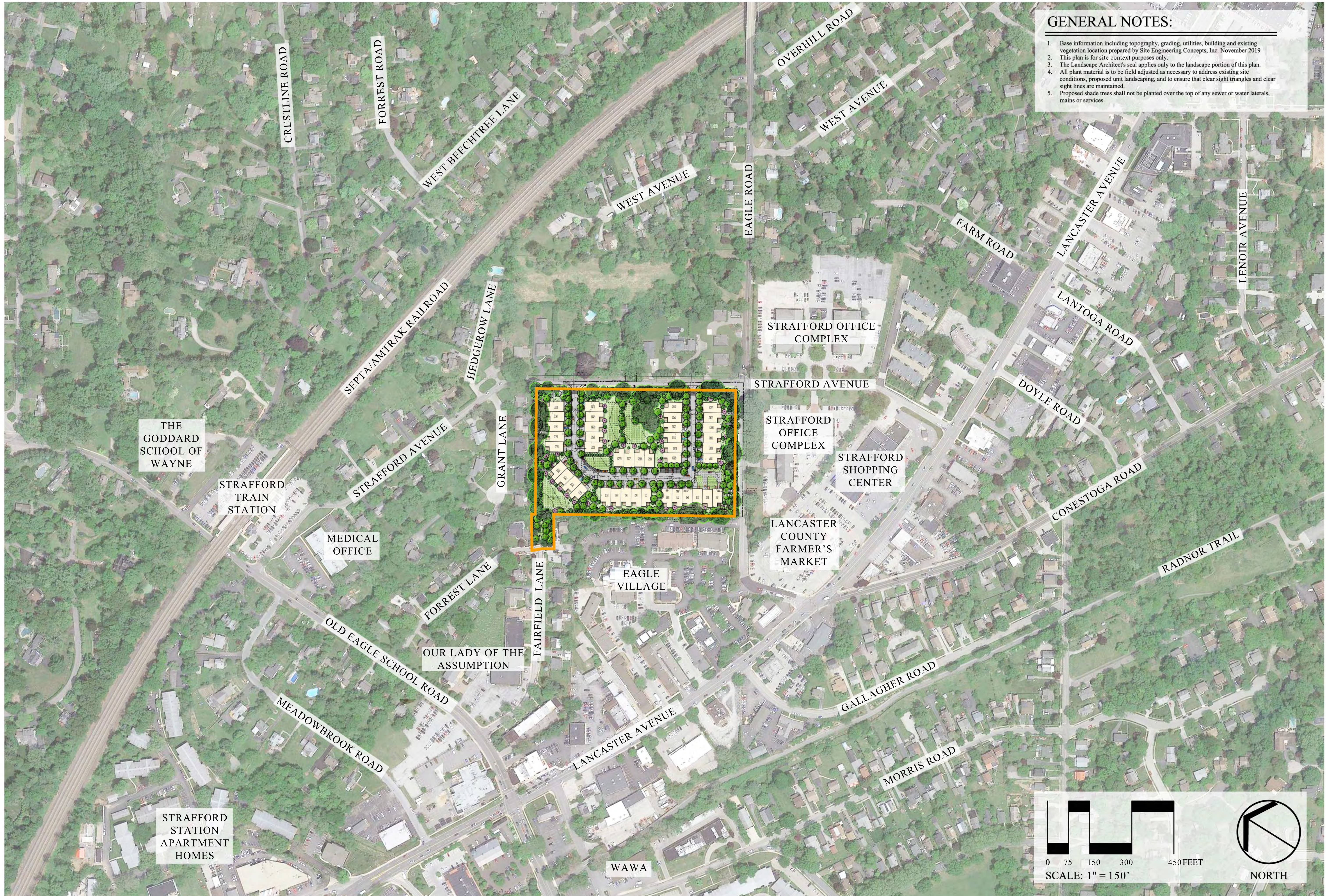
PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
 P.O. BOX 1992  
 SOUTHEASTON, PA 19399  
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**HAMILTON ESTATE**  
 208 & 228 STRAFFORD AVE AND 18 FORREST LANE  
 WAYNE, PA 19087  
 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 DATE: AUGUST 27, 2020

**EXISTING CONDITIONS PLAN**

**SHEET 2 of 15**  
 SCALE: 1" = 40'

# Exhibit A-10



- GENERAL NOTES:**
1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
  2. This plan is for site context purposes only.
  3. The Landscape Architect's seal applies only to the landscape portion of this plan.
  4. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
  5. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services.

