

FINAL LAND DEVELOPMENT PLAN 208 NORTH ABERDEEN AVENUE TOWNHOUSES WAYNE, PA

ADJOINING PROPERTIES:

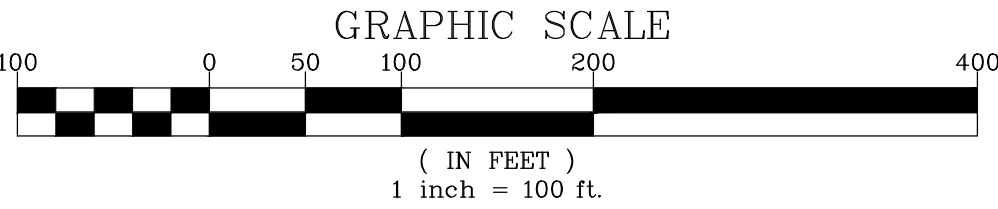
- LANDS N/F:*
1. JASON JAKIELASZEK
202 N. ABERDEEN AVE
36-13-277
DB 5922 PG 1494
 2. CNP SELECT REALTY LLC
205 PENNSYLVANIA AVENUE
36-13-278
DB 6169 PG 1435
 3. NICHOLAS MASCIANTONIO
205 PENNSYLVANIA AVENUE
36-13-279
DB 5578 PG 341
 4. SUE SHERYL LLC
201 PENNSYLVANIA AVENUE
36-13-280
DB 5467 PG 1208
 5. SUE SHERYL LLC
0 N ABERDEEN AVENUE
36-13-281
DB 5467 PG 1208
 6. 210 N ABERDEEN ASSOCIATES
208 N. ABERDEEN AVE
36-13-278
DB 6130 PG 669
- *FROM PUBLIC PROPERTY RECORDS FOR DELAWARE COUNTY



VICINITY MAP INCLUDING STRUCTURES WITHIN 500' OF SITE
AUTODESK GEOLOCATIONS SERVICES, 2020 DIGITAL GLOBE MAPS

DRAWING SCHEDULE

1. COVER SHEET
2. EXISTING FEATURES PLAN, E&SC PLAN & DEMO PLAN
3. PRELIMINARY LAND DEVELOPMENT PLAN & PCSM PLAN (SHEET 1 OF 1 TO BE RECORDED)
4. DETAILS & PROFILES
5. L-1, PRELIMINARY LANDSCAPE PLAN, PREPARED BY ANNE F WALTERS COMPANY, WEST CHESTER, PA
6. L-2, DETAILS & SPECIFICATIONS, PREPARED BY ANNE F WALTERS COMPANY, WEST CHESTER, PA



NUM.	DATE	REVISION
3.	12/04/2020	FINAL PLAN APPLICATION PER 11.12.20 & 11.13.20 REVIEWS
2.	10/26/2020	REVISED PER TOWNSHIP REVIEWS DATED 9.25.20 & 9.29.20
1.	9/11/2020	REVISED PER TOWNSHIP REVIEWS DATED 6.8.20 & 6.26.20

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
210 N ABERDEEN ASSOCIATES, LLC
208 NORTH ABERDEEN AVENUE
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
SEPT 11, 2020

COVER SHEET

SHEET
1 of 6

SCALE: 1" = 100'

CIVIL ENGINEER:
SITE ENGINEERING CONCEPTS, LLC

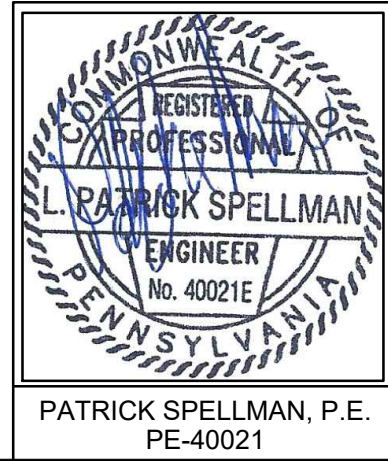
ATTN: PATRICK SPELLMAN, P.E.
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: (610) 523-9002
E: PSPELLMAN@SITE-ENGINEERS.COM

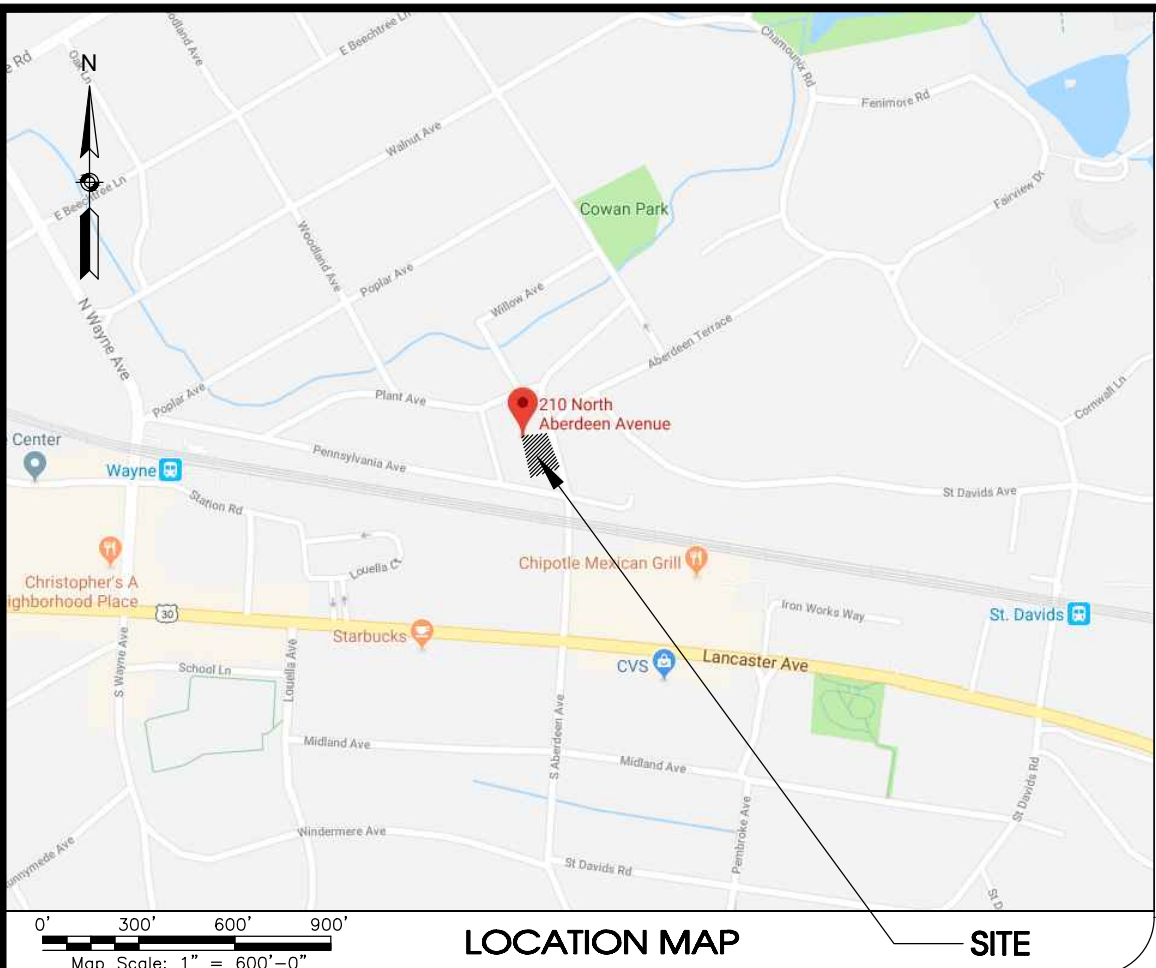
LANDSCAPE ARCHITECT:
ANNE F. WALTERS COMPANY

ATTN: ANNE WALTERS, RLA, ASLA, LEED AP
224 E. BIDDLE STREET
WEST CHESTER, PA 19380
P: (610) 429-4533
E: ANNE@ANNEFWALTERSCOMPANY.COM

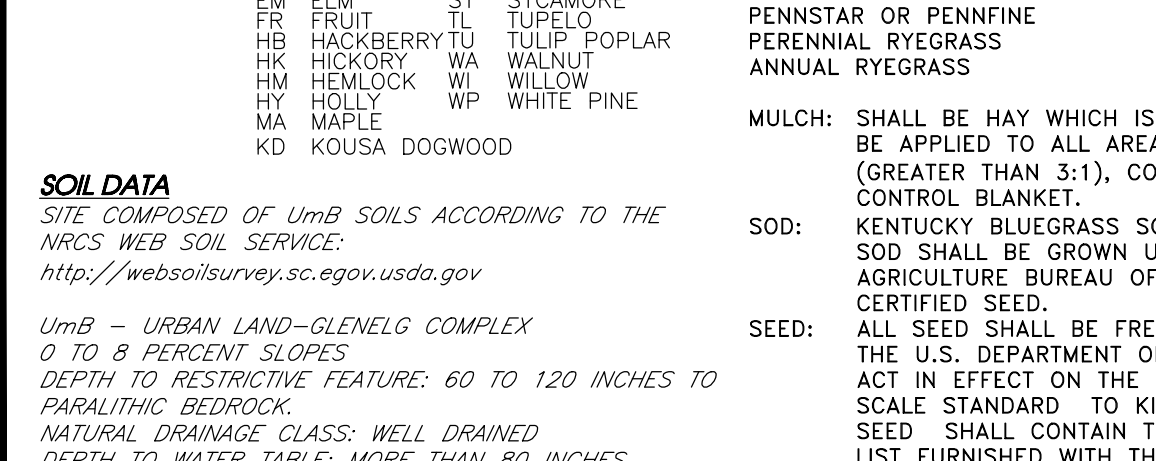
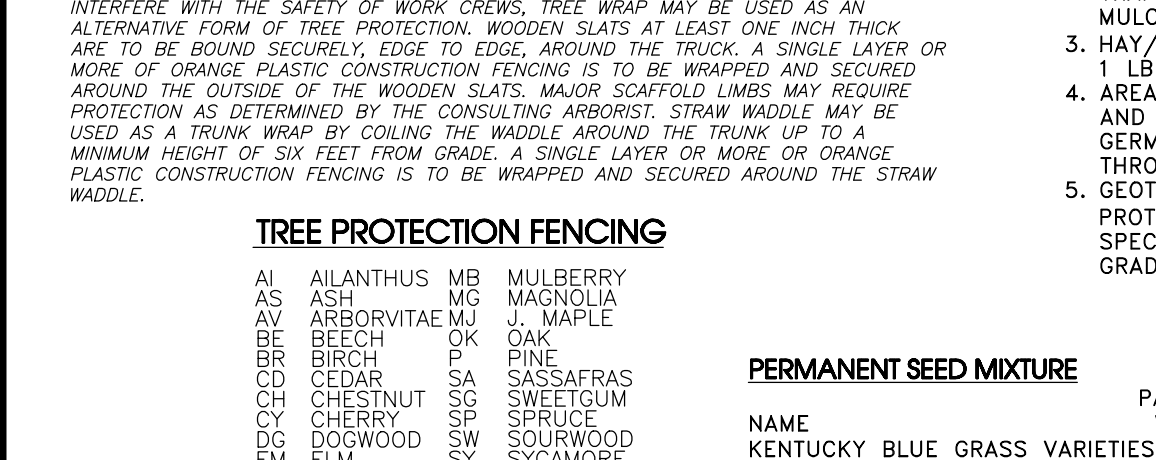
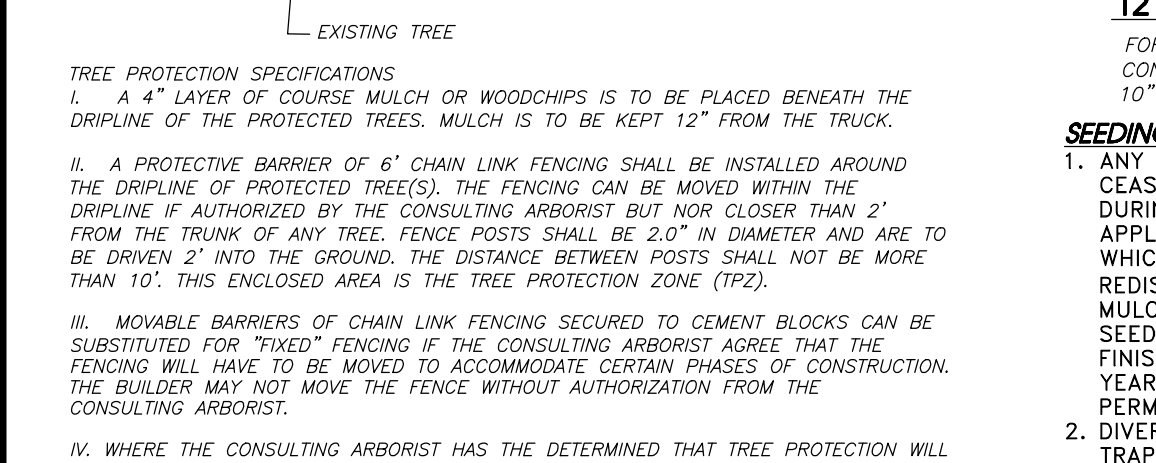
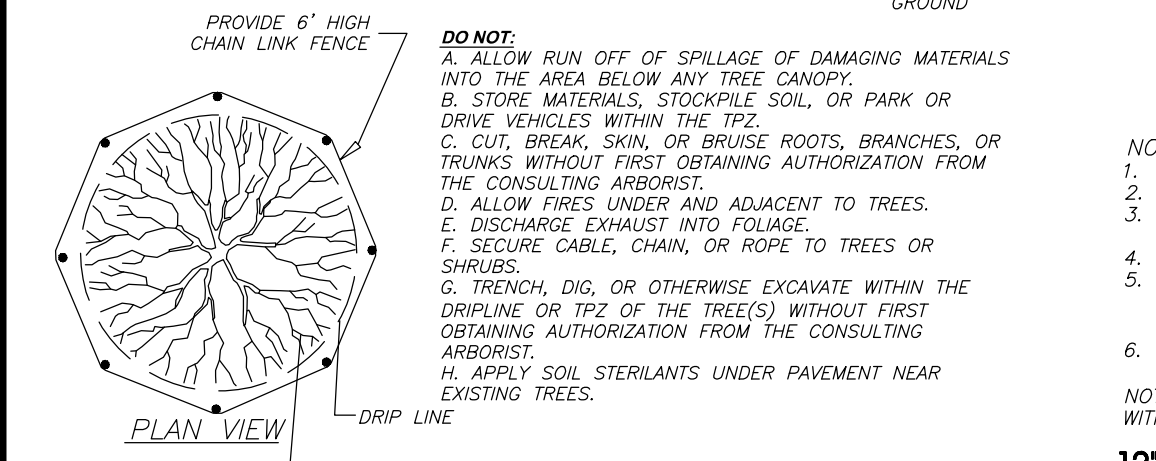
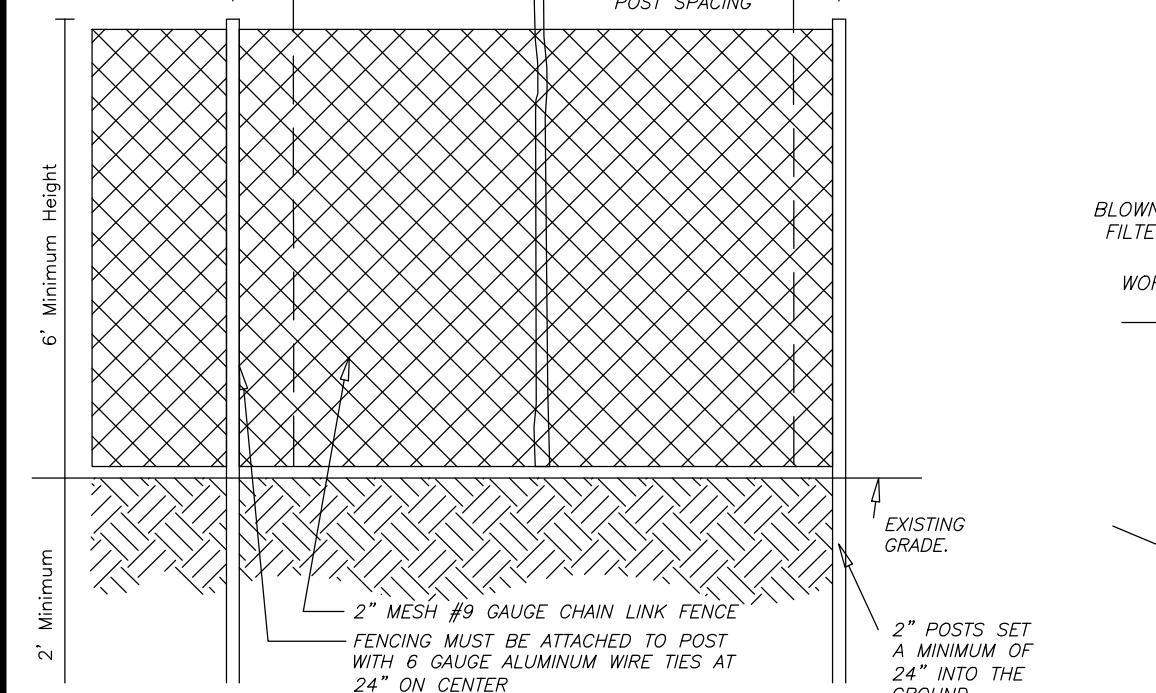
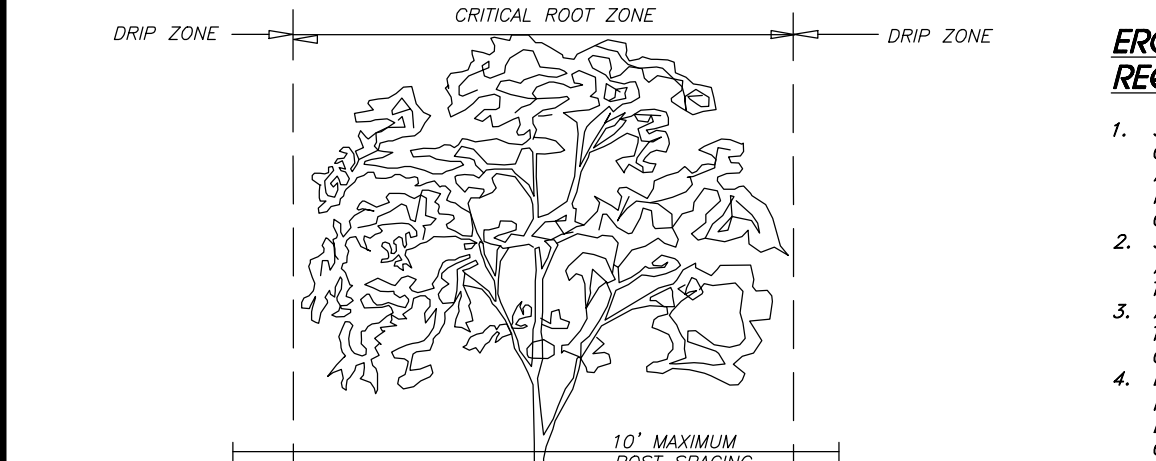
APPLICANT/OWNER:
210 N ABERDEEN ASSOCIATES, LLC

