

# PRELIMINARY/FINAL LAND DEVELOPMENT PLAN PROPOSED PARKING STRUCTURE # 250 KING OF PRUSSIA ROAD RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

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### PLAN PURPOSE STATEMENT:

THE APPLICANT PROPOSES THE CONSTRUCTION OF A PARKING STRUCTURE TO IMPROVE THE EXISTING NON-CONFORMITIES OF THE PROPERTY RELATED TO PARKING STALL SUPPLY.



**BOARD OF COMMISSIONERS SIGNATURE BLOCK**  
 REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP BOARD OF COMMISSIONERS  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 PRESIDENT \_\_\_\_\_  
 SECRETARY \_\_\_\_\_

**ZONING OFFICER SIGNATURE BLOCK**  
 REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP ZONING OFFICER  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 TOWNSHIP ZONING OFFICER \_\_\_\_\_

**TOWNSHIP ENGINEER SIGNATURE BLOCK**  
 REVIEWED AND APPROVED BY THE RADNOR TOWNSHIP ENGINEER  
 THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 TOWNSHIP ENGINEER \_\_\_\_\_

**PLAN PREPARER'S STATEMENT**  
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL RELATED DRAWINGS AND DOCUMENTS SUBMITTED HERewith, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY AND ARE IN COMPLETE COMPLIANCE WITH THE RADNOR TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND THE RADNOR TOWNSHIP ZONING ORDINANCE, AND WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND FOR WHICH I ACCEPT FULL AND COMPLETE RESPONSIBILITY.  
 DATE: 05/19/2021  
 PLAN PREPARER'S SIGNATURE: *D. Tweedie*  
 D. ALEXANDER TWEEDIE, PE - PA LIC. No. 071873  
 LANDCORE ENGINEERING CONSULTANTS, P.C.  
 PO BOX 37635 8 62827 PHILADELPHIA, PENNSYLVANIA 19101-0635

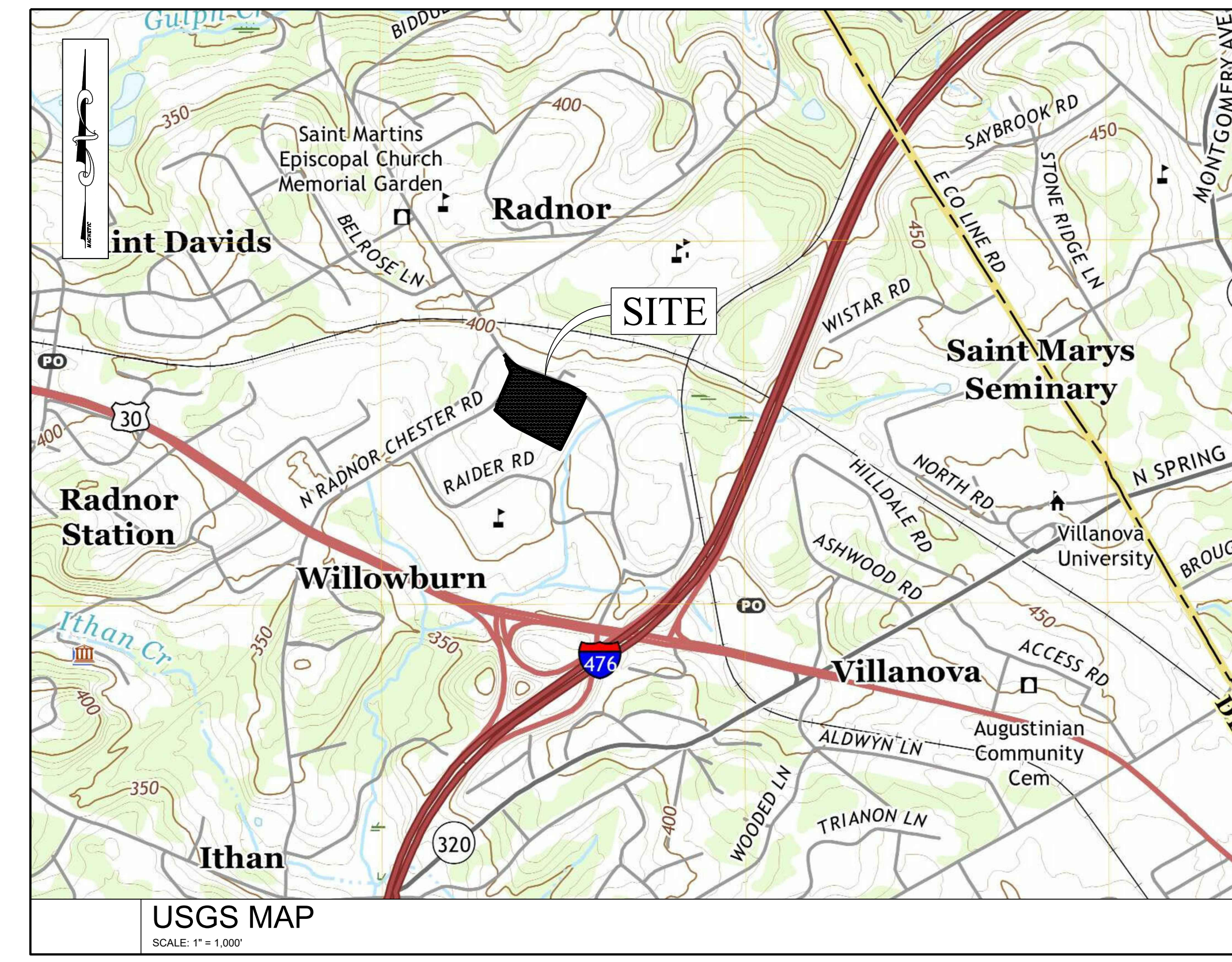
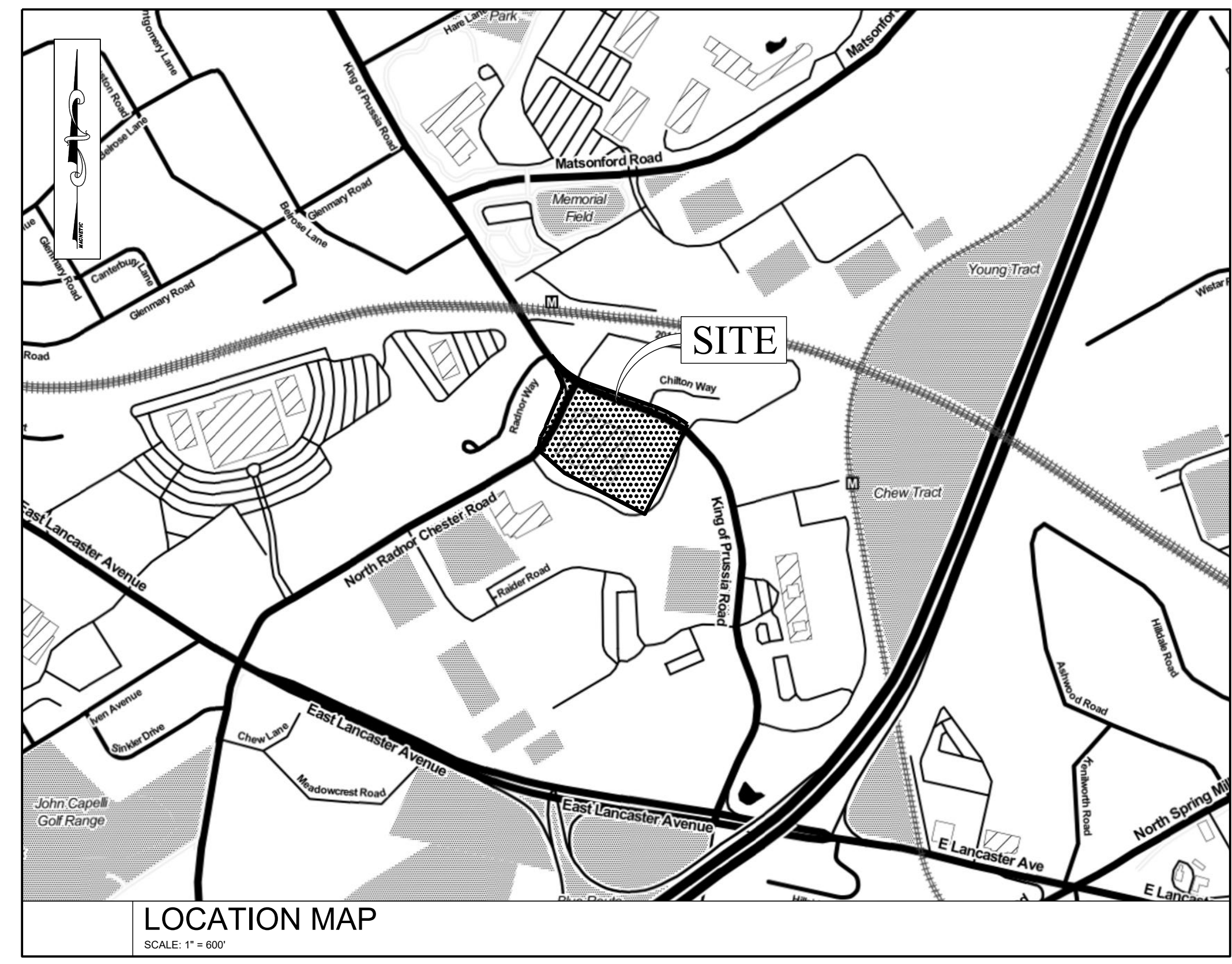
**OWNER'S ACKNOWLEDGEMENT**  
 COMMONWEALTH OF PENNSYLVANIA  
 COUNTY OF DELAWARE  
 BDN 250 KING OF PRUSSIA I, LP ACKNOWLEDGES THEY ARE THE OWNER OF THE SUBJECT PROPERTY THESE PLANS WERE PREPARED WITH THEIR FREE CONSENT, AND THEY DESIRE TO RECORD THE SAME.  
 PRESIDENT, BDN 250 KING OF PRUSSIA I, LP: \_\_\_\_\_  
 SECRETARY, BDN 250 KING OF PRUSSIA I, LP: \_\_\_\_\_  
 (SEAL)  
 NOTARY PUBLIC \_\_\_\_\_  
 MY COMMISSION EXPIRES: \_\_\_\_\_

I, \_\_\_\_\_, ON THIS DATE OF \_\_\_\_\_ HEREBY ACKNOWLEDGE THAT ANY REVISIONS TO THE APPROVE DRAINAGE PLAN MUST BE APPROVED BY THE MUNICIPALITY AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.  
 DATE: \_\_\_\_\_  
 OWNER'S SIGNATURE: \_\_\_\_\_  
 BDN 250 KING OF PRUSSIA I, LP

**SALDO WAIVER REQUEST LIST:**

255-12.A	TO PERMIT PRELIMINARY AND FINAL LAND DEVELOPMENT TO BE FILED AS A SINGLE APPLICATION
255-20.01(1)(i)	FROM SHOWING EXISTING IMPROVEMENTS WITHIN 500 FEET OF THE PROJECT SITE
255-20.A(1)	TO PERMIT 6X19 PARKING STALLS WHERE 8.0X20 ARE REQUIRED
255-20.A(6)	TO PERMIT MORE THAN 10 CONTINUOUS PARKING SPACES WITHOUT A CURBED LANDSCAPING ISLAND
255-20.B	TO WAIVE PARKING LOT LANDSCAPE REQUIREMENTS
255-38.0	TO WAIVE STREET TREE PLANTING REQUIREMENTS
255-43.1	TO WAIVE PARK AND RECREATION LANDFEE REQUIREMENTS

I, D. ALEXANDER TWEEDIE, P.E., ON THIS DATE OF MAY 19, 2021, HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE EXCEPT FOR SPECIFIC WAIVERS OF STRICT CONFORMANCE ARE REQUESTED HEREIN.  
 DATE: 05/19/2021  
 PLAN PREPARER'S SIGNATURE: *D. Tweedie*  
 D. ALEXANDER TWEEDIE, PE - PA LIC. No. 071873  
 LANDCORE ENGINEERING CONSULTANTS, P.C.  
 PO BOX 37635 8 62827 PHILADELPHIA, PENNSYLVANIA 19101-0635



DCPD No. \_\_\_\_\_  
 PROCESSED AND REVIEWED  
 REPORT PREPARED BY DELAWARE COUNTY PLANNING DEPARTMENT IN ACCORDANCE WITH THE MUNICIPALITIES PLANNING CODE.  
 CERTIFIED ON THIS DATE \_\_\_\_\_  
 FOR THE DIRECTOR  
 DELAWARE COUNTY PLANNING DEPARTMENT

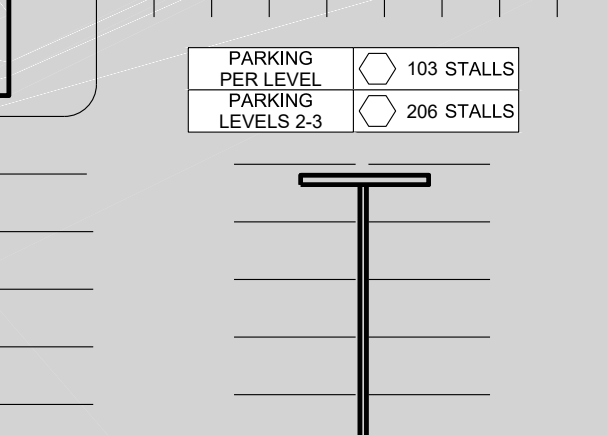
PLANS PREPARED BY  
  
**LANDCORE**  
 Engineering Consultants, P.C.  
 PO BOX 37635 8 62827 PHILADELPHIA, PENNSYLVANIA 19101-0635  
 PHONE 215-636-2510 | FAX 215-352-0428  
 LANDCORECONSULTING.COM

PLANS PREPARED FOR  
 OWNER / APPLICANT:  
**BDN 250 KING OF PRUSSIA I, LP**  
 2929 WALNUT STREET, 17TH FLOOR  
 PHILADELPHIA, PA 19104

PROJECT: BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE 250 KING OF PRUSSIA ROAD RADNOR TOWNSHIP DELAWARE COUNTY, PA  
 TITLE: COVER SHEET  
 SCALE: (H) AS NOTED (V) \_\_\_\_\_  
 DATE: 2021-02-18  
 SHEET: 1 of 12  
 REV. No: 1

REGISTERED PROFESSIONAL ENGINEER  
 D. ALEXANDER TWEEDIE  
 PENNSYLVANIA LICENSE No. 071873  
 NOT FOR CONSTRUCTION

PROJECT No: 200002  
 DRAWN BY: MP, LARH  
 CHECKED BY: DA, TWEEDIE  
 CADD: J.A.  
 01\_CL\_200002



A6 TYPICAL PARKING STRUCTURE LEVEL  
SCALE: 1/4" = 30'

**GENERAL NOTES**

- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED AND THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS AS APPROVED BY ALL APPLICABLE PERMITTING AUTHORITIES. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY. THE CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, TRUCK DOORS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
- DEMURS UNSUITABLE AND DEMOLITION MATERIAL SHALL NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE SOIL, DEMOLITION MATERIAL, DEBRIS AND ANY OTHER WASTE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL LAWS, REGULATIONS AND CODES (CRUSHED STONE/CONCRETE CERTIFIED AND USED AS CLEAN FILL SHALL BE EXCLUDED).
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH AT 28 DAYS AS INDICATED IN SPECIFICATIONS UNLESS OTHERWISE NOTED ON THE PLANS. DETAILS AND / OR GEOTECHNICAL REPORT.
- UNLESS OTHERWISE INDICATED WITHIN THE APPROVED PLANS, ALL DISTURBED AREAS ARE TO RECEIVE SIX INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS ESTABLISHED.
- ALL DIMENSIONS AND RADI ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED. ALL PROPOSED RADII ARE 5' UNLESS OTHERWISE NOTED.
- PAVEMENT SHALL BE SAW CUT IN STRAIGHT LINES TO FULL DEPTH OF THE EXISTING PAVEMENT.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS ARE TO BE ABANDONED, REMOVED, OR RELOCATED, AS NECESSARY. ALL COSTS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- FOR MATERIALS AND/OR SPECIFICATIONS NOT SPECIFICALLY REFERENCED ON THESE PLANS OR STATE AND LOCAL REQUIREMENTS THE PROJECT SHALL BE CONSTRUCTED IN CONFORMANCE WITH PENNDOT PUB 408 AS LAST REVISED.

**CONTRACTOR NOTES**

- THE CONTRACTOR, IN ADDITION TO OTHER NOTES PROVIDED WITHIN THE APPROVED PLANS, SHALL BE RESPONSIBLE FOR THE FOLLOWING:
  - SHALL FULLY COMPLY WITH THE LATEST OSHA STANDARDS AND REGULATIONS, OR ANY OTHER AGENCY HAVING JURISDICTION FOR SAFETY AND HEALTH PROTECTION.
  - BE RESPONSIBLE TO MAINTAIN AS-BUILT RECORDS OF THE WORK.
  - SHALL ENSURE COMPLIANCE WITH ALL TERMS AND CONDITIONS SET FORTH IN THE APPROVALS AND PERMITS ISSUED BY MUNICIPAL, COUNTY, STATE AND FEDERAL AGENCIES RELATING TO THE WORK. THE CONTRACTOR AT ITS SOLE EXPENSE SHALL PROMPTLY CORRECT ALL VIOLATIONS REPORTED OR NOTED BY MUNICIPAL, COUNTY, STATE OR FEDERAL OFFICIALS RELATED TO CONTRACTORS OR ITS SUBCONTRACTORS FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE TERMS AND CONDITIONS SET FORTH IN THE APPROVALS AND PERMITS.
  - IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE. ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RELATING THEREOF, THE CONTRACTOR SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CORRECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
  - CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ADJACENT TO PAVEMENT STRUCTURES, ETC. SITED TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE PROTECTION AND STABILITY OF STRUCTURES, SIDEWALKS, PAVEMENT, AND ANY OTHER IMPROVEMENTS TO REMAIN ON THE PROPERTY, AND TO PROVIDE A SAFE WORK AREA.
  - ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO MAKE IN ADDITION TO OWNER, LANDCORE ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS AS ADDITIONAL INSURED TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH OWNER AND ENGINEER WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY THE LAW, INDEMNIFY AND HOLD HARMLESS OWNER AND LANDCORE ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYERS, OR OTHER CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF ENGINEER NOR THE PRESENCE OF ENGINEER OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH AND SAFETY PROGRAMS OR PROCEDURES. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY.
- ENGINEER WILL REVIEW AND ACCEPT OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN AND THE INFORMATION SHOWN. NOT CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES, OR CONSTRUCTION SAFETY REGISTRATION, WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. ENGINEER'S REVIEW SHALL BE CONDUCTED WITHIN REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT ENGINEER HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT BROUGHT TO THE ATTENTION OF ENGINEER IN WRITING BY THE CONTRACTOR. ENGINEER SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- NEITHER OWNER NOR ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS / MEANS FOR COMPLETION OF THE WORK DEPICTED ON THESE PLANS NOR ANY CONFLICTS / SCOPE REVISIONS WHICH RESULT FROM THE SAME. NEITHER OWNER NOR CONTRACTOR IS RESPONSIBLE FOR DETERMINING METHODS / MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. OWNER AND CONTRACTOR IS RESPONSIBLE TO PROMPTLY NOTIFY OWNER AND ENGINEER, IN WRITING, WHEN A CONFLICT IS IDENTIFIED.

**RECORD PLAN NOTES**

- THESE PLANS ARE BASED ON INFORMATION PROVIDED TO LANDCORE ENGINEERING CONSULTANTS, P.C. (HEREINAFTER THE "ENGINEER") AT THE TIME OF PREPARATION. ALL ELEVATIONS SHOWN CORRELATE TO THE REFERENCED SURVEY'S BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO COMMENCING CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS AND NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCY. IF ACTUAL FIELD CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN OR IF THE PROPOSED WORK WOULD BE IMPAIRED BY ANY OTHER SITE FEATURES ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND CONTRACTOR SHALL NOTIFY ENGINEER IN WRITING IF ANY DISCREPANCIES EXIST PRIOR TO ORDER AND/OR FABRICATION OF STRUCTURES AND MATERIALS, OR COMMENCEMENT WITH CONSTRUCTION ACTIVITIES.
- ALL WORK AND MATERIALS SHALL COMPLY WITH OR EXCEED ALL APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS AND CODES, AND OSHA STANDARDS.
- THE OWNER / CONTRACTOR SHALL BE FAMILIAR WITH AND RESPONSIBLE FOR ANY ALL APPLICABLE INSPECTIONS, ETC. REQUIRED BY ALL GOVERNING JURISDICTIONAL AGENCIES AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO: PROGRESSIVE INSPECTIONS, SCHEDULING OF HELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPLICABLE AGENCIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING AND FAMILIARIZING THEMSELVES WITH ALL APPLICABLE TECHNICAL REGULATIONS, TECHNICAL REPORTS AND DESIGN DOCUMENTS PREPARED FOR THE PROJECT, INCLUDING BUT NOT LIMITED TO ANY PREPARED GEOTECHNICAL REPORTS, ENVIRONMENTAL REPORTS, ETC. AND AFTER CONSTRUCTION FOR SIGN-OFF AND CERTIFICATE OF OCCUPANCY ISSUANCE, INCLUDING BUT NOT LIMITED TO PROGRESSIVE INSPECTIONS, SCHEDULING OF HELD OBSERVATIONS AND COORDINATION WITH REPRESENTATIVES OF THE APPLICABLE AGENCIES.
- IT IS ESSENTIAL THAT CONTRACTORS ARE AWARE OF THE SITE ACCESSIBILITY REQUIREMENTS LANDCORE ENGINEERING CONSULTANTS HAS MADE A POINT IN THE PROVIDED NOTES AND DETAILS, AS WELL AS IN THE DRAWINGS, TO PROVIDE SLOPES / GRADES AND DIMENSIONS THAT COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS AS LAST REVISED AS WELL AS APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS. LATEST EDITIONS, IF THESE SLOPES / GRADES AND DIMENSIONS ARE NOT ACHIEVABLE, THE CONTRACTOR IS REQUIRED TO NOTIFY THE OWNER, IN WRITING, IMMEDIATELY AND BEFORE MOVING FORWARD WITH THE WORK. THE CONTRACTOR SHALL CONSTRUCT THE DESIGNATED ADA ACCESSIBLE AREAS AND ROUTES PRIOR TO THE START OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CONSTRUCTION OF THE DESIGNATED AREAS AND ROUTES IN ACCORDANCE WITH THE MOST CURRENT ADA GUIDELINES AS APPLICABLE TO THE PROJECT.
- STORMWATER MANAGEMENT FACILITIES SHALL BE OWNED AND MAINTAINED BY THE APPLICANT, UNLESS SPECIFICALLY NOTED OTHERWISE IN THESE PLANS.
  - A BLANKET EASEMENT IS HEREBY GRANTED TO THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF REASONABLE ACCESS AT REASONABLE TIMES TO EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR ROADWAY UNTO THE PROPERTY TO CONDUCT INSPECTIONS AS OUTLINED IN ANY APPLICABLE EASEMENT AGREEMENT AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE, AND ANY APPLICABLE OPERATION AND MAINTENANCE PLANS AND/OR OPERATION AND MAINTENANCE AGREEMENTS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCESS AND INSPECTION OF THE STORMWATER BEST MANAGEMENT PRACTICES (BMPs) AS INDICATED ON THESE PLANS. THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF REASONABLE ACCESS AT REASONABLE TIMES TO EVERY BMP AND CONVEYANCE FROM A PUBLIC RIGHT-OF-WAY OR ROADWAY UNTO THE PROPERTY TO CONDUCT INSPECTIONS AS OUTLINED IN ANY APPLICABLE EASEMENT AGREEMENT AND TO UNDERTAKE OTHER ACTIONS THAT MAY BE NECESSARY TO ENFORCE THE REQUIREMENTS OF THE MUNICIPAL STORMWATER MANAGEMENT ORDINANCE, AND ANY APPLICABLE OPERATION AND MAINTENANCE PLANS AND/OR OPERATION AND MAINTENANCE AGREEMENTS.

REDUCTION IN PROPOSED IMPERVIOUS COVERAGE FOR THIS REVISION IS ACCOMPLISHED PRIMARILY BY THE REMOVAL OF ONE PROPOSED GENERATOR THAT WAS SHOWN ON THE ORIGINAL DESIGN AND THE CONVERSION OF A PORTION OF THE EXISTING PARKING LOT TO A SWM FACILITY.

**PAVEMENT SCOPE OF WORK:**  
THE SAWCUT LIMITS SHOWN ON THE PLANS ARE REPRESENTATIVE OF THE AREAS REQUIRING FULL-DEPTH PAVEMENT REPLACEMENT; HOWEVER, THE EXTENTS OF PROPOSED MILL AND OVERLAY MAY EXTEND BEYOND SUCH SAWCUT LIMITS. CONTRACTOR SHALL DISCUSS THE LIMITS OF PROPOSED MILL AND OVERLAY WITH OWNER TO CLARIFY THEIR INTENT/EXTENTS PRIOR TO ISSUING FINAL CONSTRUCTION BID.

