

Serial Number: 2019-126-2066
CALL BEFORE YOU DIG!
 PENNSYLVANIA LAW REQUIRES
 3 WORKING DAYS NOTICE FOR
 CONSTRUCTION PHASE AND 10 WORKING
 DAYS IN DESIGN STAGE-STOP CALL
 Pennsylvania One Call System, Inc.
 1-800-242-1776

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.
 ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.
 AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.

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- REFERENCE PLANS:**
- BOUNDARY AND TOPOGRAPHIC SURVEY PLAN PREPARED FOR CHRISTY FLYNN BY MOMENE SURVEY GROUP, INC., BRYN MAWR, PA, DATED SEPTEMBER 27, 2005 AND LAST REVISED APRIL 25, 2019. FILE NO. 05-357.
 - FLOODPLAIN ANALYSIS FOR 236 N. ABERDEEN AVENUE, BRYN MAWR, PA., DATED FEBRUARY 6, 2008 AND LAST REVISED AUGUST 8, 2008. FILE NO. 07-374.
 - LIDAR TOPOGRAPHY AND OTHER GIS INFORMATION OBTAINED ELECTRONICALLY FROM SHAPE FILES DISTRIBUTED BY DELAWARE VALLEY REGIONAL PLANNING COMMISSION. FILES WERE OBTAINED VIA WWW.PASDA.PS.EDU.
 - AERIAL PHOTOGRAPHY OBTAINED FROM THE MICROSOFT CORPORATION BING MAPS.
 - SOILS INFORMATION VIA THE NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY (WEBSOILSURVEY.SC.EGOV.USDA.GOV.)

- REFERENCE PLAN #1 NOTES:**
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT PROVIDED BY THE CLIENT.
 - VERTICAL DATUM: RADNOR BENCHMARK RM3 ELEVATION 336.99.

COUNTY OF _____
 ON THIS _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED CHRISTINE AND JAMES FLYNN, WHO ACKNOWLEDGED TO BE THE OWNERS OF THE PROPERTY SHOWN ON THE PLAN, THAT THE PLAN WAS MADE AT THEIR DIRECTION AND THAT IT IS THEIR INTENTION TO HAVE THE PLAN RECORDED.

CHRISTINE FLYNN (OWNER)
 JAMES FLYNN (OWNER)

WITNESS MY HAND AND SEAL THE DAY AND YEAR AFORESAID.
 NOTARY SIGNATURE

MY COMMISSION EXPIRES: _____
 I HEREBY CERTIFY THAT THE PLANS SHOWN HERETO WERE REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP ZONING OFFICER.

RADNOR TOWNSHIP ZONING OFFICER _____ DATE _____
 I HEREBY CERTIFY THAT THE PLANS SHOWN HERETO WERE REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP ENGINEER.

RADNOR TOWNSHIP ENGINEER _____ DATE _____
 I HEREBY CERTIFY THAT THE PLANS SHOWN HERETO WERE REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP BOARD OF COMMISSIONERS.