**GLACKIN  
THOMAS  
PANZAK**  
LAND PLANNING  
LANDSCAPE  
ARCHITECTURE

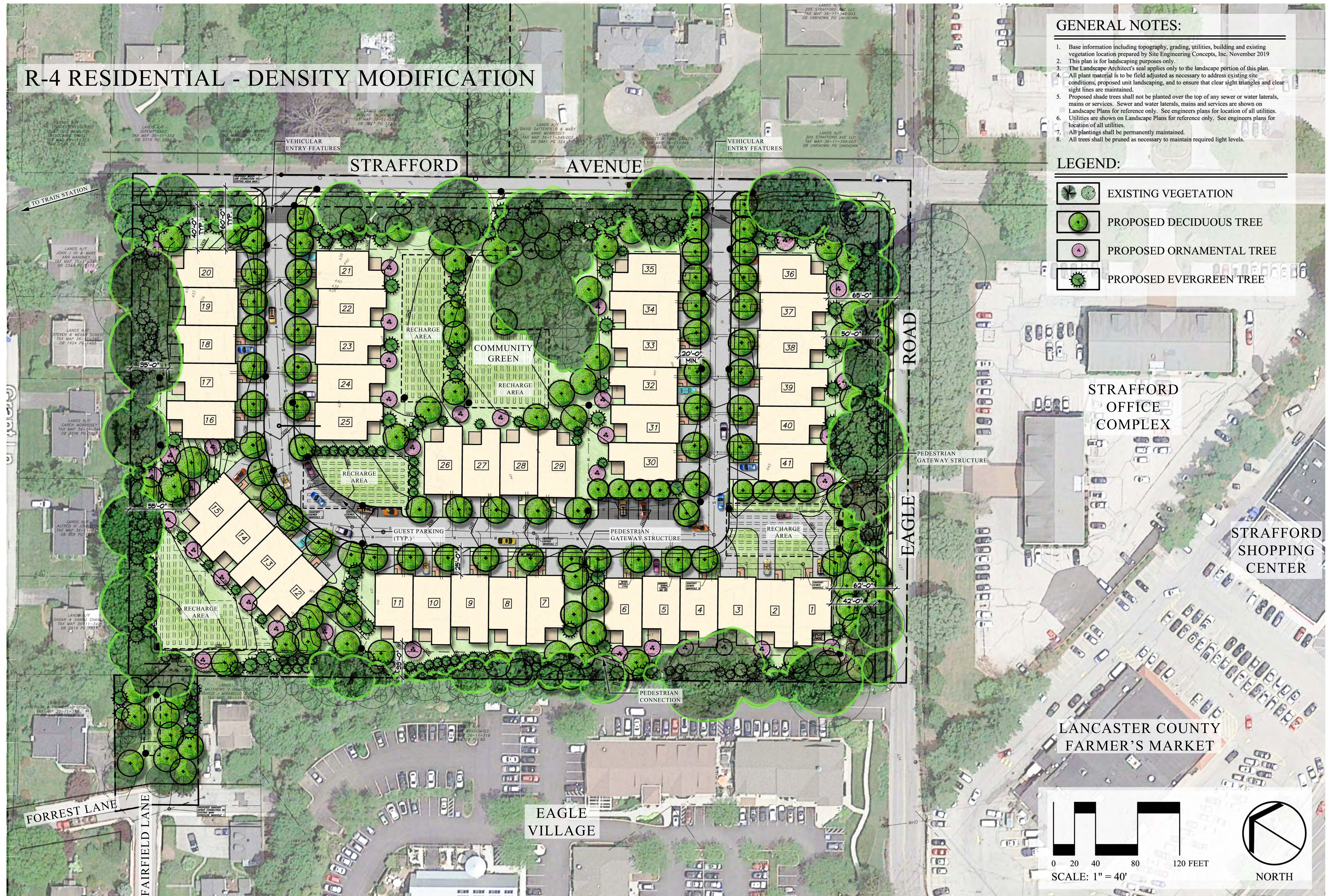
Glackin Thomas Panzak, Inc.  
Paoli Executive Green I  
Suite 300  
41 Leopard Road  
Paoli, Pennsylvania 19301  
610.408.9011  
Fax: 610.408.9477  
E-mail: plans@glackinplan.com