**BULK REQUIREMENTS**

	REQUIRED	EXISTING	PROPOSED
GROSS LOT AREA	(SF)	361,010.00	361,010.00 [EX]
NET LOT AREA	(SF)	8,288	8,288 [EX]
MINIMUM LOT WIDTH @ BLDG LINE	(FT)	300	300 [EX]
MINIMUM BUILDING ACCESSORY STRUCTURE SETBACKS			
FRONT BUILDING ACCESSORY STRUCTURE SETBACK (FROM STREET ROW)	(FT)	150	49.5 [EX]
OPPOSITE KING OF PRUSSIA ROAD	(FT)	99	99 [EX]
OPPOSITE RADNOR CHESTER ROAD	(FT)	200	233.6 [EX]
PARKING / DRIVEWAY / ROADWAY SETBACK	(FT)	75	6 [EX]
MAXIMUM BUILDING LENGTH/DEPTH	(FT)	160	352 [EX]
MAXIMUM BUILDING HEIGHT	(FT / STORY)	38 / 3	48 / 7 + 4 STORY [EX]
MINIMUM STRUCTURE HEIGHT	(FT / STORY)	38 / 3	32.5 FT / 3 STORY [EX]
MINIMUM BUILDING SEPARATION	(FT)	45	88.24 [EX]
MINIMUM BUILDING ACCESSORY STRUCTURE WIDTH OF LOT	(%)	80	55.1% [EX]
KING OF PRUSSIA ROAD	(%)	80	35.7% [EX]
RADNOR CHESTER ROAD	(%)	80	62.5% [EX]
MAXIMUM BUILDING ACCESSORY STRUCTURE AREA *1	(%)	30	32.0% [EX]
MINIMUM LANDSCAPE AREA	(%)	45%	31.7% [EX]
MINIMUM LANDSCAPE STRIP	(SF)	99,801	87,531 [EX]
MINIMUM STALL SIZE	(FT)	9W X 12L	8W X 11.5L [EX]
MINIMUM AISLE WIDTH	(FT)	22	20.07 [EX]

**PARKING STALL REQUIREMENTS**

REQUIREMENT	QTY	CALCULATION	REQUIRED
EXISTING DEVELOPMENT			
MEDICAL OFFICE USE	87,740	87,740 / 150	584.9
1 STALL PER EXAM ROOM	149	-	149
<b>TOTAL EXISTING REQUIRED</b>			<b>733.9</b>
PROPOSED DEVELOPMENT			
MEDICAL OFFICE USE [1]	89,367	89,367 / 150	595.8
1 STALL PER EXAM ROOM [2]	179	-	179
<b>TOTAL PROPOSED REQUIRED</b>			<b>774.8</b>

- 1 PROPOSED MEDICAL OFFICE/ OFFICE AREA APPOINTMENT AT A 70% / 30% RATIO, CONSISTENT WITH THE EXISTING BUILDING'S BREAKDOWN. PROPOSED MEDICAL OFFICE USE: 127,867 X 0.70 = 89,367. PROPOSED OFFICE USE: 127,867 X 0.30 = 38,300.
- 2 EXAM ROOM COUNT IS ESTIMATED BASED ON A DENSITY OF 1 EXAM ROOM PER 500 SF OF MEDICAL OFFICE SPACE.
- 3 IF ADDITIONAL 3RD STORY OF GARAGE WERE CONSTRUCTED, TOTAL PARKING WOULD BECOME 632 TOTAL STALLS AND 85.3% OF REQUIRED PARKING.

**PARKING REQUIREMENTS**

REQUIREMENT	QTY	CALCULATION	REQUIRED
EXISTING DEVELOPMENT			
MEDICAL OFFICE USE	87,740	87,740 / 150	584.9
1 STALL PER EXAM ROOM	149	-	149
<b>TOTAL EXISTING REQUIRED</b>			<b>733.9</b>
PROPOSED DEVELOPMENT			
MEDICAL OFFICE USE [1]	89,367	89,367 / 150	595.8
1 STALL PER EXAM ROOM [2]	179	-	179
<b>TOTAL PROPOSED REQUIRED</b>			<b>774.8</b>

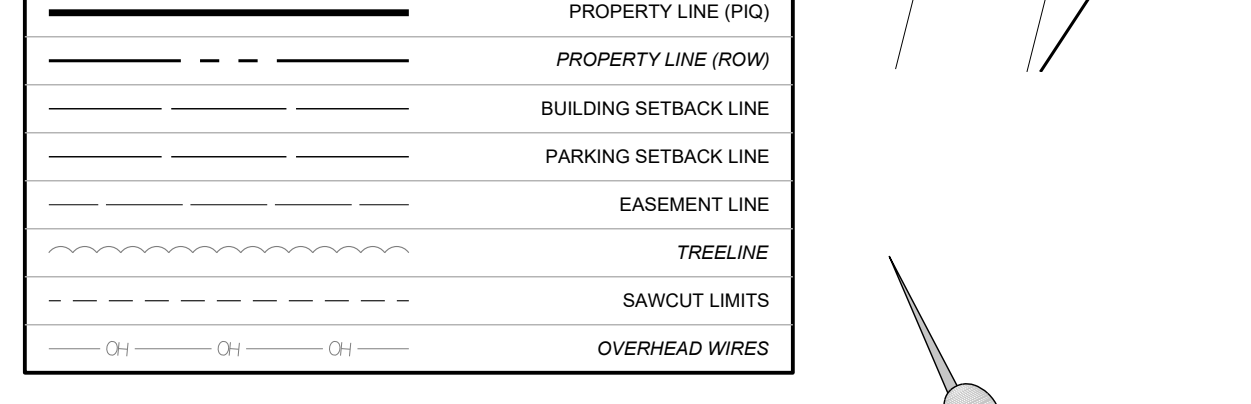
1 PROPOSED MEDICAL OFFICE/ OFFICE AREA APPOINTMENT AT A 70% / 30% RATIO, CONSISTENT WITH THE EXISTING BUILDING'S BREAKDOWN. PROPOSED MEDICAL OFFICE USE: 127,867 X 0.70 = 89,367. PROPOSED OFFICE USE: 127,867 X 0.30 = 38,300.

**MINIMUM LOADING SPACE REQUIREMENT**

REQUIREMENT	QTY	CALCULATION	REQUIRED
OFFICE USE (5,000 SF - 20,000 SF)	-	NA	-
OFFICE USE (> 20,000 SF)	EXISTING	127,868	1 + (120,000 - 20,000) / 50,000 = 3.0
	PROPOSED	127,867	1 + (120,000 - 20,000) / 50,000 = 3.0
<b>TOTAL DEVELOPMENT</b>			<b>6.0</b>

1 (V) VARIANCE REQUIRED | (EX) EXISTING NON-COMFORMANCE | (W) WAIVER REQUESTED | (TD) TO BE DETERMINED | (NA) NOT APPLICABLE | (NS) NOT SPECIFIED

**SITE / RECORD PLAN LEGEND**



**PARKING SUMMARY**

LOCATION	STALLS
SURFACE PARKING	172
GARAGE (PROPOSED GARAGE)	206
INTERNAL (EXISTING BUILDING)	46
<b>TOTAL PARKING</b>	<b>424</b>
<b>OPTIONAL TOTAL PARKING</b>	<b>632</b>

**GRAPHIC SCALE**

1 INCH = 30 FEET

**KING OF PRUSSIA ROAD**  
(MAJOR COLLECTOR)  
50' WIDE R.O.W.  
TWO WAY TRAFFIC



TICKET #: 20203382043

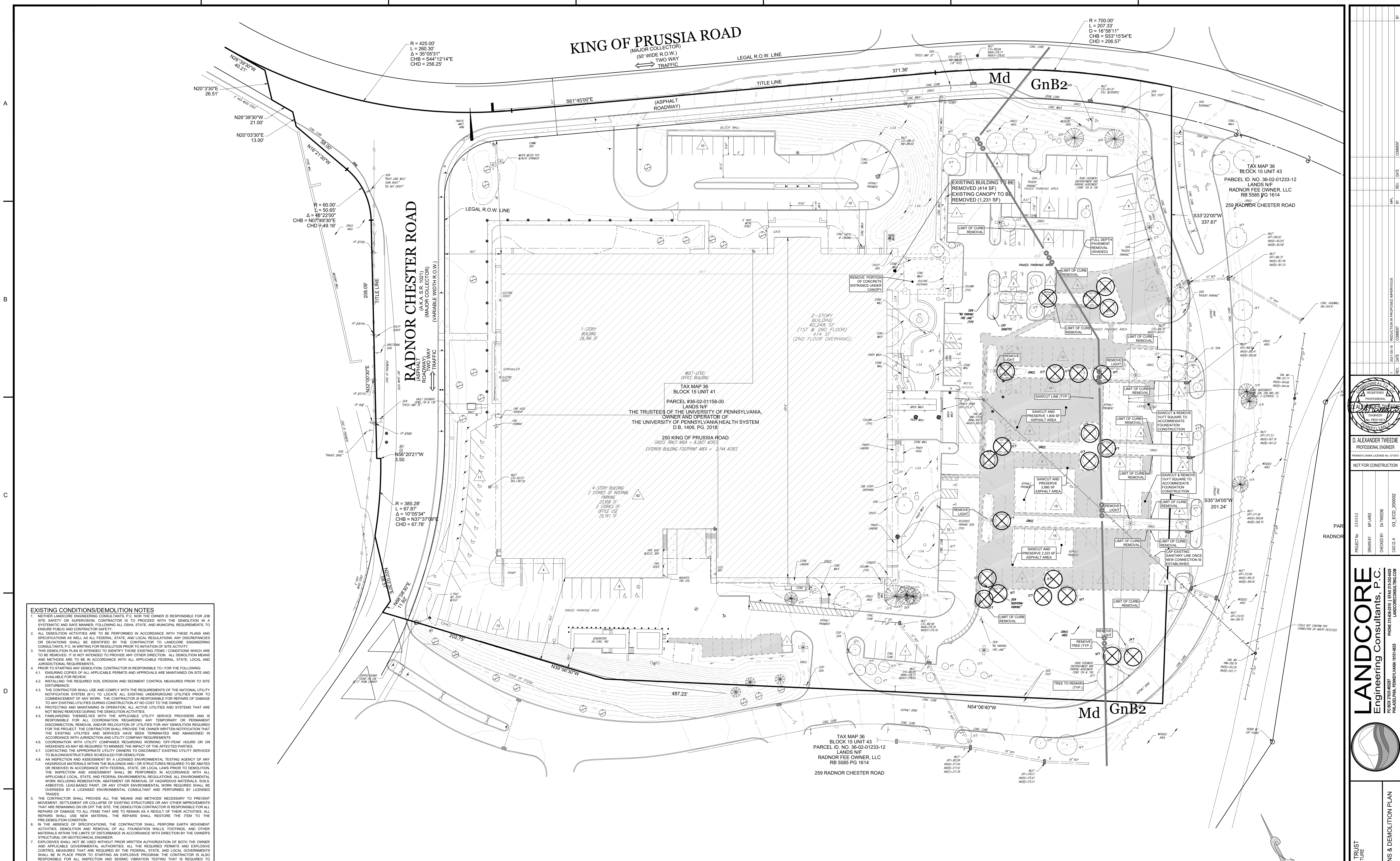
**RADNOR CHESTER ROAD**  
(ASPHALT ROADWAY)  
(MAJOR COLLECTOR)  
TWO WAY TRAFFIC

PARCEL #36-02-01158-00  
LANDS NF  
TAX MAP 36  
BLOCK 15 UNIT 41  
THE TRUSTEES OF THE UNIVERSITY OF PENNSYLVANIA  
OWNER AND OPERATOR OF  
THE UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEM  
D.B. 1406, PG. 2018  
250 KING OF PRUSSIA ROAD  
GROSS AREA = 8,253 ACRES  
PLANNED BUILDING FOOTPRINT AREA = 2,144 ACRES

BRANDYWINE REALTY TRUST  
PROPOSED PARKING STRUCTURE  
RADNOR CHESTER ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

RECORD PLAN

SCALE: (H) AS NOTED  
(V) AS SHOWN  
DATE: 2021-02-18  
SHEET: RP 2 of 12  
REV. NO: 1

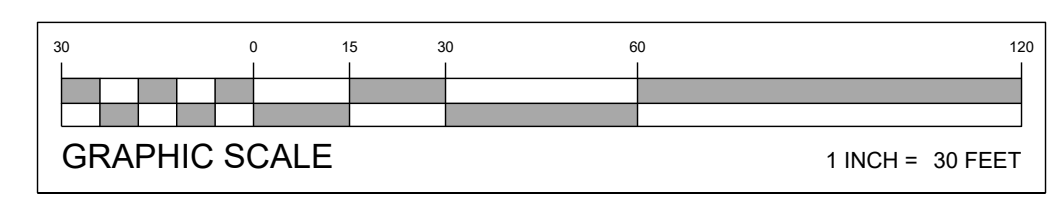
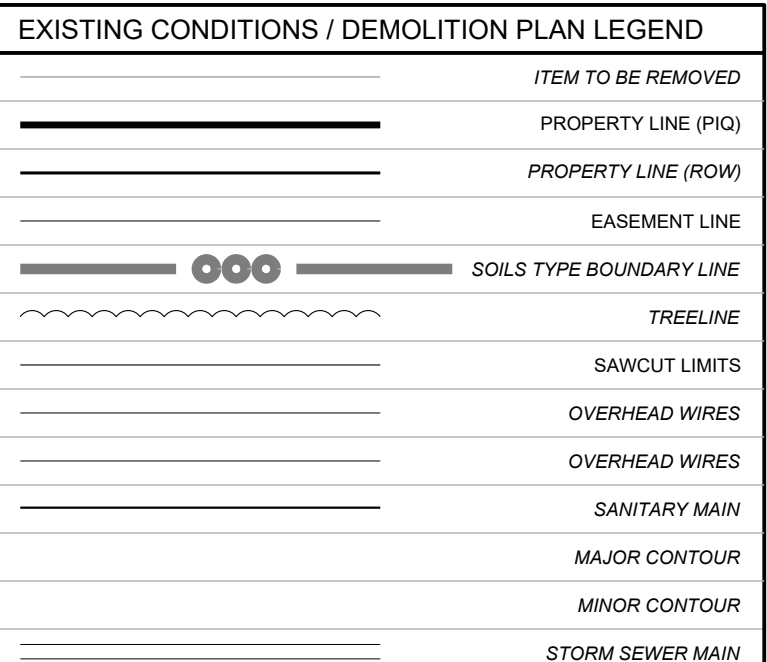


**EXISTING CONDITIONS/DEMOLITION NOTES**

- NEITHER LANDCORE ENGINEERING CONSULTANTS, P.C. NOR THE OWNER IS RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR IS TO PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER FOLLOWING ALL OHIO STATE AND MUNICIPAL REQUIREMENTS TO ENSURE PUBLIC AND CONTRACTOR SAFETY.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AS WELL AS ALL FEDERAL, STATE, AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO LANDCORE ENGINEERING CONSULTANTS, P.C. IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF SITE ACTIVITY.
- THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS / CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE ANY OTHER INFORMATION. ALL DEMOLITION MEANS AND METHODS ARE TO BE IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, LOCAL AND JURISDICTIONAL REQUIREMENTS.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE TO FURTHER THE FOLLOWING:
  - ENSURING COPIES OF ALL APPLICABLE PERMITS AND APPROVALS ARE MAINTAINED ON SITE AND AVAILABLE FOR REVIEW.
  - INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
  - THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE NATIONAL UTILITY NOTIFICATION SYSTEM (N11) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT HIS/HER OWN RISK.
  - PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING THE DEMOLITION ACTIVITIES.
  - FAMILIARIZING THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDERS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING ANY TEMPORARY OR PERMANENT DISCONNECTION, REMOVAL, AND/OR RELOCATION OF UTILITIES FOR ANY DEMOLITION REQUIRED FOR THE PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
  - COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT OF THE AFFECTED PARTIES.
  - CONTACTING THE APPROPRIATE UTILITY OWNERS TO DISCONNECT EXISTING UTILITY SERVICES TO BUILDINGS/STRUCTURES SCHEDULED FOR DEMOLITION.
  - AN INSPECTION AND ASSESSMENT BY A LICENSED ENVIRONMENTAL TESTING AGENCY OF ANY HAZARDOUS MATERIALS WITHIN THE BUILDINGS AND/OR STRUCTURES TO BE ABANDONED OR REMOVED IN ACCORDANCE WITH FEDERAL, STATE, OR LOCAL LAWS PRIOR TO DEMOLITION. THE INSPECTION AND ASSESSMENT SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING REMEDIATION, MAINTENANCE OR REMOVAL OF HAZARDOUS MATERIALS, SOILS, ASBESTOS, LEAD-BASED PAINT, OR ANY OTHER ENVIRONMENTAL WORK REQUIRED SHALL BE OVERSEEN BY A LICENSED ENVIRONMENTAL CONSULTANT AND PERFORMED BY LICENSED TRADES.
  - THE CONTRACTOR SHALL PROVIDE ALL THE MEANS AND METHODS NECESSARY TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF EXISTING STRUCTURES OR ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF THE SITE. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF THEIR ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
  - IN THE ABSENCE OF SPECIFICATIONS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH DIRECTION BY THE OWNER'S STRUCTURAL OR GEOTECHNICAL ENGINEER.
  - EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN AUTHORIZATION OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
  - CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL" AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY.
  - CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROAD, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET/SIDEWALK CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY.
  - DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINE OR APPROVED LIMITS OF DISTURBANCE FOR THE PROJECT WITHOUT WRITTEN PERMISSION OF THE OWNER AND /OR APPROPRIATE GOVERNMENT AGENCY.
  - CONTRACTOR SHALL UTILIZE APPROPRIATE DUST CONTROL MEASURES TO LIMIT AIRBORNE DUST AND DEBRIS RISING AND SCATTERING IN THE AIR IN ACCORDANCE WITH FEDERAL, STATE AND /OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR PRE-DEMOLITION CONDITION.
  - CONTRACTOR IS RESPONSIBLE TO SAFEGUARD AND SECURE THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE ENTRY OF UNAUTHORIZED PERSONS AT ANY TIME.
  - DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE (CRUSHED STONE/CONCRETE CERTIFIED AND USED AS CLEAN FILL SHALL BE EXCLUDED). ALL DEMOLITION WASTES AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND LOCAL LAWS, REGULATIONS, AND CODES.
  - ALL EXISTING UTILITIES SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH LOCAL UTILITY COMPANY REQUIREMENTS.

**RADNOR TOWNSHIP TREE REPLACEMENT FORMULA**

DIAMETER AT BREAST HEIGHT (IN)	NUMBER REMOVED	REQUIRED LARGE CANOPY REPLACEMENT TREES PER REMOVED TREE	NEW PLANTINGS REQUIRED	
			TOTAL REQUIRED REPLACEMENT TREES PER REMOVED TREE	TOTAL REQUIRED REPLACEMENT TREES
6 - 18	20	0	1	20
19 - 29	1	2	3	3
30 +	0	4	6	0
<b>TOTALS</b>			<b>2</b>	<b>23</b>



**LANDCORE Engineering Consultants, P.C.**  
 PROJECT: BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE AT 259 RADNOR CHESTER ROAD, RADNOR TOWNSHIP, DELAWARE COUNTY, PA.  
 TITLE: EXISTING CONDITIONS & DEMOLITION PLAN  
 SHEET: ECD 3 of 12  
 DATE: 2021-02-18  
 SCALE: (H) AS NOTED (V)  
 PROJECT NO: 200002  
 DRAWN BY: MP/LAR  
 CHECKED BY: DA/TW  
 CADD: DA  
 DATE: 03\_ECD\_200202  
 NOT FOR CONSTRUCTION  
 D. ALEXANDER TWEEDE, PROFESSIONAL ENGINEER, PENNSYLVANIA LICENSE NO. 071973  
 LANDCORE CONSULTING COMPANY, PHONE: 215-388-2000, FAX: 215-388-2001, PHILADELPHIA, PENNSYLVANIA 19104-0835