PRESIDENT _____ DATE _____
 SECRETARY _____ DATE _____

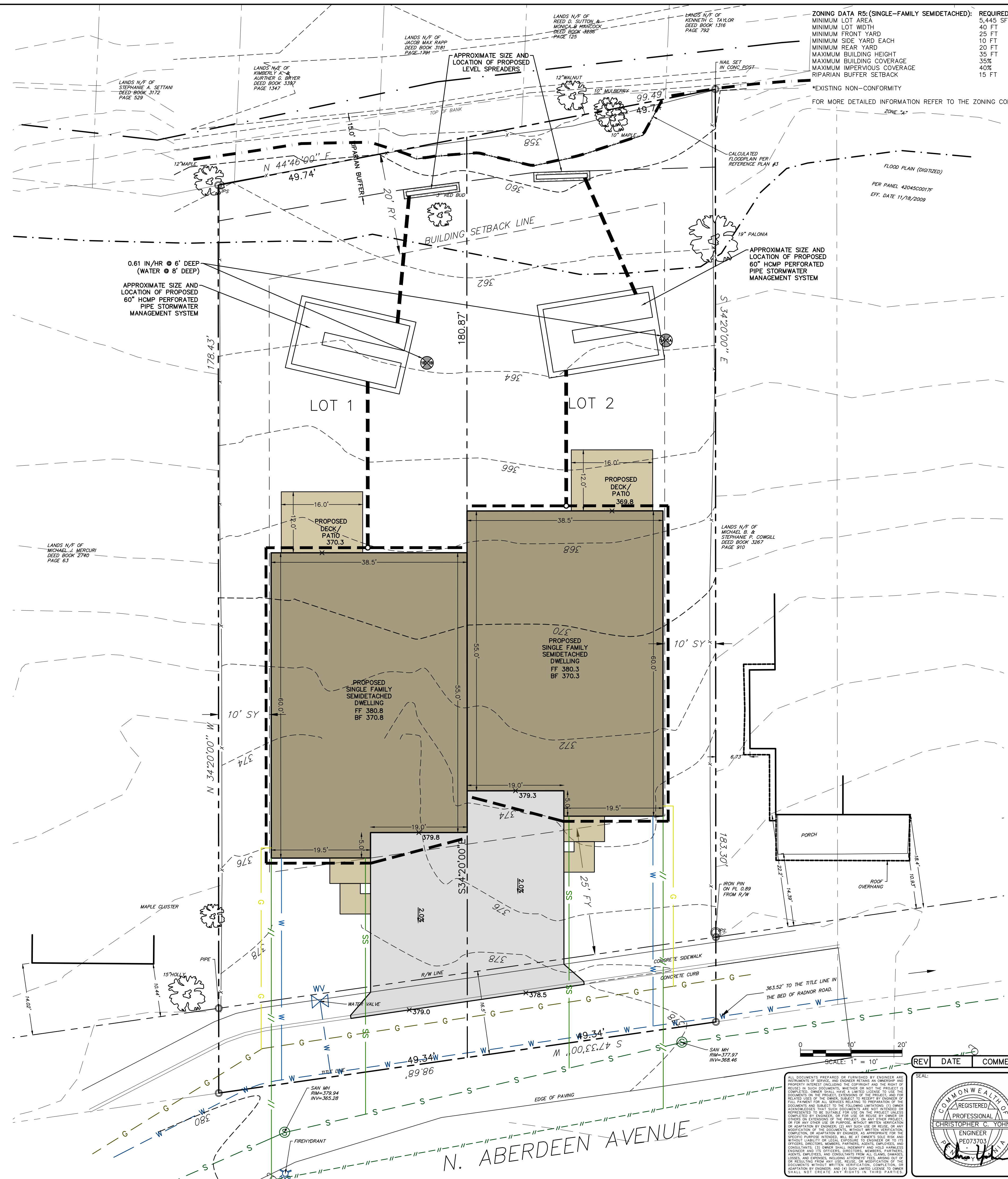
LINETYPE LEGEND

---	EXISTING PROPERTY LINE
- - -	EXISTING RIGHT OF WAY
- - - -	EXISTING BUILDING SETBACK
- - - - -	EXISTING FENCE
- - - - -	EXISTING 1" CONTOUR
- - - - -	EXISTING 5" CONTOUR
- - - - -	EXISTING OVERHEAD ELECTRIC
- - - - -	EXISTING ELECTRIC LINE
- - - - -	EXISTING GAS LINE
- - - - -	EXISTING TELECOMMUNICATION LINE
- - - - -	EXISTING WATER LINE
- - - - -	EXISTING SANITARY LINE
- - - - -	EXISTING STORM PIPES
- - - - -	PROPOSED OVERHEAD ELECTRIC
- - - - -	PROPOSED ELECTRIC LINE
- - - - -	PROPOSED GAS LINE
- - - - -	PROPOSED TELECOMMUNICATION LINE
- - - - -	PROPOSED WATER LINE
- - - - -	PROPOSED SANITARY LINE
- - - - -	PROPOSED STORM PIPES
- - - - -	PROPOSED BUILDING
- - - - -	PROPOSED DRIVEWAY
- - - - -	PROPOSED IMPERVIOUS WALKS, WALLS, ETC.