C/O ROCKWELL CUSTOM HOMES
ATTN: GREG LINGO
126 E. STATE STREET
MEDIA, PA, 19063





NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.
DESIGN S/N: 20182293339



E&S CONTROL NOTES

- E&S CONTROL FOR TRENCH CONSTRUCTION WILL CONSIST OF PLACING EXCAVATED MATERIAL ON THE UP-SLOPE SIDE OF THE TRENCH AND BACKFILLING AND STABILIZING WITHIN THE SAME WORK DAY.
- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- CONTRACTOR MUST WASH VEHICLE TIRES PRIOR TO LEAVING SITE. SHOULD WASHING TIRES PROVE INEFFECTIVE, CONTRACTOR MUST INSTALL ROCK CONSTRUCTION ENTRANCE.
- CONTRACTOR MUST CLEAN DRIVEWAY AND ROAD OF ANY SEDIMENT AT THE END OF EACH WORK DAY.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING EROSION RESEEDING, REMULCHING AND RENEETING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.

EROSION CONTROL MAINTENANCE REQUIREMENTS

- SILT BARRIER, TREE PROTECTION FENCING, AND THE ROCK CONSTRUCTION ENTRANCE MUST BE CHECKED ON A DAILY BASIS AND AFTER ALL STORM EVENTS TO ENSURE THAT THEY ARE STILL FUNCTIONING PROPERLY. IF NOT, THEY SHALL BE REPLACED OR CLEANED OF SEDIMENT.
- SEDIMENT MUST BE REMOVED FROM SILT BARRIER WHEN ACCUMULATIONS REACH 1/2 OF THE ABOVE GROUND HEIGHT OF THE FENCE OR AS RECOMMENDED BY MANUFACTURER.
- ANY SECTION OF SILT BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- DIVERSION BERMS, STAGED CONSTRUCTION STAGING AREAS, AND INLETS/PIPING SHALL BE PROVIDED AS REQUIRED OR AS DIRECTED BY THE TOWNSHIP SO AS TO ENSURE ACCEPTABLE CONDITIONS DURING THE CONSTRUCTION PHASE

SEEDING & MULCHING NOTES

- ANY DISTURBED AREA ON WHICH CONSTRUCTION ACTIVITY HAS CEASED MUST BE IMMEDIATELY SEEDED AND MULCHED.
- DIVERSIONS, CHANNELS, SWALES, SEDIMENT BASINS, SEDIMENT TRAPS, AND SOIL STOCKPILES SHALL BE SEEDED AND MULCHED IMMEDIATELY.
- HAY/STRAW MULCH MUST BE APPLIED AT A RATE OF AT LEAST 100 LB PER 100 SQ FT.
- AREAS UTILIZING VEGETATIVE STABILIZATION MUST BE SEEDED AND MULCHED WITHIN THE APRIL 15th TO OCTOBER 15th GERMINATION WINDOW. SEEDING WILL BE ACCOMPLISHED THROUGH HYDROSEEDING OR CONVENTIONAL SEEDING METHODS.
- GEOTEXTILE EROSION CONTROL CHANNEL LININGS AND SLOPE PROTECTION SHALL BE INSTALLED PER THE MANUFACTURER'S SPECIFICATIONS IMMEDIATELY UPON THE COMPLETION OF GRADING ACTIVITIES.

PERMANENT SEED MIXTURE

NAME	WEIGHT	PURITY	GERMINATION
KENTUCKY BLUE GRASS VARIETIES	33%	95%	85%
PENNSYLVANIA OR PENNFINE PERENNIAL RYEGRASS	33%	95%	85%
ANNUAL RYEGRASS	33%	95%	85%

TEMPORARY SEED MIXTURE

SITE PREPARATION: APPLY 1 TON OF AGRICULTURAL-GRADE LIMESTONE PER ACRE PLUS FERTILIZER AT THE RATE OF 50-50-50 PER ACRE WORK INTO THE SOIL WHERE POSSIBLE. SECURE A SOIL TEST BEFORE APPLICATION OF PERMANENT SEEDING. AFTER SEEDING, MULCH WITH HAY OR STRAW AT A RATE OF 3 TONS PER ACRE.

FOR SPRING SEEDING (UP TO JUNE 15)

SPECIES	LB/S/ACRE
OR SPRING OATS	40 (3 BU)
OR SPRING OATS PLUS RYEGRASS	64 (3 BU) + 20 (3 BU)
OR WINTER WHEAT	180 (3 BU)
OR WINTER RYE	168 (3 BU)
OR LATE SPRING & SUMMER SEEDING (JUNE 16 TO AUGUST 15)	
ANNUAL RYEGRASS	40
OR JAPANESE OR FOXTAIL MILLET	35
OR SUDAGRASS	40
OR SPRING OATS	96 (3 BU)
OR WINTER WHEAT	180 (3 BU)
OR WINTER RYE	168 (3 BU)

FOR LATE SUMMER & FALL SEEDING (AUGUST 16 AND LATER)

SPECIES	LB/S/ACRE
ANNUAL RYEGRASS	40
OR WINTER RYE	168 (3 BU)
OR WINTER WHEAT	180 (3 BU)
OR SPRING OATS	96

(CAN BE USED BUT WILL WINTER KILL)

SOIL DATA

SITE COMPOSED OF UMB SOILS ACCORDING TO THE NRCS WEB SOIL SERVICE: <http://websoilsurvey.sc.egov.usda.gov>

Umb - URBAN LAND-GLENEG COMPLEX 0 TO 8 PERCENT SLOPES DEPTH TO RESTRICTIVE FEATURE: 60 TO 120 INCHES TO PARALLEL BEDROCK

NATURAL DRAINAGE CLASS: WELL DRAINED DEPTH TO WATER TABLE: MORE THAN 80 INCHES HYDROLOGIC SOIL GROUP: B HYDRIC SOIL RATING: N

PLAN LEGEND

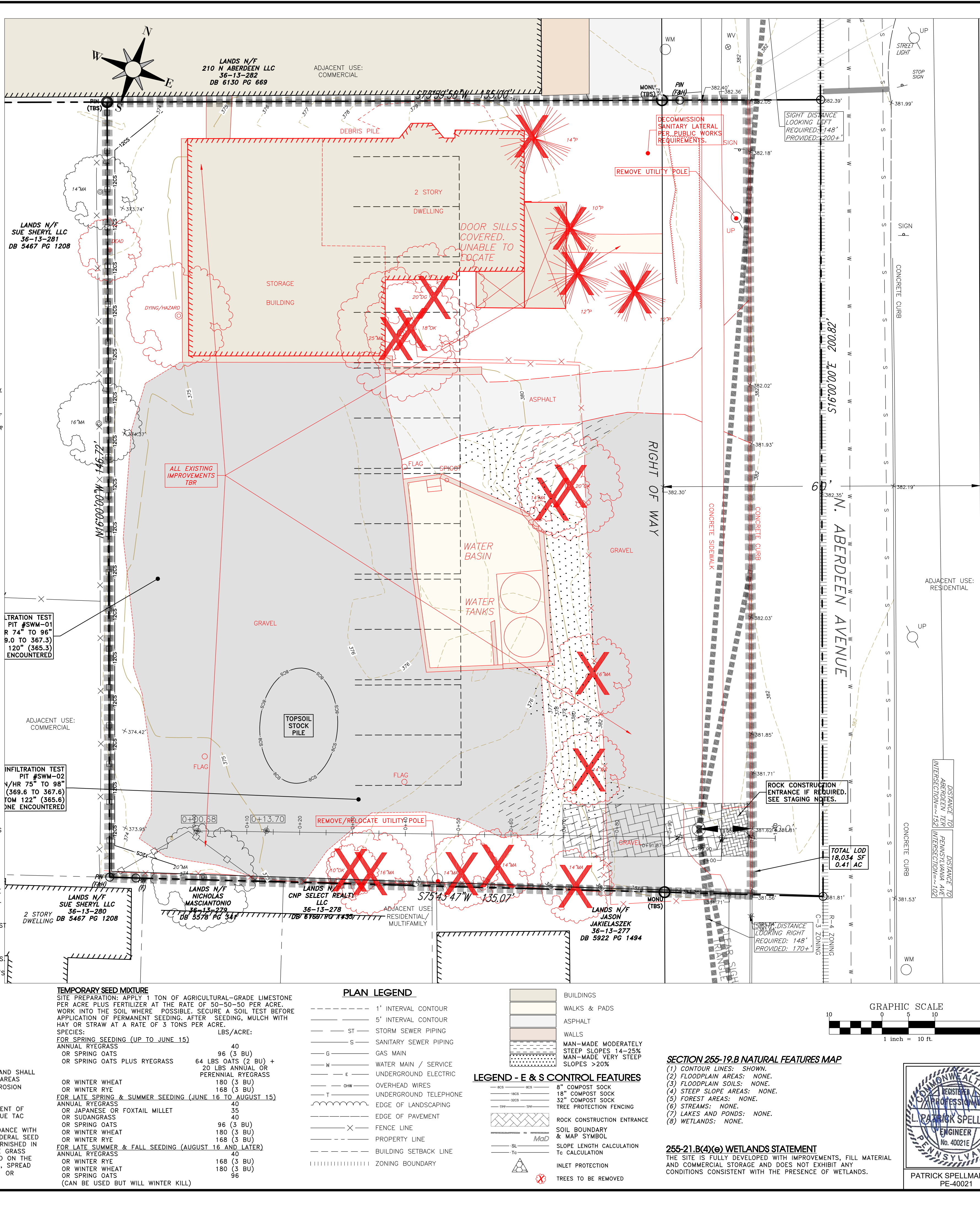
- 1" INTERVAL CONTOUR
- 5" INTERVAL CONTOUR
- ST - STORM SEWER PIPING
- S - SANITARY SEWER PIPING
- G - GAS MAIN
- W - WATER MAIN / SERVICE
- E - UNDERGROUND ELECTRIC
- OHW - OVERHEAD WIRES
- T - UNDERGROUND TELEPHONE
- EDGE OF LANDSCAPING
- EDGE OF PAVEMENT
- FENCE LINE
- PROPERTY LINE
- BUILDING SETBACK LINE
- ZONING BOUNDARY

LEGEND - E & S CONTROL FEATURES

- 8" COMPOST SOCK
- 18" COMPOST SOCK
- 30" COMPOST SOCK
- TREE PROTECTION FENCING
- ROCK CONSTRUCTION ENTRANCE
- SOIL BOUNDARY & MAP SYMBOL
- SLOPE LENGTH CALCULATION TABLE
- INLET PROTECTION
- TREES TO BE REMOVED

SECTION 255-19.B NATURAL FEATURES MAP

- CONTOUR LINES: SHOWN.
- FLOODPLAIN AREAS: NONE.
- FLOODPLAIN SOILS: NONE.
- STEEP SLOPE AREAS: NONE.
- FOREST AREAS: NONE.
- STREAMS: NONE.
- LAKES AND PONDS: NONE.
- WETLANDS: NONE.



SURVEYOR NOTES

- PARCEL INFORMATION:
STREET ADDRESS: 208 N. ABERDEEN AVE
FOLIO NUMBER: 36-010-0009-00 Block 36-13 Unit 278
DEED BOOK 6130 PAGE 669, PREMISES A'
GROSS LOT AREA: 20,083 Sq. Ft.
- CONTOURS PLOTTED FROM FIELD SURVEY. GPS CONTROL PERFORMED ON-SITE TO ESTABLISH BENCHMARK. DATUM NAD83/NAVD88.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FEMA FLOOD PLAN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 42028 0017F OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION.
- EXISTING DIMENSION ESTIMATES BASED ON APPROXIMATE MEASUREMENTS WITH RESTRICTED ACCESS TO PORTIONS OF THE PROPERTIES.

ZONING SUMMARY

ORDINANCE ITEM	C-3 TOWNHOUSE REQUIREMENT	EXISTING
MIN. LOT AREA	18,500 SF (3,250 SF/UNIT)	20,083 SF
MIN. LOT WIDTH FOR GROUP	100 FT	200 FT
MIN. LOT WIDTH INDIVIDUAL UNIT	20 FT	N/A
MIN. SETBACKS		
FRONT FROM CURB LINE	25 FT	34 FT
SIDE FOR END UNITS (MIN/AGG)	10 FT/ 25 FT	4 FT/103 FT
REAR	25 FT	15 FT
MAX. BUILDING HEIGHT	35 FT	NR
MAX. BUILDING COVERAGE	35%	13.0%
MAX. IMPERVIOUS COVERAGE	60%	53.4%

* PER DRAFT ORDINANCE 2019-15, DATED FEBRUARY 19, 2020

IMPERVIOUS SUMMARY (SQ. FT.)

LOT AREA CLEAR OF R/W	20,083
BUILDINGS	2,607
WALKWAY/SIDEWALKS	65
PATIO, DECKS	0
DRIVEWAY	7,179
OTHER	878
TOTAL BUILDING COVERAGE	2,607
TOTAL BUILDING PERCENTAGE	13.0%
TOTAL IMPERVIOUS COVERAGE	10,729
TOTAL IMPERVIOUS PERCENTAGE	53.4%

DEMOLITION NOTES

- ALL EXISTING IMPROVEMENTS TO BE REMOVED.
- UTILITIES SHOWN ARE FROM THE EXTENT OF OUR KNOWLEDGE BASED ON PA ONE CALL, PROPOSED PLANS AND VISUAL OBSERVATION. THIS PLAN IS NOT GUARANTEED TO SHOW ALL UTILITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY PA ONE CALL AT LEAST THREE DAYS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PA ONE CALL REGULATIONS (CALL 1-800-242-1776) AND FIELD LOCATE ALL UTILITIES WITHIN THE WORK AREA.
- EXISTING UTILITIES (AS NECESSARY) SHALL HAVE SERVICE CUT OFF AND DISCONNECTED BEFORE DEMOLITION BEGINS. UTILITIES SHALL BE PROPERLY CAPPED AND BURIED IF NOT REMOVED AND RELOCATED. PLEASE NOTE THAT EXISTING STORES TO REMAIN WILL BE ACTIVE DURING CONSTRUCTION AND MUST HAVE WORKING UTILITY SERVICE.
- IF ANY EXISTING UTILITIES CONFLICT WITH CONSTRUCTION, PLANS SHALL BE MADE WITH UTILITY COMPANY FOR RELOCATION.
- CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF THE DURING CONSTRUCTION EROSION AND SEDIMENT CONTROL PLAN, AS APPLICABLE, INCLUDING THE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, TREE PROTECTION, AND IMMEDIATE STABILIZATION OF ANY DISTURBED AREAS.