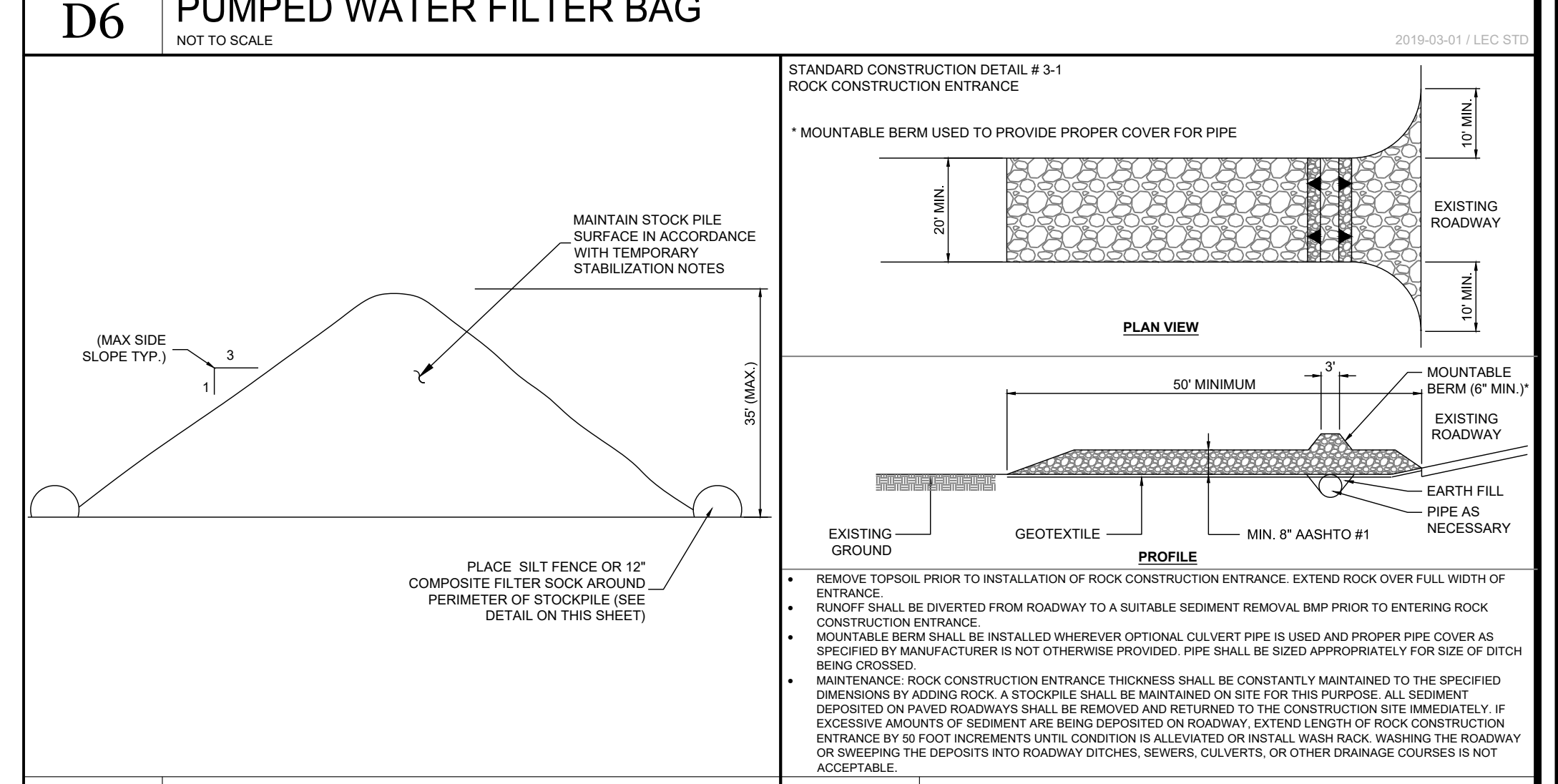
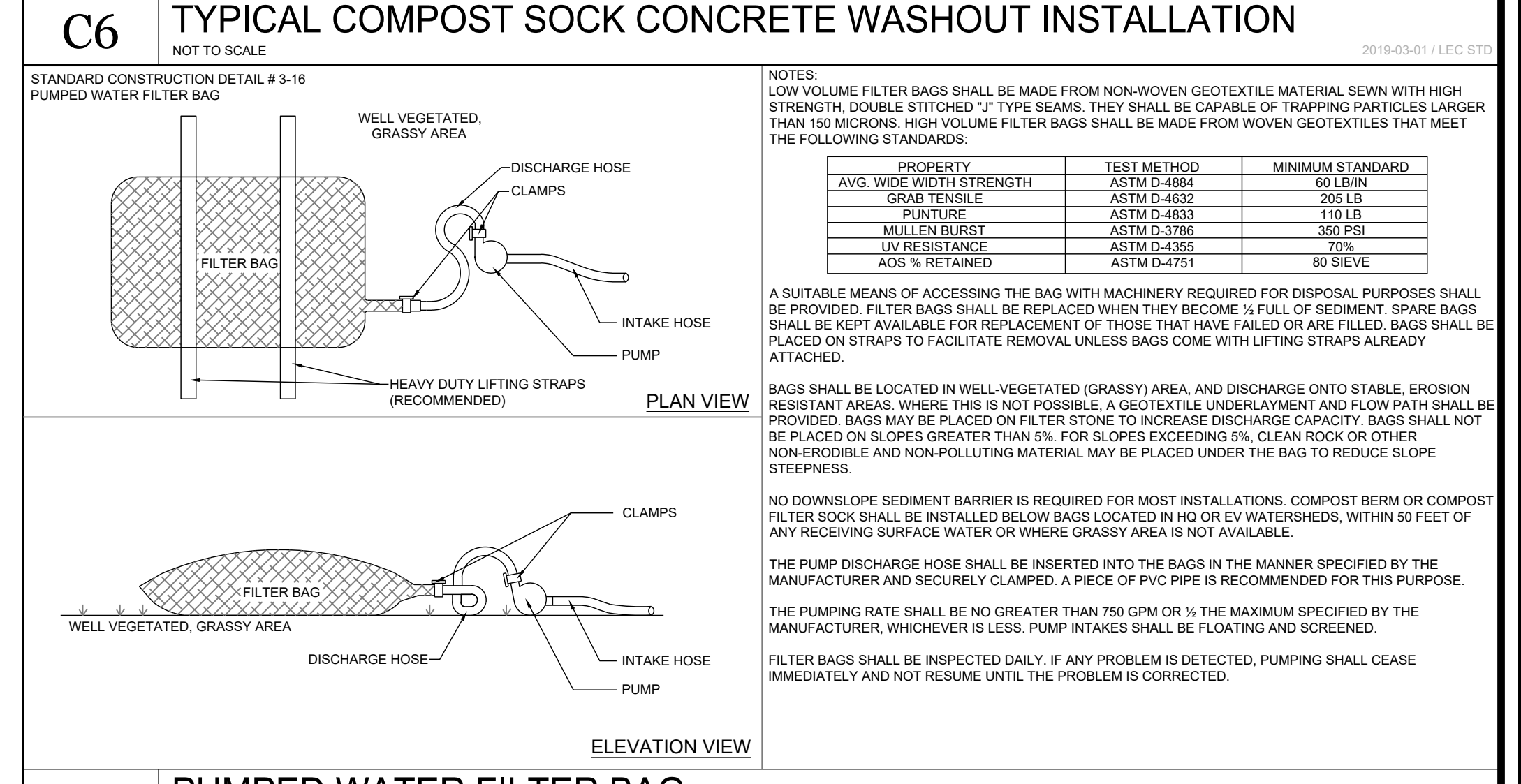
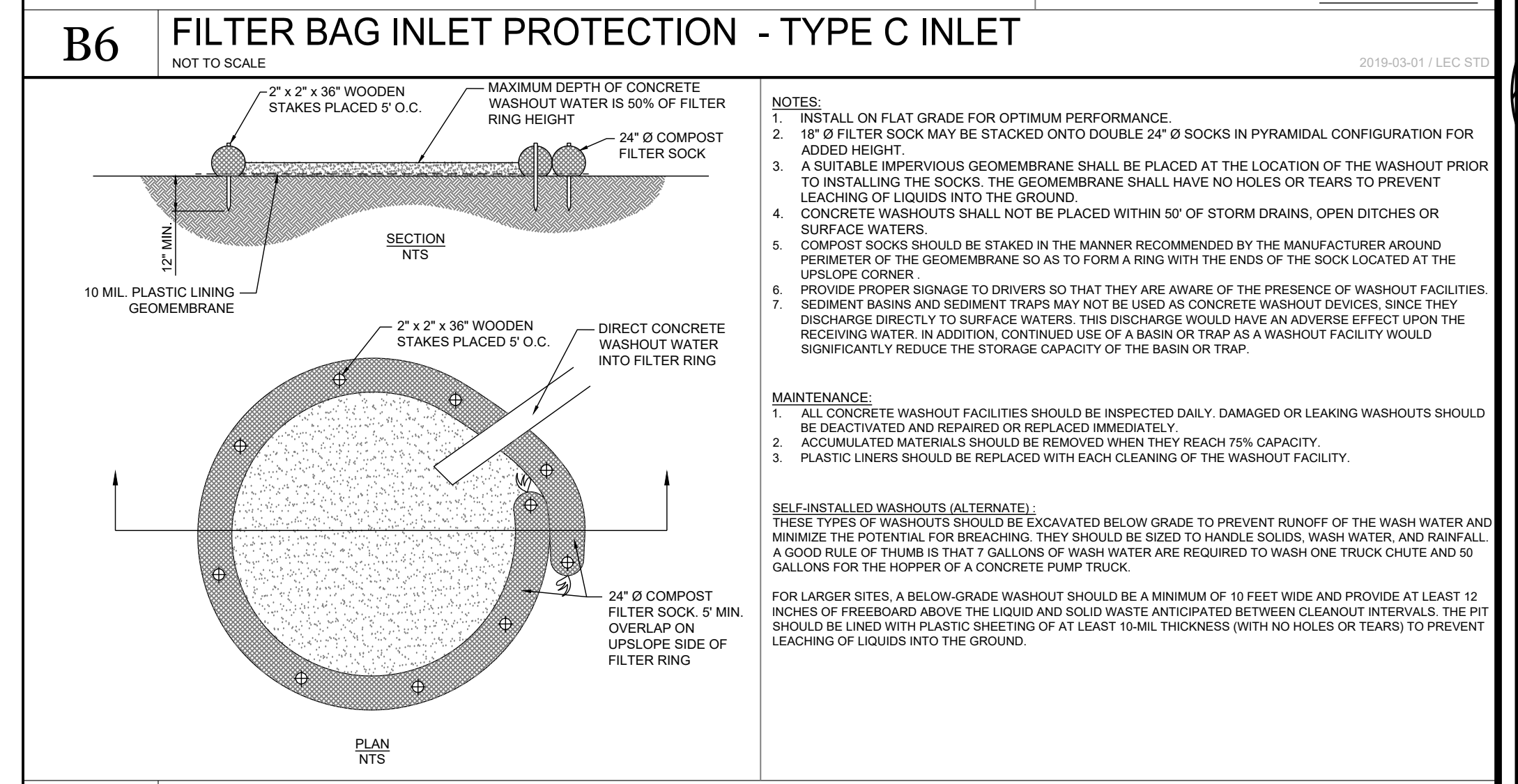
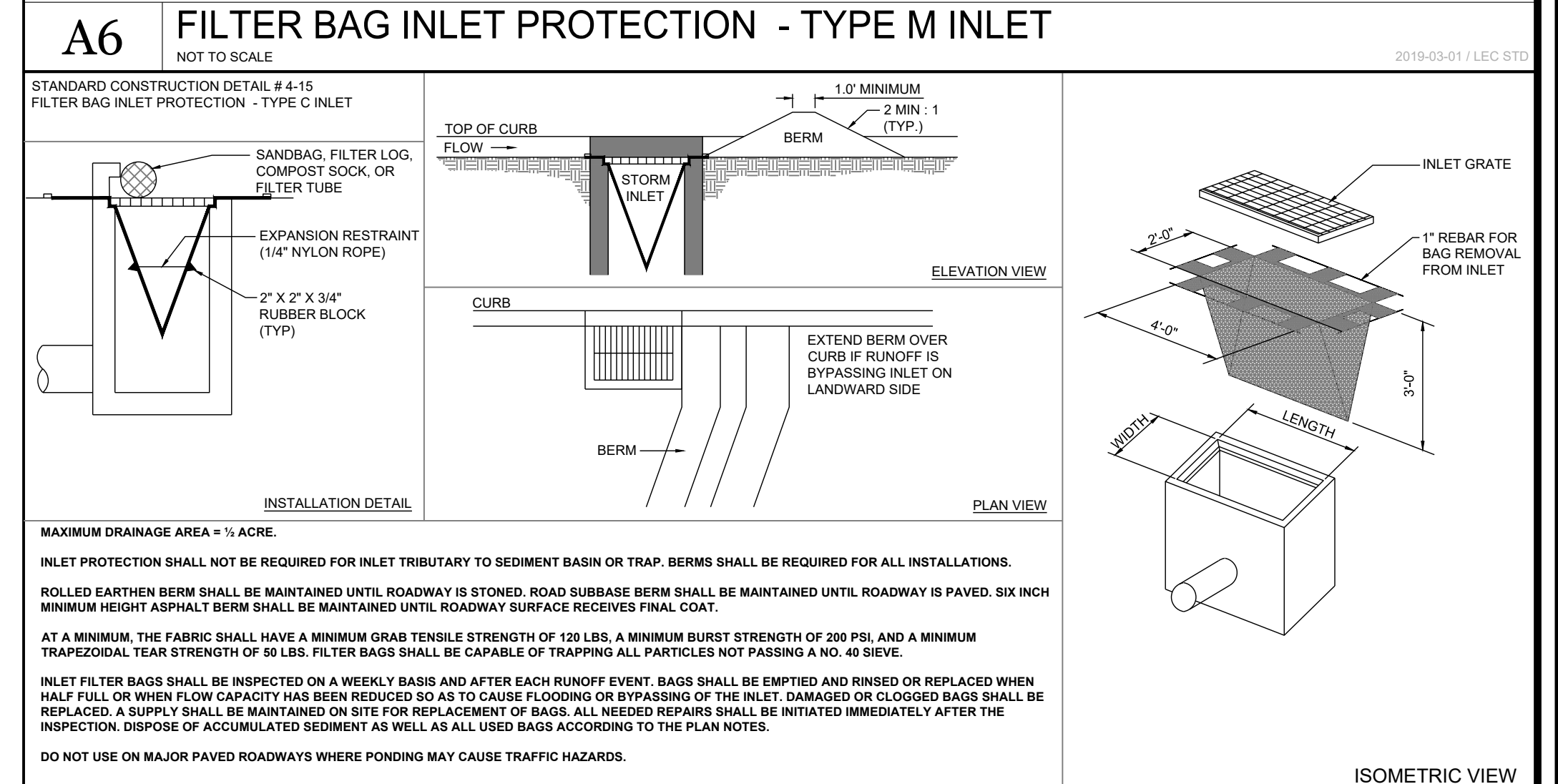
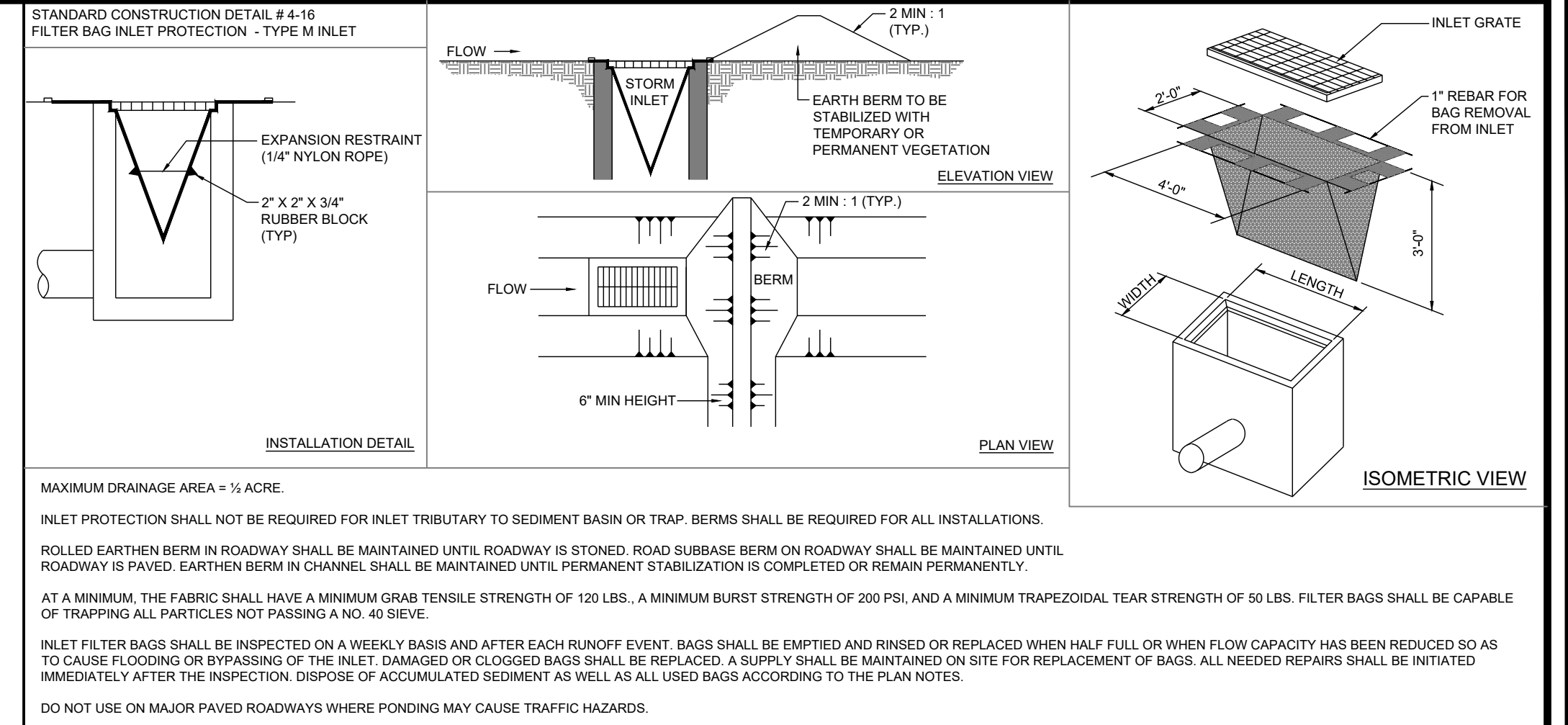
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NO.	REV.	DATE	COMMENTS

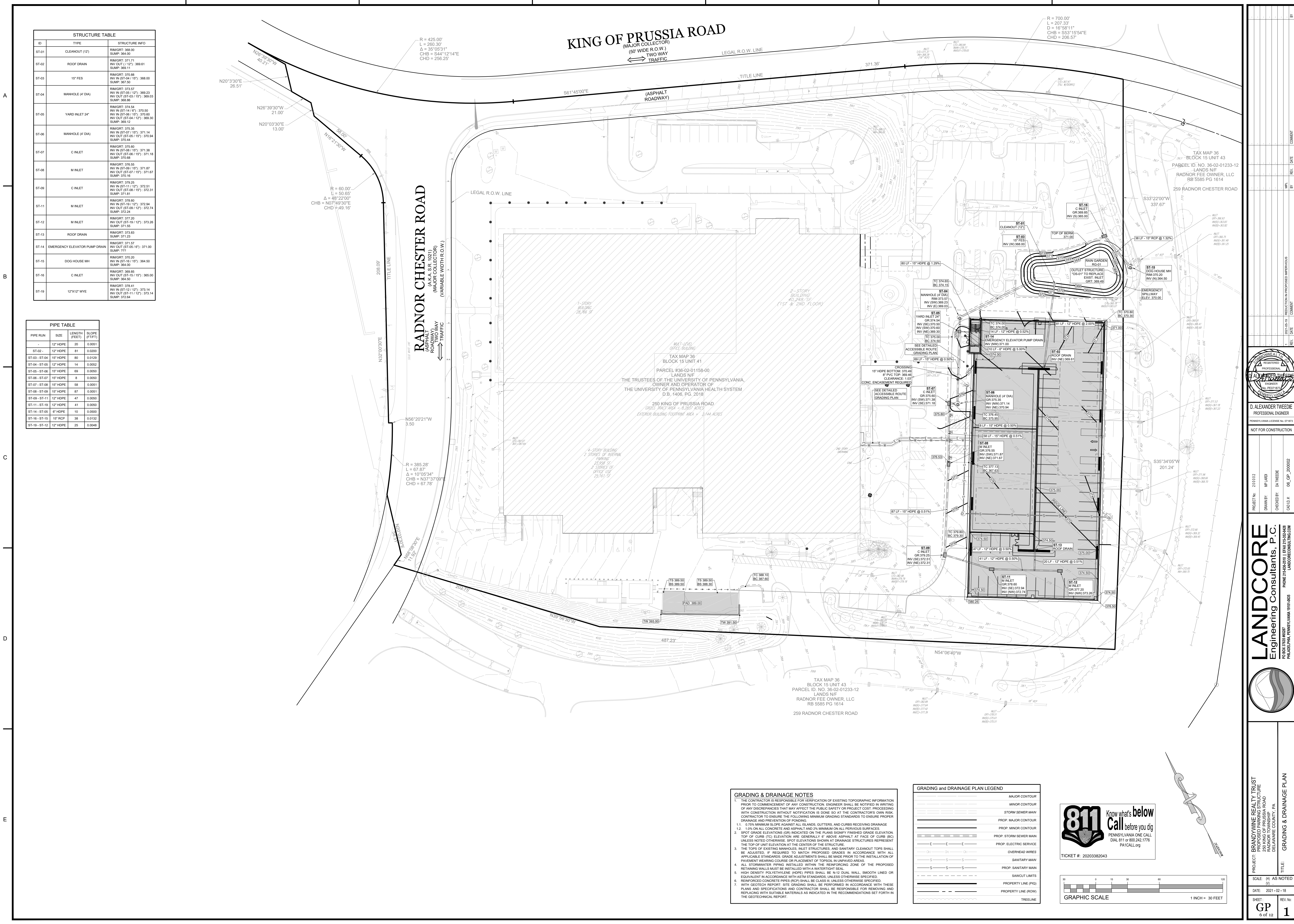
REGISTERED PROFESSIONAL ENGINEER  
PENNSYLVANIA  
D. ALEXANDER TWEEDIE  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 19773  
NOT FOR CONSTRUCTION  
PROJECT NO: 210012  
DRAWN BY: MP/LAKI  
CHECKED BY: DA/TWEEDIE  
DATE: 08/14/2020

**LANDCORE**  
Engineering Consultants, P.C.  
PHONE: 215-488-8800 | FAX: 215-584-4000  
P.O. BOX 371553 AUSTIN, TX 78737  
PHILADELPHIA, PENNSYLVANIA 19101-0315

PROJECT: BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE ROAD RAINCOURT TOWNSHIP DELAWARE COUNTY, PA  
TITLE: EROSION & SEDIMENT CONTROL DETAILS  
SCALE: (H) AS NOTED (V) 1/4"  
DATE: 2021-02-16  
SHEET: DE 1 OF 12  
REV. NO: 1

STRUCTURE TABLE		
ID	TYPE	STRUCTURE INFO
ST-01	CLEANOUT (12")	RIMGR: 368.00 SUMP: 364.00
ST-02	ROOF DRAIN	RIMGR: 371.71 INV. OUT (12") 369.61 SUMP: 369.11
ST-03	15" FES	RIMGR: 370.88 INV. IN (ST-04 (12")) 369.00 SUMP: 367.50
ST-04	MANHOLE (4" DIA)	RIMGR: 373.57 INV. IN (ST-04 (12")) 369.23 INV. OUT (ST-04 (12")) 369.03 SUMP: 368.96
ST-05	YARD INLET 24"	RIMGR: 374.54 INV. IN (ST-14 (12")) 370.50 INV. OUT (ST-04 (12")) 369.30 SUMP: 370.44
ST-06	MANHOLE (4" DIA)	RIMGR: 375.35 INV. IN (ST-07 (15")) 371.14 INV. OUT (ST-06 (15")) 370.84 SUMP: 370.44
ST-07	C INLET	RIMGR: 375.00 INV. IN (ST-06 (15")) 371.38 INV. OUT (ST-06 (15")) 371.10 SUMP: 370.69
ST-08	M INLET	RIMGR: 376.55 INV. IN (ST-09 (15")) 371.87 INV. OUT (ST-07 (15")) 371.67 SUMP: 370.16
ST-09	C INLET	RIMGR: 379.25 INV. IN (ST-11 (12")) 372.51 INV. OUT (ST-08 (12")) 372.31 SUMP: 371.81
ST-11	M INLET	RIMGR: 378.00 INV. IN (ST-10 (12")) 372.04 INV. OUT (ST-09 (12")) 372.74 SUMP: 372.24
ST-12	M INLET	RIMGR: 377.20 INV. IN (ST-10 (12")) 373.28 SUMP: 371.55
ST-13	ROOF DRAIN	RIMGR: 373.83 SUMP: 371.23
ST-14	EMERGENCY ELEVATOR PUMP DRAIN	RIMGR: 371.57 INV. OUT (ST-06 (6")) 371.00 SUMP: 371.00
ST-15	DOG HOUSE MH	RIMGR: 370.20 INV. IN (ST-16 (15")) 364.50 SUMP: 364.50
ST-16	C INLET	RIMGR: 369.85 SUMP: 364.50
ST-19	12"x12" WYE	RIMGR: 378.41 INV. IN (ST-12 (12")) 373.14 INV. OUT (ST-11 (12")) 373.14 SUMP: 372.64

PIPE TABLE			
PIPE RUN	SIZE	LENGTH (FEET)	SLOPE (F/100')
ST-02	12" HDPE	20	0.0551
ST-03	12" HDPE	81	0.0200
ST-03 - ST-04	15" HDPE	80	0.0129
ST-04 - ST-05	12" HDPE	14	0.0552
ST-05 - ST-06	15" HDPE	69	0.0050
ST-06 - ST-07	15" HDPE	8	0.0050
ST-07 - ST-08	15" HDPE	58	0.0551
ST-08 - ST-09	15" HDPE	87	0.0551
ST-09 - ST-11	12" HDPE	47	0.0050
ST-11 - ST-19	12" HDPE	41	0.0050
ST-14 - ST-05	12" HDPE	10	0.0050
ST-16 - ST-15	15" RCP	38	0.0132
ST-19 - ST-12	12" HDPE	25	0.0048

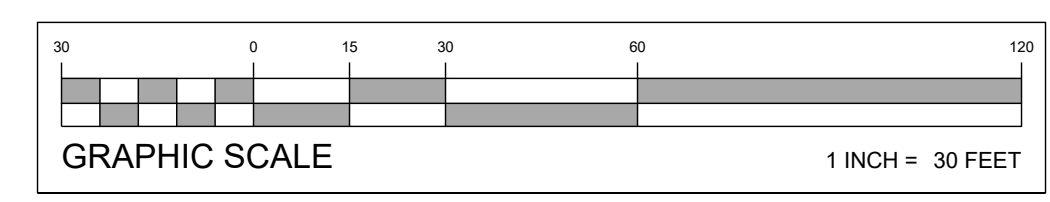


**GRADING & DRAINAGE NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ENGINEER SHALL BE NOTIFIED IN WRITING OF ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST. PROCEEDING WITH CONSTRUCTION WITHOUT NOTIFICATION IS DONE SO AT THE CONTRACTOR'S OWN RISK. CONTRACTOR TO ENSURE THE FOLLOWING MINIMUM GRADING STANDARDS TO ENSURE PROPER DRAINAGE AND PREVENTION OF POONDING.
- 0.7% MINIMUM SLOPE AGAINST ALL ISLANDS, CUTTERS, AND CURBS RECEIVING DRAINAGE
- 1.0% ON ALL CONCRETE AND ASPHALT AND 2% MINIMUM ON ALL PREVIOUS SURFACES
- SPOT GRADE ELEVATIONS (GR) INDICATED ON THE PLANS SIGNIFY FINISHED GRADE ELEVATION. TOP OF CURB (TO) ELEVATION ARE GENERALLY "C" AND/OR "ASPHALT" AT FACE OF CURB (BC) UNLESS NOTED OTHERWISE. SPOT ELEVATIONS SHOWN AT DRAINAGE STRUCTURES REPRESENT THE TOP OF UNIT ELEVATION AT THE CENTER OF THE STRUCTURE.
- THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES AND SANITARY CLEANOUT TOPS SHALL BE ADJUSTED, IF REQUIRED TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS. GRADE ADJUSTMENTS SHALL BE MADE PRIOR TO THE INSTALLATION OF PAVEMENT WEARING COURSE OR PLACEMENT OF TOPSOIL IN UNPAVED AREAS.
- ALL STORMWATER PIPING INSTALLED WITHIN THE REINFORCING ZONE OF THE PROPOSED RETAINING WALLS MUST BE INSTALLED WITH A WATERTIGHT SEAL.
- HIGH DENSITY POLYETHYLENE (HDPE) PIPES SHALL BE 1/2" DUAL WALL SMOOTH LINED OR EQUIVALENT IN ACCORDANCE WITH ASTM STANDARDS, UNLESS OTHERWISE SPECIFIED.
- REINFORCED CONCRETE PIPES (RCP) SHALL BE CLASS III, UNLESS OTHERWISE SPECIFIED.
- WITH GEOTECH REPORT: SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING WITH SUITABLE MATERIALS AS INDICATED IN THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT.