SOILS INFORMATION

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH WATER	DEPTH TO BEDROCK
Me	MADE LAND CHST AND GNESS MATERIALS	NOT RATED	C	4.98	5.41

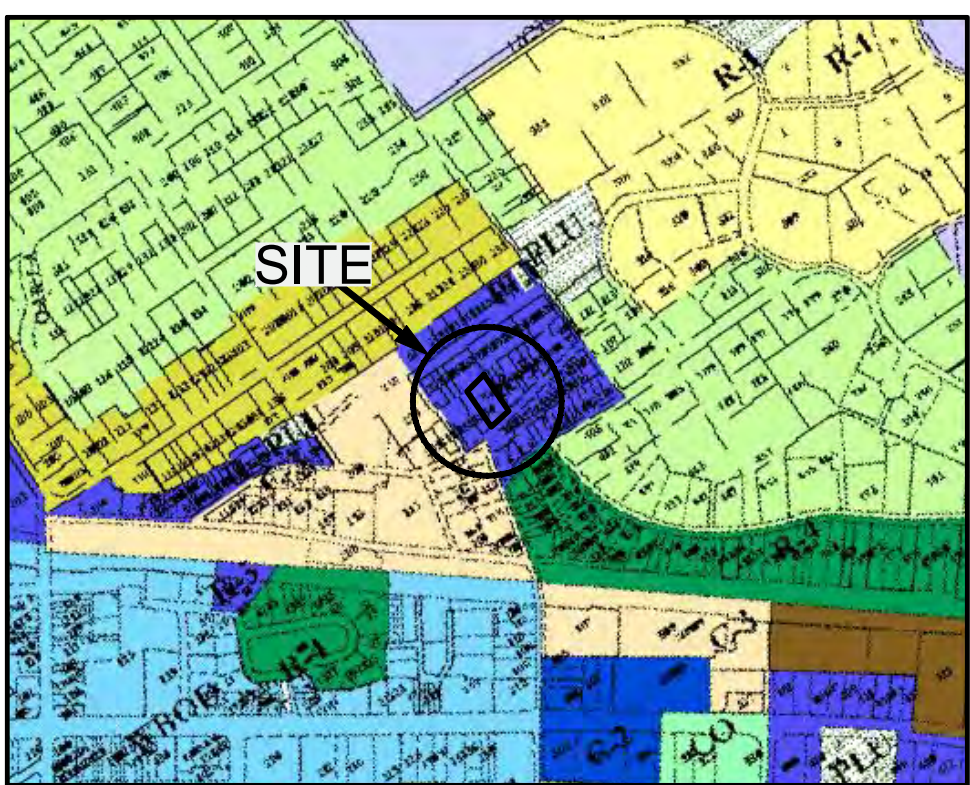
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ZONING DATA R5: (SINGLE-FAMILY SEMI-DETACHED):

REQUIRED	EXISTING
MINIMUM LOT AREA	5,445 SF
MINIMUM LOT WIDTH	40 FT
MINIMUM FRONT YARD	25 FT
MINIMUM SIDE YARD EACH	10 FT
MINIMUM REAR YARD	20 FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM IMPERVIOUS COVERAGE	35%
MAXIMUM IMPERVIOUS COVERAGE	40%
RIPARIAN BUFFER SETBACK	15 FT

*EXISTING NON-CONFORMITY
 FOR MORE DETAILED INFORMATION REFER TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.



LOCATION MAP
 SCALE: 1" = 800'

EXISTING LOT DATA:
 RECORD OWNER: CHRISTINE & JAMES FLYNN
 236 N. ABERDEEN AVENUE
 WAYNE, PA 19087
 36-01-00015-00
 36-13-120
 4473 & 1597
 PARCEL ID: 4473 & 1597
 TAXMAP ID: 4473 & 1597
 DEED BOOK & PAGE NO: 36-13-120
 ERROR OF CLOSURE: 4473 & 1597
 GROSS LOT AREA: 17,870 SF (0.4056 AC)
 NET LOT AREA: 16,042 SF (0.3683 AC)

EXISTING IMPERVIOUS COVERAGE:
 BUILDING 715 SF (4.0%)
 WALKWAY/SIDEWALK 442 SF
 PATIOS, DECKS 0 SF
 DRIVEWAY 1,920 SF
 OTHER 118 SF
 TOTAL 3,195 SF (18.1%)

PROPOSED LOT 1 DATA:
 GROSS LOT AREA: 8,775 SF (0.2015 AC)
 NET LOT AREA: 7,961 SF (0.1828 AC)

PROPOSED IMPERVIOUS COVERAGE:
 BUILDING 2,215 SF (25.2%)
 WALKWAY/SIDEWALK 72 SF
 PATIOS, DECKS 192 SF
 DRIVEWAY 548 SF
 OTHER 0 SF
 TOTAL 3,028 SF (34.5%)