NUM.	DATE	REVISION
3.	12/04/2020	FINAL PLAN APPLICATION PER 11.12.20 & 11.13.20 REVIEWS
2.	10/26/2020	REVISED PER TOWNSHIP REVIEWS DATED 9.25.20 & 9.29.20
1.	9/11/2020	REVISED PER TOWNSHIP REVIEWS DATED 8.6.20 & 8.26.20

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTON, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

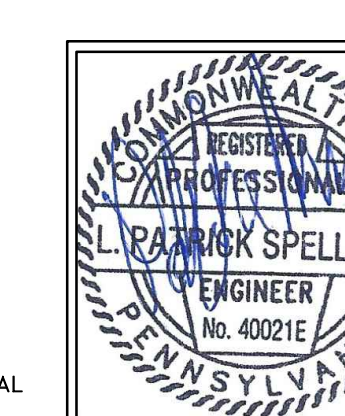
PLAN PREPARED FOR:
210 N ABERDEEN ASSOCIATES, LLC
208 NORTH ABERDEEN AVENUE
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
SEPT 11, 2020

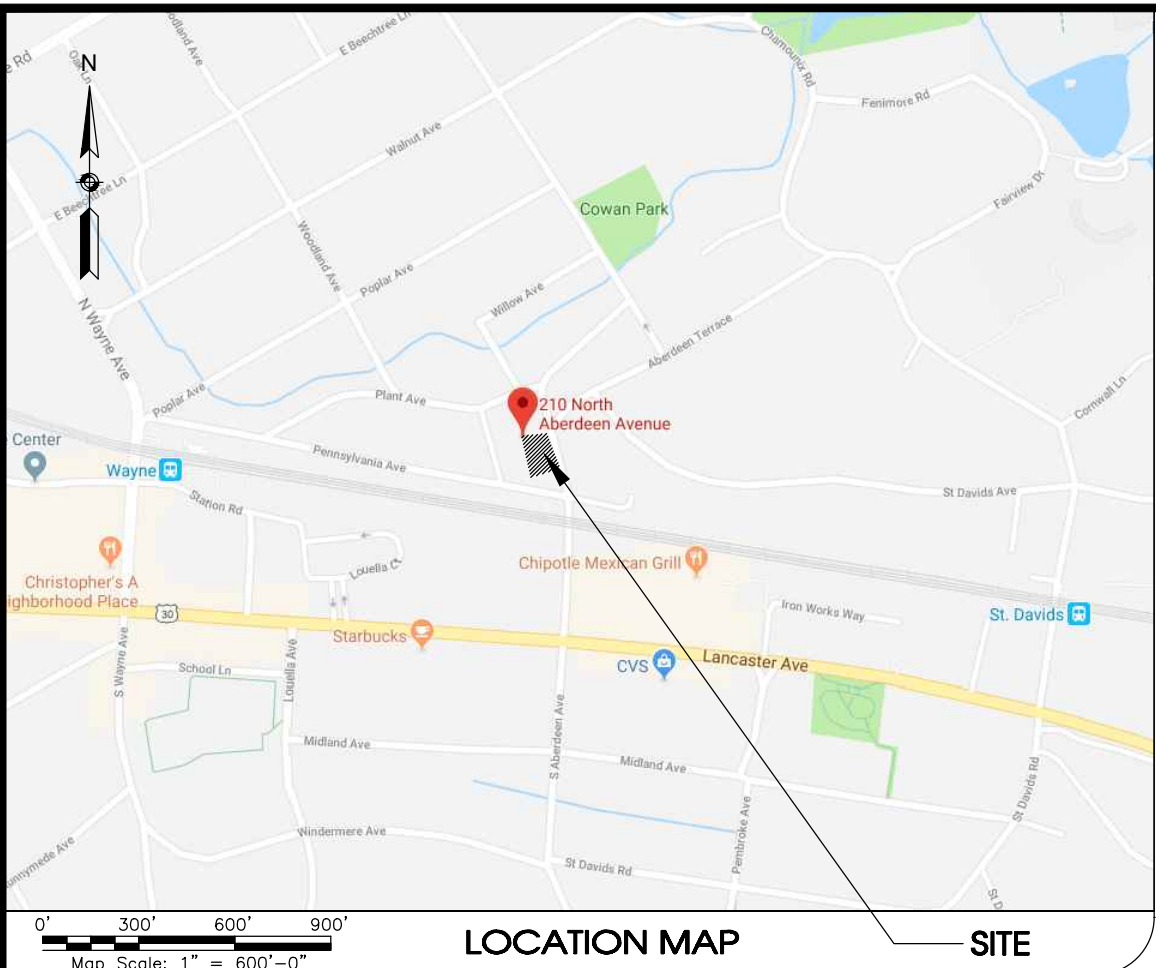
**EXISTING PLAN
E&S PLAN
DEMOLITION PLAN**

**SHEET
2 of 6**

SCALE: 1" = 10'



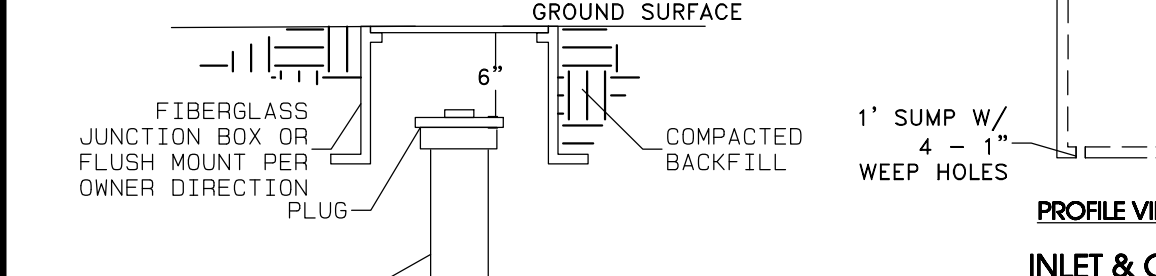
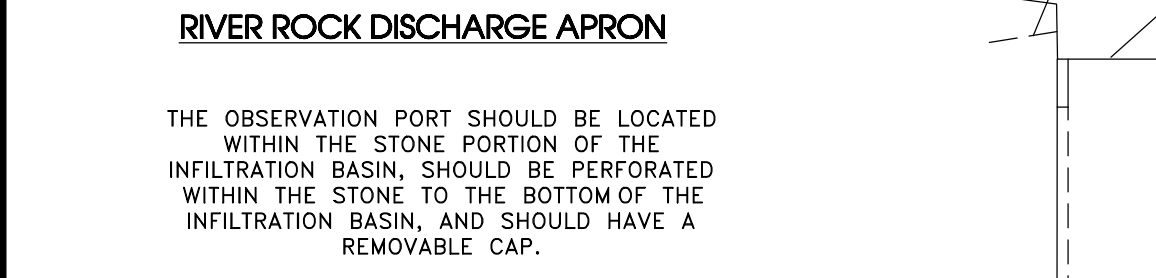
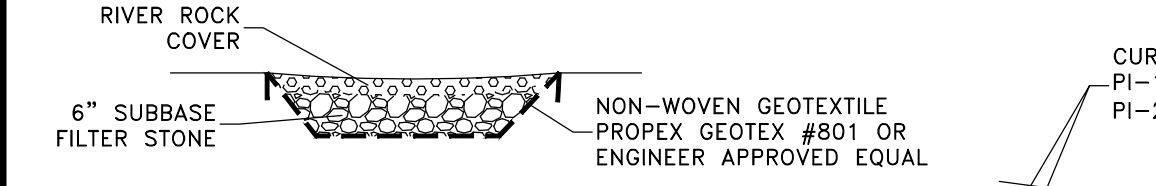
PATRICK SPELLMAN, P.E.
PE-40021



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

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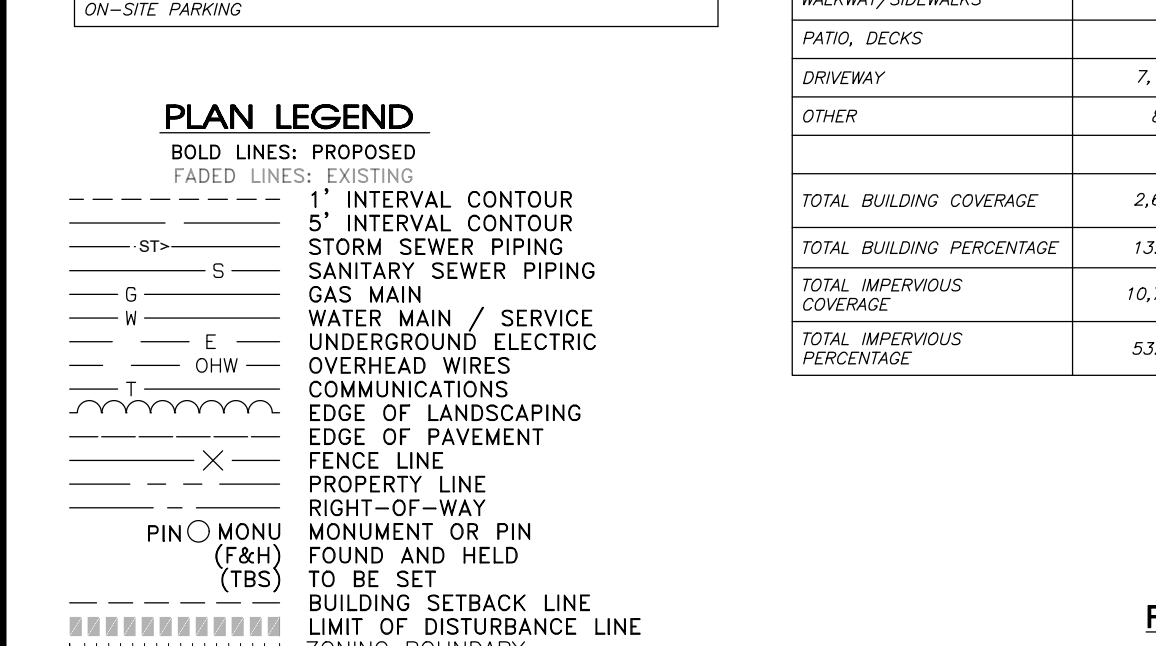
210 North Aberdeen Avenue



ZONING SUMMARY				
ORDINANCE ITEM	C-3 TOWNHOUSE REQUIREMENT	EXISTING	PROPOSED	
MIN. LOT AREA	19,500 SF (3,250 SF/UNIT)	20,083 SF	20,083 SF (3,347 SF/DWELLING AVG)	
MIN. LOT WIDTH FOR GROUP	100 FT	200 FT	200 FT	
MIN. LOT WIDTH INDIVIDUAL UNIT	20 FT	N/A	20 FT	
MIN. SETBACKS				
FRONT FROM CURB LINE	25 FT	34 FT	25 FT	
SIDE FOR END UNITS (MIN/AGD)	10 FT/ 25 FT	4 FT/103 FT	10 FT/ 28 FT	
SIDE BETWEEN BUILDINGS	10 FT	N/A	N/A	
REAR	25 FT	15 FT	46 FT	
MAX. BUILDING HEIGHT	35 FT	NR	<35 FT	
MAX. BUILDING COVERAGE	60%	53.4%	59.4%	
MAX. IMPERVIOUS COVERAGE	60%	53.4%	59.4%	

PARKING SUMMARY				
USE	SPACES	PER UNIT	AMOUNT	SPACES REQUIRED
RESIDENTIAL	2	1 DWELL	6 UNITS	12
TOTAL REQUIRED				12
REAR LOADING GARAGES	12			
TOTAL SPACES PROVIDED	12			

IMPERVIOUS SUMMARY (SQ. FT.)				
LOT AREA CLEAR OF R/W	EXISTING	TO BE REMOVED	TO BE ADDED	PROPOSED
BUILDINGS	2,607	2,607	6,000	6,000
WALKWAY/SIDEWALKS	65	65	362	362
PATIO, DECKS	0	0	0	0
DRIVEWAY	7,179	7,179	5,568	5,568
OTHER	878	878	0	0
TOTAL BUILDING COVERAGE	2,607	2,607	6,000	6,000
TOTAL BUILDING PERCENTAGE	13.0%		29.9%	
TOTAL IMPERVIOUS COVERAGE	10,729	10,729	11,930	11,930
TOTAL IMPERVIOUS PERCENTAGE	53.4%		59.4%	



EXISTING	PROPOSED	PROPOSED ELEVATION	SPOT ELEVATION	DOOR SILL	GARAGE SILL	WATER VALVE	WATER METER	SANITARY VENT	SANITARY CLEAN OUT	SAN. MH	SANITARY MANHOLE	GAS METER	GAS VALVE	STORMWATER MANHOLE	STORMWATER INLET	STORM CLEAN OUT	DOWNSPOUT
XXXX.XX	XXXX.XX	AL	AS	BB	CC	DD	EE	FF	GG	HH	II	JJ	KK	LL	MM	NN	OO

SURVEYOR NOTES
1. SEE SHEET 2 FOR SURVEYOR NOTES.
UNIT SIZE (# OF BEDROOMS)
THE APPLICANT ANTICIPATES THE EACH WILL OFFER 3 BEDROOMS WITH AN OPTION FOR A 4 BEDROOM.

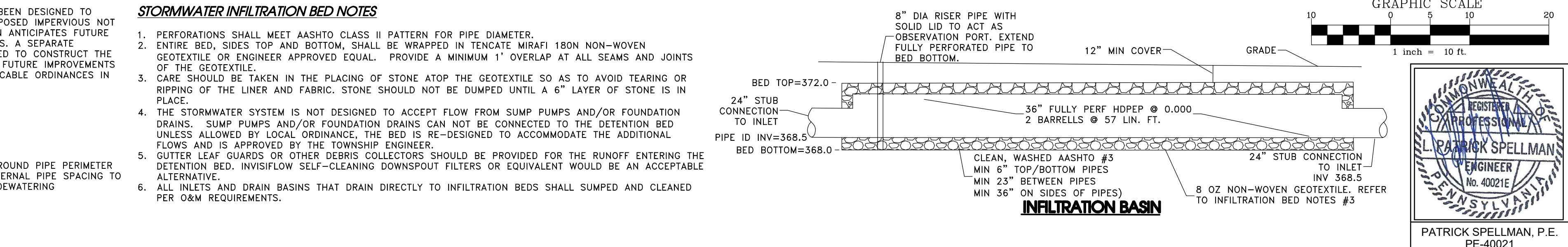
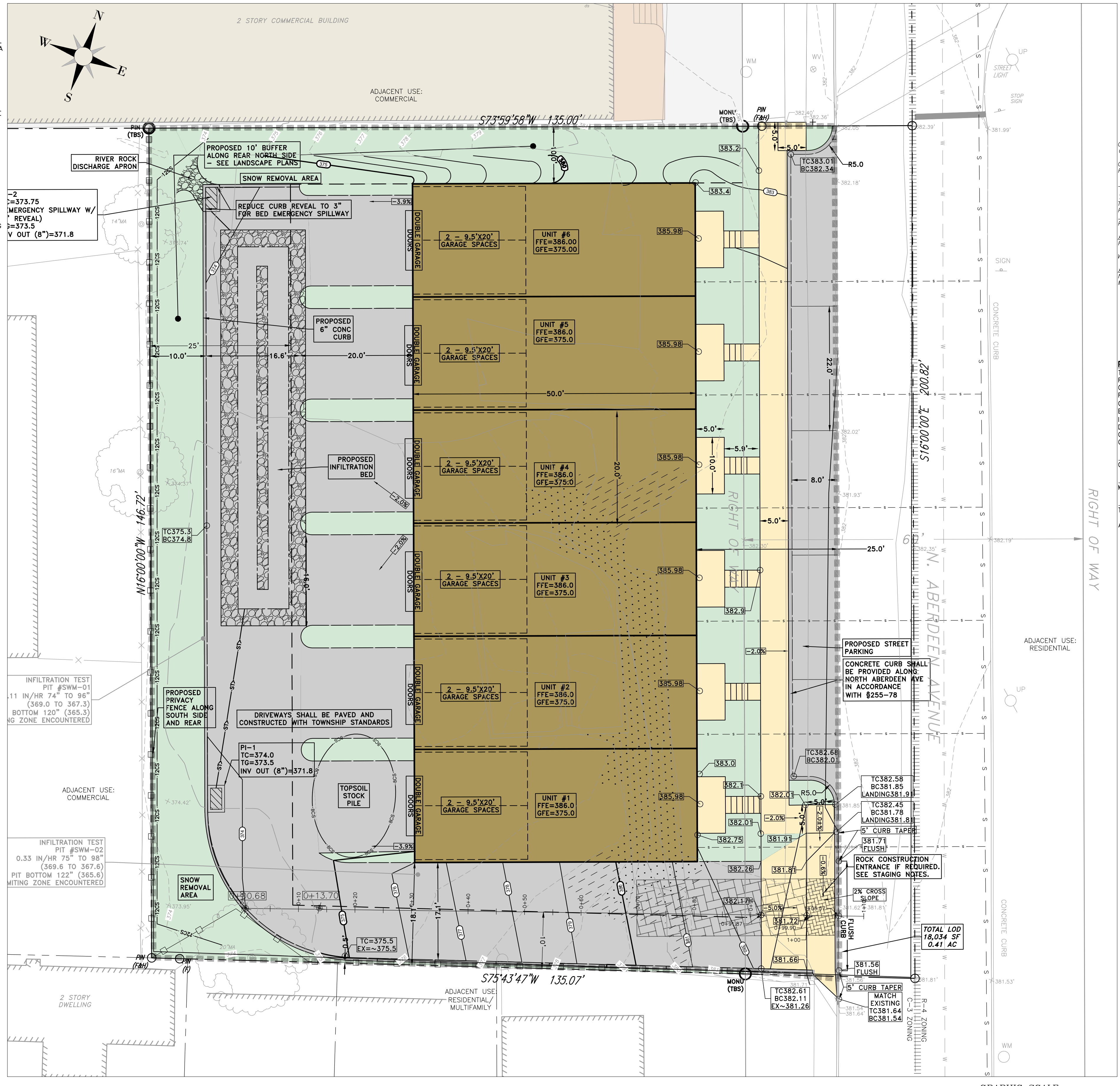
SEWAGE PLANNING MODULE APPROVAL REQUIRED
PLANNING MODULES HAVE BEEN SUBMITTED TO AUTHORITIES FOR SIGNATURE AND WILL BE FORWARDED TO THE PADEP WHEN COMPLETE. THE PADEP MUST APPROVE THE REQUIRED SEWAGE PLANNING MODULES BEFORE ANY GRADING OR BUILDING PERMITS WILL BE ISSUED.