SITE CONTEXT  
**Hamilton Estate**  
208 & 228 STRAFFORD AVE., 18 FORREST LANE  
RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033  
DATE: 01/30/20 (ab)  
REV.: 12/10/20 (jr)

SHEET:  
Site Context  
Map

## R-4 RESIDENTIAL - DENSITY MODIFICATION



### GENERAL NOTES:

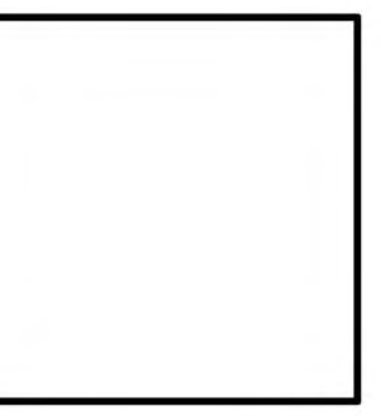
1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
2. This plan is for landscaping purposes only.
3. The Landscape Architect's seal applies only to the landscape portion of this plan.
4. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
5. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services. Sewer and water laterals, mains and services are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
6. Utilities are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
7. All plantings shall be permanently maintained.
8. All trees shall be pruned as necessary to maintain required light levels.

### LEGEND:

- EXISTING VEGETATION
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE

**GLACKIN THOMAS PANZAK**  
**LAND PLANNING**  
**LANDSCAPE ARCHITECTURE**

Glackin Thomas Panzak, Inc.  
 Paoli Executive Green I  
 Suite 300  
 41 Leopard Road  
 Paoli, Pennsylvania 19301  
 Fax: 610.408.9477  
 E-mail: plans@glackinplan.com