MAXIMUM ALLOWED 3,510 SF (40.0%)

PROPOSED LOT 2 DATA:
 GROSS LOT AREA: 8,895 SF (0.2042 AC)
 NET LOT AREA: 8,081 SF (0.1855 AC)

PROPOSED IMPERVIOUS COVERAGE:
 BUILDING 2,215 SF (24.9%)
 WALKWAY/SIDEWALK 72 SF
 PATIOS, DECKS 192 SF
 DRIVEWAY 653 SF
 OTHER 0 SF
 TOTAL 3,132 SF (35.2%)

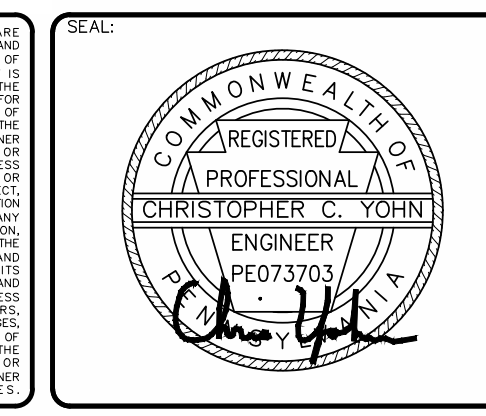
MAXIMUM ALLOWED 3,558 SF (40.0%)

- GENERAL NOTES:**
- THE INTENT OF THIS PLAN IS TO ILLUSTRATE THE SUBDIVISION OF THE EXISTING LOT AND THE CONSTRUCTION OF TWO NEW SINGLE FAMILY SEMI-DETACHED DWELLINGS.
 - THE PROPERTY WILL BE GRADED SO THAT RUNOFF FROM THE MAJORITY OF THE PROPOSED DEVELOPMENT IS DIRECTED TO AND COLLECTED BY A SERIES OF INLETS AND CONVEYED TO UNDERGROUND STORMWATER MANAGEMENT SYSTEMS. THE COLLECTED RUNOFF WILL BE OVER-CONTROLLED BY THE STORMWATER SYSTEMS TO COMPENSATE FOR THE RUNOFF FROM THE REMAINING SITE AREAS THAT ARE UNCONTROLLED. OVERFLOW FROM THE STORMWATER SYSTEMS IS ANTICIPATED TO BE PIPED TO BUBBLE UP SPREADERS WHERE THE RUNOFF CAN BE DISSIPATED IN AN UNCONCENTRATED MANNER.
 - THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT SYSTEMS AND OTHER ASSOCIATED FACILITIES WILL BE THE OBLIGATION OF THE PROPERTY OWNER.
 - THE DEVELOPMENT WILL BE SERVICED BY A NEW INDIVIDUAL PRIVATE, GRAVITY SEWER LATERAL AND WATER LATERAL, WHICH WILL CONNECT TO THE EXISTING TOWNSHIP SEWER MAIN AND AQUA WATER MAIN WITHIN NORTH ABERDEEN AVENUE.

WAIVER REQUESTED:
 1. §225-22.8(1)(A): MAN-MADE FEATURES WITHIN 500' OF THE SITE. AN AERIAL SHOWING MAN-MADE FEATURES WITHIN 500' OF THE SITE HAS BEEN PROVIDED ALONG WITH A FIELD SURVEY OF THE SUBJECT PROPERTY.


PROJECT: RESIDENTIAL SUBDIVISION
PROJECT ADDRESS: 236 NORTH ABERDEEN AVENUE, WAYNE PA 19087
MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY
PLAN SET: FINAL PLANS FOR MINOR SUBDIVISION
SHEET NAME: ILLUSTRATIVE SITE PLAN