255-43.1.B(1) RECREATIONAL FEE
THE APPLICANT WILL PAY AN RECREATIONAL FEE PER THIS SECTION IN LIEU OF CONSTRUCTING RECREATIONAL FACILITIES

263-8.A COMMEMORATIVE SHADE TREE FUND
THE APPLICANT WILL PAY THE SHADE TREE FEE PER THIS SECTION IN LIEU OF PLANTING 5 OF THE 7 SHADE TREES REQUIRED. TWO TREES WILL BE PLANTED PER THE LANDSCAPE PLAN.

BUILDING HEIGHT
AVERAGE GRADE: 379.1
MAXIMUM HEIGHT ALLOWED: 35
MAXIMUM ELEVATION OF MEAN LEVEL OF ROOF: 414.1
(28.1' ABOVE FFE @ ELEV 368)

THE ARCHITECTURAL PLANS MUST BE COORDINATED WITH AVE GRADE AND MUST COMPLY WITH THE GRADING PROPOSED BY THIS PERMIT PLAN.



WAIVERS REQUESTED
THE APPLICANT RESPECTFULLY REQUESTS THE FOLLOWING WAIVERS:
1. PARTIAL WAIVER OF 255-21.B(1)(n) REQUIRING SIGNIFICANT MAN-MADE FEATURES WITHIN 500 FEET OF THE SITE BE PROVIDED ON THE PLAN. AERIAL IMAGERY IS USED TO PROVIDE DETAIL BEYOND THE SITE BOUNDARIES WHERE SURVEY DATA CAN NOT LEGALLY BE COLLECTED (E.G.: PRIVATE PROPERTY). A PARTIAL WAIVER IS REQUEST TO THE EXTENT NECESSARY TO NOT PROVIDE THOSE ITEMS WHICH ARE NOT VISIBLE ON AERIAL IMAGERY (E.G.: SEWER LINES, STORM DRAINS, EASEMENTS, ETC.).

PRELIMINARY PLAN APPROVAL
ON NOVEMBER 23, 2019, THE BOARD OF COMMISSIONERS APPROVED RESOLUTION #20220-136 FOR PRELIMINARY SUBDIVISION AND LAND DEVELOPMENT PLAN AND GRANTED THE FOLLOWING RELIEF:
1. PARTIAL WAIVER OF 255-21.B(1)(n) REQUIRING SIGNIFICANT MAN-MADE FEATURES WITHIN 500 FEET OF THE SITE

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF _____, ON THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED OFFICER, PERSONALLY APPEARED _____ WHO ACKNOWLEDGED _____ TO BE A MEMBER OF THE PROPERTY SHOWN ON THE PLAN, BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTY SHOWN THEREON, SITUATED IN THE TOWNSHIP OF _____ COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN BE RECORDED ACCORDING TO LAW.

REPRESENTATIVE _____
WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID
NOTARY PUBLIC: _____
MY COMMISSION EXPIRES: _____

RADNOR TOWNSHIP
THIS IS TO CERTIFY THE BOARD OF COMMISSIONERS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR _____ ON THE _____ DAY OF _____, 20____, FOR RECORDING AT THE RECORDER OF DEEDS OF DELAWARE COUNTY, MEDIA, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT. APPROVED BY THE EASTTOWN TOWNSHIP BOARD OF COMMISSIONERS ON _____, 20____.

CHAIR _____
MEMBER _____
TOWNSHIP ENGINEER _____
ATTEST: MANAGER _____

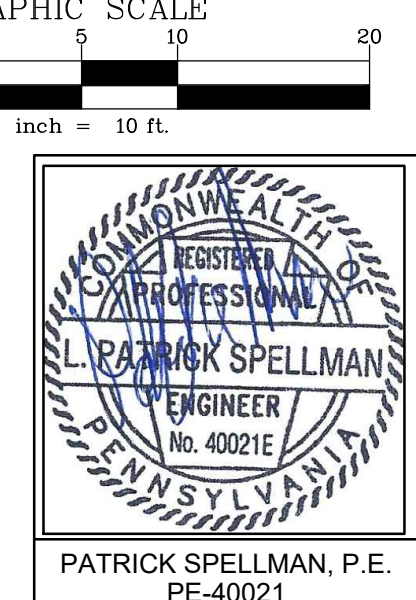
DELAWARE COUNTY PLANNING COMMISSION STAMP

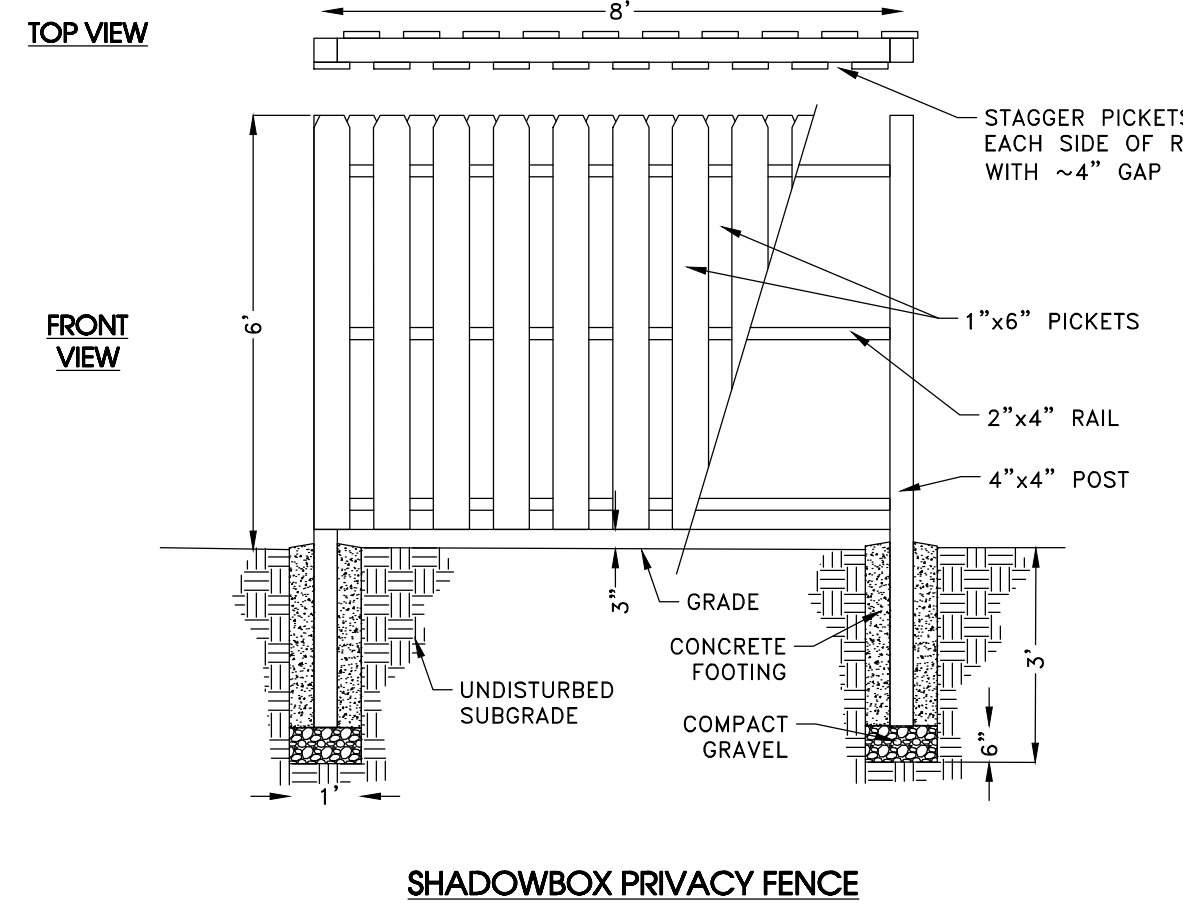
DELAWARE COUNTY RECORDER OF DEEDS STAMP

NUM.	DATE	REVISION
3.	12/04/2020	FINAL PLAN APPLICATION PER 11.12.20 & 11.13.20 REVIEWS
2.	10/26/2020	REVISED PER TOWNSHIP REVIEWS DATED 9.25.20 & 9.29.20
1.	9/11/2020	REVISED PER TOWNSHIP REVIEWS DATED 6.8.20 & 6.26.20

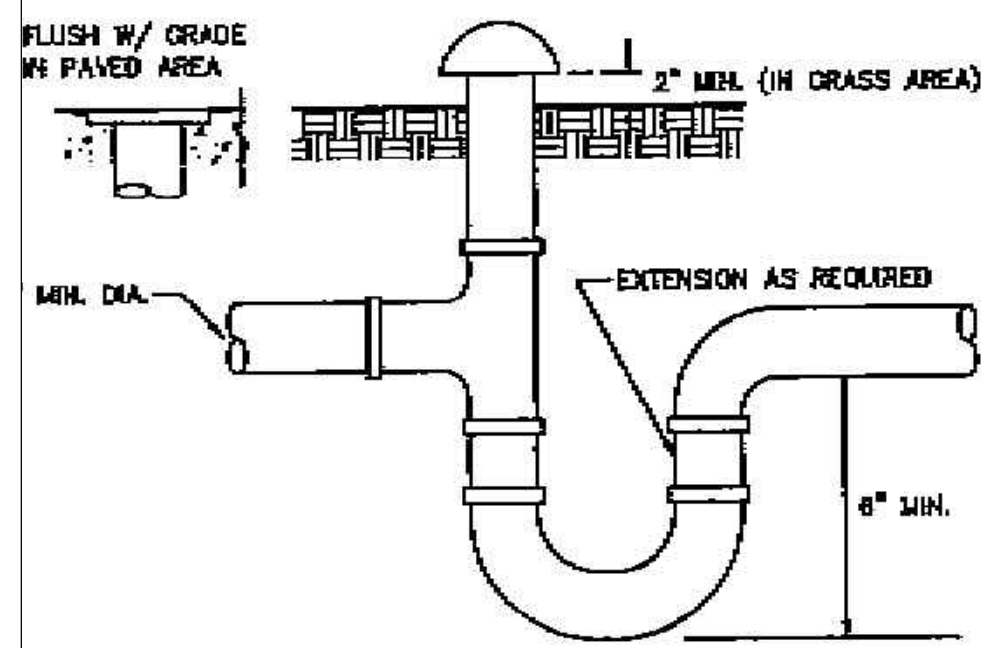
PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
210 N ABERDEEN ASSOCIATES, LLC
208 NORTH ABERDEEN AVENUE
WAYNE, PA 19087
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
SEPT 11, 2020
PROPOSED LAND DEVELOPMENT PLAN
(SHEET 1 OF 1 TO BE RECORDED)
SHEET 3 of 6
SCALE: 1" = 10'





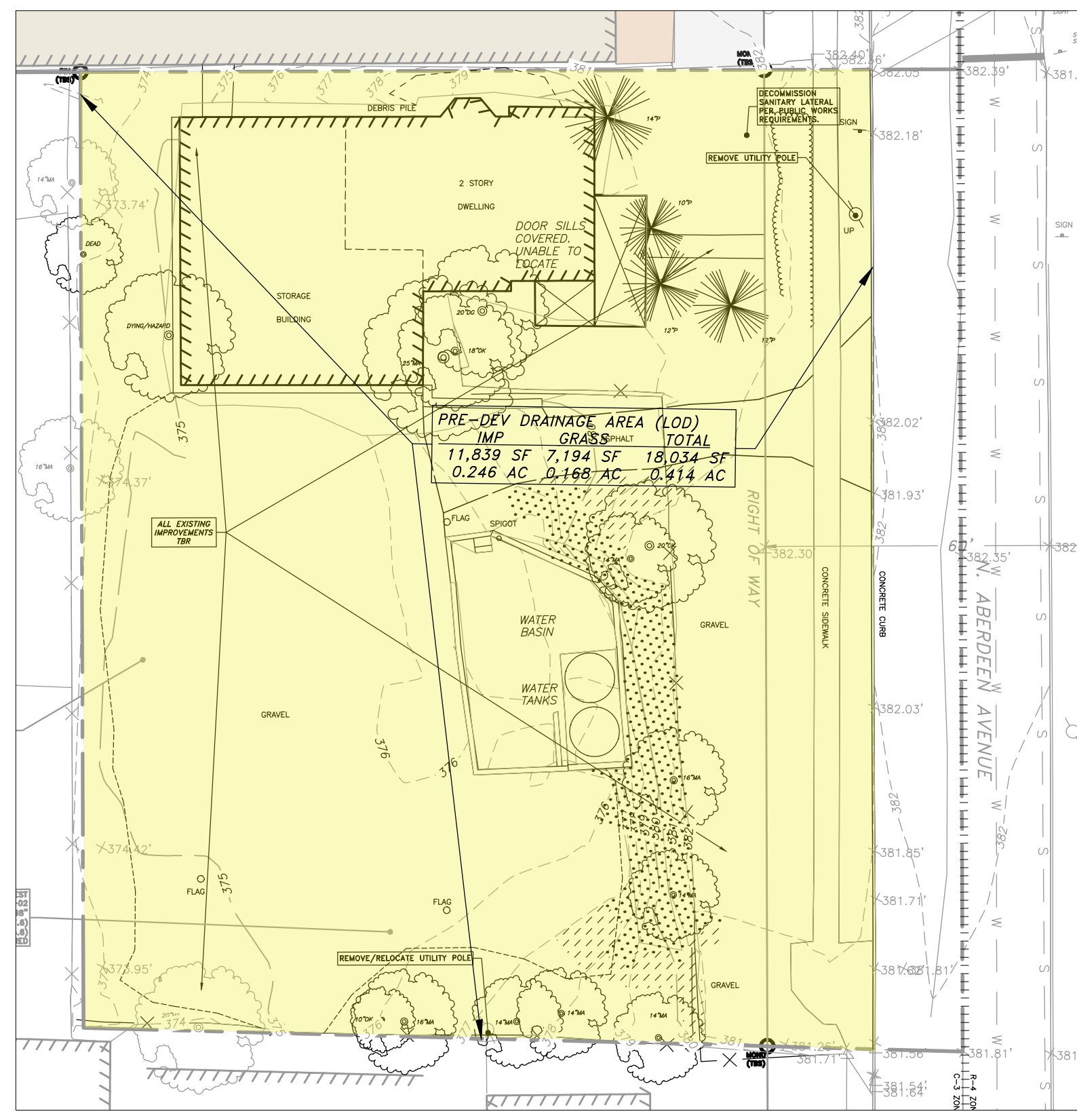
SHADOWBOX PRIVACY FENCE



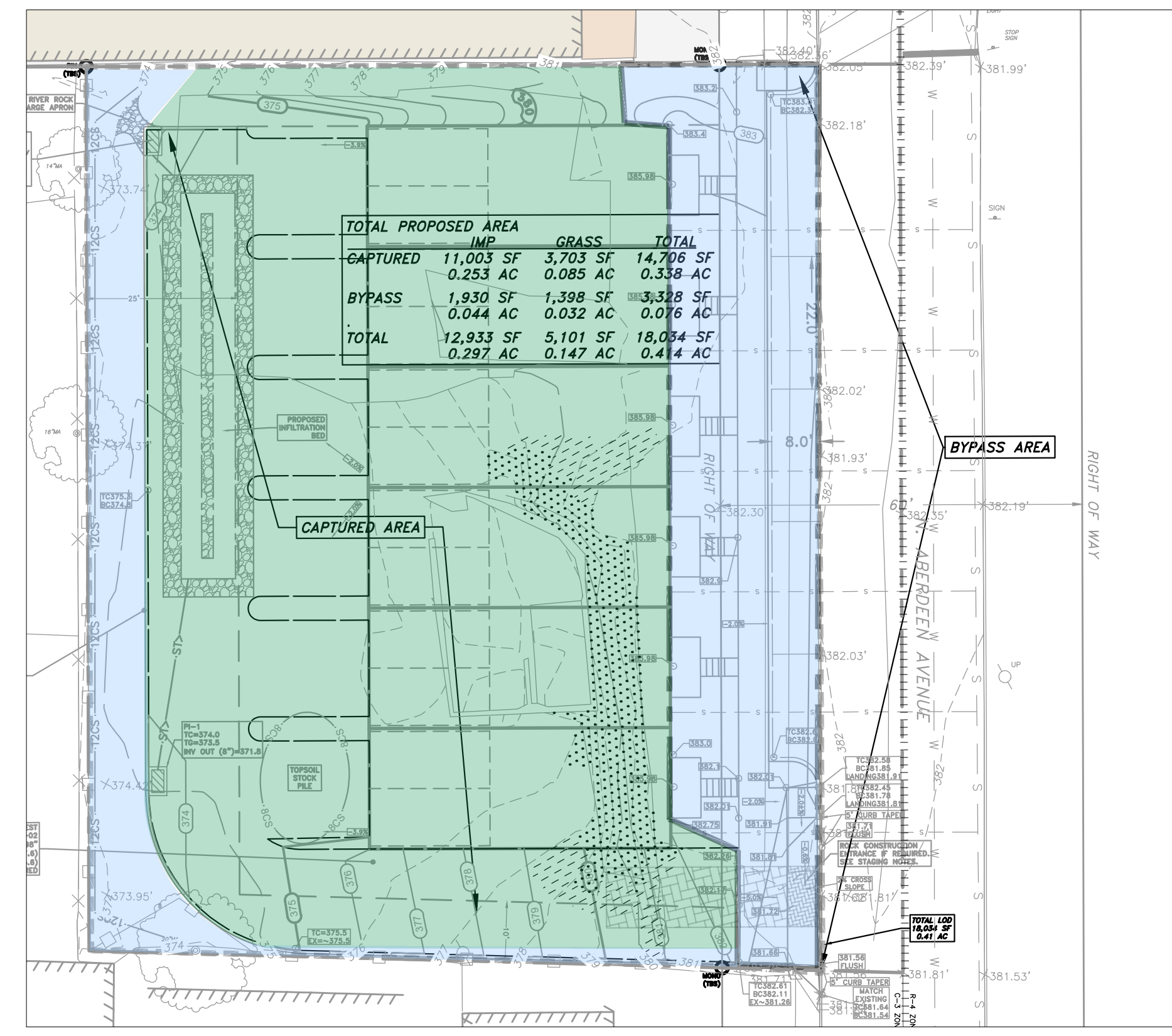
LATERAL CONNECTION DETAIL
N.T.S.