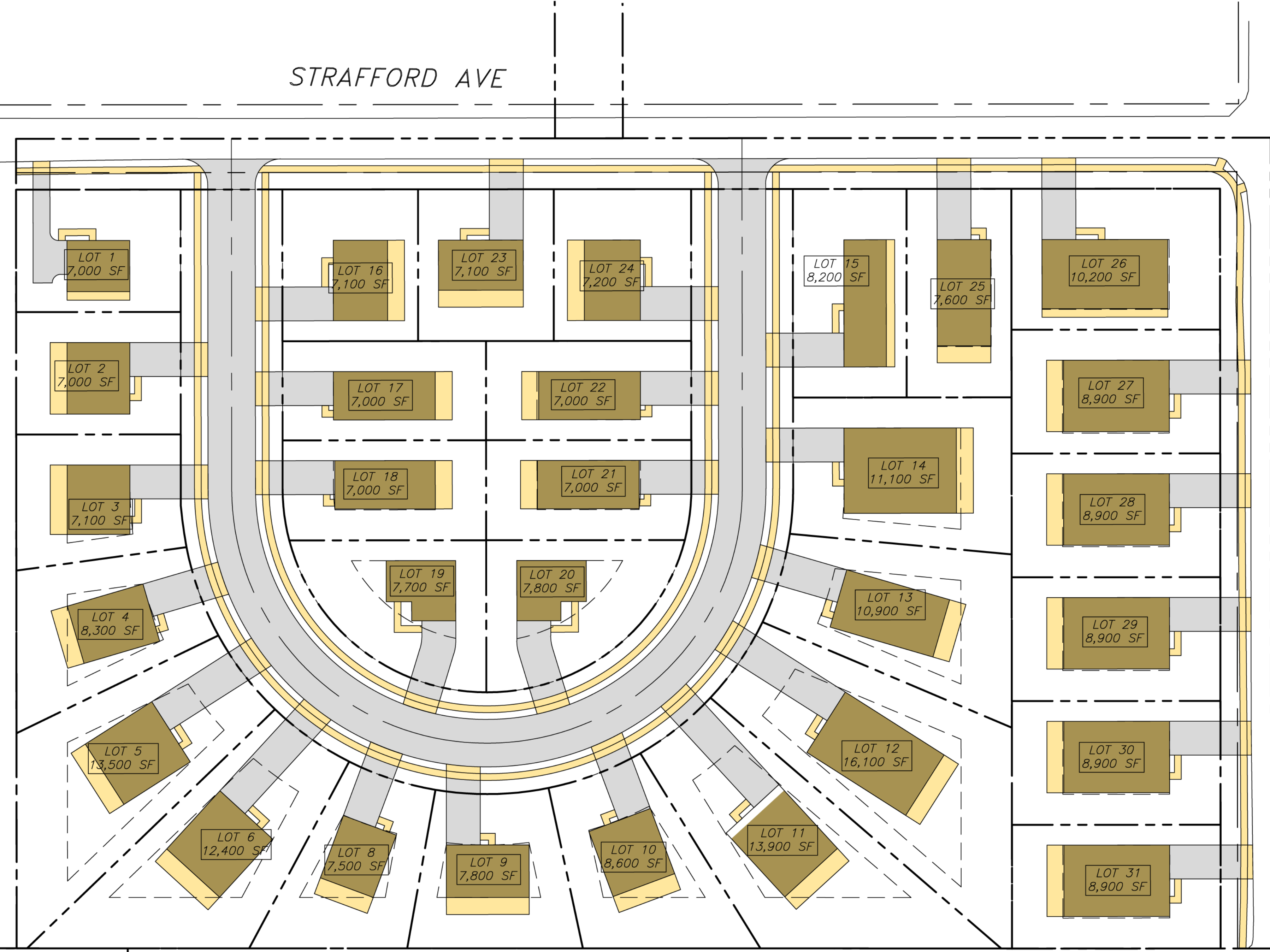
LANDSCAPE PLAN  
**Hamilton Estate**  
 208 & 228 STRAFFORD AVE. & 18 FORREST LANE  
 RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033  
 DATE: 07/22/20 (mc)  
 REV.: 12/10/20 (jr)

SHEET:  
**LP-2**

# Exhibit A-12

## R-4 RESIDENTIAL - BY RIGHT



STRAFFORD AVE

EAGLE ROAD

FORREST LANE

ZONING SUMMARY	
R-4 - RESIDENTIAL DISTRICT	
ORDINANCE ITEM	REQUIREMENT
MIN. LOT AREA	7,000 SF
MIN. LOT WIDTH @ BLDG	55 FT
MIN. SETBACKS	
FRONT	30 FT
SIDE (INDIVIDUAL/AGGREGATE)	12 FT / 30 FT
REAR	30 FT
MAX. BUILDING HEIGHT	35 FT
MAX. BUILDING COVERAGE	30%
MAX. IMPERVIOUS COVERAGE	40%

NUM.	DATE	REVISION
PLAN PREPARED BY: <b>SITE ENGINEERING CONCEPTS, LLC</b> P.O. BOX 1992 SOUTHEASTERN, PA 19399 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
PLAN PREPARED FOR: <b>HAMILTON ESTATE</b> 208 & 228 STRAFFORD AVE AND 18 FORREST LANE WAYNE, PA 19087 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA DATE: MARCH 20, 2020		
<b>BY RIGHT PLAN</b>		<b>SHEET</b> <b>1</b>
DAVID J. SANDERS, P.E. PE057436		
SCALE: 1" = 40'		