PREPARED FOR: OWNER / APPLICANT CHRISTY FLYNN 236 NORTH ABERDEEN AVENUE WAYNE, PA 19087	DATE: JANUARY 11, 2021 SCALE: 1" = 10' ONE CALL NUMBER: 2019-126-2066 DRAWN BY: CCY PROJECT NUMBER: 18-114	PREPARED BY: YOHN ENGINEERING, LLC 555 SECOND AVENUE, SUITE B-205 COLLEGEVILLE, PA 19426 610-489-4580 WWW.YOHNEENGINEERING.COM	SHEET: 1 OF 3
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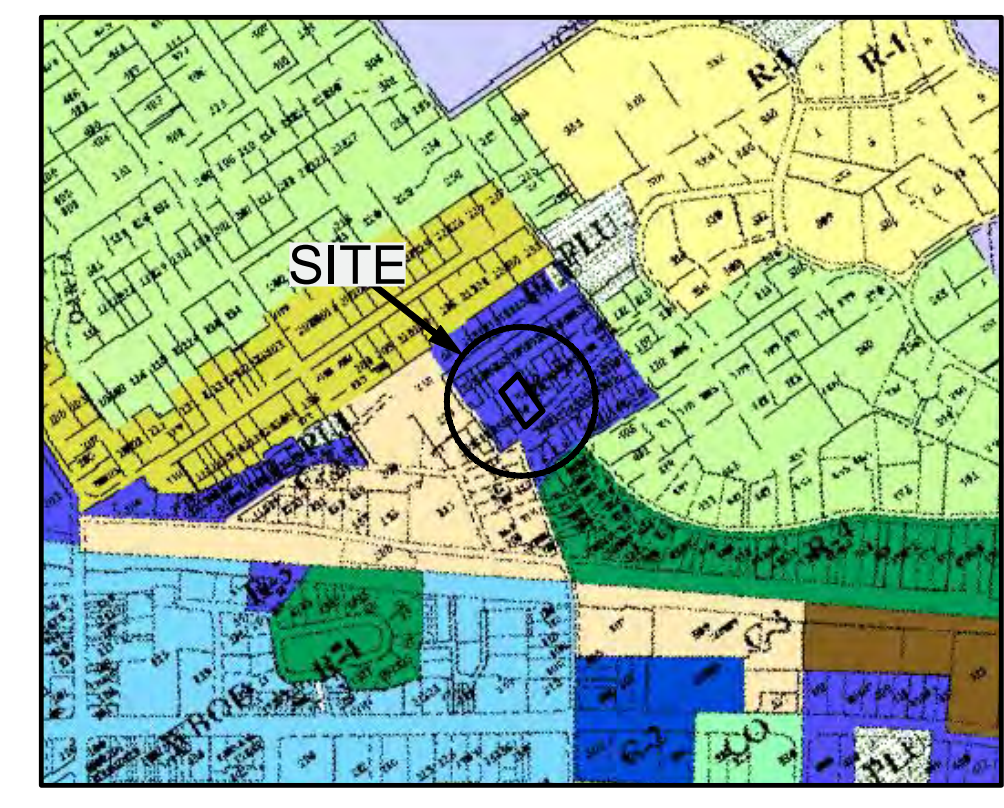
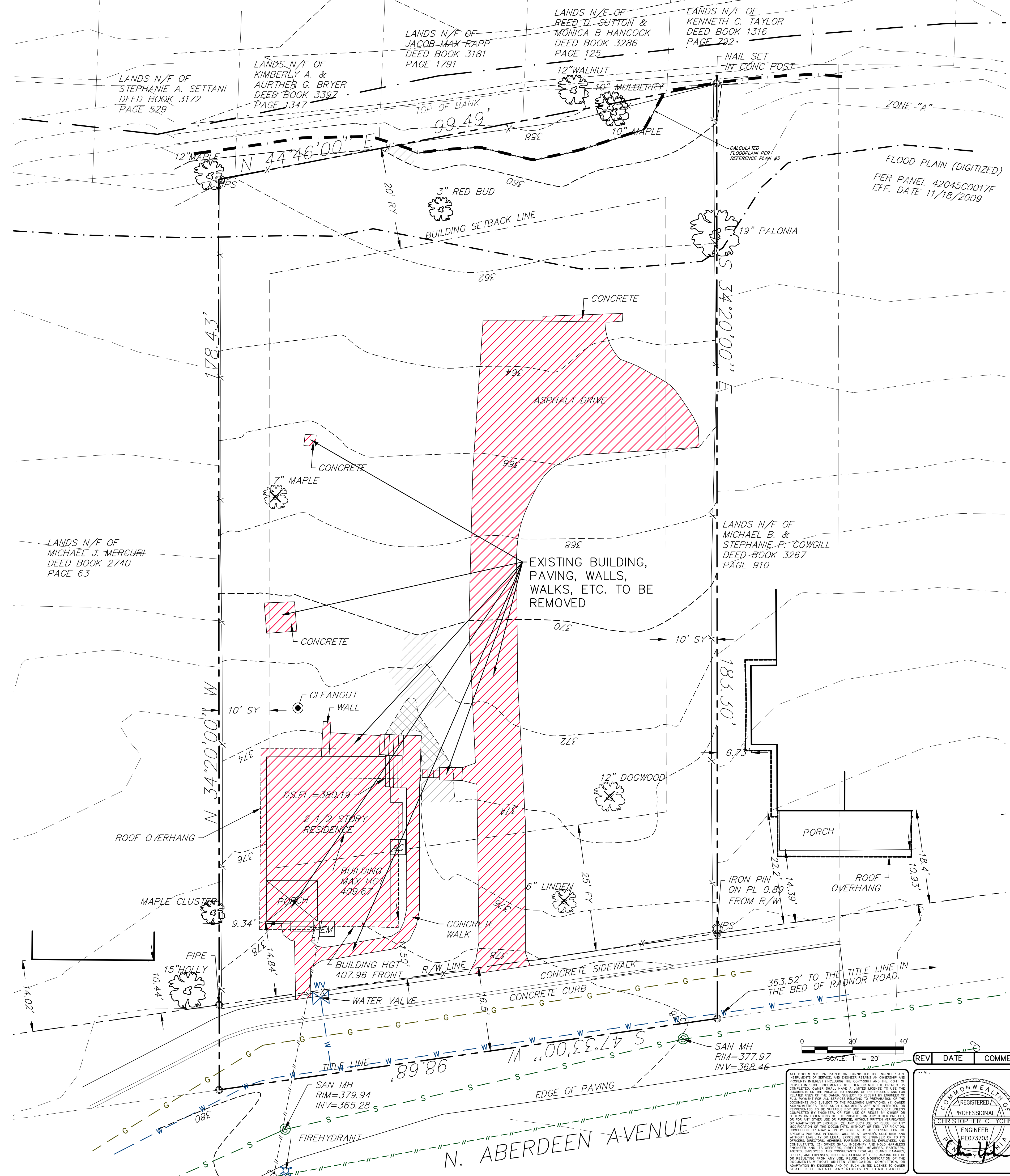
LINE/TYPE LEGEND