NOTES

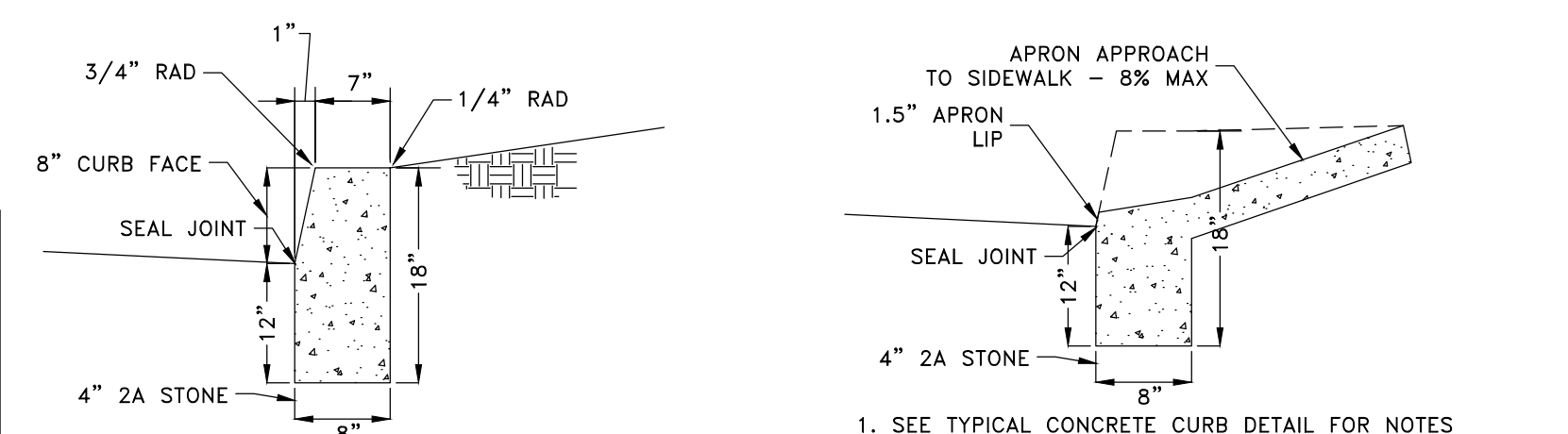
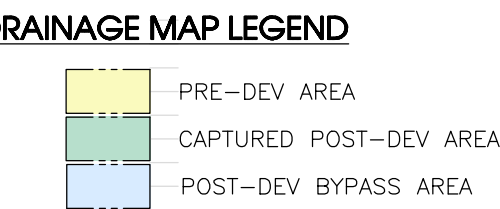
1. TRAP AND RISER MUST BE CAST IRON.
2. NO REDUCTION IN SIZE FROM HOUSE TO SEWER.
3. NO STORM SEWER OR SURFACE WATER OF ANY NATURE SHALL BE PERMITTED TO ENTER THE SANITARY SYSTEM.
4. CONCRETE ENCASMENT MAY BE REQUIRED AT THE DISCRETION OF THE TOWNSHIP ENGINEER.



PRE-DEV DRAINAGE MAP



POST-DEV DRAINAGE MAP

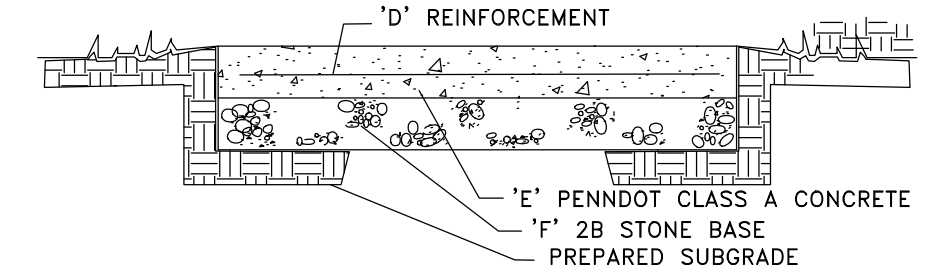


- TYPICAL CONCRETE CURB**
1. CURB TO BE PLACED IN 10' SECTIONS WITH 1" EXPANSION JOINT.
 3. USE 10% FLARE ALONG WALKING SURFACE TO TRANSITION TO FLUSH CURB. USE 24"-LONG FLARE ALONG NON-WALKING SURFACE.
 2. SEE CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.

- CONCRETE NOTES**
FOR CURBS, WALKS AND PIPE ANCHORS. SEE BUILDING PLANS FOR STRUCTURAL CONCRETE SPECIFICATIONS.
1. CLASS "A" CONCRETE
 2. MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4800 PSI
 3. CONTAIN 5-8% AIR-ENTRAIMENT BY VOLUME
 4. MAXIMUM W/C RATIO OF 0.45
 5. CURING COMPOUND PLACED AFTER FINISHING

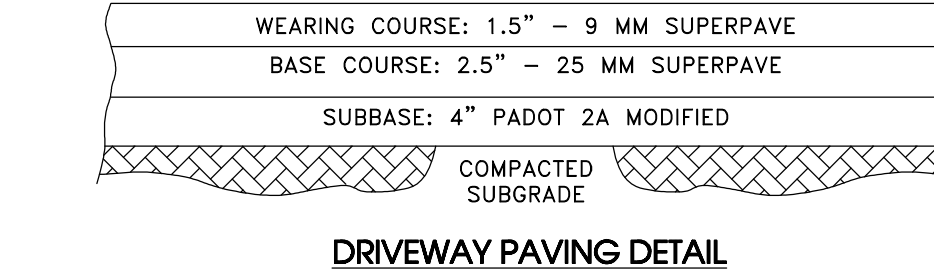
- TYPICAL DRIVEWAY DEPRESSION IN CONCRETE CURB**
1. CURB TO BE PLACED IN 10' SECTIONS WITH 1" EXPANSION JOINT.
 3. USE 10% FLARE ALONG WALKING SURFACE TO TRANSITION TO FLUSH CURB. USE 24"-LONG FLARE ALONG NON-WALKING SURFACE.
 2. SEE CONCRETE NOTES FOR ADDITIONAL REQUIREMENTS.
- DOUBLE-REVEAL CONCRETE CURB**

CONCRETE THICKNESS			
	'D' REINFORCEMENT	'E' CONCRETE THICKNESS (IN)	'F' STONE BASE THICKNESS (IN)
SIDEWALK ROW	6 x 6/1.4-1.4 W.W.F.	4.0	4.0
WALKWAY	6 x 6/1.4-1.4 W.W.F.	4.0	4.0
DRIVEWAY APRON	#4'S @ 10" O.C.E.W. AT CENTER OF SLAB	7.0	6.0

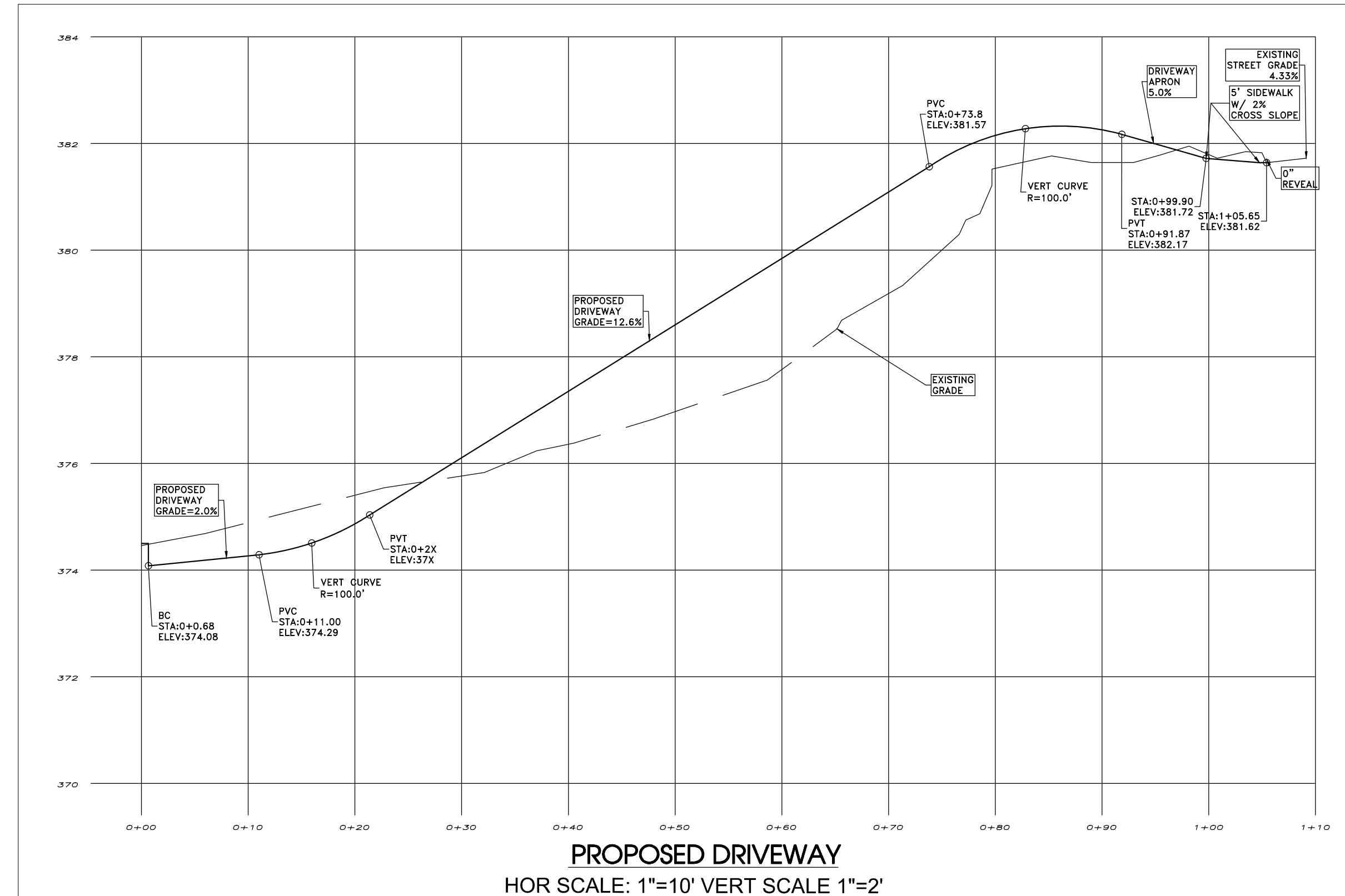


NOTE: CONCRETE SHALL BE CONSTRUCTED IN 20 FOOT SECTIONS WHICH SHALL BE SEPARATED BY 1/4" THICK FELT IMPREGNATED WITH BITUMINOUS MATERIAL. FELT TO BE INSTALLED BETWEEN SECTIONS AND AT ALL STRUCTURES. WALK TO BE SCORED EVERY 4 FEET. CUT REINFORCEMENT BETWEEN SECTIONS.

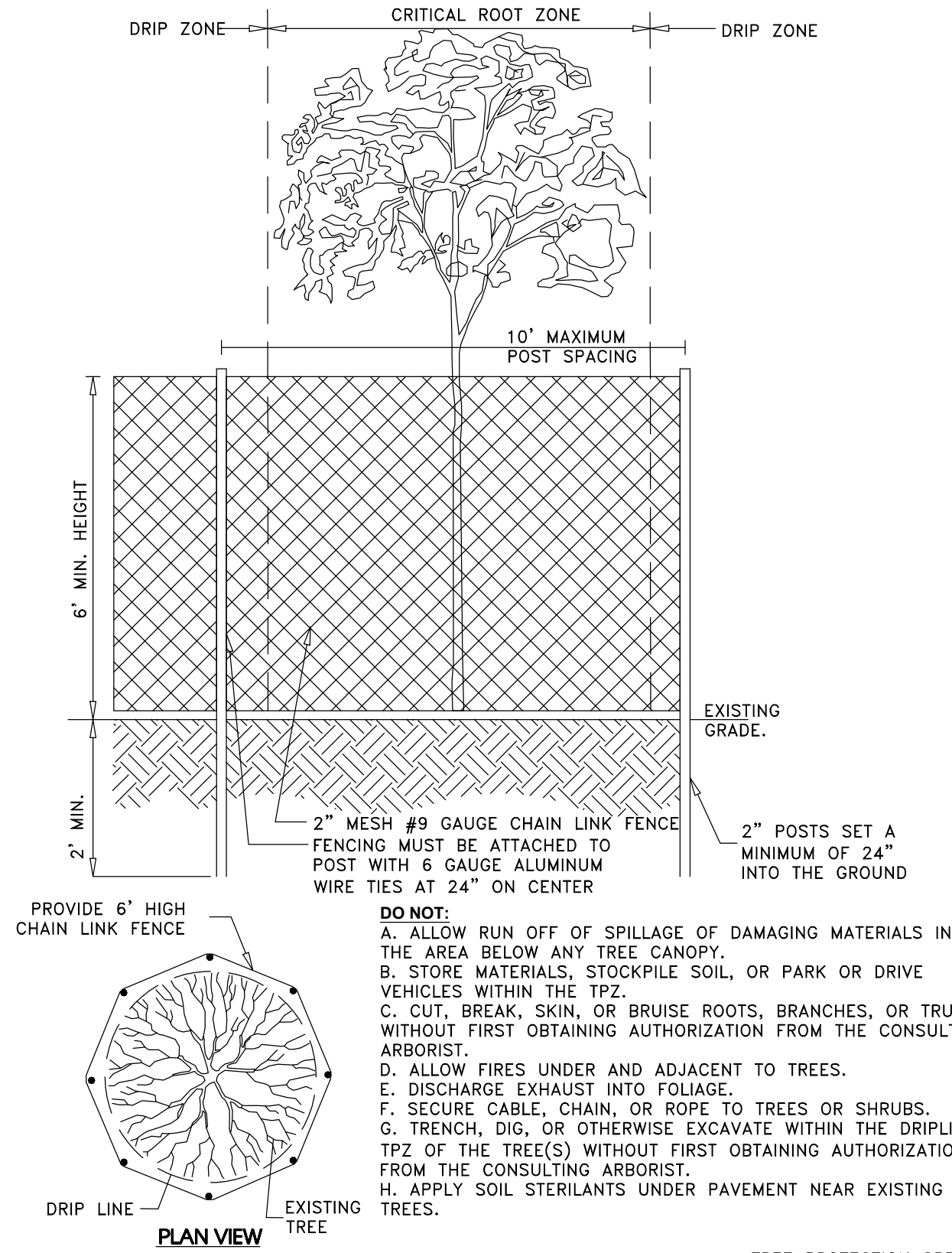
CONCRETE PAVEMENT (DRIVEWAY & WALKWAY)



DRIVEWAY PAVING DETAIL

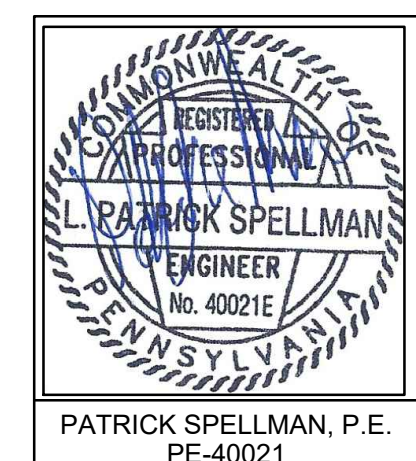


PROPOSED DRIVEWAY
HOR SCALE: 1"=10' VERT SCALE 1"=2'



TREE PROTECTION FENCING

- TREE PROTECTION SPECIFICATIONS**
- A 4" LAYER OF COURSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUCK.
 - A PROTECTIVE BARRIER OF 6' CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIPLINE OF PROTECTED TREE(S). THE FENCING CAN BE MOVED WITHIN THE DRIPLINE IF AUTHORIZED BY THE CONSULTING ARBORIST BUT NOT CLOSER THAN 2' FROM THE TRUNK OF ANY TREE. FENCE POSTS SHALL BE 2.0" IN DIAMETER AND ARE TO BE DRIVEN 2" INTO THE GROUND. THE DISTANCE BETWEEN POSTS SHALL NOT BE MORE THAN 10'. THIS ENCLOSED AREA IS THE TREE PROTECTION ZONE (TPZ).
 - MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO CEMENT BLOCKS CAN BE SUBSTITUTED FOR "FIXED" FENCING IF THE CONSULTING ARBORIST AGREES THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF CONSTRUCTION. THE BUILDER MAY NOT MOVE THE FENCE WITHOUT AUTHORIZATION FROM THE CONSULTING ARBORIST.
 - WHERE THE CONSULTING ARBORIST HAS DETERMINED THAT TREE PROTECTION WILL INTERFERE WITH THE SAFETY OF WORK CREWS, TREE WRAP MAY BE USED AS AN ALTERNATIVE FORM OF TREE PROTECTION. WOODEN SLATS AT LEAST ONE INCH THICK ARE TO BE BOUND SECURELY, EDGE TO EDGE, AROUND THE TRUNK. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE OUTSIDE OF THE WOODEN SLATS. MAJOR SCAFFOLD LIMBS MAY REQUIRE PROTECTION AS DETERMINED BY THE CONSULTING ARBORIST. STRAW WADDLE MAY BE USED AS A TRUNK WRAP BY COLLING THE WADDLE AROUND THE TRUNK UP TO A MINIMUM HEIGHT OF SIX FEET FROM GRADE. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE STRAW WADDLE.