**GRADING and DRAINAGE PLAN LEGEND**

(Symbol)	MAJOR CONTOUR
(Symbol)	MINOR CONTOUR
(Symbol)	STORM SEWER MAIN
(Symbol)	PROP. MAJOR CONTOUR
(Symbol)	PROP. MINOR CONTOUR
(Symbol)	PROP. STORM SEWER MAIN
(Symbol)	PROP. ELECTRIC SERVICE
(Symbol)	OVERHEAD WIRES
(Symbol)	SANITARY MAIN
(Symbol)	PROP. SANITARY MAIN
(Symbol)	SAWCUT LIMITS
(Symbol)	PROPERTY LINE (POL)
(Symbol)	PROPERTY LINE (ROW)
(Symbol)	TREELINE



PROJECT: BRANDYWINE REALTY TRUST  
PROPOSED PARKING STRUCTURE  
RADNOR CHESTER ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

TITLE: GRADING & DRAINAGE PLAN

SCALE: (H) AS NOTED  
(V) 1" = 30'

DATE: 2021-02-18

SHEET: 6 of 12

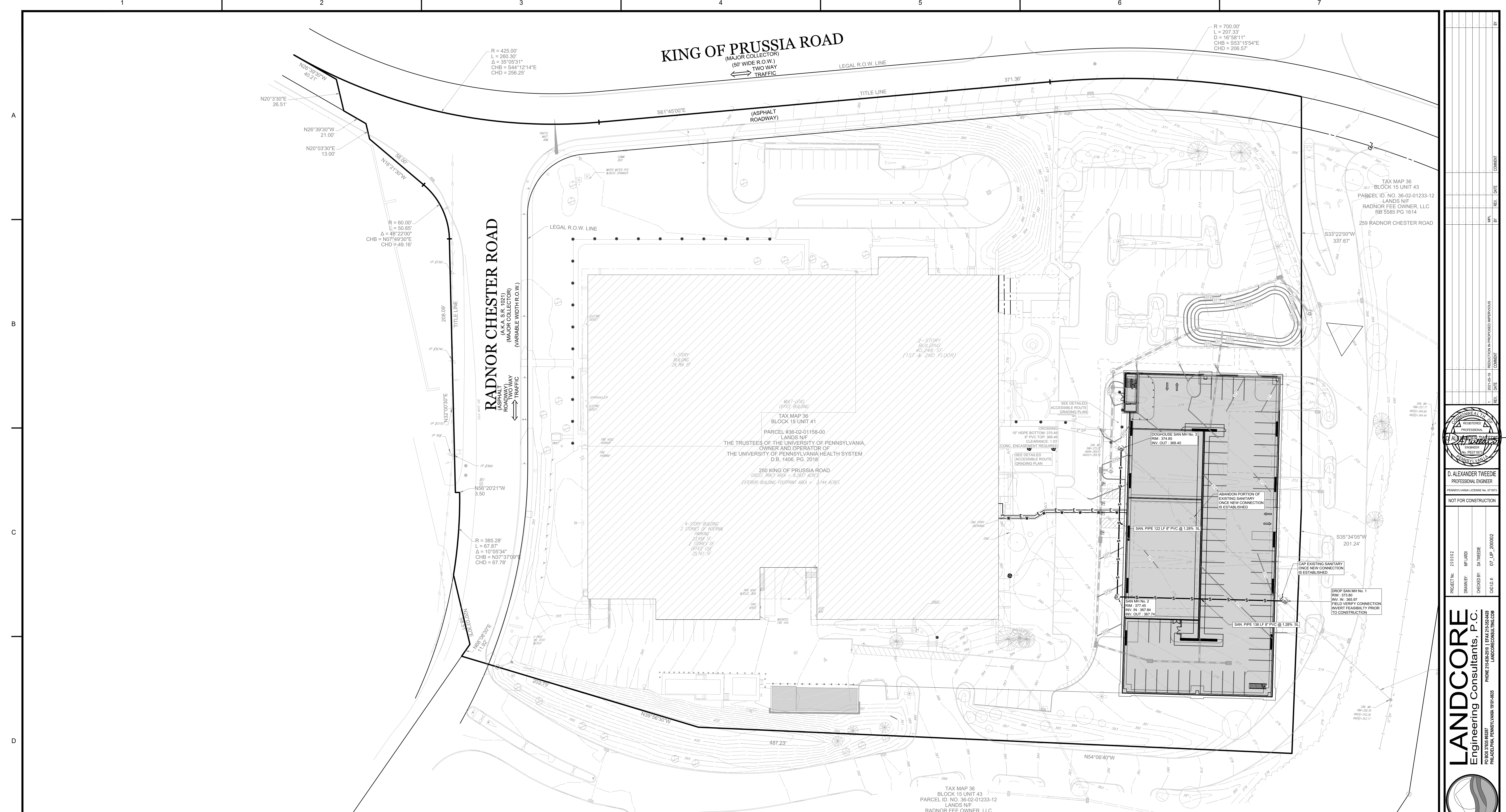
REV: No. 1

PROJECT NO: 200002  
DRAWN BY: MP/LARI  
CHECKED BY: DA/TWEDIE  
CADD # 06\_GP\_200002

NOT FOR CONSTRUCTION

D. ALEXANDER TWEDIE  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 071973

LANDCORE Engineering Consultants, P.C.  
PO BOX 310333 RICHMOND, LEAN 19134-3340  
PHILADELPHIA, PENNSYLVANIA 19101-8835  
PHONE 215-388-3010 | FAX 215-388-4440  
LANDCORECONSULTING.COM



**KING OF PRUSSIA ROAD**  
(MAJOR COLLECTOR)  
(50' WIDE R.O.W.)  
TWO WAY TRAFFIC

**RADNOR CHESTER ROAD**  
(ASPHALT ROADWAY)  
(VARIABLE WIDTH R.O.W.)  
TWO WAY TRAFFIC

PARCEL #36-02-01158-00  
BLOCK 15 UNIT 41  
LANDS N/F  
THE TRUSTEES OF THE UNIVERSITY OF PENNSYLVANIA,  
OWNER AND OPERATOR OF  
THE UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEM  
D.B. 1406, PG. 2018

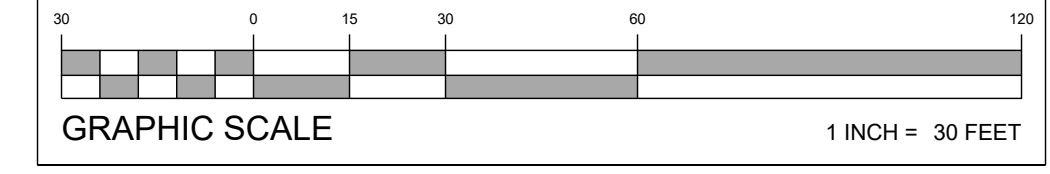
250 KING OF PRUSSIA ROAD  
GROSS TRACT AREA = 8.2857 ACRES  
EXTERIOR BUILDING FOOTPRINT AREA = 3,144 SQUARE FEET

TAX MAP 36  
BLOCK 15 UNIT 43  
PARCEL ID. NO. 36-02-01233-12  
LANDS N/F  
RADNOR FEE OWNER, LLC  
RB 5585 PG 1614  
259 RADNOR CHESTER ROAD

- UTILITY NOTES**
- LOCATIONS OF ALL EXISTING AND PROPOSED UTILITY LINES ARE APPROXIMATE. CONTRACTOR IS TO CONFIRM LOCATIONS, SIZES, MATERIALS, AND CONNECTION POINTS INDEPENDENTLY IN ACCORDANCE WITH ARCHITECTURAL DRAWINGS AND WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
  - ALL UTILITIES AND SERVICES WITHIN THE LIMITS OF DISTURBANCE SHALL BE VERTICALLY AND HORIZONTALLY LOCATED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. ALL ACTIVE UTILITY AND SERVICE SYSTEMS THAT ARE TO BE REMOVED OR RELOCATED SHALL BE COORDINATED BY THE CONTRACTOR WITH THE APPLICABLE UTILITY COMPANY REGARDING THE REMOVAL OR RELOCATION OF SUCH. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE CONSTRUCTION ACTIVITY.
  - CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
  - THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE NATIONAL UTILITY NOTIFICATION SYSTEM (811) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCEMENT OF ANY WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION AT NO COST TO THE OWNER.
  - THE CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING ANY REMOVAL, DISCONNECTION, ABANDONMENT, OR RELOCATIONS OF ANY UTILITY IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN REMOVED, TERMINATED, DISCONNECTED, RELOCATED AND/OR ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND/OR UTILITY COMPANY REQUIREMENTS.
  - ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND IN ACCORDANCE WITH THE UTILITY SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
  - ELECTRIC, CABLE & TELEPHONE LOCATIONS PROVIDED ON THESE PLANS ARE APPROXIMATE AND SHOWN FOR SCHEMATIC PURPOSES ONLY. ACTUAL LOCATIONS ARE TO BE DESIGNED AND SUBMITTED BY LOCAL UTILITY SERVICE COMPANIES UPON CONTRACTOR FILING THE REQUIRED SERVICE CONNECTION APPLICATION FOR THE PROJECT.
  - THE TOPS OF EXISTING MANHOLES AND UTILITY STRUCTURES SHALL BE ADJUSTED, IF REQUIRED, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS.
  - ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE IN ACCORDANCE WITH THE APPLICABLE UTILITY MUNICIPAL OR STATE REGULATION UNLESS A GEOTECHNICAL REPORT FOR THE PROJECT SITE HAS BEEN PREPARED AND PROVIDES GUIDANCE FOR THESE ITEMS. IN SUCH CASES, THE MORE STRINGENT RECOMMENDATIONS SHALL BE IMPLEMENTED. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THAT ANY IMPORT SOILS ARE CERTIFIED "CLEAN FILL" AS DEFINED BY THE APPLICABLE DEPARTMENT OF ENVIRONMENTAL PROTECTION.
  - ALL MANHOLE OR CLEANOUT COVERS SHALL BE STAMPED WITH THE APPROPRIATE UTILITY CALLOUT WHICH MAY INCLUDE BUT IS NOT LIMITED TO "SANITARY," "STORM," "WATER," "ELECTRIC," "GAS" OR "TELE" PRIOR TO FABRICATING. THE CONTRACTOR MUST COORDINATE WITH THE APPROPRIATE UTILITY OWNER TO DETERMINE THE EXACT Nomenclature THAT SHOULD BE STAMPED ON THE RESPECTIVE COVER.

**UTILITY PLAN LEGEND**

—E—E—E—	PROP. ELECTRIC SERVICE
—OH—OH—OH—	OVERHEAD WIRES
—S—S—S—	SANITARY MAIN
—SS—SS—SS—	PROP. SANITARY MAIN
—M—M—M—	MAJOR CONTOUR
—m—m—m—	MINOR CONTOUR
—SM—SM—SM—	STORM SEWER MAIN
—sm—sm—sm—	PROP. MAJOR CONTOUR
—SM—SM—SM—	PROP. MINOR CONTOUR
—SM—SM—SM—	PROP. STORM SEWER MAIN
—S—S—S—	SAWCUT LIMITS
—P—P—P—	PROPERTY LINE (PQ)
—P—P—P—	PROPERTY LINE (ROW)
—T—T—T—	TREELINE

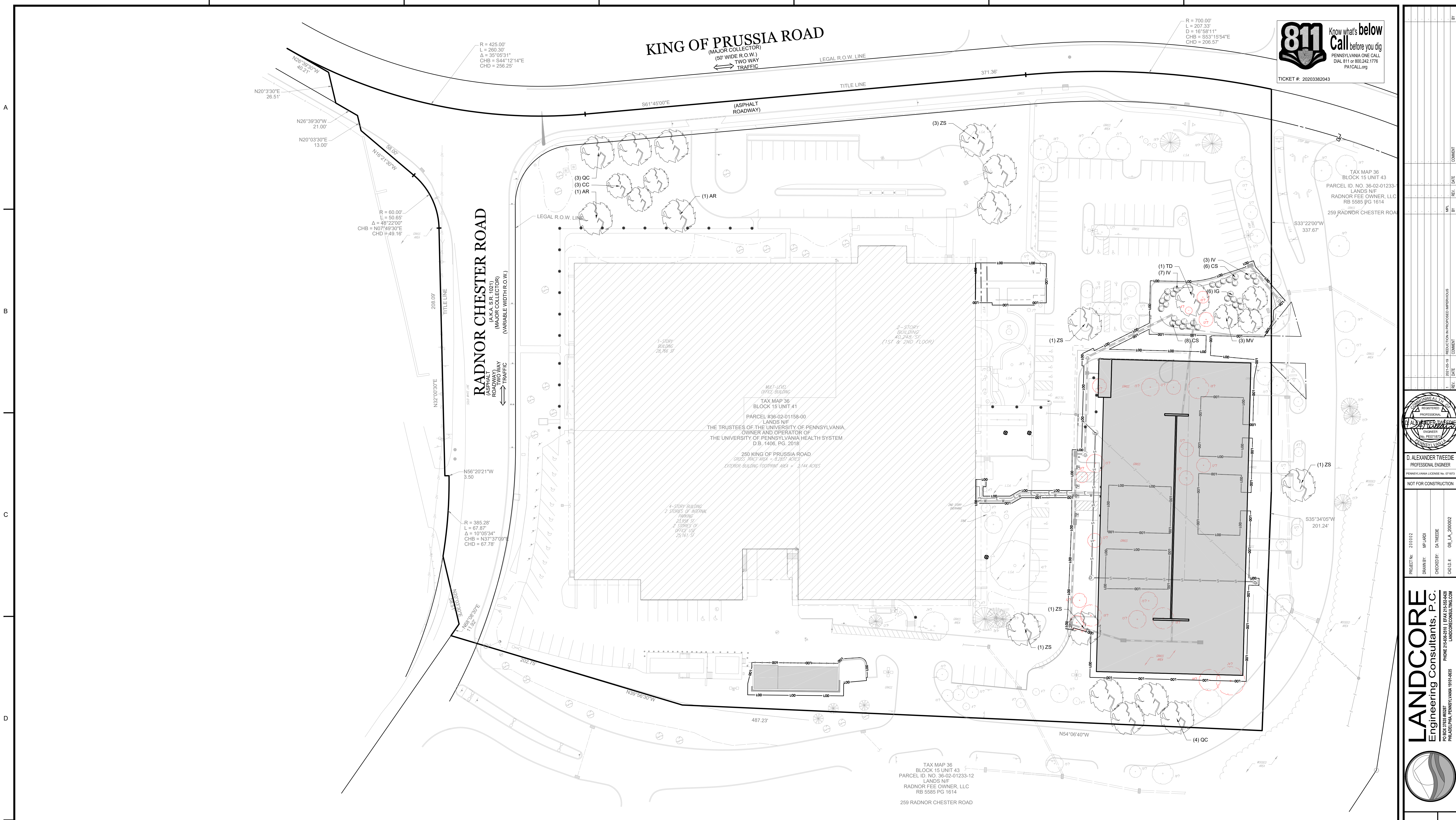


<p>D. ALEXANDER TWEEDIE PROFESSIONAL ENGINEER PENNSYLVANIA LICENSE NO. 071973</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>PROJECT NO: 200102</p>	<p>DATE: 07/15/2020</p>
<p>DRAWN BY: MP/LAR</p>	<p>CHECKED BY: DA/TWE</p>
<p>SCALE: (H) AS NOTED (V)</p>	
<p>DATE: 2021-02-18</p>	
<p>SHEET: UP</p>	<p>REV. NO: 1</p>
<p>7 of 12</p>	

**LANDCORE**  
Engineering Consultants, P.C.  
PO BOX 3103 #207  
PHILADELPHIA, PENNSYLVANIA 19101-0207  
PHONE: 215-586-2010 | FAX: 215-586-4400  
LANDCORECONSULTING.COM

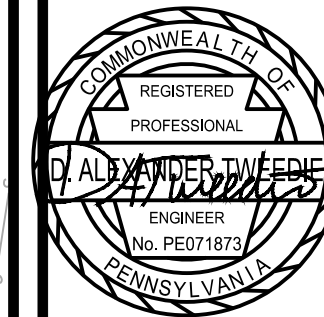
PROJECT: BRANDYWINE REALTY TRUST  
PROPOSED PARKING STRUCTURE  
RADNOR CHESTER ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

TITLE: UTILITY PLAN



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DIAL 811 or 800.242.1776  
PA1CALL.org  
TICKET #: 20203382043

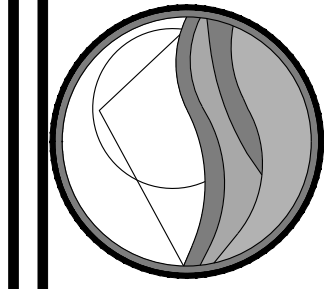
NO.	REV.	DATE	COMMENTS
1			
2			
3			
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5			
6			
7			



D. ALEXANDER TWEEDIE  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 071973  
NOT FOR CONSTRUCTION

PROJECT NO.	200012
DRAWN BY	MP/LARI
CHECKED BY	DA/TWEDIE
CADD #	08_LA_200002

**LANDCORE**  
Engineering Consultants, P.C.  
PHONE: 215-488-2010 | FAX: 215-488-4440  
PHILADELPHIA, PENNSYLVANIA 19101-9835  
LANDCORECONSULTING.COM



PROJECT:	BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE RADNOR TOWNSHIP DELAWARE COUNTY, PA
TITLE:	LANDSCAPING PLAN
SCALE:	(H) AS NOTED (V) 1" = 30 FEET
DATE:	2021-02-18
SHEET:	LA 8 of 12
REV. NO.:	1

LANDSCAPE REQUIREMENTS CHART - RADNOR TOWNSHIP

Zoning Code	Requirement	Plan Proposed
Chapter 263	Tree replacement formula Size of tree removed 6-18" 20 18-29" 1 30"+ 0 Quantity Replaced 1 tree 3 trees 6 trees Req. Replacement 20 trees 3 trees 0 trees Total Replacement 23 trees 0 trees 6 trees 17 Shade trees & Ornamental trees* (3 equiv.) 30 Shrubs* (3 equiv.) 23 trees	17 Shade trees & Ornamental trees* (3 equiv.) 30 Shrubs* (3 equiv.) 23 trees
Z.D. 280-65.1	Along street lines, a landscaped strip of not less than 75' in width shall be provided.	[variance requested] Existing nonconformity
S.O. 255-38	One (1) Street trees, 2.5" cal., per 30' along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development.	N/A
S.O. 255-42	Buffer screens are required between subdivisions and land developments and along existing streets to soften visual impact, to screen glare and to create a visual barrier between conflicting land uses. Refer to Table 1. Proposed use: Nonresidential off-street parking (parking garage) Existing adjacent use: Nonresidential off-street parking	N/A

RADNOR TOWNSHIP TREE REPLACEMENT FORMULA

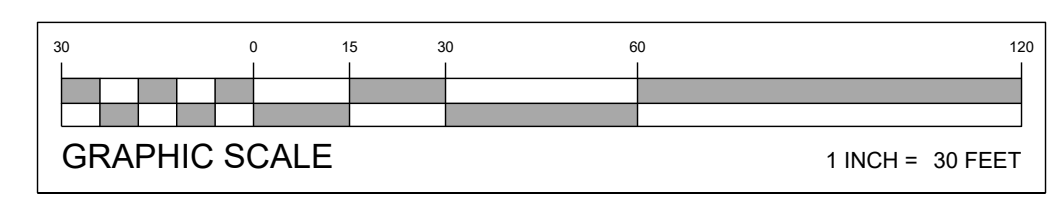
DIAMETER AT BREAST HEIGHT (IN)	NUMBER REMOVED	REQUIRED LARGE CANOPY REPLACEMENT TREES PER REMOVED TREE	TOTAL REQUIRED REPLACEMENT TREES PER REMOVED TREE	NEW PLANTINGS REQUIRED	
				REQUIRED LARGE CANOPY REPLACEMENT TREES	TOTAL REQUIRED REPLACEMENT TREES
6 - 18	20	0	1	0	20
19 - 29	1	2	3	2	3
30 +	0	4	6	0	0
<b>TOTALS</b>				<b>2</b>	<b>23</b>

THE APPLICANT PROPOSES A FEE-IN-LIEU OF REQUIRED REPLACEMENT TREES.

PLANT SCHEDULE

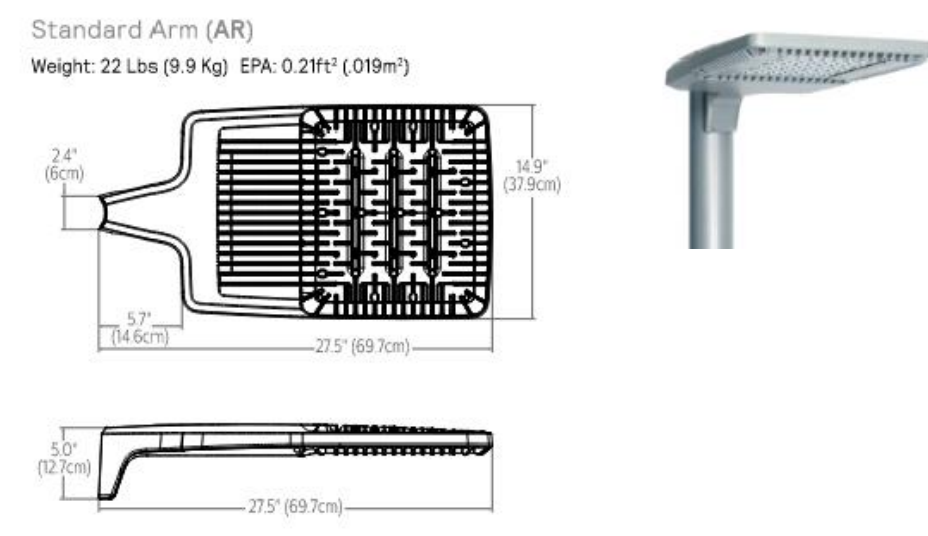
Plan Symbol	Quantity	Botanical Name	Common Name	Min. Planting Caliper	Min. Planting Spread	Min. Planting Height	Remarks	Comments
<b>Shade Trees</b>								
AK	2	<i>Acer rubrum</i>	October Glory Red Maple	2-2.5" cal.*	-	12-14'	B&B	Full, straight leader
QC	7	<i>Quercus coccinea</i>	Scarlet Oak	2-2.5" cal.*	-	12-14'	B&B	Full, straight leader
TD	1	<i>Taxodium distichum</i>	Bald Cypress	2-2.5" cal.*	-	12-14'	B&B	Full, straight leader
ZS	7	<i>Zelkova serrata</i>	Japanese Zelkova	2-2.5" cal.*	-	12-14'	B&B	Full, straight leader
<b>Ornamental Trees</b>								
CC	3	<i>Cercis canadensis</i>	Eastern Redbud	-	-	6-10'	B&B	Multi-stem, Min. 5 stems
MV	3	<i>Magnolia virginiana</i>	Sweetbay Magnolia	-	-	8-10'	B&B	Multi-stem, Min. 5 stems
CS	14	<i>Cornus sericea</i>	Red Twig Dogwood	-	-	24-30'	CONT	Heavy, full specimen
IG	6	<i>Ilex glabra</i>	holberry	-	-	18-24'	CONT	Heavy, full specimen
IV	30	<i>Ilex verticillata</i>	Winterberry Holly	-	-	24-30'	CONT	Heavy, full specimen

\* Caliper at DBH (diameter breast height)  
\*\* Plant in continuous mulch bed (2' depth) until fully established.



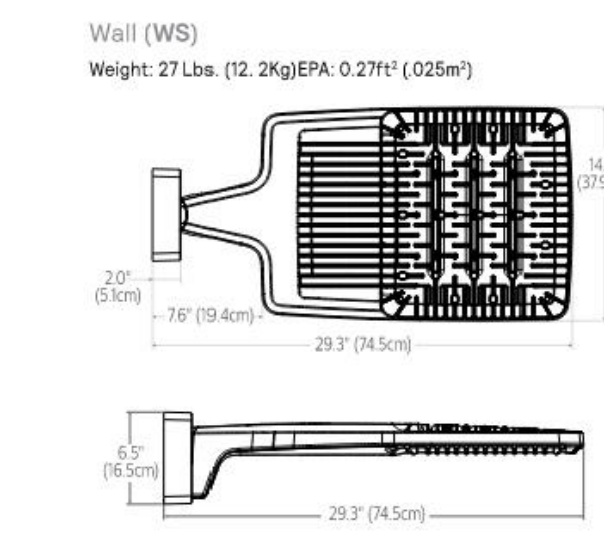


**ECF-S EcoForm small**  
Area luminaire

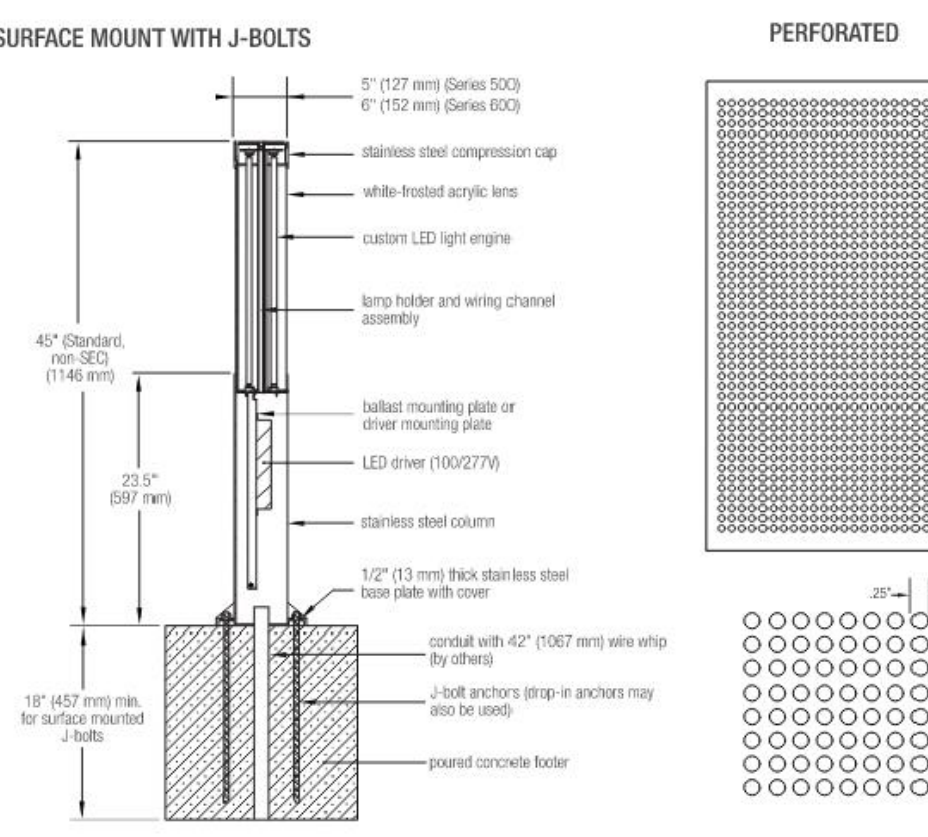


**A1 POLE MOUNTED AREA LIGHT**  
NOT TO SCALE

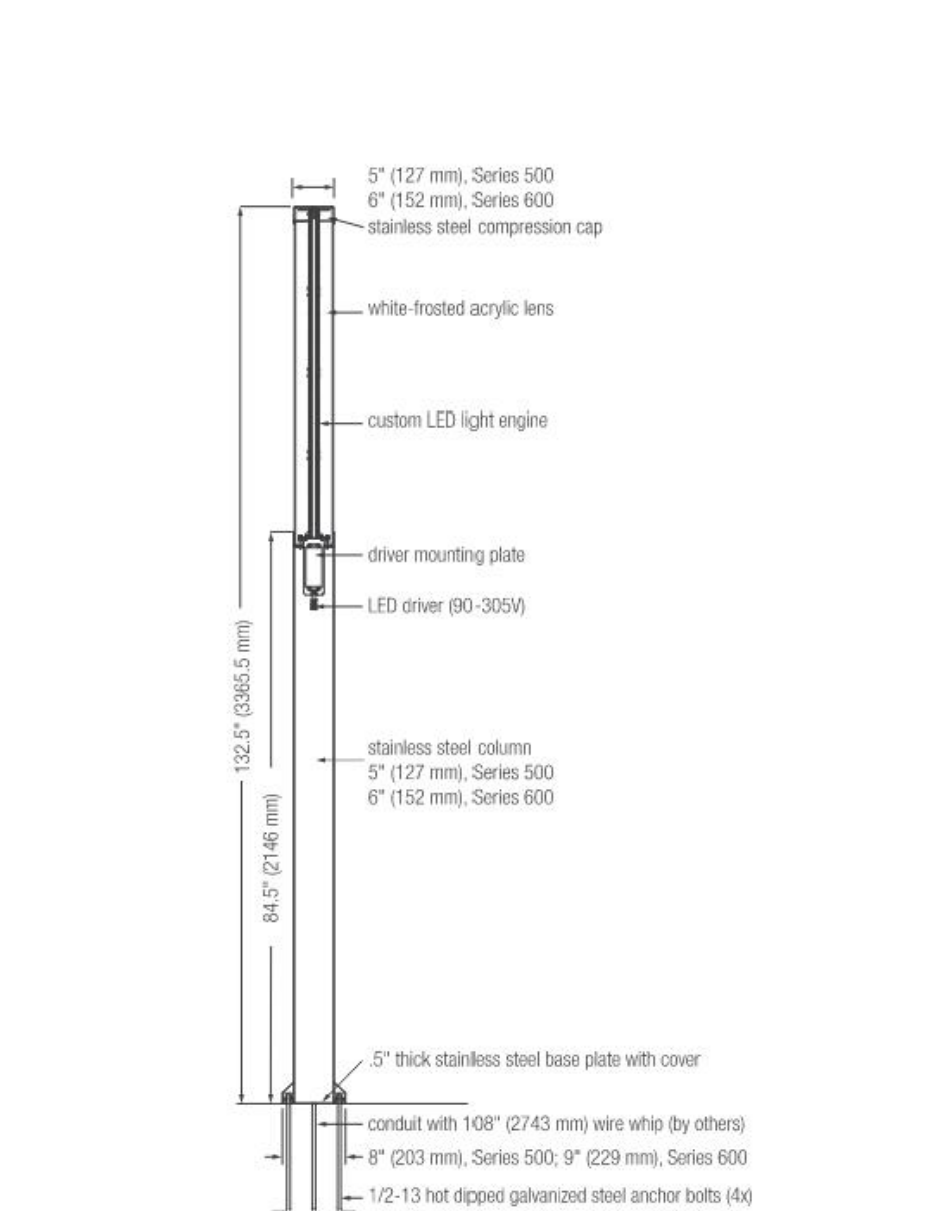
**ECF-S EcoForm small**  
Area luminaire