---	EXISTING PROPERTY LINE
- - -	EXISTING RIGHT OF WAY
- - -	EXISTING BUILDING SETBACK
- - -	EXISTING FENCE
- - -	EXISTING 1' CONTOUR
- - -	EXISTING 5' CONTOUR
---	EXISTING OVERHEAD ELECTRIC
---	EXISTING ELECTRIC LINE
---	EXISTING GAS LINE
---	EXISTING TELECOMMUNICATION LINE
---	EXISTING WATER LINE
---	EXISTING SANITARY LINE
---	EXISTING STORM PIPES
---	IMPERVIOUS TO BE REMOVED
---	SLOPES 14%-20%
---	SLOPES 20% AND GREATER (DO NOT MEET THE TOWNSHIP DEFINITION OF A STEEP SLOPE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY)

SOILS INFORMATION

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH WATER	DEPTH TO BEDROCK
Me	MADE LAND SCHIST AND GNEISS MATERIALS	NOT RATED	C	4.98	5.41

NOTES: IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.



ZONING DATA R5: (SINGLE FAMILY DISTRICT)

REQUIRED	EXISTING
MINIMUM LOT AREA	5,500 SF
MINIMUM LOT WIDTH	55 FT
MINIMUM FRONT YARD	25 FT
MINIMUM SIDE YARD EACH	10 FT
MINIMUM REAR YARD	20 FT
MAXIMUM BUILDING HEIGHT	35 FT
MAXIMUM BUILDING COVERAGE	35%
MAXIMUM IMPERVIOUS COVERAGE	40%
RIPARIAN BUFFER SETBACK	15 FT

*EXISTING NON-COMFORMITY
 FOR MORE DETAILED INFORMATION REFER TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

EXISTING LOT DATA:

RECORD OWNER:	CHRISTINE & JAMES FLYNN
PARCEL ID:	236 N. ABERDEEN AVENUE WAYNE, PA 19087
TAXMAP ID:	36-01-00015-00
DEED BOOK & PAGE NO:	36-13-120
ERROR OF CLOSURE:	4473 & 1597
GROSS LOT AREA:	17,670 SF (0.4056 AC)
NET LOT AREA:	16,042 SF (0.3683 AC)

EXISTING IMPERVIOUS COVERAGE:

BUILDING	715 SF (4.0%)
WALKWAY/SIDEWALK	442 SF
PATIOS, DECKS	0 SF
DRIVEWAY	1,920 SF
OTHER	118 SF
TOTAL	3,195 SF (18.1%)

IMPERVIOUS COVERAGE TO BE REMOVED:

BUILDING	715 SF (4.0%)
WALKWAY/SIDEWALK	442 SF
PATIOS, DECKS	0 SF
DRIVEWAY	1,920 SF
OTHER	118 SF
TOTAL	3,195 SF (18.1%)

PROJECT: RESIDENTIAL SUBDIVISION

PROJECT ADDRESS: 236 NORTH ABERDEEN AVENUE, WAYNE PA 19087

MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY

PLAN SET: FINAL PLANS FOR MINOR SUBDIVISION

SHEET NAME: EXISTING CONDITIONS/DEMOLITION PLAN

PREPARED FOR: OWNER / APPLICANT
 CHRISTY FLYNN
 236 NORTH ABERDEEN AVENUE
 WAYNE, PA 19087

DATE: JANUARY 11, 2021
 SCALE: 1" = 20'
 ONE CALL NUMBER: 2019-126-2066
 DRAWN BY: CCY
 PROJECT NUMBER: 18-114

PREPARED BY: YOHN ENGINEERING, LLC
 555 SECOND AVENUE, SUITE B-205
 COLLEGEVILLE, PA 19426
 610-489-4580
 WWW.YOHNEENGINEERING.COM

SEAL: YOHN ENGINEERING, LLC
 ENGINEER
 PE073703

SHEET: 2 OF 3

Serial Number: 2019-126-2066



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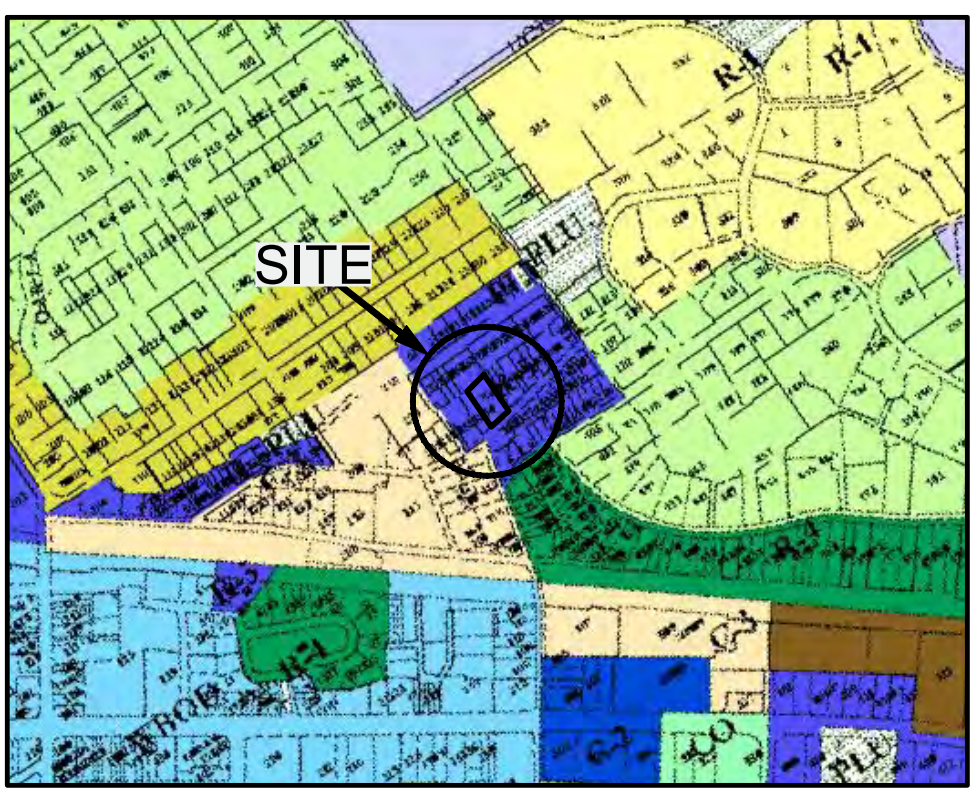
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2. VERTICAL DATUM: RADNOR BENCHMARK RM3 ELEVATION 336.99.