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PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
P.O. BOX 1992
SOUTHEASTERN, PA 19399

PLAN PREPARED FOR:
210 N ABERDEEN ASSOCIATES, LLC
208 NORTH ABERDEEN AVENUE
WAYNE, PA 19087

PLAN PREPARED BY:
DELTA ENGINEERS, LLC
210 N ABERDEEN ASSOCIATES, LLC
208 NORTH ABERDEEN AVENUE
WAYNE, PA 19087

REVISIONS:

NUM.	DATE	REVISION
------	------	----------

SCALE: 1" = 10'

72 Hour Notice Required

RADNOR TOWNSHIP SEWER CONNECTION REGULATIONS
PLEASE CALL 610-688-5600 TO SCHEDULE AN INSPECTION

- Inspectors:**
- Ray Daly - Code Inspector (from house to and including trap) - Ext 144
 - Bill Miller - Code Inspector (from house to and including trap) - Ext 145
 - Mark Domenick - Sewer Department Supervisor (from trap to main) - Ext 195
 - Paul Bazik - Highway Department Supervisor (roadway inspections) - Ext 181

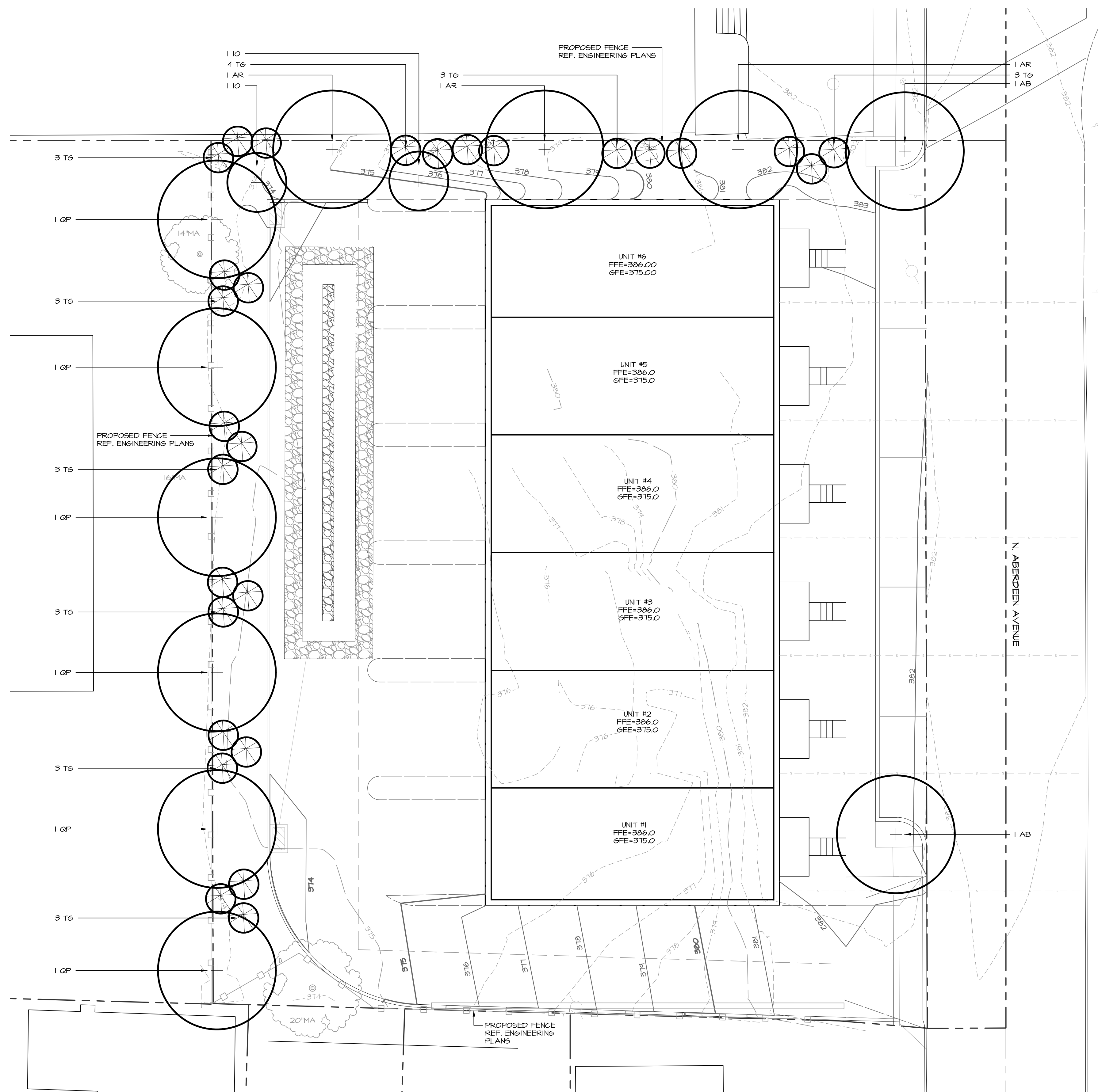
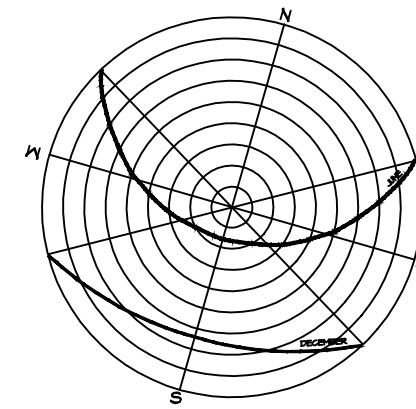
- Laterals:**
1. All plastic pipe must be laid in six (6) inches of 2B stone.
 2. A test shall be performed and inspected by the Code Official.
 3. All plastic pipe must be covered with six (6) inches of 2B stone.
 4. All sanitary sewer laterals must be in a straight line from trap to main.

- Traps:**
1. All traps must be cast iron.
 2. All traps must be installed within five (5) feet of the road edge or main.
 3. The four (4) inch trap riser vent must be cast iron, with mushroom cap installed six (6) inches above grade.

- Backfill & Restoration of Yard:**
1. All plastic pipe must be covered with six (6) inches of 2B stone.
 2. After a section of sewer is built, the trench shall be backfilled with acceptable material in layers not more than one (1) foot in depth. Each layer shall be thoroughly compacted to the required elevation. All backfilling shall be done under the supervision of a Township Inspector.
 3. The trench must be backfilled and graded to the height which previously existed unless the Township Inspector directs otherwise.
 4. No large stones, rocks, or organic materials will be permitted in the backfill.

- Backfilling & Final Restoration with the Paved Roadway:**
1. A road opening permit is req 11red before any excavation is begun on Township Roadways. This can be obtained from the Engineering Department.
 2. All backfilling shall be done under the supervision of a Highway Department Supervisor.
 3. When backfilling, 2RC shall be used and tamped in one (1) foot lifts until seven (7) inches below grade. The trench is then to be filled with five (5) inches of BCBC (black base) compacted property, followed by two (2) inches of ID 2 top rolled to the height of the existing wearing course. The seams are then to be sealed with AC 20 or equivalent to completed final restoration;

FAILURE TO NOTIFY THE ABOVE INSPECTORS WILL RESULT IN COMPLETE OPENING OF THE TRENCH



COMPLIANCE CHART

TREE REPLACEMENT FORMULA

6 TO 18-INCH DBH REMOVED	=	1 REPLACEMENT TREE
19 TO 24-INCH DBH REMOVED	=	3 REPLACEMENT TREES, TWO BEING LARGE CANOPY TREES
TREES TO BE REMOVED	=	13 AT (6-18" CAL.)
	=	3 AT (19-24" CAL.)

TREES REQUIRED TO BE REPLACED = 13 + 9 = 22 TREES AT 2 1/2" CALIFER.

REPLACEMENT TREES PROVIDED = 22 AT 2 1/2" CALIFER AND MIN. 6' HT.

BUFFER SCREENS - CHAPTER 255-42

CLASS A -

- 1 CANOPY TREE (2 1/2" CAL.) PER 40 FEET (INFORMALLY ARRANGED)
- 1 EVERGREEN TREE (MIN. 6' HT.) PER 30 FEET (INFORMALLY ARRANGED)

NORTH PROPERTY LINE - 195 L.F. **REQUIRED:** 195 DIVIDED BY 40 = 5 CANOPY TREES AND 195 DIVIDED BY 30 = 6 EVERGREEN TREES

PROVIDED: 3 CANOPY TREES AND 5 EVERGREEN TREES

WEST PROPERTY LINE - 146.72 L.F. **REQUIRED:** 147 DIVIDED BY 40 = 4 CANOPY TREES

147 DIVIDED BY 30 = 5 EVERGREEN TREES

PROVIDED: 4 CANOPY TREES AND 5 EVERGREEN TREES

NOTE: NEW 6 FT. HIGH PRIVACY FENCE TO BE INSTALLED ALONG NORTH, WEST AND SOUTH PROPERTY LINES.



STREET TREES - NO CLOSER THAN 30 FEET APART, 2 1/2" CAL., TREES SELECTED FROM APPENDIX A.

PROVIDED: 2 STREET TREES AT 2 1/2" CAL.

GENERAL NOTES:

1. THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY.
2. THE SEAL OF THE LANDSCAPE ARCHITECT IS FOR LANDSCAPING PURPOSES ONLY.
3. THE CONTRACTOR IS RESPONSIBLE FOR FOLLOWING THE LANDSCAPE PLAN, SPECIFICATIONS AND DETAILS AS SHOWN ON SHEETS L-1 AND L-2.
4. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
5. IN AREAS WHERE TREE PROTECTION FENCING IS REQUIRED, THE FENCING MAY BE TEMPORARILY RE-LOCATED TO ALLOW FOR PLANTINGS TO BE INSTALLED (AS NECESSARY) AND THEN THE FENCING RE-INSTALLED TO THE LIMITS OF THE DRIP LINES OF THE EXISTING TREES AS SHOWN ON THE PLANS.
6. ALL PROPOSED TREES TO BE OFF-SET A MINIMUM OF 15 FEET FROM OVERHEAD UTILITY LINES, POLES, SIGNS AND FIRE HYDRANTS, 10 FEET FROM UNDERGROUND UTILITY LINES AND 5 FEET FROM SIDEWALKS AND DRIVEWAYS. REF. ENGINEER'S PLANS FOR LOCATIONS OF ALL UTILITIES.
7. TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF PROPOSED DRAINAGE SHOULDS, SIDEWALKS, LIGHTS AND UTILITIES. SEE ENGINEER'S PLANS FOR LOCATION OF ALL UTILITIES. PROPOSED GRADING AND INLETS ARE SHOWN ON THE LANDSCAPE PLAN.
8. PROPOSED PLANTINGS MAY REQUIRE FIELD ADJUSTMENT DUE TO EXISTING SITE CONDITIONS, UTILITY LOCATIONS AND CLEAR SITE TRIANGLES.
9. ALL PLANTINGS TO BE PERMANENTLY MAINTAINED.

LEGEND

-  DECIDUOUS TREE
-  EVERGREEN TREE

**208 N. ABERDEEN AVENUE
PRELIMINARY LANDSCAPE PLAN**

208 N. ABERDEEN AVE.
WAYNE, PA. 19087

SCALE: 1" = 10'-0"

L-1 OF 2

AUGUST 28, 2020

DECEMBER 4, 2020



ANNE F. WALTERS COMPANY LANDSCAPE ARCHITECTS

224 East Biddle St. | West Chester, Pennsylvania 19380.2750 | T 610.429.4533 | annefw@annefw.com
Members of the American Society of Landscape Architects

SHEET 5 OF 6

NOTE:
THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY AND WAS PREPARED BASED UPON SURVEY PREPARED BY JEFFREY P. TURNER, PLS DATED MAY 8, 2020. THIS PLAN IS NOT TO BE USED FOR TREE REMOVAL PROPERTY LINES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.

PLANT LIST

QUANTITY	SYMBOL	BOTANICAL NAME	COMMON NAME	CALIFER	HEIGHT	SPREAD	COMMENTS
STREET TREES							
2	AB	ACER BUERGERIANUM	TRIDENT MAPLE	2 1/2"	10-12'	3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
REPLACEMENT TREES							
CANOPY TREES AND EVERGREEN TREES							
2	QP	QUERCUS PHELLOS	WILLOW OAK	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
2	IO	ILEX OPACA	AMERICAN HOLLY	2 1/2"	10-12'	3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
1B	TG	THUJA O. 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6"	6'	2-3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
BUFFER SCREEN							
3	AR	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
4	QP	QUERCUS PHELLOS	WILLOW OAK	2 1/2"	10-12'	3-4'	SINGLE, STRAIGHT TRUNK, FULL, B4B.
10	TG	THUJA O. 'GREEN GIANT'	GREEN GIANT ARBORVITAE	6"	6'	2-3'	SINGLE, STRAIGHT TRUNK, FULL, B4B.