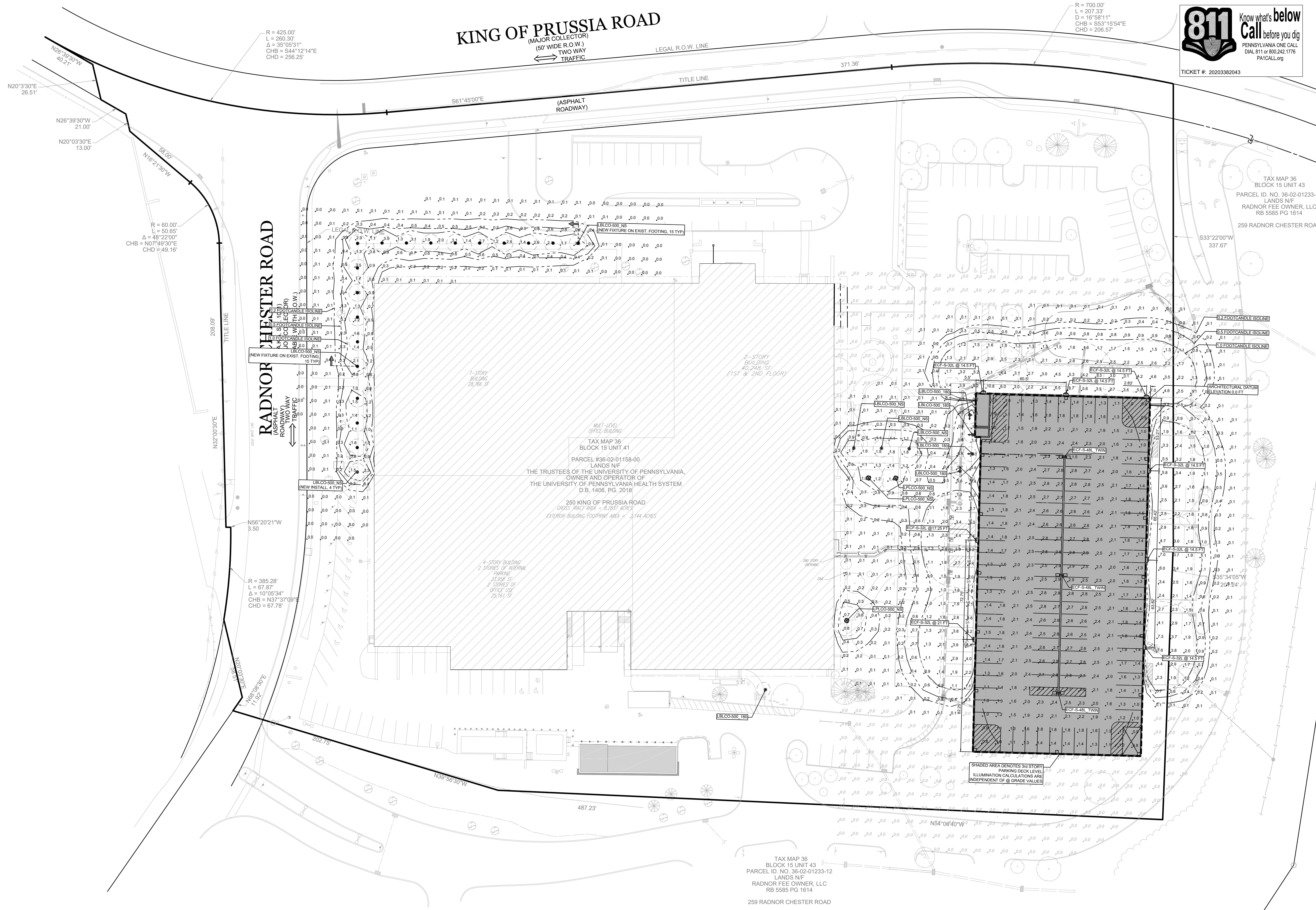
**B1 WALL MOUNTED AREA LIGHT**  
NOT TO SCALE



**C1 BOLLARD LIGHT**  
NOT TO SCALE



**E1 PEDESTRIAN LIGHT**  
NOT TO SCALE



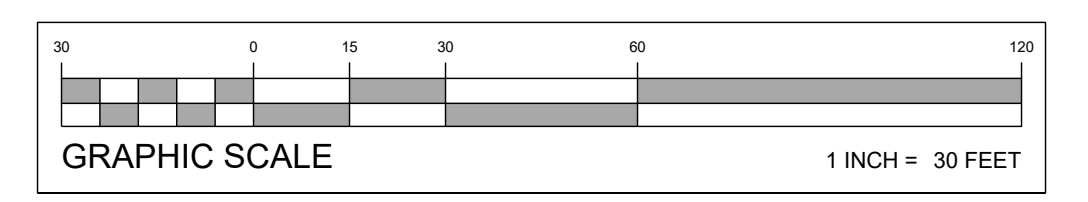
**811** Know what's below  
Call before you dig  
PENNSYLVANIA ONE CALL  
DIAL 811 or 800.242.1776  
PA1CALL.org  
TICKET #: 2020382043

**LIGHT FIXTURE SCHEDULE**

PLAN LABEL	QTY	MOUNTING HEIGHT	MOUNTING TYPE	BUG RATING	LUMEN PER LAMP	WATTAGE	LLF	DESCRIPTION	MANUFACTURER / CATALOG NUMBER
ECF-S-32L	8	SEE PLAN (1)	WALL MOUNT	B1 U0 G2	9,062	73	0.95	ECOFORM SMALL AREA LIGHT (32) LED @ 700 mA / 4,000K TYPE 4 DISTRIBUTION COORDINATE FINISH W/ ARCHITECT	GARCOO by SIGNIFY ECF-S_32L_700_MA_4000K_T4_DAS0_PCB
ECF-S-48L_TWIN	3	23.5 FT 3.5 FT KNEE WALL	POLE TOP	B5 U0 G3	19,424	159	0.95	ECOFORM SMALL AREA LIGHT (48) LED @ 1000 mA / 4,000K TYPE 5 WIDE DISTRIBUTION COORDINATE FINISH W/ ARCHITECT	GARCOO by SIGNIFY (2) ECF-S_48L_1A_WW_G2_AR_SW_LINV_DAS0_PCB (POLE RISR_2_1_11_LV)
LBLC00-NS	22	2 FT	BOLLARD	B1 U4 G1	1,542	19.2	0.95	SERIES 500 LIGHT COLUMN BOLLARD 5 INCH TUBULAR STAINLESS STEEL 17 WATT LED DRIVER @ 4,000K COORDINATE FINISH W/ ARCHITECT	FORMS + SURFACES by CREE LBLC00-NS
LBLC00-180	5	2 FT	BOLLARD	B1 U4 G1	1,542	19.2	0.95	SERIES 500 LIGHT COLUMN BOLLARD 5 INCH TUBULAR STAINLESS STEEL 17 WATT LED DRIVER @ 4,000K COORDINATE FINISH W/ ARCHITECT	FORMS + SURFACES by CREE LBLC00-180_PERF
LPCL00-NS	3	7.04 FT	POLE TOP	B1 U5 G2	3,783	38.4	0.95	SERIES 500 LIGHT COLUMN PEDESTRIAN 6 INCH TUBULAR STAINLESS STEEL 32 WATT LED DRIVER @ 4,000K COORDINATE FINISH W/ ARCHITECT	FORMS + SURFACES by CREE LPCL00-NS

**SITE LIGHTING STATISTICS**

ROOFTOP PARKING AREA	AVG fc	MAX fc	MIN fc	MAX / MIN	AVG / MIN
	1.9	2.9	0.8	3.6:1	2.4:1



PROJECT: BRANDYWINE REALTY TRUST  
PROPOSED PARKING STRUCTURE  
RADNOR CHESTER ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

TITLE: LIGHTING PLAN

SCALE: (H) AS NOTED  
(V) 1" = 30 FT

DATE: 2021-02-18

SHEET: LP 9 of 12

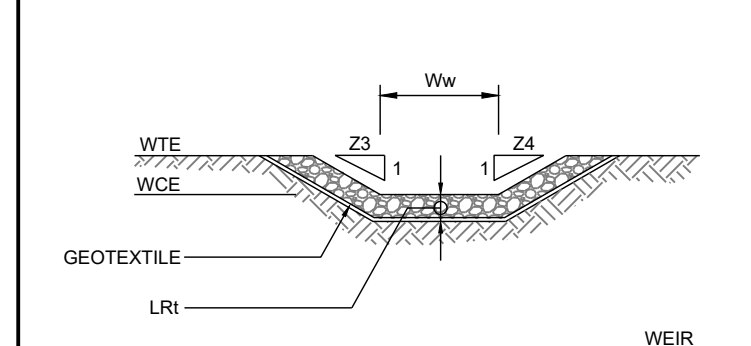
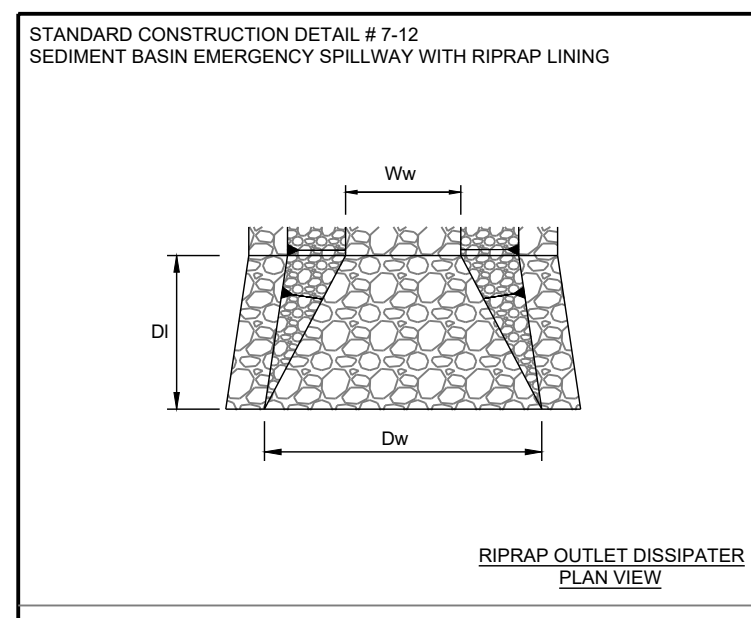
REV: No. 1

PROJECT NO: 200002  
DRAWN BY: MP, LAR  
CHECKED BY: DA, TWEEDE  
CADD: J. DAVIDSON

NOT FOR CONSTRUCTION

D. ALEXANDER TWEEDE  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 071973

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PHONE: 215-486-2010 | FAX: 215-486-4440  
LANDCORECONSULTING.COM



BASIN NO.	Z1 (FT)	Z2 (FT)	Z3 (FT)	WEIR		LINING		
				TOP ELEV. (FT)	WEIR W. (FT)	WEIR W. (FT)	RIPRAP THICK. (IN)	Z1 (FT)
RG-01	31.1	31.1	31.60	370.00	15.0	3	12	1%

**A2 EMERGENCY SPILLWAY WRIPRAP LINING**  
NOT TO SCALE

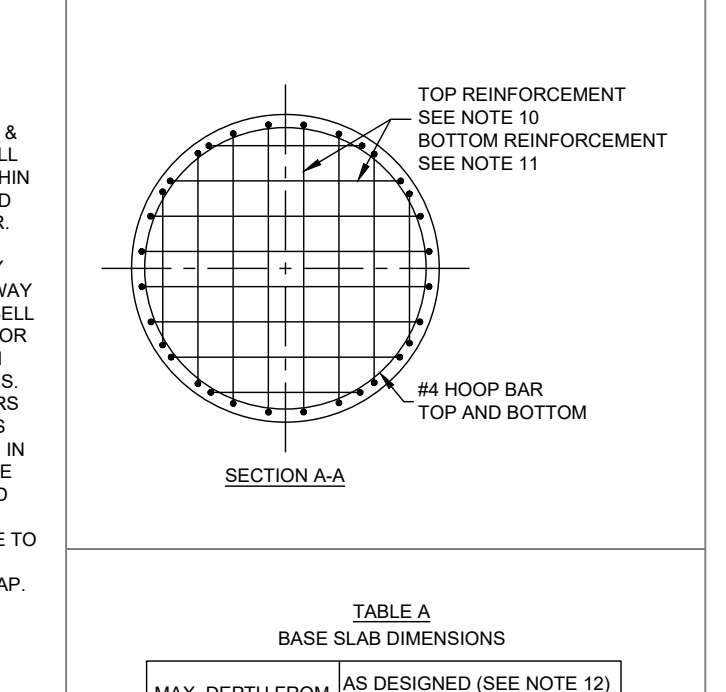
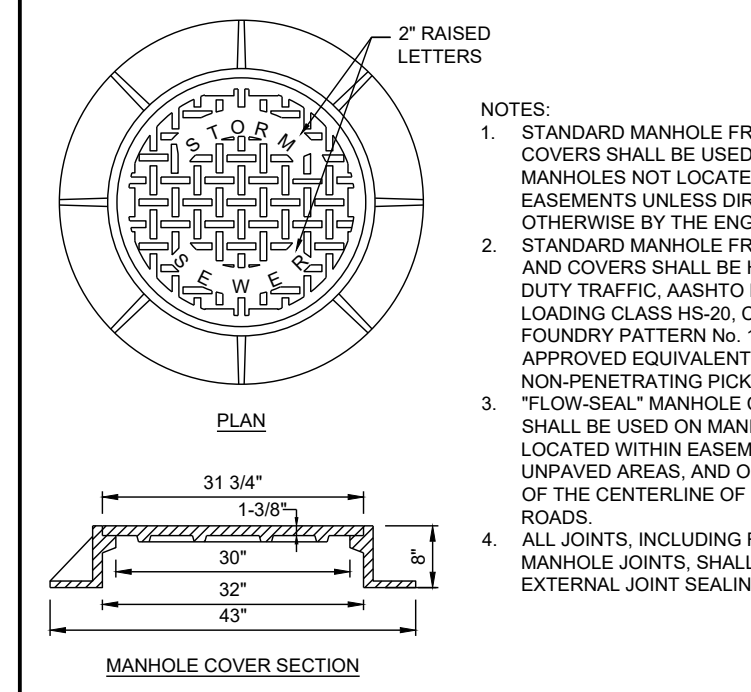
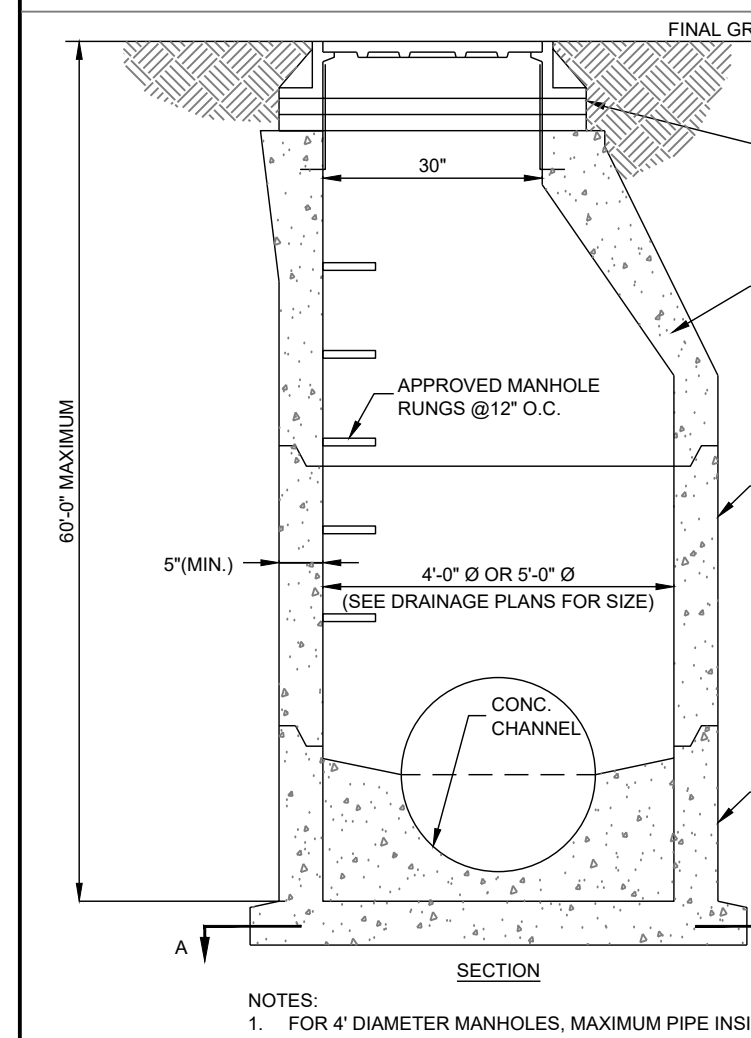
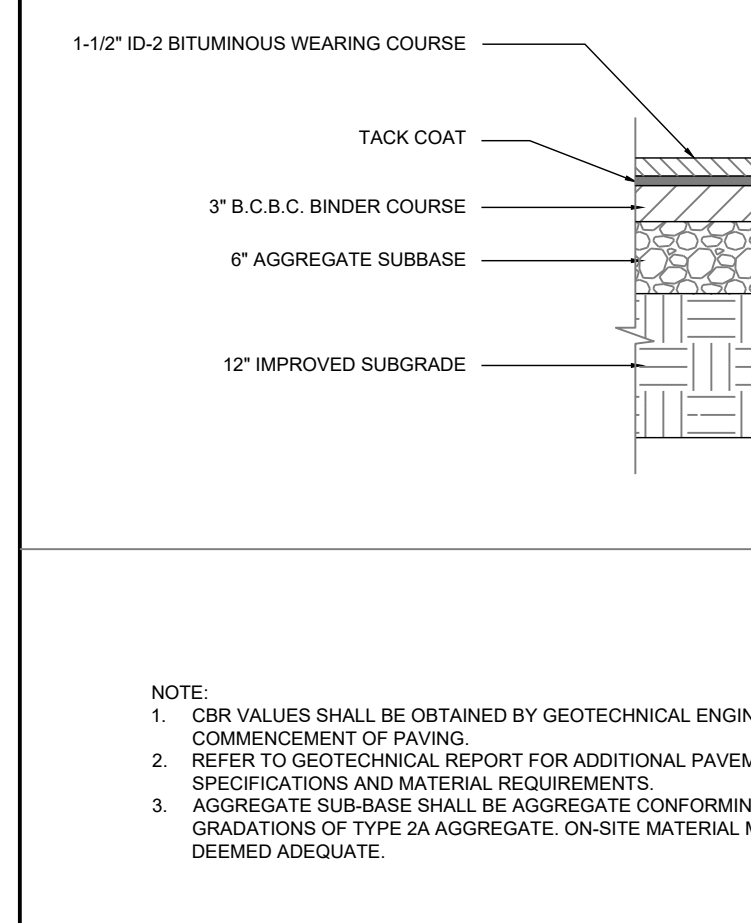


TABLE A BASE SLAB DIMENSIONS		
MAX. DEPTH FROM TOP OF MANHOLE TO TOP OF FOOTING	FOOTING DIAMETER	FOOTING THICKNESS
10'-0"	6'-0"	1'-0"
15'-0"	6'-6"	1'-0"
20'-0"	6'-6"	1'-3"
25'-0"	7'-0"	1'-3"
30'-0"	7'-0"	1'-3"
35'-0"	7'-6"	1'-3"
40'-0"	7'-6"	1'-3"