Linetype Legend table with symbols for existing property line, right of way, building setback, fence, contours, overhead electric, electric line, gas line, telecommunication line, water line, sanitary line, storm pipes, and impervious areas.

SLOPES 14%-20%
SLOPES 20% AND GREATER (DO NOT MEET THE TOWNSHIP DEFINITION OF A STEEP SLOPE AND ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY)

SOILS INFORMATION table with columns: SYMBOL, NAME, %SLOPE, HYDROLOGIC GROUP, DEPTH TO SH WATER, DEPTH TO BEDROCK. Row 1: Me, MADE LAND SCHIST AND GNEISS MATERIALS, NOT RATED, C, 4.98, 5.41.

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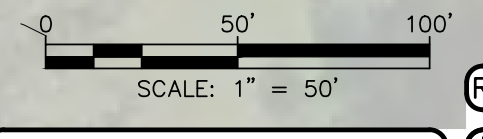
ZONING DATA RS: (SINGLE FAMILY DISTRICT) table with columns: REQUIRED, EXISTING. Rows include Minimum Lot Area, Minimum Lot Width, Minimum Front Yard, Minimum Side Yard Each, Minimum Rear Yard, Maximum Building Height, Maximum Building Coverage, Maximum Impervious Coverage, and Riparian Buffer Setback.

*EXISTING NON-COMFORMITY
FOR MORE DETAILED INFORMATION REFER TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

EXISTING LOT DATA table with columns: RECORD OWNER, CHRISTINE & JAMES FLYNN; PARCEL ID, 36-01-00015-00; TAXMAP ID, 36-13-120; DEED BOOK & PAGE NO, 4473 & 1597; ERROR OF CLOSURE, 1 : 100,000; GROSS LOT AREA, 17,670 SF (0.4056 AC); NET LOT AREA, 16,042 SF (0.3683 AC).

EXISTING IMPERVIOUS COVERAGE table with columns: BUILDING, WALKWAY/SIDEWALK, PATIOS, DECKS, DRIVEWAY, OTHER, TOTAL. Values: 715 SF (4.0%), 442 SF, 0 SF, 1,920 SF, 118 SF, 3,195 SF (18.1%).

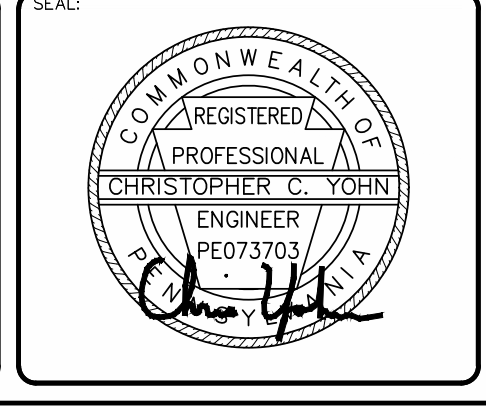
IMPERVIOUS COVERAGE TO BE REMOVED table with columns: BUILDING, WALKWAY/SIDEWALK, PATIOS, DECKS, DRIVEWAY, OTHER, TOTAL. Values: 715 SF (4.0%), 442 SF, 0 SF, 1,920 SF, 118 SF, 3,195 SF (18.1%).



SCALE: 1" = 50'

REVISIONS table with columns: REV, DATE, COMMENTS.

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PROJECT: RESIDENTIAL SUBDIVISION
PROJECT ADDRESS: 236 NORTH ABERDEEN AVENUE, WAYNE PA 19087
MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY

PLAN SET: FINAL PLANS FOR MINOR SUBDIVISION
SHEET NAME: VICINITY PLAN

PREPARED FOR: OWNER / APPLICANT CHRISTY FLYNN
236 NORTH ABERDEEN AVENUE
WAYNE, PA 19087

DATE: JANUARY 11, 2021
SCALE: 1" = 50'
ONE CALL NUMBER: 2019-126-2066
DRAWN BY: CCY
PROJECT NUMBER: 18-114

PREPARED BY: YOHN ENGINEERING, LLC
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