PLANTING SPECIFICATIONS

- THE CONTRACTOR SHALL FURNISH AND INSTALL ALL PLANT MATERIAL AND IMPROVEMENTS AS SHOWN ON THE DRAWINGS AND SPECIFIED IN THE PLANT LIST UNLESS OTHERWISE NOTED AND SPECIFICALLY EXCLUDED IN THE CONTRACTOR'S BID. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR LOCATING PROPERTY LINES, BUILDING SETBACKS AND EASEMENTS WHICH MIGHT EFFECT THE INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS.
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER OR THE OWNER'S REPRESENTATIVE PRIOR TO ANY EXCAVATION OR INSTALLATION. THE CONTRACTOR MUST ALSO NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION OF PLANT MATERIAL OR IMPROVEMENTS. PLANT LOCATIONS SHOWN ON THE PLANS ARE APPROXIMATE. FINAL LOCATIONS ARE SUBJECT TO REVIEW BY THE LANDSCAPE ARCHITECT IN THE FIELD AND STAKED LOCATIONS OF ALL PLANT MATERIAL AND IMPROVEMENTS MUST BE APPROVED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL MAINTAIN THE SITE IN CLEAN AND NEAT APPEARANCE AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL DEBRIS FROM THE SITE EACH DAY.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN AND IN ACCORDANCE WITH THE LATEST STANDARDS AS SET FORTH IN THE MOST RECENT EDITION OF THE STANDARDS FOR NURSERY STOCK OF THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANTS SHALL HAVE A NORMAL GROWTH HABIT AND BE TYPICAL OF THEIR SPECIES OR VARIETY. THEY SHALL BE HEALTHY, VIGOROUS, WELL-BRANCHED, DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE DISEASE-FREE, FREE OF INSECTS, PESTS, EGGS AND/OR LARVAE. THEY SHALL HAVE HEALTHY, WELL-DEVELOPED ROOT SYSTEMS. TREES AND SHRUBS SHALL BE FRESHLY DUG AND NURSERY GROWN. ALL PLANT MATERIAL SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS TO THOSE IN THE LOCALITY OF THE PROJECT.
- SUBSTITUTIONS OF SPECIFIED MATERIALS WILL ONLY BE ALLOWED AT THE SOLE DISCRETION OF THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR SHALL TAKE SPECIAL CARE TO PROTECT TREES AND SHRUBS IN TRANSIT TO THE SITE AND PRIOR TO INSTALLATION. TREES AND SHRUBS SHALL BE PROTECTED FROM DRYING WINDS AND SUN. PLANTS WITH BROKEN ROOT BALLS OR WITH DAMAGE TO THE GROWN OR BROKEN BRANCHES AFFECTING THE FORM OF THE PLANT WILL BE REJECTED.
- TREES SHALL BE PRUNED IN ACCORDANCE WITH THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. ALL DEAD WOOD OR SUCKERS AND ALL BROKEN BRANCHES SHALL BE REMOVED WITH A CLEAN CUT.
- BACKFILL MATERIAL FOR BACKFILLING AROUND TREE BALLS SHALL BE A MIX OF 1/3 EARTHLIFE AND 2/3 TOPSOIL. BACKFILL MATERIAL SHALL HAVE AT LEAST 15% ORGANIC MATTER. ADD FERTILIZER 20-10-5 OR AGRIFORM TABLETS AT RATES AS SPECIFIED BY THE MANUFACTURER.
- ALL TREES AND SHRUBS SHALL BE PLACED IN CONTINUOUS BEDS OF SHREDDED HARDWOOD BARK 3" IN DEPTH.
- STAKES: ALL PLANT MATERIAL MUST BE STAKED IN ACCORDANCE WITH THE DETAILS PROVIDED. REMOVE GUY WIRES AND STAKES AFTER TWO YEARS.
- GUARANTEE: ALL PLANT MATERIAL SHALL BE GUARANTEED FOR THE PERIOD OF 18 MONTHS. ALL PLANT MATERIAL MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY PLANTS NOT IN EXCELLENT CONDITION WILL BE REMOVED AND REPLACED WITH A PLANT OF EQUAL SIZE, SHAPE AND SPECIES TO THE ORIGINAL.
- THE OWNER OR THE OWNER'S REPRESENTATIVE AND THE LANDSCAPE ARCHITECT MUST BE NOTIFIED BY THE CONTRACTOR IN WRITING THAT THE WORK HAS BEEN COMPLETED AND REQUESTING THE PREPARATION OF A PUNCH LIST AT LEAST FIVE (5) DAYS PRIOR TO THE DATE ON WHICH THE CONTRACTOR WISHES TO SCHEDULE AN INSPECTION. AFTER THE INSPECTION IS COMPLETED, THE CONTRACTOR WILL BE NOTIFIED IN WRITING OF ALL ITEMS OF WORK WHICH REMAIN INCOMPLETE OR REQUIRE ADJUSTMENT. FINAL PAYMENT FOR THE WORK WILL BE MADE AND THE 18 MONTHS GUARANTEE PERIOD WILL COMMENCE WHEN ALL ITEMS OF WORK ARE COMPLETE PER THE DRAWINGS AND SPECIFICATIONS AND ACCEPTED BY THE OWNER AND THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INSTALLATION PRIOR TO THE COMMENCEMENT OF THE 18 MONTHS GUARANTEE PERIOD. THE CONTRACTOR MUST MAINTAIN ALL PLANT MATERIAL BY WATERING, FERTILIZING, DISEASE CONTROL, PRUNING, WEEDING, AND ANY OTHER MEANS WHICH THE CONTRACTOR DEEMS NECESSARY INCLUDING REPLACING REPLACEMENT OF DEAD, STOLEN PLANT MATERIAL AS NECESSARY IN ORDER TO MAINTAIN THE PLANT MATERIAL IN A CONDITION AS SPECIFIED AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS AND SPECIFICATIONS.
- PRIOR TO TURNING THE MAINTENANCE OVER TO THE OWNER, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF ALL MATERIALS INSTALLED BY THE CONTRACTOR. DURING THE 18 MONTHS GUARANTEE PERIOD, THE CONTRACTOR SHALL NOTIFY THE OWNER OR THE OWNER'S REPRESENTATIVE IN WRITING OF ANY MAINTENANCE PRACTICES BEING FOLLOWED OR OMITTED WHICH COULD BE CONSIDERED DETRIMENTAL TO THE HEALTH OF THE PLANT MATERIAL OR HARMFUL TO THE IMPROVEMENTS.
- AT THE END OF THE 18 MONTHS GUARANTEE PERIOD, THE CONTRACTOR WILL BE NOTIFIED IN WRITING BY THE OWNER OR THE OWNER'S REPRESENTATIVE OF ALL ITEMS OF WORK WHICH REQUIRE REPLACEMENT OR ADJUSTMENT. THE FINAL ACCEPTANCE OF THE WORK WILL BE GIVEN WHEN ALL ITEMS OF WORK ARE COMPLETE AND ACCEPTED BY THE OWNER AND LANDSCAPE ARCHITECT.

SEEDING SPECIFICATIONS

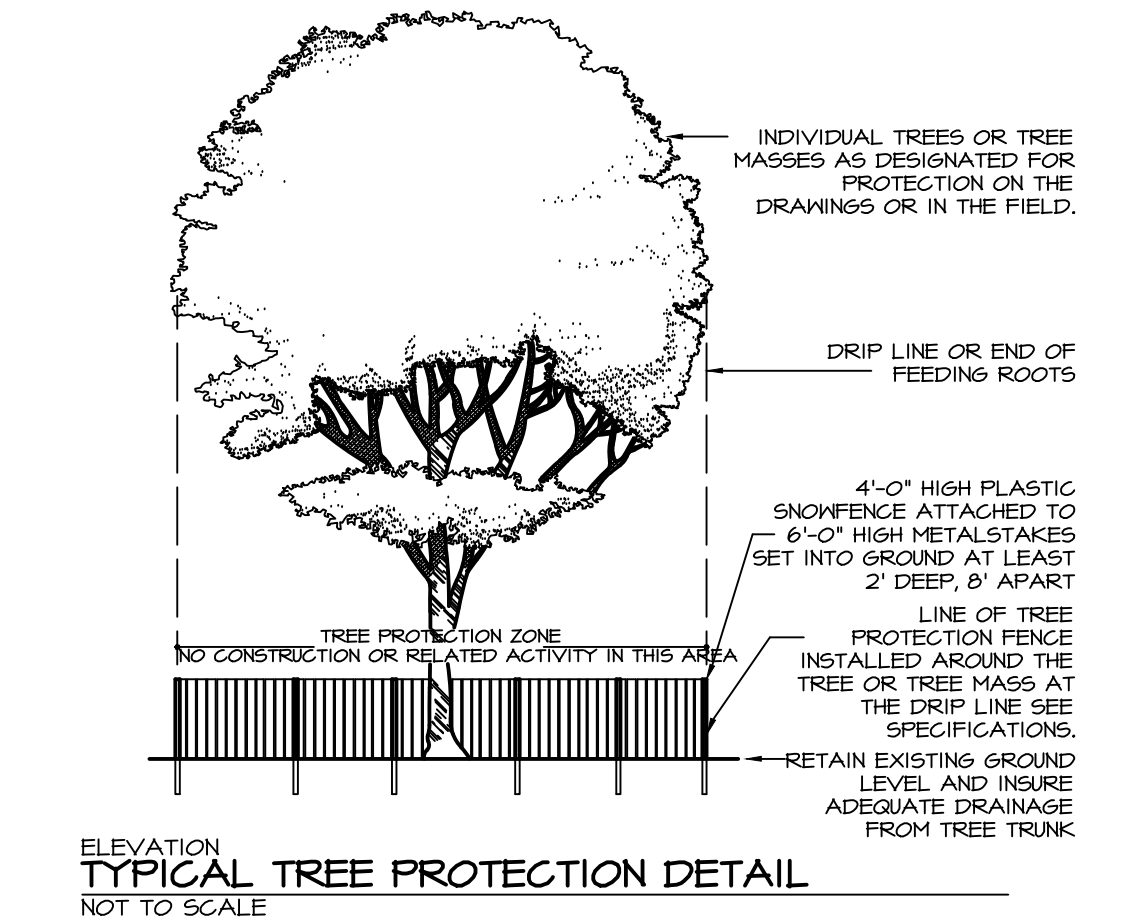
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY FOR THE COMPLETION OF WORK AS SPECIFIED AND AS SHOWN ON THE DRAWINGS. THE WORK INCLUDES FINISH GRADING AND RAKING OF ALL AREAS TO BE SEEDING.
- SEEDING SHALL BE ACCOMPLISHED AS WEATHER PERMITS AND/OR AS APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MULCH TO PROTECT THE NEWLY SEEDING AREAS FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS PRIOR TO GERMINATION.
- THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING AGAINST AND REPAIRING SOIL EROSION DUE TO EXISTING AND PROPOSED DRAINAGE PATTERNS. IN AREAS SUSCEPTIBLE TO HIGH WATER RUN-OFF, SUCH AS SWALES, BASINS OR SLOPES GREATER THAN 2:1, THE CONTRACTOR WILL PROTECT THOSE AREAS FROM EROSION WITH THE USE OF REINFORCING FABRIC, NET OR THE INSTALLATION OF SOD.
- THE CONTRACTOR SHALL FINE GRADE AND RAKE ALL LAWN AREAS AND AREAS TO BE PLANTED, REMOVING ALL DEBRIS AND STONES LARGER THAN 1". FINE GRADING AND RAKING SHALL INCLUDE THE BREAKING UP OF EARTHEN CLODS TO NO GREATER THAN ONE HALF (1/2) INCH IN DIAMETER TO A DEPTH OF SIX (6) INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL TEST FROM THE LOCAL COUNTY EXTENSION SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR AMENDING THE SOIL AS NECESSARY BASED UPON THE TEST RESULTS. THE CONTRACTOR WILL PRESENT THE TEST RESULTS TO THE OWNER OR THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE APPLICATION OF FERTILIZERS OR OTHER TREATMENTS. IN LIEU OF TESTING, THE CONTRACTOR MAY PREPARE THE SOIL FOR PLANTING BY SCARIFYING THE TOPSOIL TO A DEPTH OF FOUR (4) INCHES AND INCORPORATING EVENLY THROUGHOUT THE ENTIRE DEPTH OF THE TOPSOIL LIME AND BASIC FERTILIZER IN UNIFORM DISTRIBUTION AT THE FOLLOWING RATES:
40 LBS. LIME (PER 1000 SQ. FT.)
25 LBS. FERTILIZER (0-20-10) (PER 1000 SQ. FT.)
- THE CONTRACTOR WILL PROVIDE SEED WITH A MINIMUM PURITY OF 40% AND A MINIMUM GERMINATION OF 85%. PER 1000 SF PROVIDING A MIXTURE WITH THE MINIMUM PROPORTIONS BY WEIGHT AS FOLLOWS:
THE CONTRACTOR WILL SEED ALL GRASSED AREAS EVENLY IN UNIFORM DISTRIBUTION AT A RATE OF 5 POUNDS
SR32000 OR SR2100 FINE BLADE IMPROVED BLUEGRASS @ 25%;
CHEWINGS FESCUE @ 25%;
CHAMPION FINE BLADE PERENNIAL RYE GRASS @ 50%.
- IF THE SEED MIXTURE DOES NOT GERMINATE AT THE MINIMUM RATE DESIGNATED WITHIN 10 DAYS FROM INSTALLATION, THE CONTRACTOR WILL OVER-SEED ALL AREAS AS NECESSARY TO OBTAIN THE SPECIFIED COVERAGE.
- THE CONTRACTOR IS RESPONSIBLE FOR WATERING THE NEWLY SEEDING LAWN AREAS DAILY, KEEPING IT MOIST DURING SEED GERMINATION AND UNTIL THE GRASS COVERS AT LEAST 75% OF THE SEEDING AREAS TO A HEIGHT OF 2-3" THEREAFTER, THE CONTRACTOR WILL BE RESPONSIBLE FOR WATERING THE SEEDING AREAS IN THE ABSENCE OF RAIN EVERY 5-7 DAYS UNTIL THE OWNER ACCEPTS RESPONSIBILITY FOR THE MAINTENANCE. THE CONTRACTOR IS RESPONSIBLE FOR MOWING AT REGULAR INTERVALS TO MAINTAIN A HEIGHT NOT TO EXCEED 3 INCHES.
- GUARANTEE: ALL LAWN AREAS SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE LAWN MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE LAWN NOT IN EXCELLENT CONDITION WILL BE OVER-SEEDING BY THE CONTRACTOR WITH THE SPECIFIED SEED MIX.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE INSTALLATION PRIOR TO THE COMMENCEMENT OF THE 18 MONTHS GUARANTEE PERIOD. THE CONTRACTOR MUST MAINTAIN THE SEEDING AREA BY WATERING, MOWING, CULTIVATION, WEEDING, DISEASE AND PEST CONTROL, FILLING AND RESEEDING OR SODDING OF SETTLEMENT AREAS AND WASH-OUTS, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICE NECESSARY TO INSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL LAWN AREAS UNDER THE CONTRACT.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF THE LAWN INSTALLED BY THE CONTRACTOR.

SOD SPECIFICATIONS

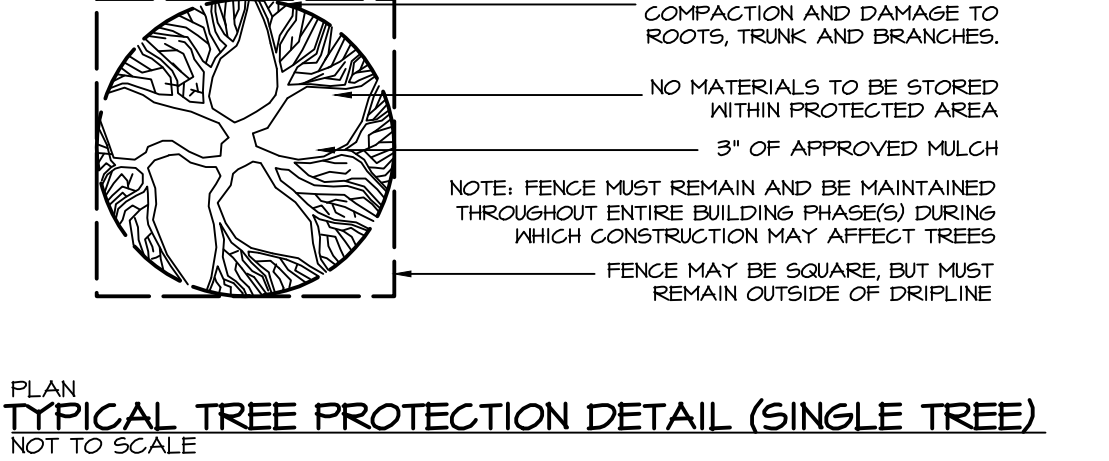
- THE CONTRACTOR SHALL SUPPLY ALL MATERIALS, TOOLS, EQUIPMENT AND LABOR NECESSARY FOR THE COMPLETION OF WORK AS SPECIFIED AND AS SHOWN ON THE DRAWINGS. THE WORK INCLUDES FINISH GRADING AND RAKING OF ALL AREAS WHERE SOD IS TO BE INSTALLED.
- THE INSTALLATION OF SOD SHALL BE ACCOMPLISHED AS WEATHER PERMITS AND/OR AS APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING SUITABLE MEASURES TO PROTECT THE NEW SOD FROM THE EFFECTS OF DRYING, FROST OR OTHER ADVERSE WEATHER CONDITIONS.
- THE CONTRACTOR SHALL FINE GRADE AND RAKE ALL AREAS, REMOVING ALL DEBRIS AND STONES LARGER THAN 1". FINE GRADING AND RAKING SHALL INCLUDE THE BREAKING UP OF EARTHEN CLODS TO NO GREATER THAN ONE HALF (1/2) INCH IN DIAMETER TO A DEPTH OF SIX (6) INCHES. THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING FROM THE SITE ALL DEBRIS AND STONES. AT THE SOLE DISCRETION OF THE OWNER, THE CONTRACTOR MAY DISPOSE OF STONE AND NATURAL DEBRIS ON SITE.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL TEST FROM THE LOCAL COUNTY EXTENSION SERVICE. THE CONTRACTOR WILL BE RESPONSIBLE FOR AMENDING THE SOIL AS NECESSARY BASED UPON THE TEST RESULTS. THE CONTRACTOR WILL PRESENT THE TEST RESULTS TO THE OWNER OR THE OWNER'S REPRESENTATIVE FOR REVIEW AND APPROVAL PRIOR TO THE APPLICATION OF FERTILIZERS OR OTHER TREATMENTS. IN LIEU OF TESTING, THE CONTRACTOR MAY PREPARE THE SOIL FOR PLANTING BY SCARIFYING THE TOPSOIL TO A DEPTH OF FOUR (4) INCHES AND INCORPORATING EVENLY THROUGHOUT THE ENTIRE DEPTH OF THE TOPSOIL LIME AND BASIC FERTILIZER IN UNIFORM DISTRIBUTION AT THE FOLLOWING RATES:
40 LBS. LIME (PER 1000 SQ. FT.)
25 LBS. STARTER FERTILIZER (20-20-10) (PER 1000 SQ. FT.)
- SOD WHERE INDICATED ON THE DRAWINGS WILL BE COMPOSED OF THE FOLLOWING BLEND:
40% GOLD TAG REBEL JR. TALL FESCUE
10% KENTUCKY BLUEGRASS
- ALL SOD MUST BE DELIVERED AND INSTALLED WITHIN 36 HOURS OF BEING CUT. SOD SHALL BE LAID SMOOTHLY, EDGE TO EDGE, STAGGERING THE JOINTS IN EACH A MINIMUM OF 12". IN AREAS WITH SLOPES GREATER THAN 2:1 THE CONTRACTOR WILL SUPPORT THOSE AREAS OF SOD WITH THE USE OF ANCHORS AT SUFFICIENT INTERVALS TO PREVENT "SLUMPING". PRIOR TO COMPLETING THE INSTALLATION, THE SOD SHALL BE ROLLED TO ELIMINATE UNIFORM AREAS. AFTER COMPLETING THE INSTALLATION OR AT THE END OF EACH DAY'S WORK (IN THE CASE OF LARGER INSTALLATIONS), THE CONTRACTOR SHALL WATER THE SOD TO A DEPTH OF 4".
- THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING SOIL EROSION DUE TO EXISTING AND PROPOSED DRAINAGE PATTERNS.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE NEW SOD BY WATERING IT DAILY, KEEPING IT EVENLY MOIST, UNTIL IT IS ACCEPTED BY THE OWNER AND THE LANDSCAPE ARCHITECT. THE CONTRACTOR IS RESPONSIBLE FOR MOWING AT REGULAR INTERVALS TO MAINTAIN A HEIGHT NOT TO EXCEED 3 INCHES UNTIL THE SOD IS ACCEPTED BY THE OWNER. THE CONTRACTOR MUST ALSO MAINTAIN THE SOD BY CULTIVATION, WEEDING, DISEASE AND PEST CONTROL, FILLING AND REINSTALLING SOD IN ANY AREAS WHICH ARE NOT THRIVING AND HEALTHY, AND ANY OTHER PROCEDURE CONSISTENT WITH GOOD HORTICULTURAL PRACTICE NECESSARY TO INSURE NORMAL, VIGOROUS AND HEALTHY GROWTH OF ALL LAWN AREAS UNDER THE CONTRACT.
- ALL SOD SHALL BE GUARANTEED UNTIL THE PROJECT IS ACCEPTED BY THE OWNER. THE SOD MUST BE IN A VIGOROUS, HEALTHY CONDITION AT THE END OF THE GUARANTEE PERIOD. ANY AREAS OF THE SOD NOT IN EXCELLENT CONDITION WILL BE REPLACED BY THE CONTRACTOR.
- PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REVIEW WITH THE OWNER OR THE OWNER'S REPRESENTATIVE THE PROPER CARE AND MAINTENANCE OF THE LAWN INSTALLED BY THE CONTRACTOR.