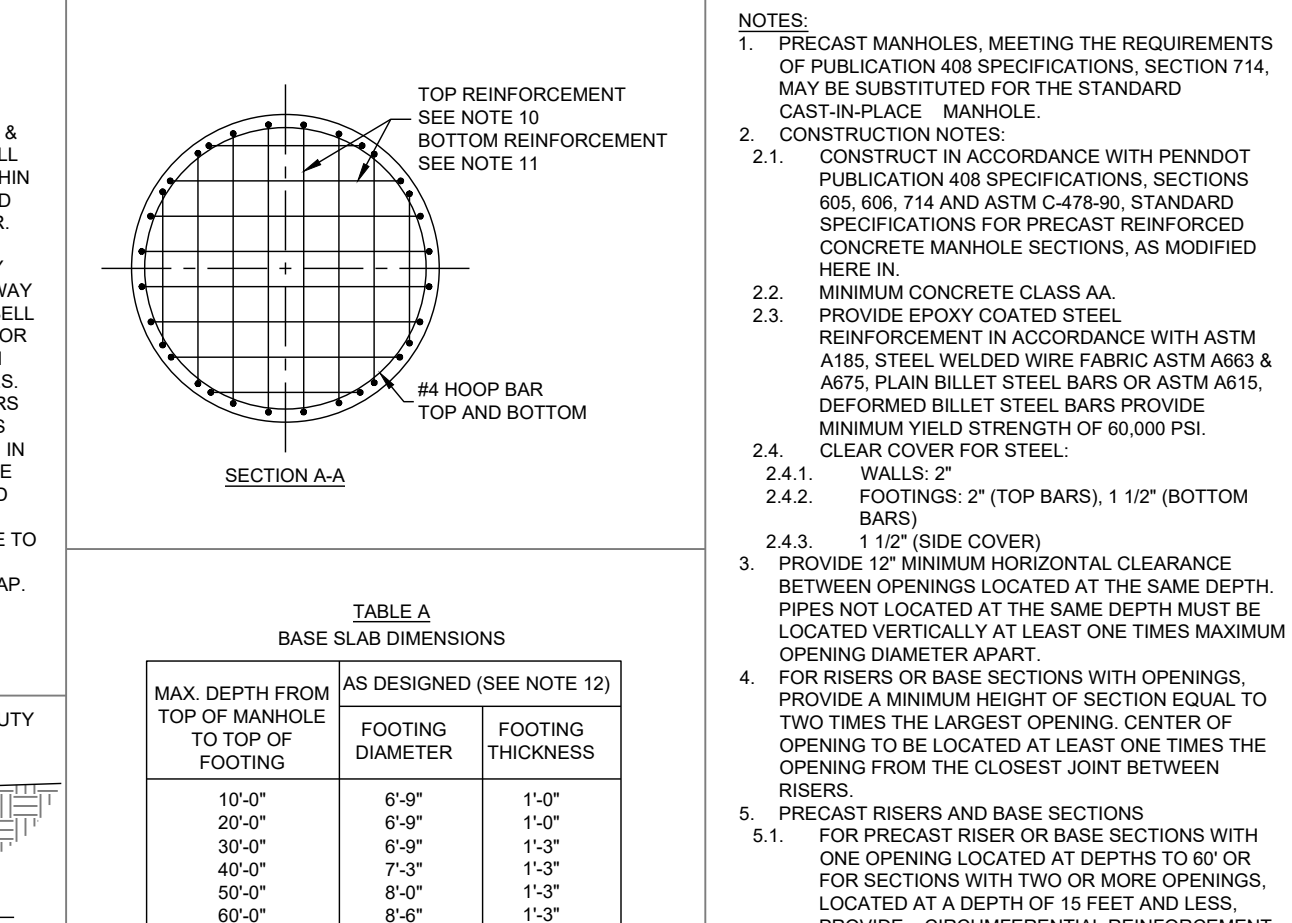


**C2 PRECAST STORM MANHOLE**  
NOT TO SCALE

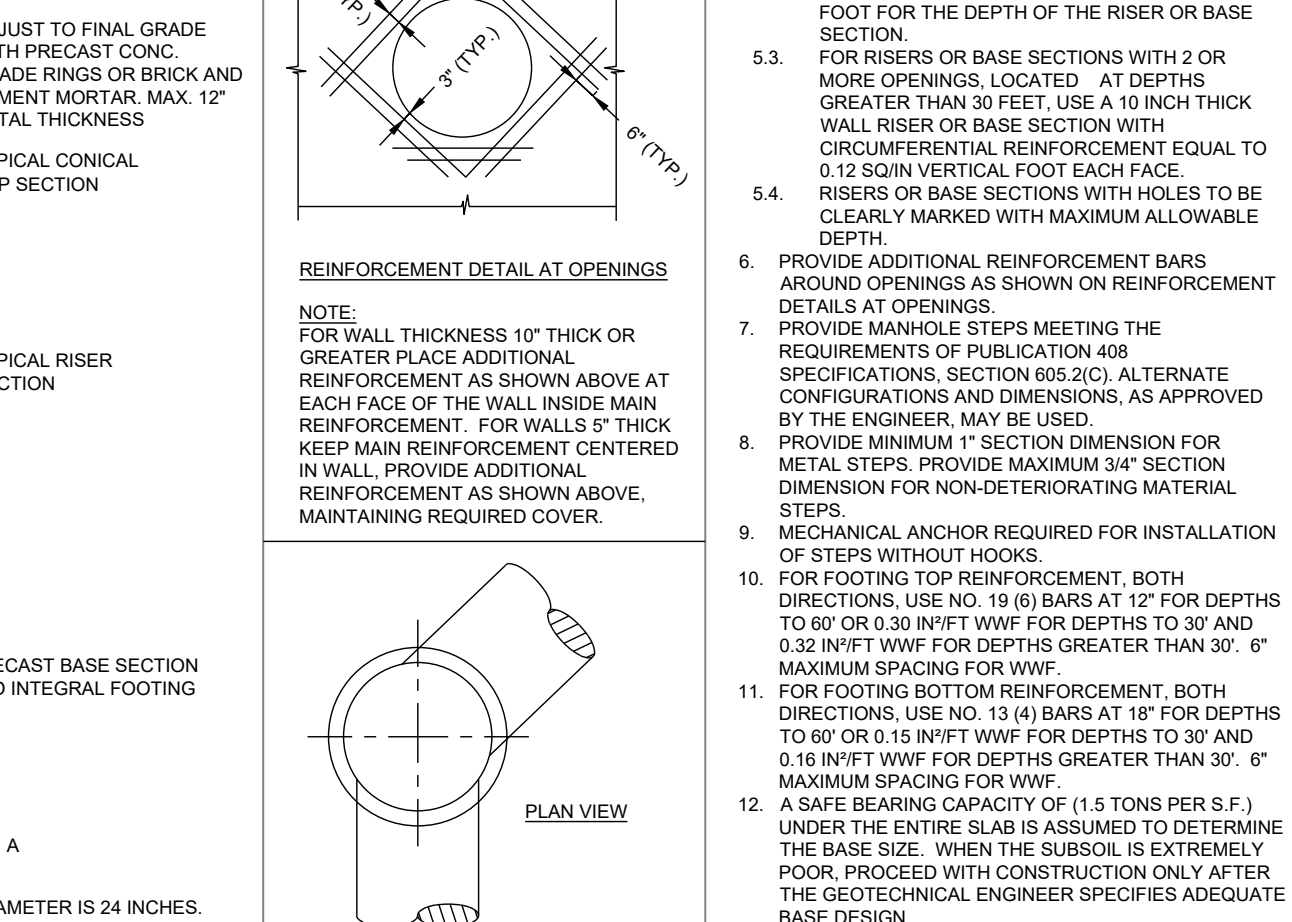


**E2 ASPHALT PAVEMENT**  
NOT TO SCALE

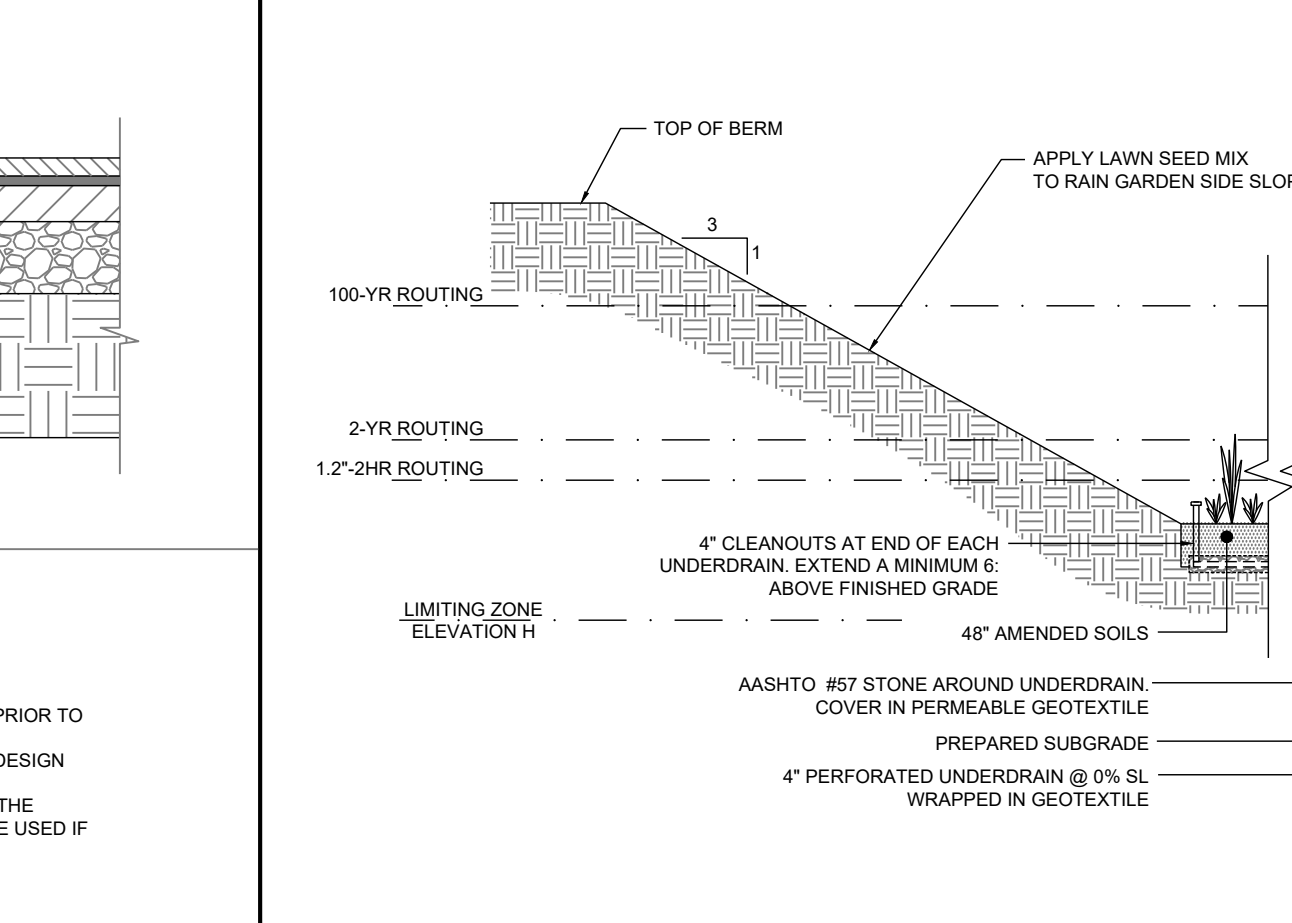
**A4 SANITARY SEWER PIPE BEDDING**  
NOT TO SCALE



**B4 SAN. MH DROP CONNECTION**  
NOT TO SCALE

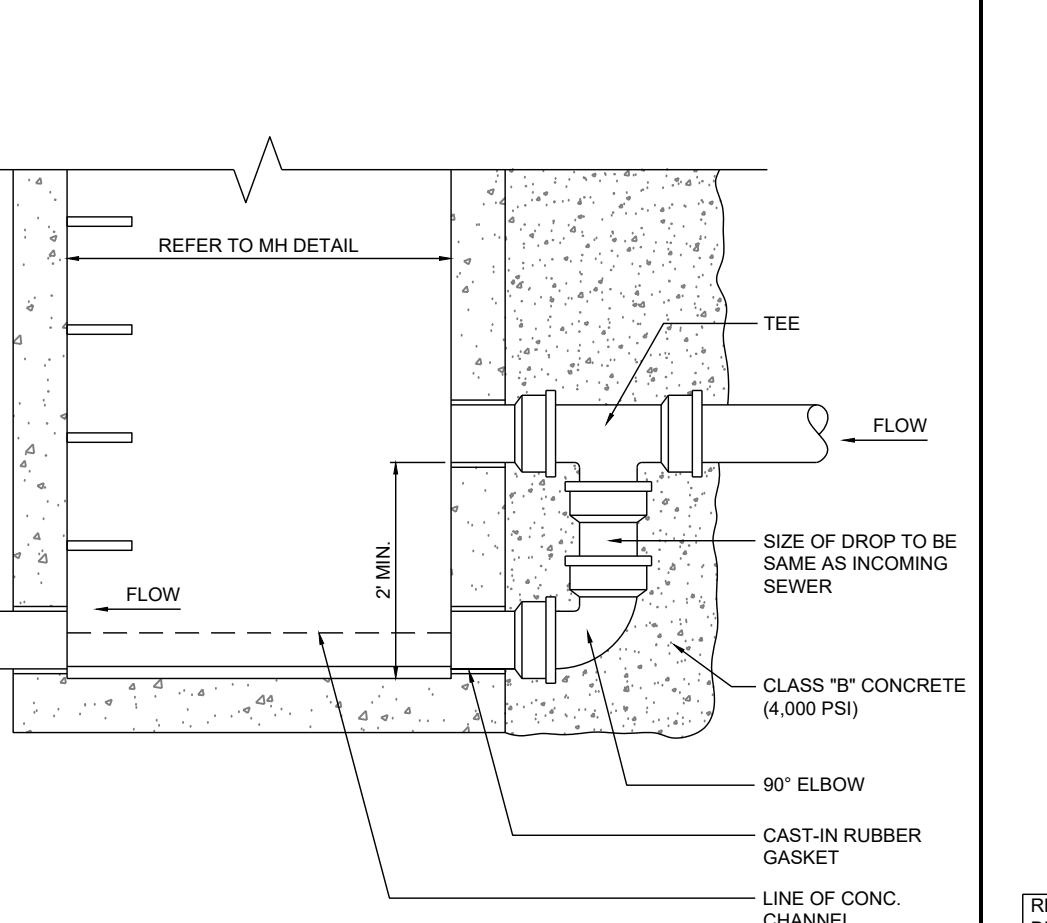


**C4 STORM SEWER INLETS**  
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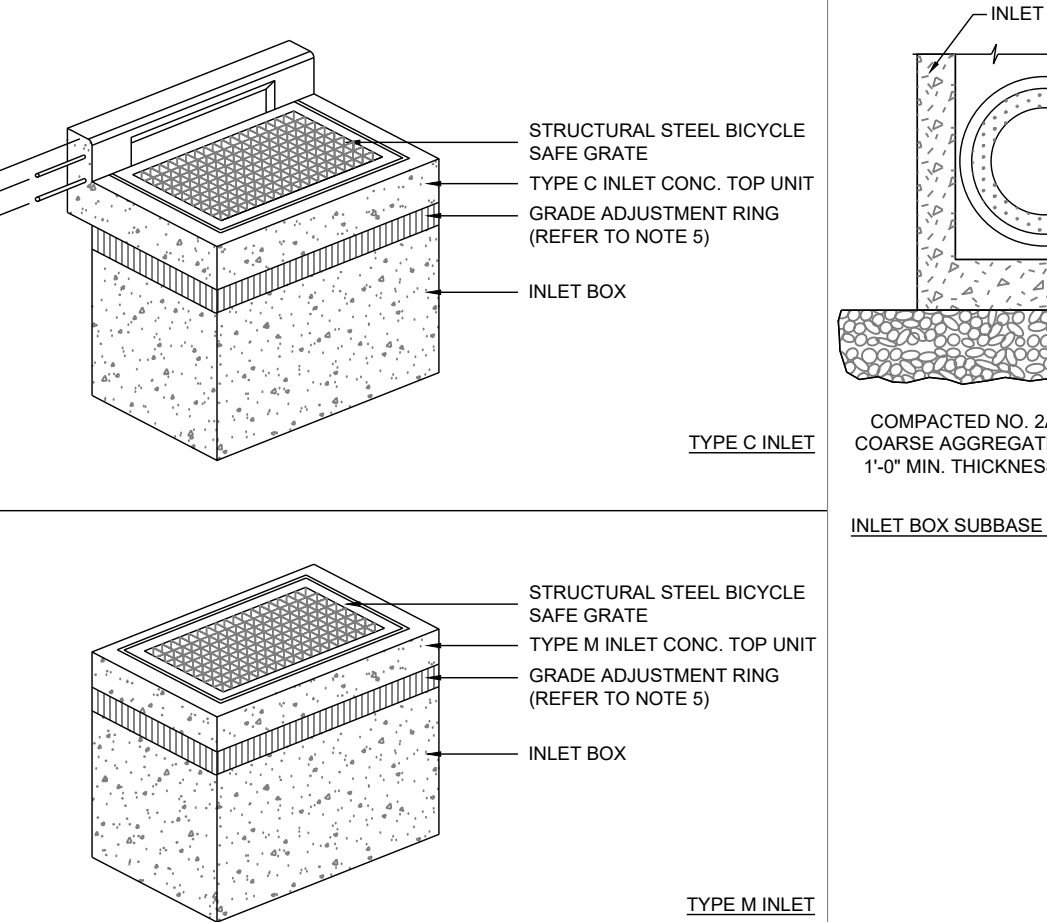


**E3 RAIN GARDEN RG-01**  
NOT TO SCALE

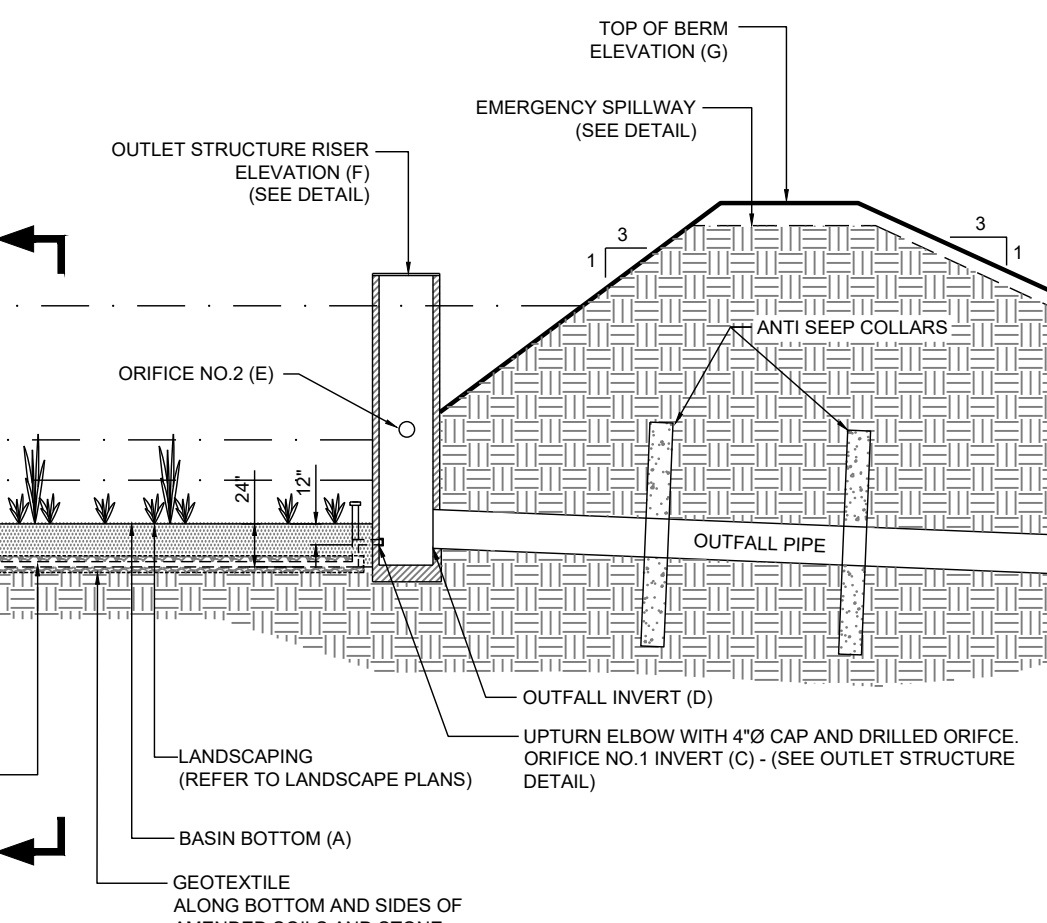
**A5 DOGHOUSE SANITARY MANHOLE DETAIL**  
NOT TO SCALE



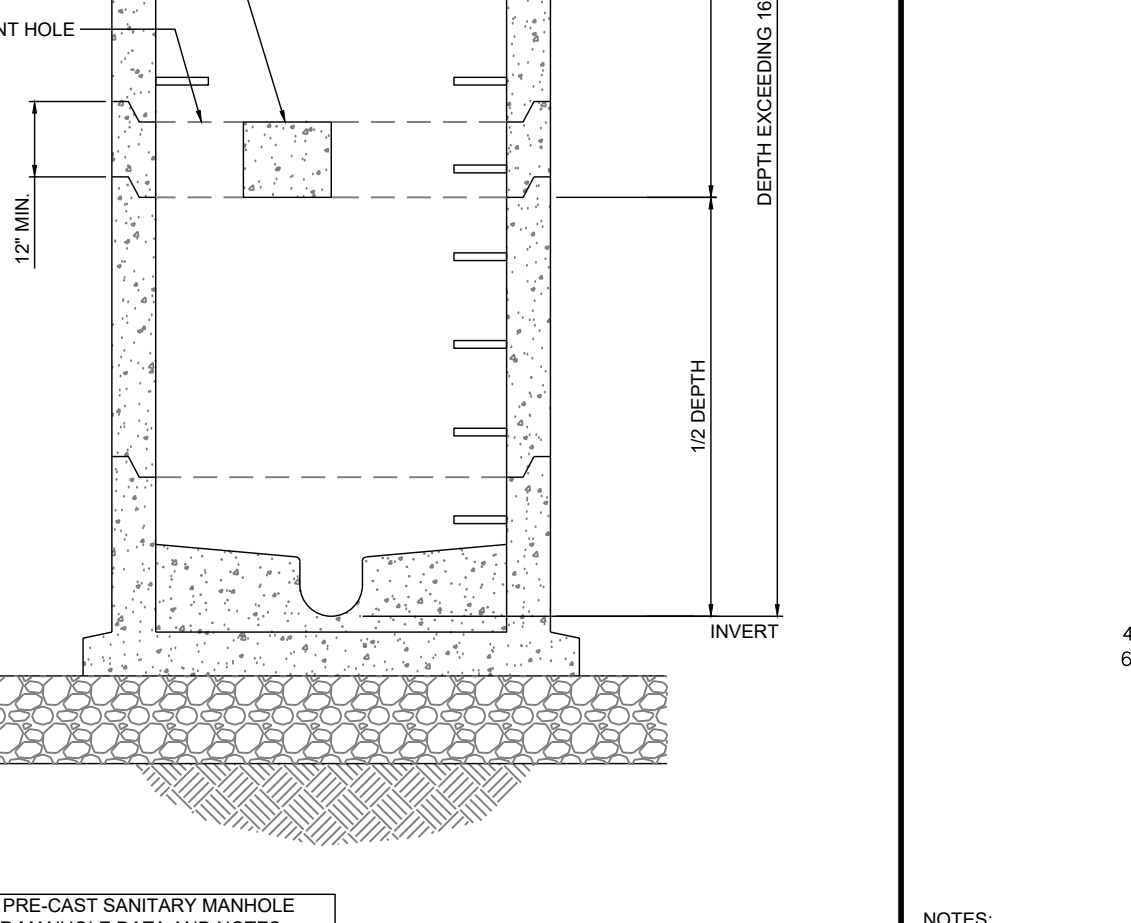
**B5 PRE-CAST SANITARY MANHOLE**  
NOT TO SCALE



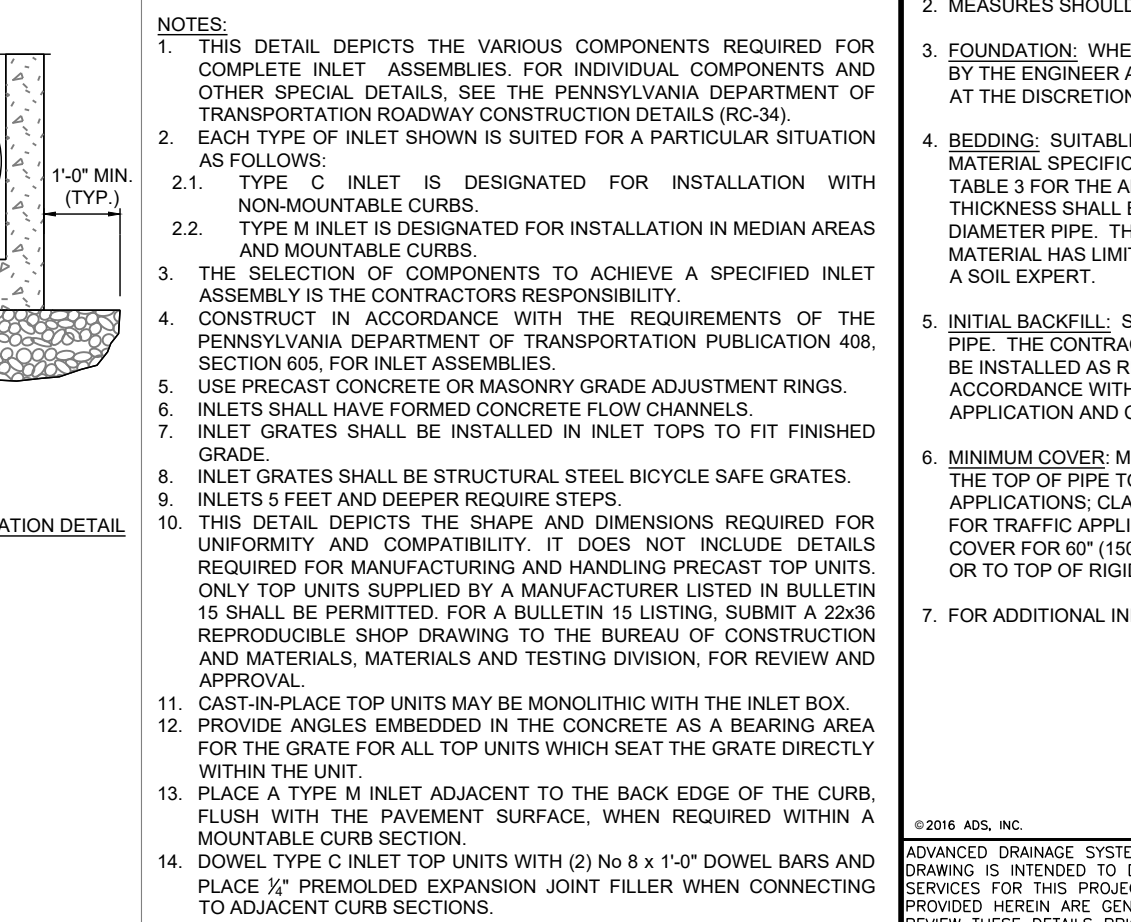
**C6 ADS HP STORM TRENCH INSTALLATION DETAIL**  
NOT TO SCALE



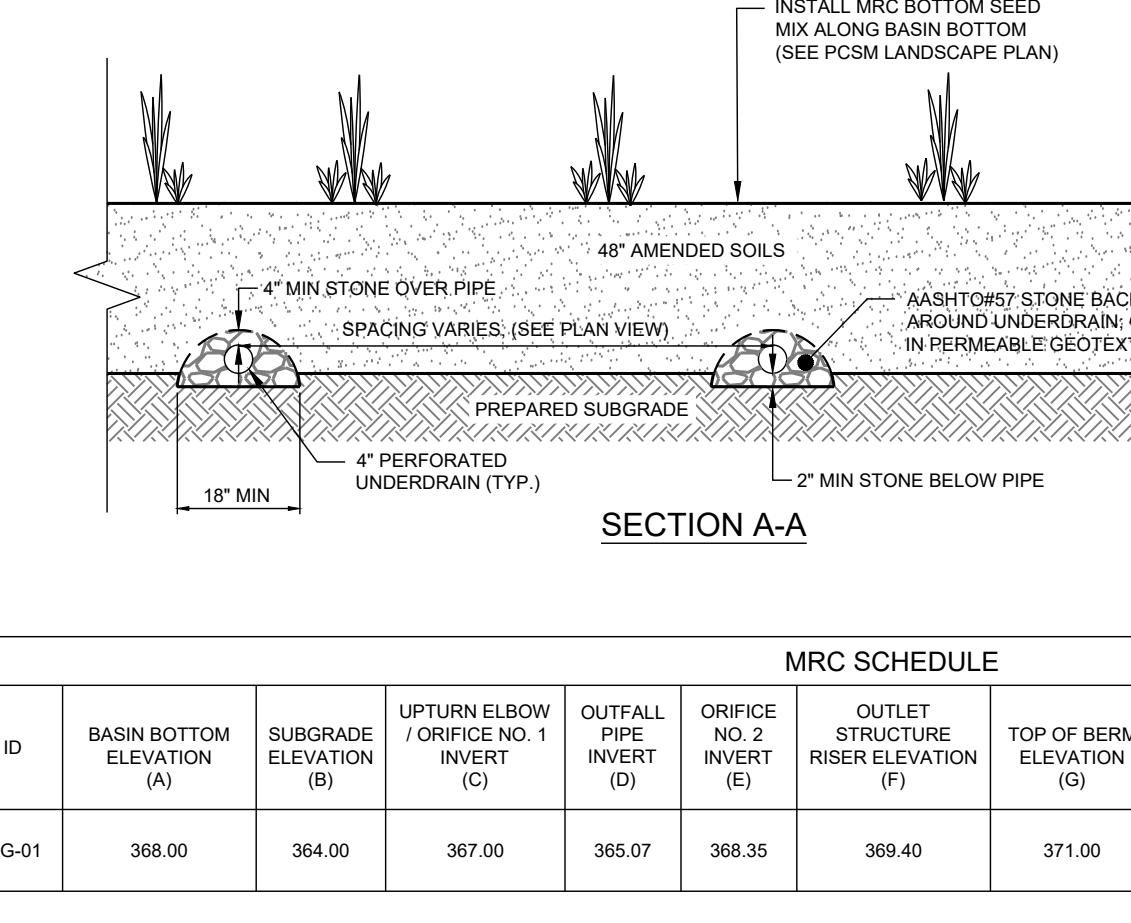
**F3 RG-01 BASIN OUTLET STRUCTURE**  
NOT TO SCALE



**F2 ASPHALT PAVEMENT**  
NOT TO SCALE



**F3 RG-01 BASIN OUTLET STRUCTURE**  
NOT TO SCALE



**MRC SCHEDULE**

ID	BASIN BOTTOM ELEVATION (A)	SUBGRADE ELEVATION (B)	UPTURN ELBOW ORIFICE NO. 1 INVERT (C)	OUTFALL PIPE INVERT (D)	ORIFICE NO. 2 INVERT (E)	OUTLET STRUCTURE RISER ELEVATION (F)	TOP OF BERM ELEVATION (G)	LIMITING ZONE ELEVATION (H)	OUTFALL PIPE	2-YR ROUTING ELEVATION (I)	100-YR ROUTING ELEVATION (J)
RG-01	368.00	364.00	367.00	365.07	368.35	369.40	371.00	NOT ENCOUNTERED	15\"/>		