PROTECTION OF EXISTING TREES

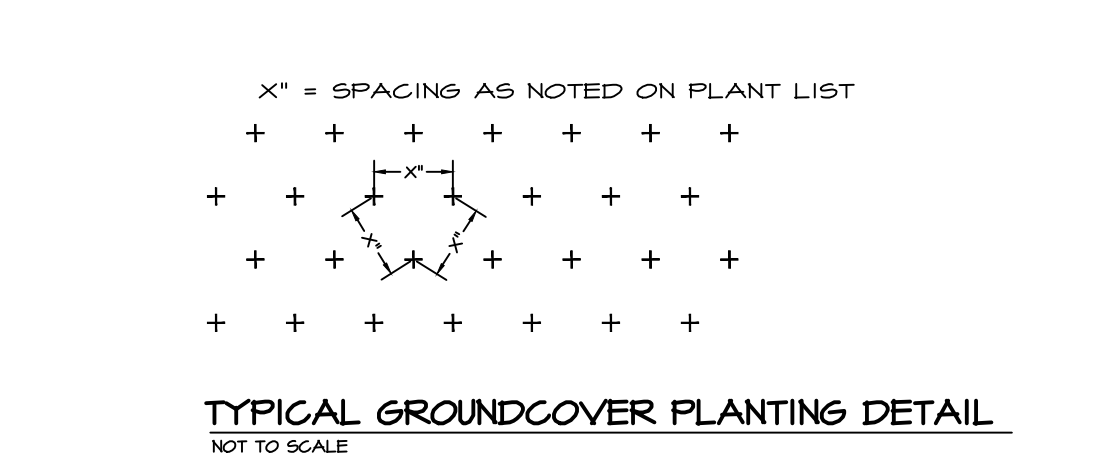
- IT IS THE INTENT OF THE OWNER THAT EVERY EFFORT BE MADE TO MAINTAIN, PROTECT, AND PRESERVE AS MANY OF THE SITES' EXISTING TREES AND VEGETATION AS POSSIBLE.
- TREES WHICH ARE TO REMAIN WILL BE MARKED IN THE FIELD. THE CONTRACTOR WILL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL TREES AND VEGETATION WITH THE LANDSCAPE ARCHITECT PRIOR TO THE START OF SITE CLEARING WORK. ACTUAL TREE LOCATIONS MAY VARY FROM THOSE SHOWN ON THE DRAWINGS.
- THE CONTRACTOR WILL PROVIDE A TEMPORARY ENCLOSURE, WHICH WILL REMAIN IN PLACE THROUGHOUT CONSTRUCTION, TO DESIGNATE AN AREA OF PROTECTION AROUND THE TREES AND VEGETATION DESIGNATED TO REMAIN. THE CONTRACTOR MUST EXERCISE CAUTION DURING CLEARING AND CONSTRUCTION ACTIVITY. THE PREFERRED TYPE OF TEMPORARY ENCLOSURE IS 4'-0" HIGH WOOD FENCE ATTACHED TO 6'-0" HIGH WOOD POST SET INTO THE GROUND. THE MINIMUM AREA OF PROTECTION IS THE AREA WITHIN THE DRIP LINE OF THE TREE. WHENEVER POSSIBLE, THE CONTRACTOR IS ENCOURAGED TO DESIGNATE A PROTECTION AREA WHICH IS TWICE THE DIAMETER OF THE DRIP LINE. FENCE MUST REMAIN AND BE MAINTAINED THROUGHOUT ENTIRE BUILDING PHASE DURING WHICH CONSTRUCTION MAY AFFECT TREES.
- TRENCHING FOR UTILITIES OR OTHER SUBSURFACE CONSTRUCTION WITHIN THE DRIP LINE OF THE TREE WILL NOT BE ALLOWED.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF EXISTING TREES AND OTHER VEGETATION IN THE PROJECT AREA AGAINST UNNECESSARY CUTTING, BREAKING OR SKINNING OF ROOTS AND BARK. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING EXISTING TREES AND VEGETATION FROM SMOTHERING BY STOCKPILING CONSTRUCTION MATERIALS OR EXCAVATED MATERIALS WITH THE DRIP LINE OF THE TREE. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING THE SOIL AROUND THE TREES' ROOT SYSTEMS FROM COMPACTION DUE TO FOOT TRAFFIC, VEHICULAR TRAFFIC OR PARKING.
- THE CONTRACTOR IS RESPONSIBLE FOR WATERING THE TREES AND ANY OTHER EXISTING VEGETATION DESIGNATED TO REMAIN, WITHIN LIMITS OF THE CONTRACT WORK, (AS REQUIRED) TO MAINTAIN THEIR HEALTH DURING THE COURSE OF CONSTRUCTION OPERATIONS.
- THE CONTRACTOR WILL AVOID SOIL COMPACTION OR ALTERING THE GRADES AND DRAINAGE PATTERNS AROUND EXISTING TREES WHEN COMPLETING THE FINISHED GRADING OR INSTALLATION OF GROUND COVER.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TREATMENT OF INJURED TREES, INCLUDING THE TREATMENT OF WOUNDS AND THE PRUNING OF DAMAGE TO TREES DESIGNATED FOR PROTECTION SO THAT A DECISION CAN BE MADE ABOUT THE BEST COURSE OF ACTION TO TREAT THE INJURY. IF DEEMED NECESSARY BY THE OWNER AND THE LANDSCAPE ARCHITECT, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE TREATMENT OF DAMAGE OR INJURIES TO ANY TREE BY A CERTIFIED ARBORIST OR TREE SURGEON.
- AT THE OWNER'S SOLE DISCRETION, THE CONTRACTOR WILL BE RESPONSIBLE FOR REMOVING AND REPLACING DAMAGED TREES OR VEGETATION DESIGNATED FOR PROTECTION WHICH HAVE BEEN DISFIGURED OR WILL DECLINE AND DIE DUE TO THE INJURIES INFLICTED UPON THEM DURING CONSTRUCTION.



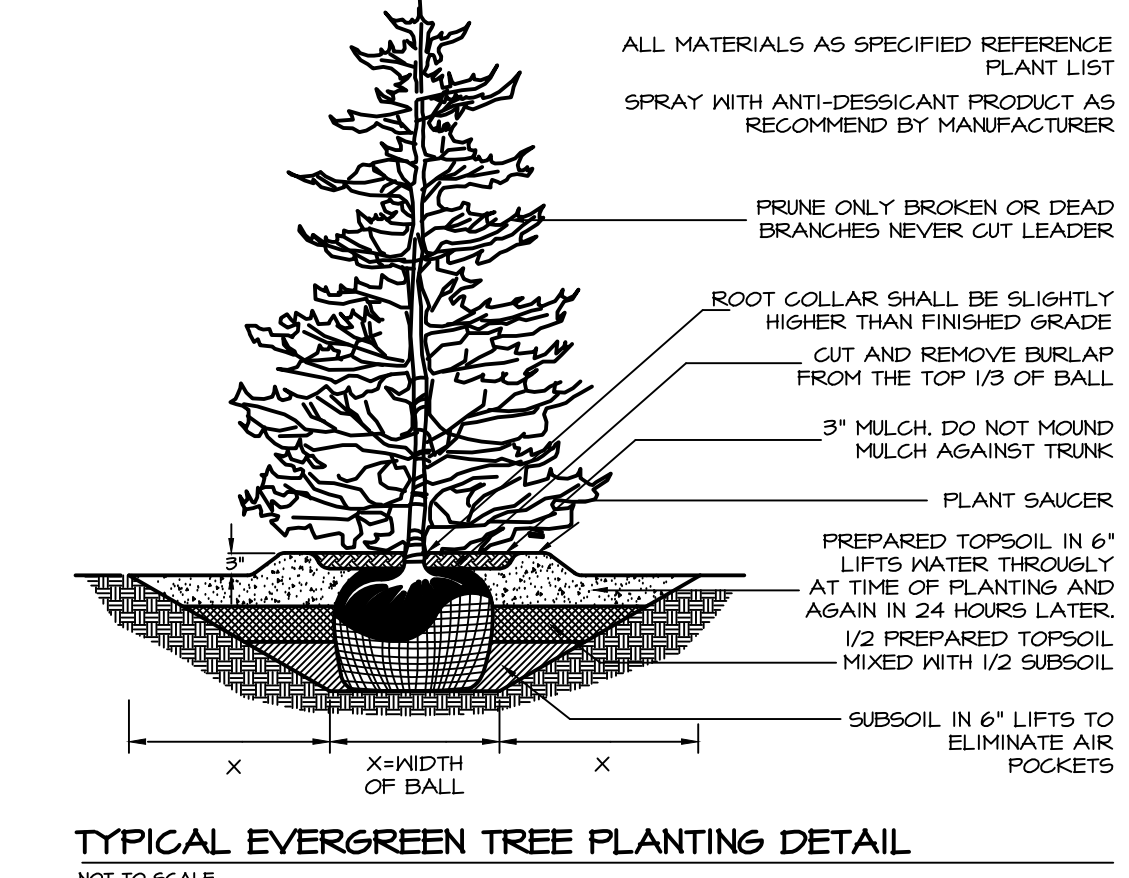
TYPICAL TREE PROTECTION DETAIL
NOT TO SCALE



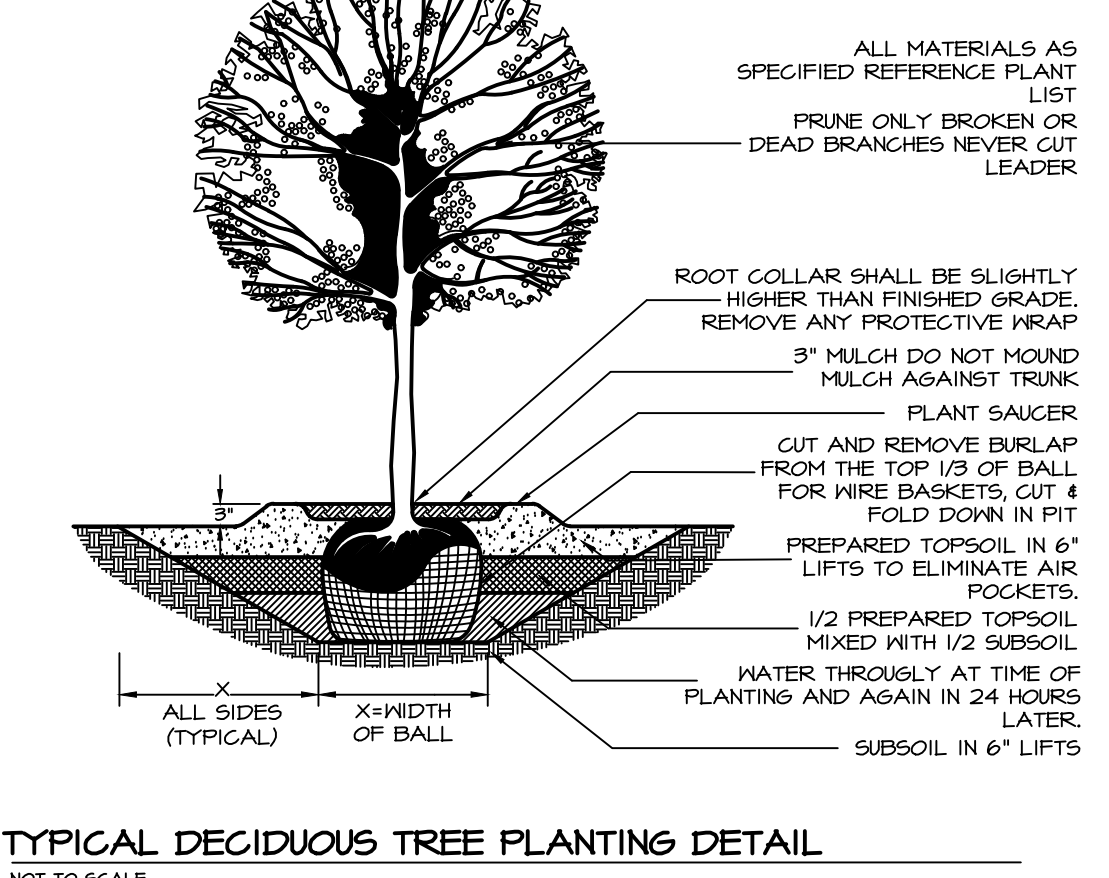
TYPICAL TREE PROTECTION DETAIL (SINGLE TREE)
NOT TO SCALE



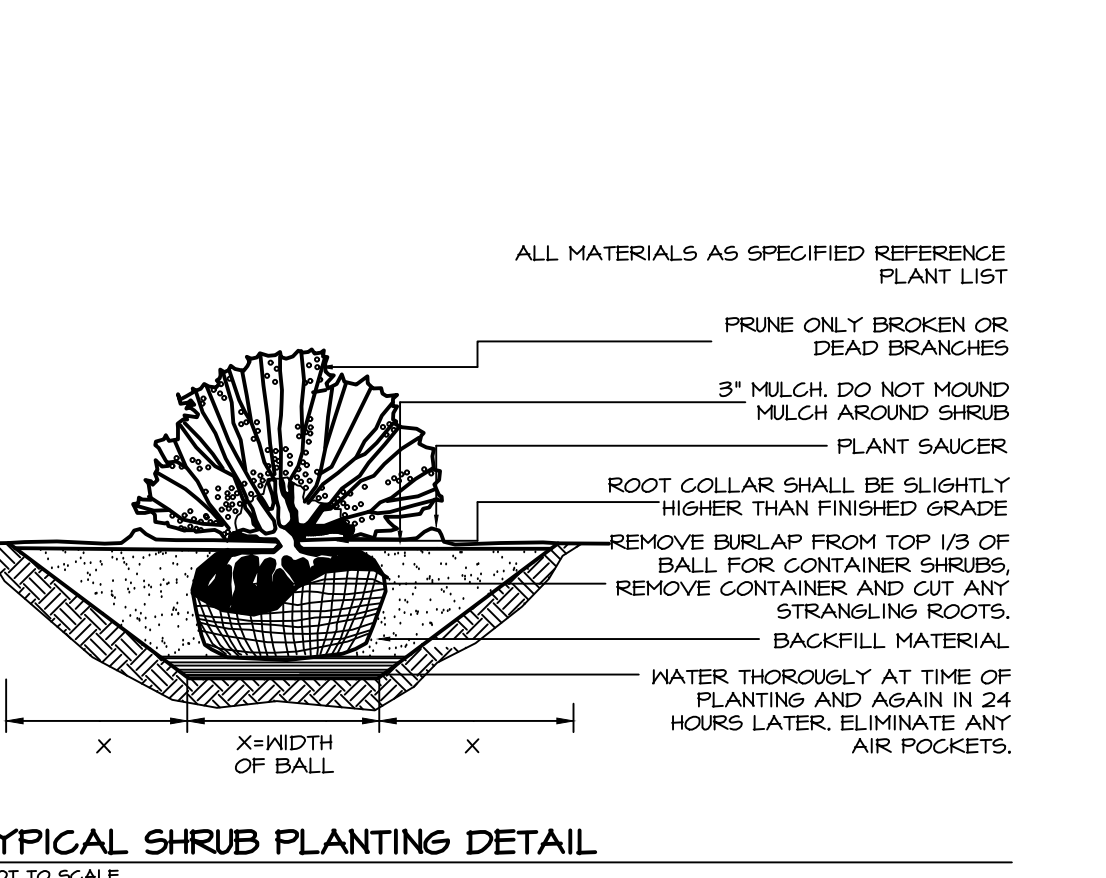
TYPICAL GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



TYPICAL EVERGREEN TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



TYPICAL SHRUB PLANTING DETAIL
NOT TO SCALE

208 N. ABERDEEN AVENUE
DETAILS AND SPECIFICATIONS
 208 N. ABERDEEN AVE.
 WAYNE, PA. 19087
 SCALE: AS SHOWN L-2 OF 2 AUGUST 28, 2020
 DECEMBER 4, 2020

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SHEET 6 OF 6