**OUTLET STRUCTURE SCHEDULE**

ID	BMP	BOTTOM OF STRUCTURE ELEVATION (FEET)	OUTFALL PIPE INVERT (FEET)	OUTFALL PIPE SIZE (INCH)	CAP ORIFICE NO. 1 RISER ELEVATION (FEET)	BASIN BOTTOM ELEVATION (FEET)	WEIR NO. 1 INVERT (FEET)	ORIFICE NO. 2 (FEET)	OUTLET STRUCTURE RISER ELEVATION (FEET)	PERFORATED UNDERDRAIN SIZE (INCH)	PERFORATED UNDERDRAIN INVERT (FEET)	TOP OF CLEANOUT ELEVATION (FEET)	2-YR ROUTING ELEVATION (FEET)	100-YR ROUTING ELEVATION (FEET)
OS-01	RG-01	364.57	365.07	10\"/>										

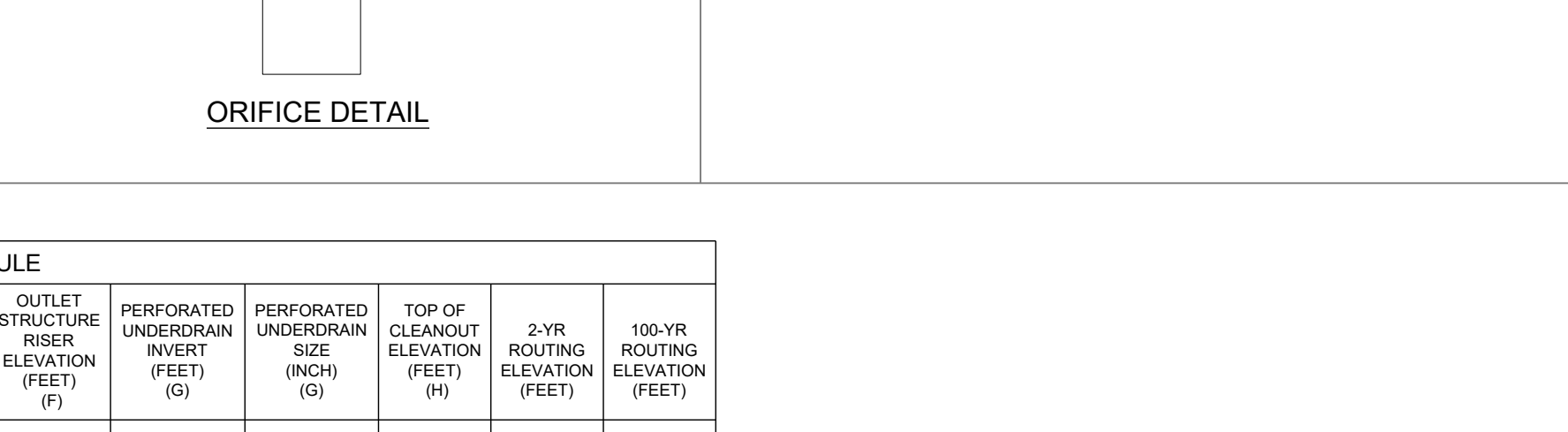
**CONSTRUCTION SEQUENCE**

- GRADE EACH BMP TO TEMPORARY SEDIMENT TRAP ELEVATION. DO NOT INSTALL AMENDED SOILS WHILE THE BMPs ARE BEING UTILIZED AS A SEDIMENT TRAPS.
- INSTALL DOWNSTREAM CONVEYANCE SYSTEMS, OUTLET STRUCTURES AND EMERGENCY SPILLWAYS.
- CONVERT BMPs TO SEDIMENT TRAPS AND INSTALL ASSOCIATED RISERS, BAFFLE WALLS AND CLEANOUTS.
- INSTALL AND MAINTAIN PROPER EBS BMPs DURING CONSTRUCTION.
- UPON DECOMMISSIONING OF SEDIMENT TRAPS, EXCAVATE BMPs TO MRC'S SOIL AMENDMENT BOTTOM ELEVATION.
- INSTALL UNDERDRAIN PIPING WITH AGGREGATE ENVELOPE, CLEANOUTS, ETC.
- PLACE SOIL MEDIA GENTLY. DO NOT COMPACT SOIL MEDIA OR THE BASIN BOTTOM. THE PLACEMENT OF SOIL MEDIA SHOULD BE DONE FROM OUTSIDE THE BMP FOOTPRINT TO AVOID COMPACTION BY CONSTRUCTION EQUIPMENT. LOW GROUND PRESSURE EQUIPMENT MAY BE USED ON ANY NECESSARY GRADING WITHIN THE FOOTPRINT OF THE BMP. ALL PRECAUTIONS SHOULD BE TAKEN TO MINIMIZE COMPACTION OF THE SOIL MEDIA DURING CONSTRUCTION.
- SEED AND STABILIZE DISTURBED AREA. VEGETATE WITH NATIVE PLANTINGS.
- MAINTAIN INLET PROTECTION AND OTHER E&S CONTROLS UNTIL THE SITE IS FULLY STABILIZED.

**GEOTEXTILE NOTES**

- GEOTEXTILE SHALL CONSIST OF NEEDLE NON-WOVEN POLYPROPYLENE FIBERS - PROPEX GEOTEX 801 OR APPROVED EQUAL.

**CONSTRUCTION DETAILS**



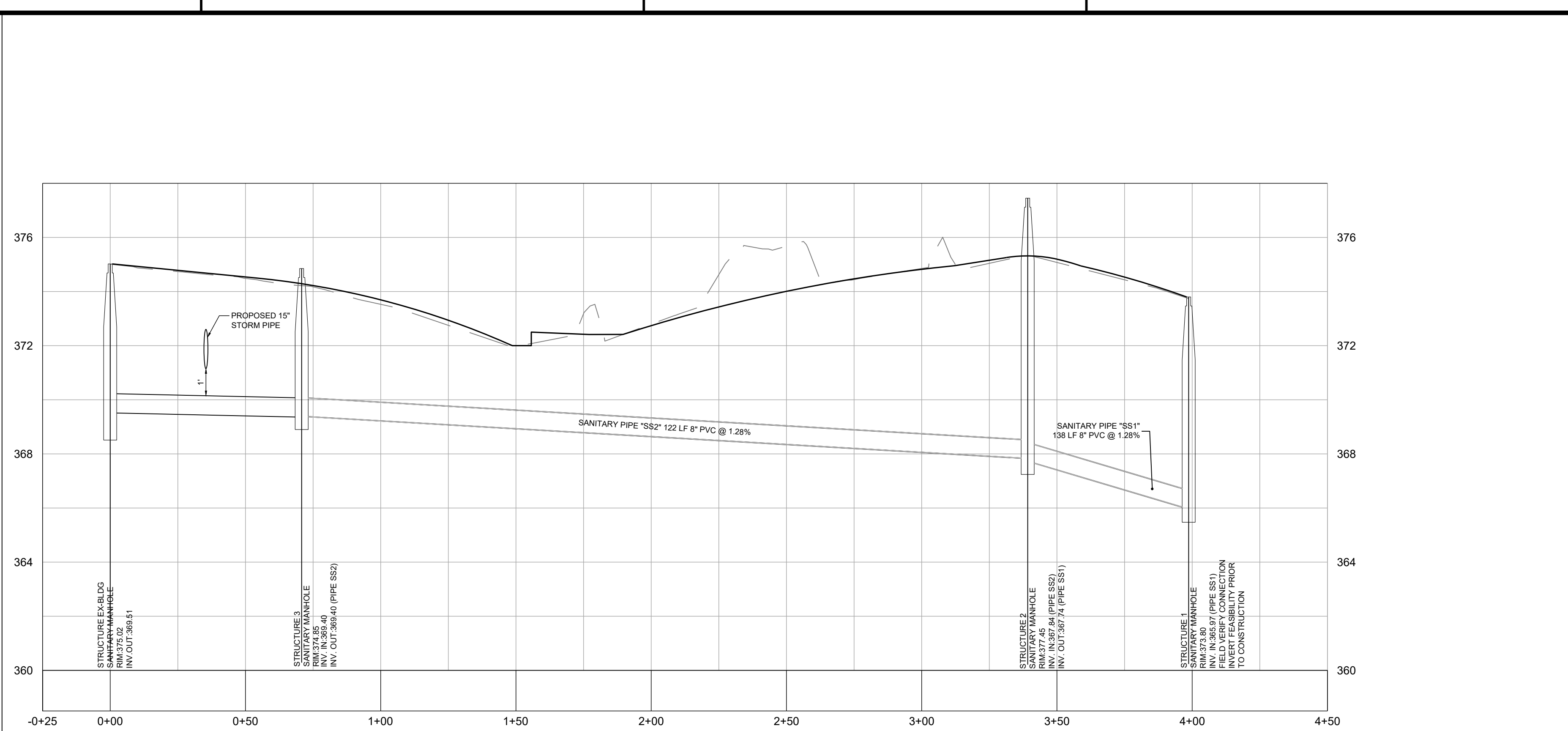
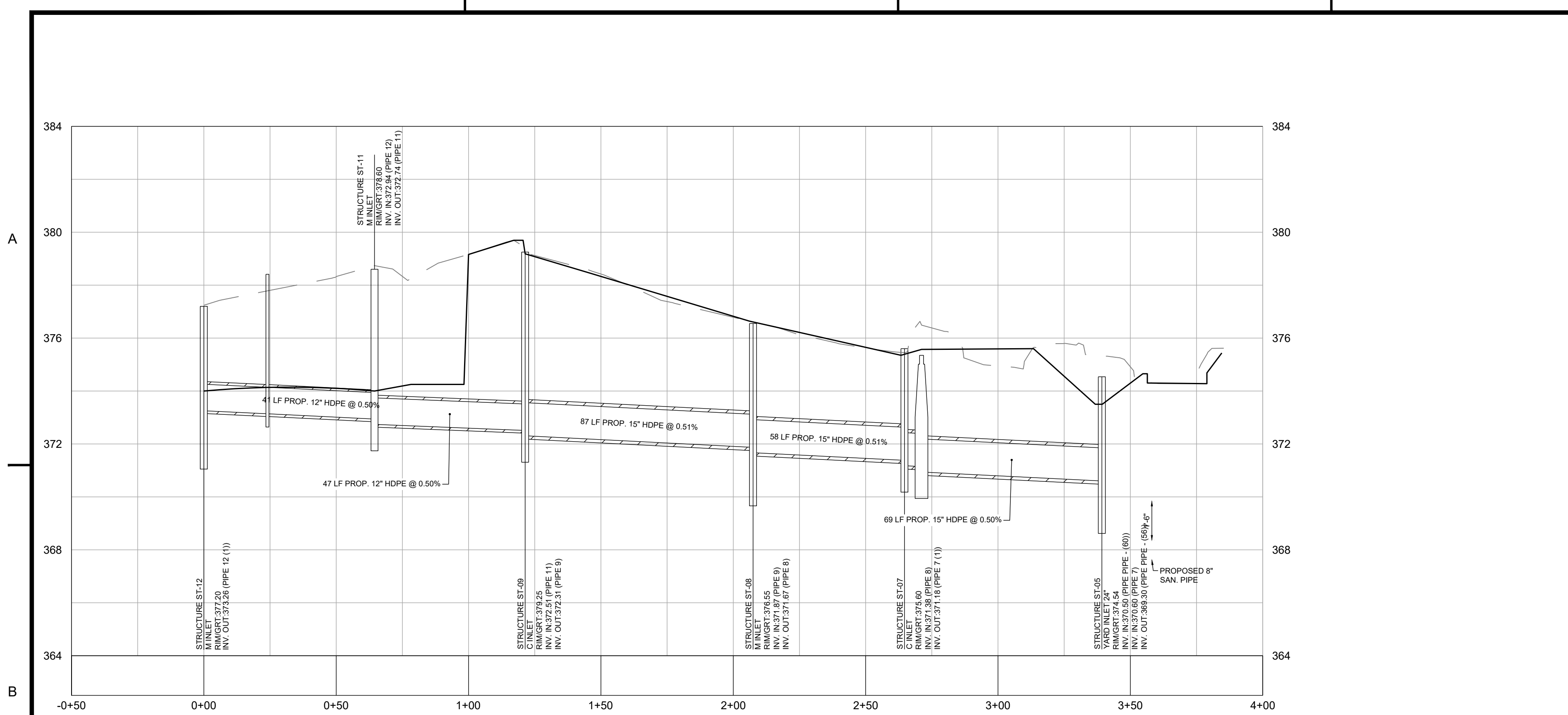
**CONSTRUCTION DETAILS**

**LANDCORE Engineering Consultants, P.C.**  
Professional Engineer  
D. ALEXANDER TWEEDE  
NOT FOR CONSTRUCTION

PROJECT: 2101012  
DRAWN BY: MP/ARD  
CHECKED BY: DA/TWEEDE  
DATE: 10\_DT\_20002

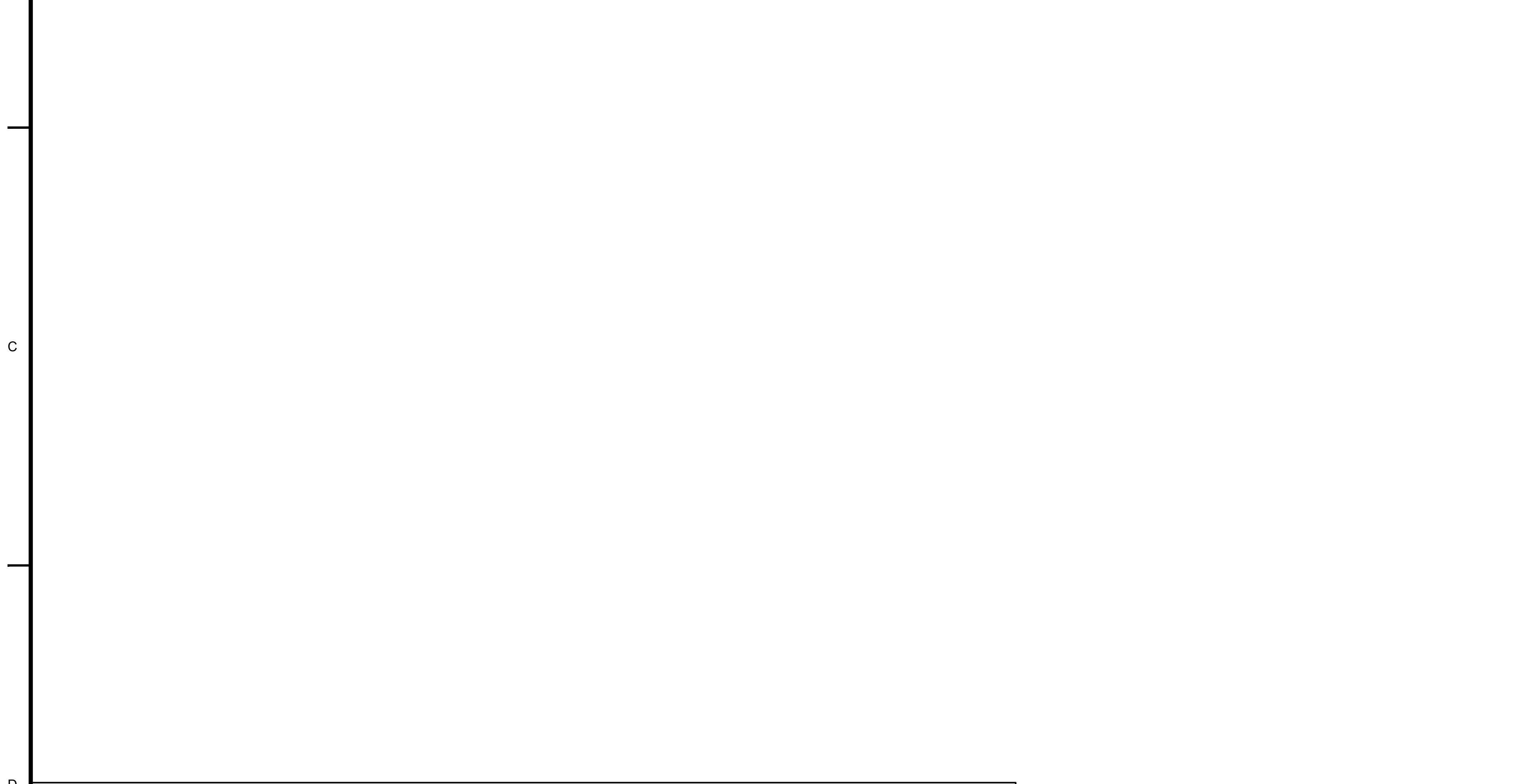
BRANDYWINE REALTY TRUST  
PROPOSED PARKING STRUCTURE  
RANOCOR TOWNSHIP  
DELAWARE COUNTY, PA

SCALE: (H) AS NOTED (V)  
DATE: 2021-02-18  
SHEET: 10 OF 12  
REV: No

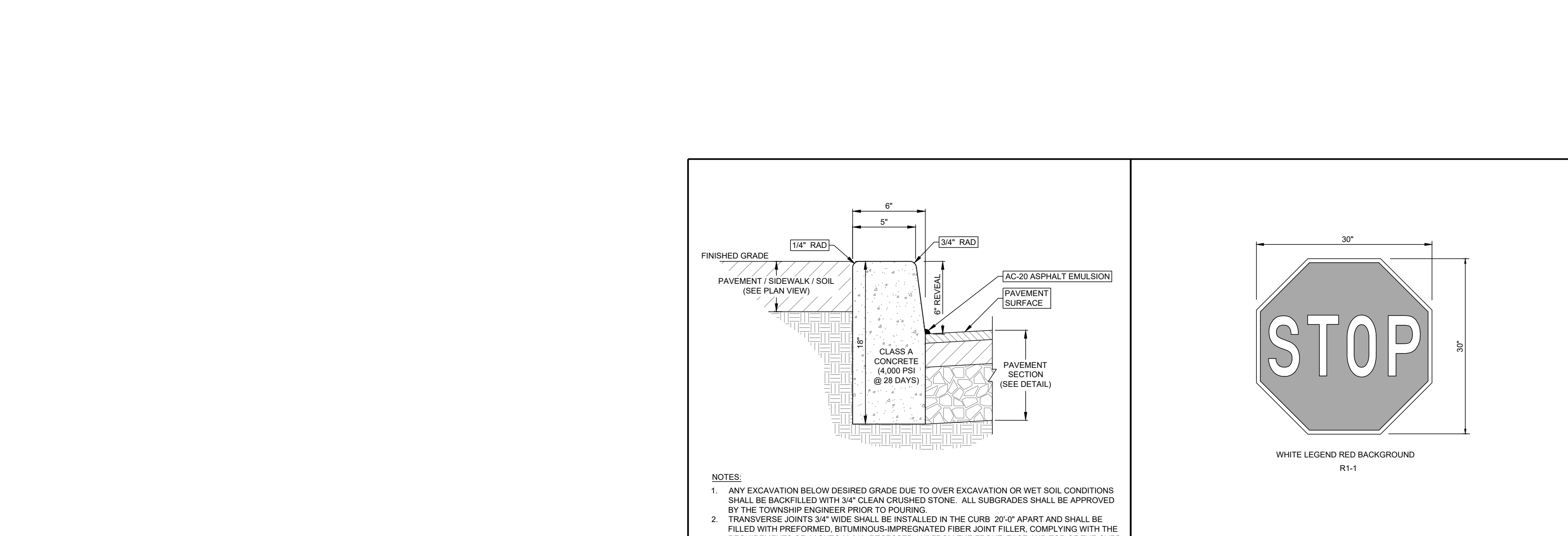


**A1 STORM SEWER PROFILE**  
SCALE: AS NOTED

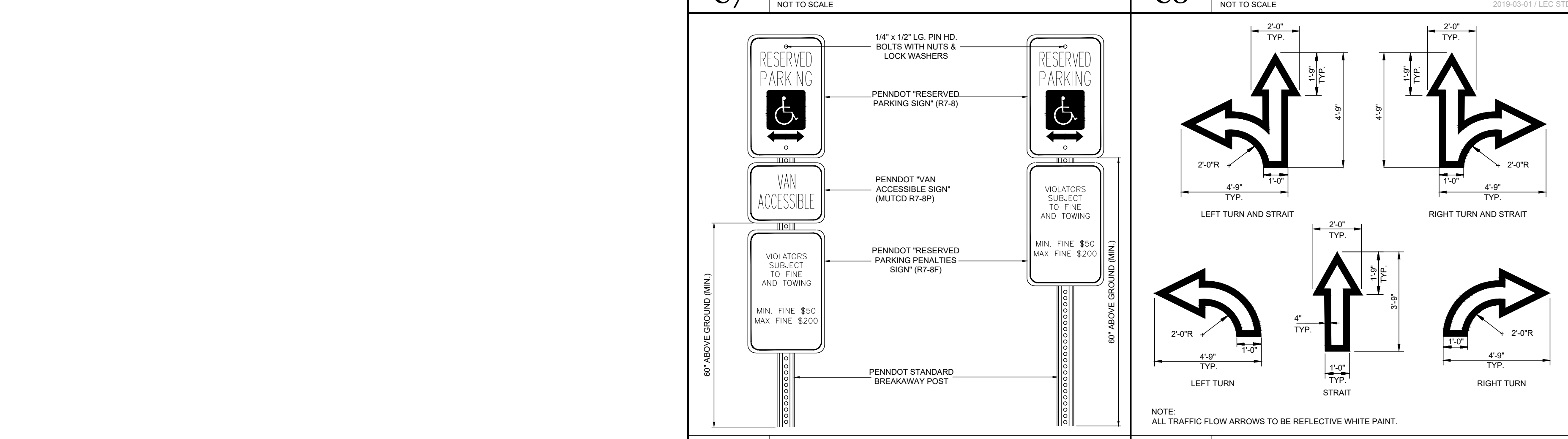
**A4 SANITARY SEWER PROFILE**  
SCALE: AS NOTED



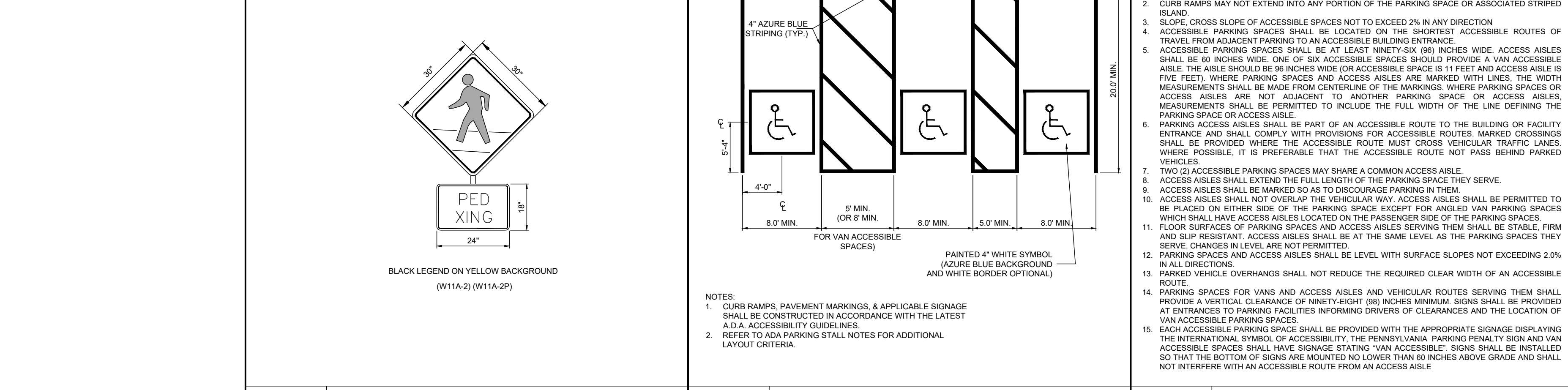
**D1 ACCESSIBLE PATH DETAILED GRADING PLANS**  
SCALE: 1" = 10'



**C7 CONCRETE CURB (6\"/> NOT TO SCALE**

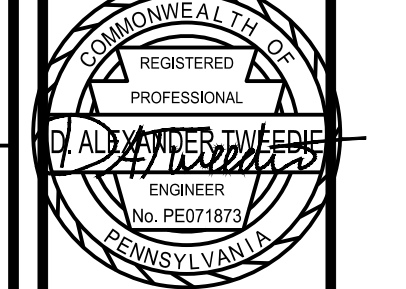


**D7 RESERVED PARKING SIGN** NOT TO SCALE  
**D8 TRAFFIC ARROWS** NOT TO SCALE



**E6 PEDESTRIAN CROSSING SIGN** NOT TO SCALE  
**E7 RESERVED PARKING STALL** NOT TO SCALE

NO.	REV.	DATE	COMMIT
1			

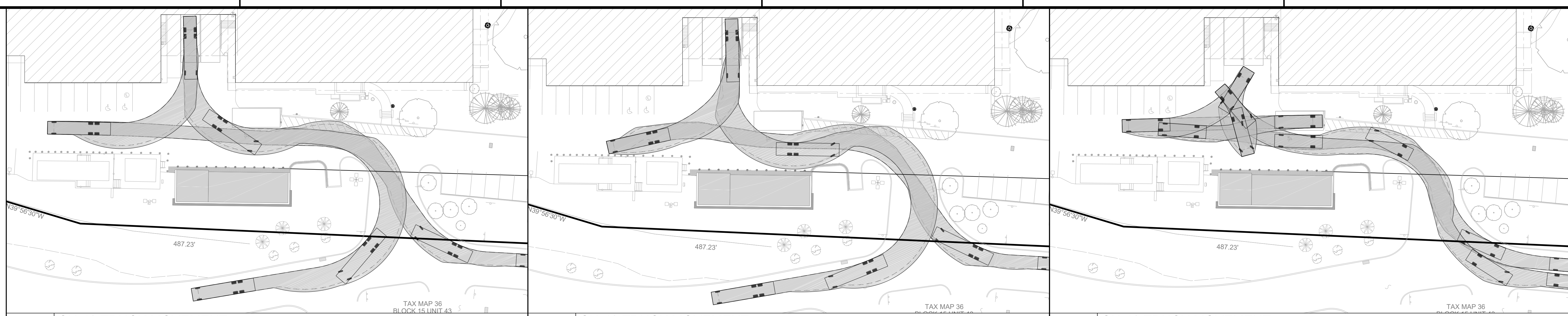
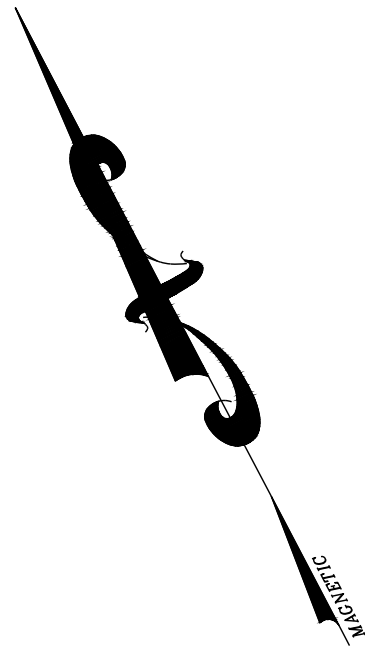


**D. ALEXANDER TWEED**  
PROFESSIONAL ENGINEER  
PENNSYLVANIA LICENSE NO. 071973  
NOT FOR CONSTRUCTION

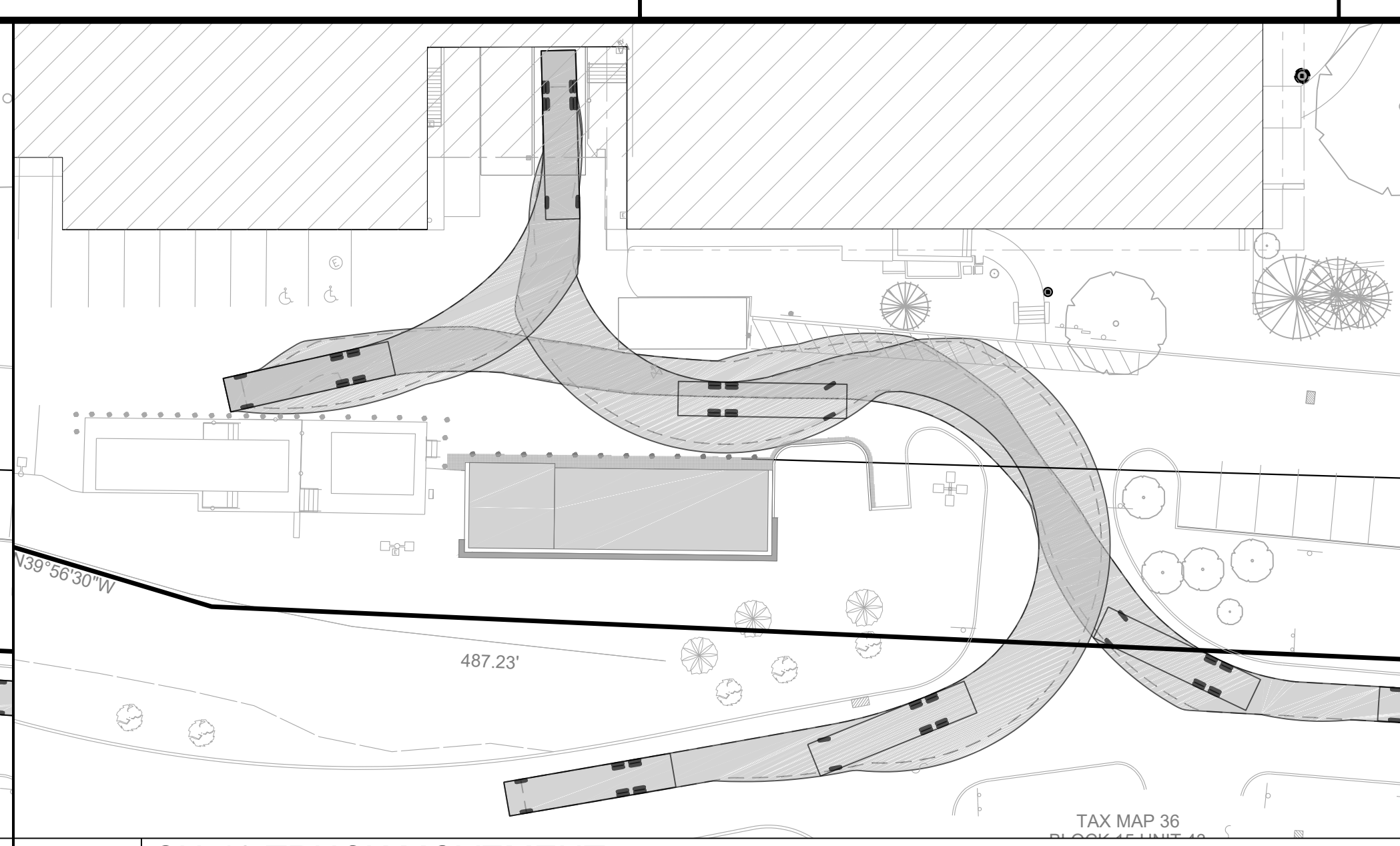
PROJECT NO: 200012  
DRAWN BY: MP/LARI  
CHECKED BY: DA/TWEED  
CADD # 11\_PL\_200002

**LANDCORE**  
Engineering Consultants, P.C.  
PHONE: 215-484-8000 | FAX: 215-484-8000  
PO BOX 310348 BOSTON, PA 19108-0348  
PHILADELPHIA, PENNSYLVANIA 19108-0348  
LANDCORECONSULTING.COM

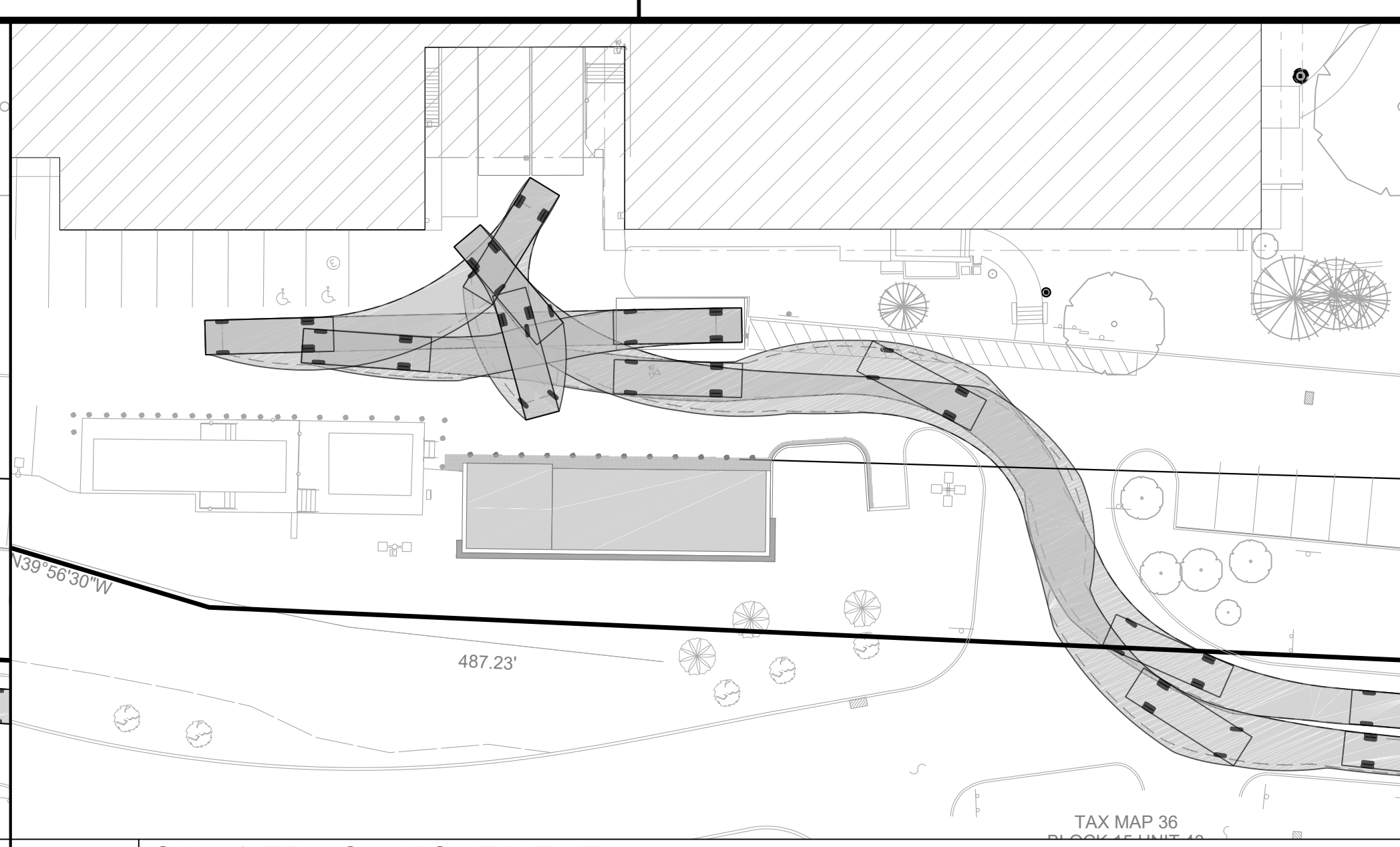
PROJECT: BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE 1000 W. MARKET STREET, RAINOR TOWNSHIP, DELAWARE COUNTY, PA  
TITLE: PROFILES & CONSTRUCTION DETAILS  
SCALE: (H) AS NOTED (V) 1" = 10'  
DATE: 2021-02-18  
SHEET: 11 OF 12  
REV. NO: 1



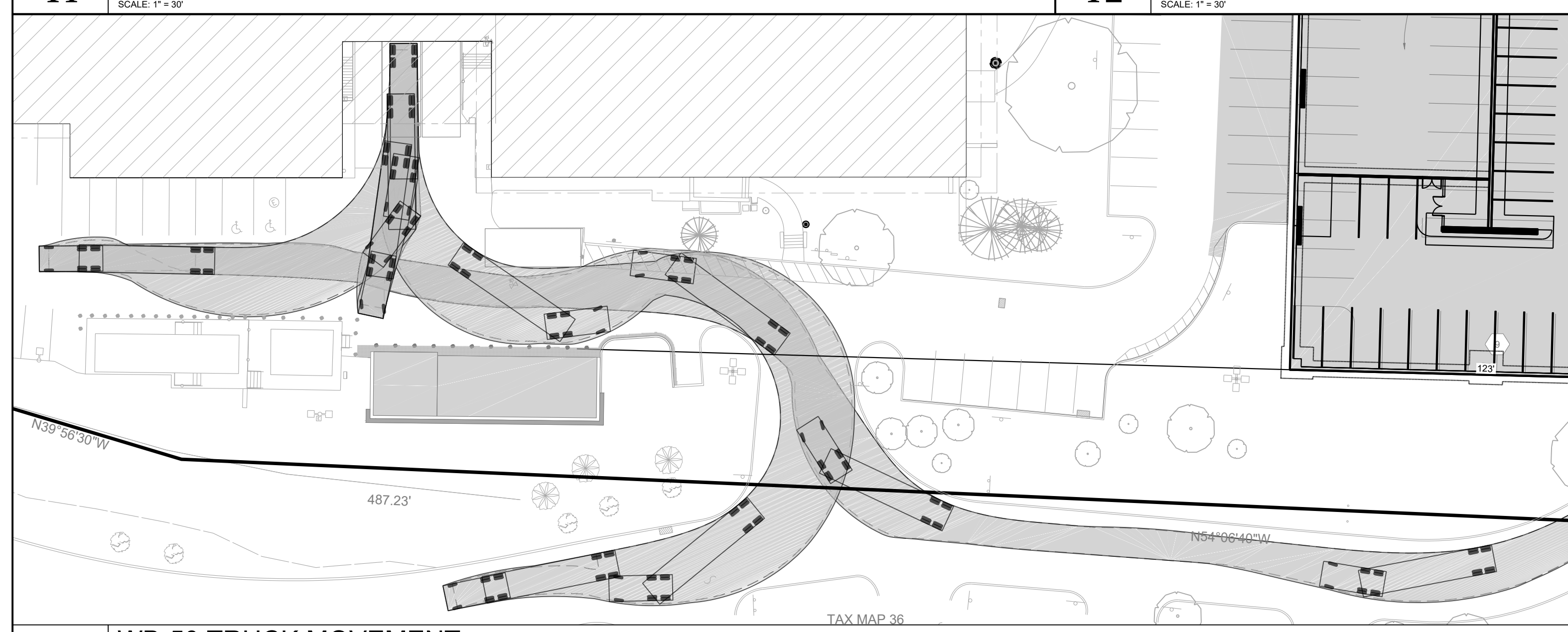
**T1** SU-40 TRUCK MOVEMENT  
SCALE: 1" = 30'



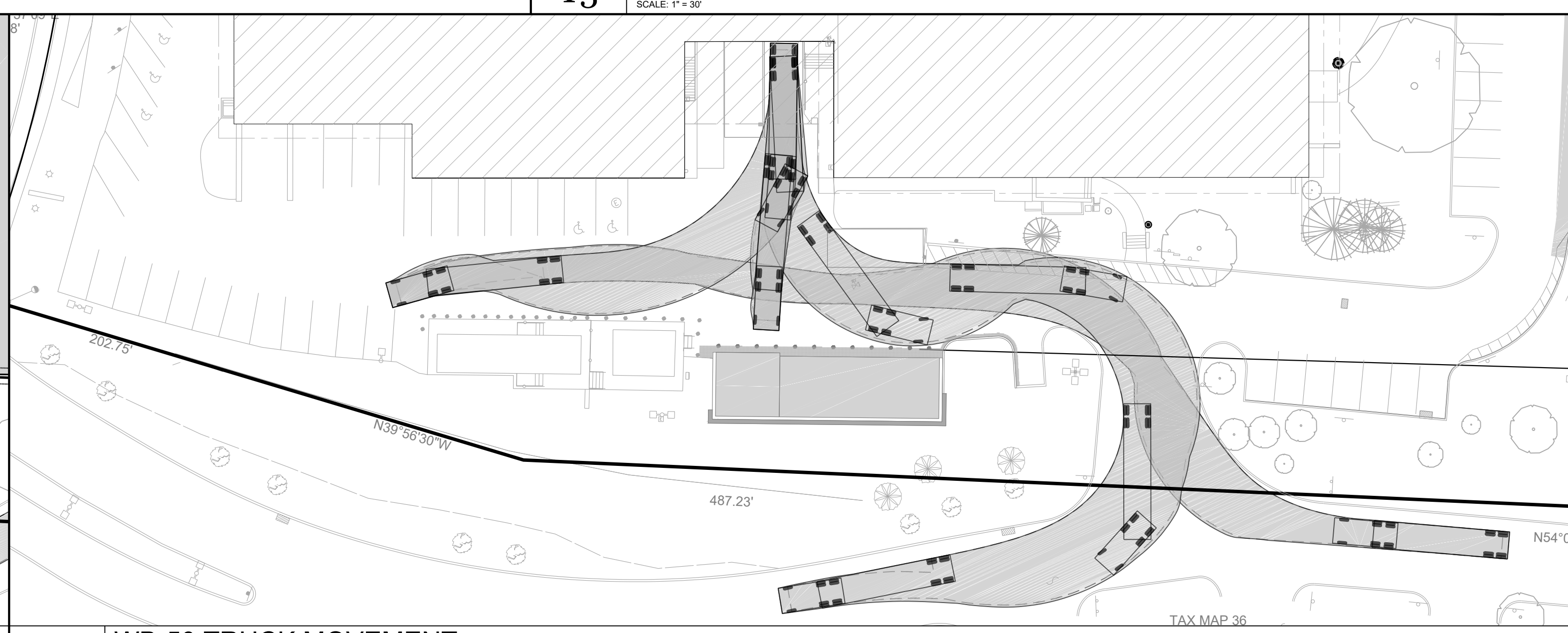
**T2** SU-40 TRUCK MOVEMENT  
SCALE: 1" = 30'



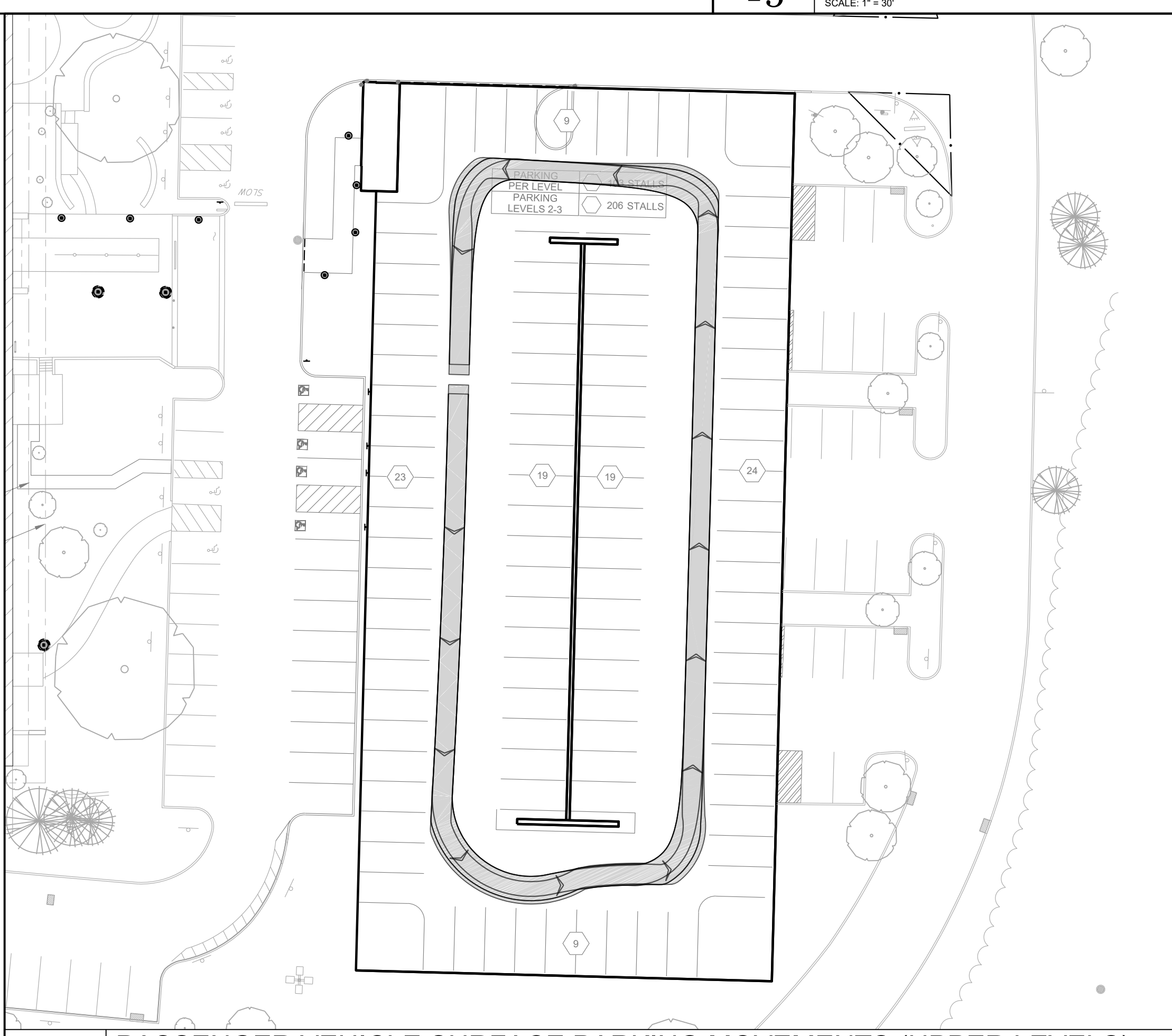
**T3** SU-40 TRUCK MOVEMENT  
SCALE: 1" = 30'



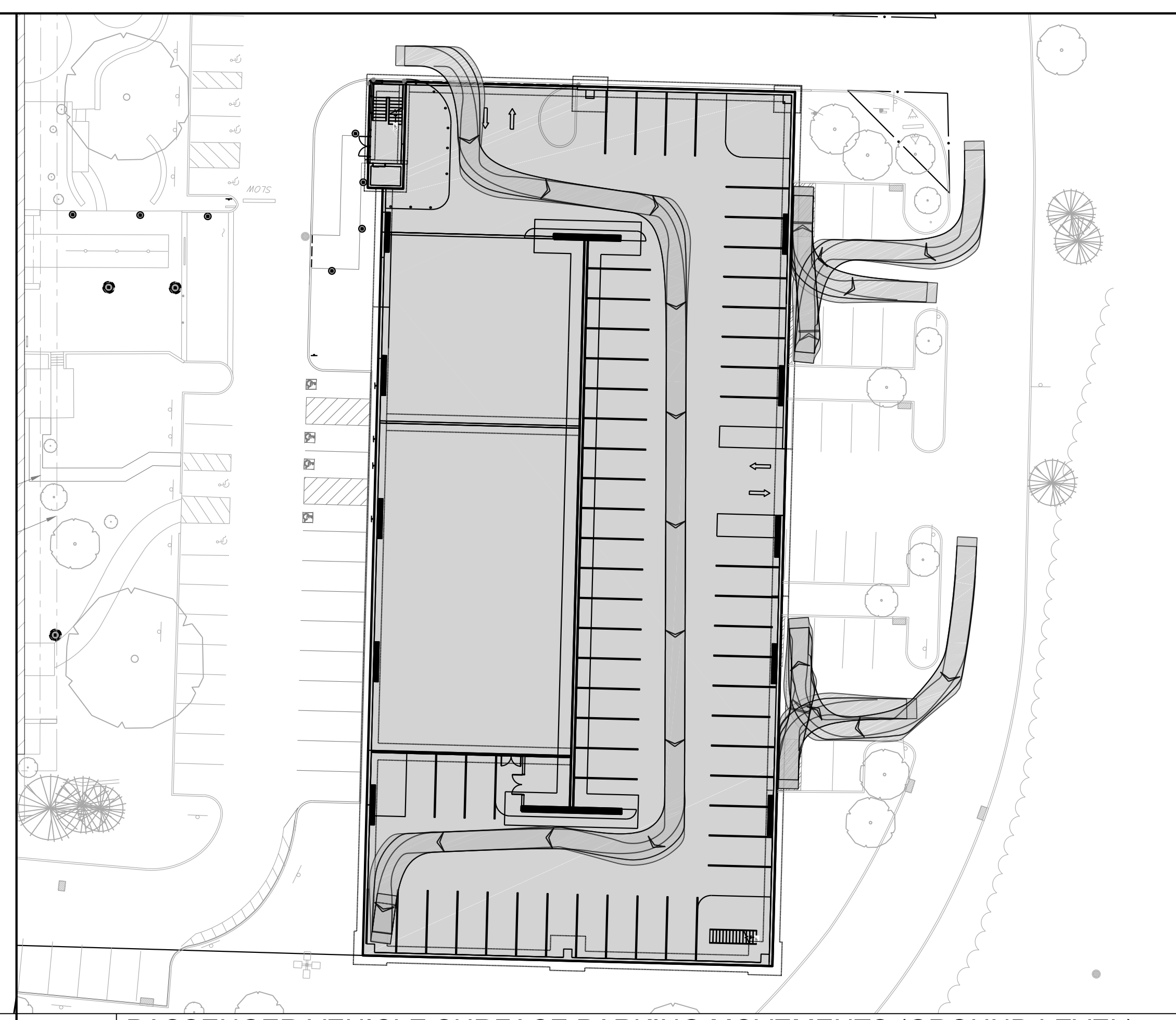
**T4** WB-50 TRUCK MOVEMENT  
SCALE: 1" = 30'



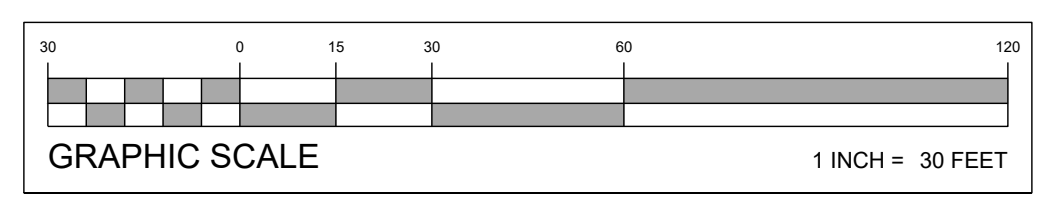
**T5** WB-50 TRUCK MOVEMENT  
SCALE: 1" = 30'



**T6** PASSENGER VEHICLE SURFACE PARKING MOVEMENTS (UPPER LEVELS)  
SCALE: 1" = 30'



**T7** PASSENGER VEHICLE SURFACE PARKING MOVEMENTS (GROUND LEVEL)  
SCALE: 1" = 30'



PROJECT: 200002	DATE: 12/20/2022
DRAWN BY: MP/LAD	CHECKED BY: DA/TWE
PROJECT: 200002	DATE: 12/20/2022
DRAWN BY: MP/LAD	CHECKED BY: DA/TWE
<b>D. ALEXANDER TWEED</b> PROFESSIONAL ENGINEER PENNSYLVANIA LICENSE NO. 071973	
NOT FOR CONSTRUCTION	
<b>LANDCORE</b> Engineering Consultants, P.C. 70 BOX 3103 #207 PHILADELPHIA, PENNSYLVANIA 19104-8835 PHONE: 215-484-2010   FAX: 215-484-4440 LANDCORECONSULTING.COM	
PROJECT: BRANDYWINE REALTY TRUST PROPOSED PARKING STRUCTURE RAVINCOR ROAD RAVINCOR TOWNSHIP DELAWARE COUNTY, PA	TITLE: TRUCK CIRCULATION PLAN
SCALE: (H) AS NOTED (V)	DATE: 2021-02-18
SHEET: TR 12 of 12	REV. No: 1