

**BOARD OF COMMISSIONERS**  
**AGENDA**  
**Monday, March 9, 2020 - 6:30 PM**

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting March 9, 2020

1. Public Participation

2. Consent Agenda

- a) Disbursement Review & Approval
- b) Approval of minutes of the Board of Commissioner meeting of February 24, 2020
- c) HARB-2020-02 – 200½ West Wayne Avenue – Construct new 1 car garage and rear porch. Add front door
- d) HARB-2019-08 – 233 Walnut Avenue – Replace shed with 1 car garage, replace stucco with fiber cement siding consistent with the rear addition that was completed in November 2017
- e) Resolution #2020-32 - Awarding the Contract for the Design, Permitting, Construction Documents, and Bidding Documents for Sidewalk and Pedestrian Improvements on Lancaster Avenue, from Garrett Avenue to Barleycone Lane, to Gilmore & Associates in the amount of \$53,000
- f) Authorization for the Engineering Department to Issue a Request For Proposals for Pennsylvania Department of Transportation Certified Inspection Services for the Radnor TAP Trail
- g) Resolution #2020-33 - Awarding the Contract for the Repair of the Roberts Road Culvert to Loftus Construction in the Amount of \$555,000
- h) Resolution #2020-34 - Authorizing the Payment of Change Orders 2 and 3 for the North Wayne Field Stormwater Management Basin Repair and Cleaning (Contract # B-18-010), to N. Abbonizio Contractors, in the amount of \$21,507
- i) Resolution #2020-35 - Authorizing the Payment of Change Orders 1, 2 & 3 for the Emlen Tunnell Park Comfort Station, to Barclay Design and Construction, in the Amount of \$6,650
- j) Resolution #2020-36 - Authorization to purchase replacement fountains for the Willows Pond

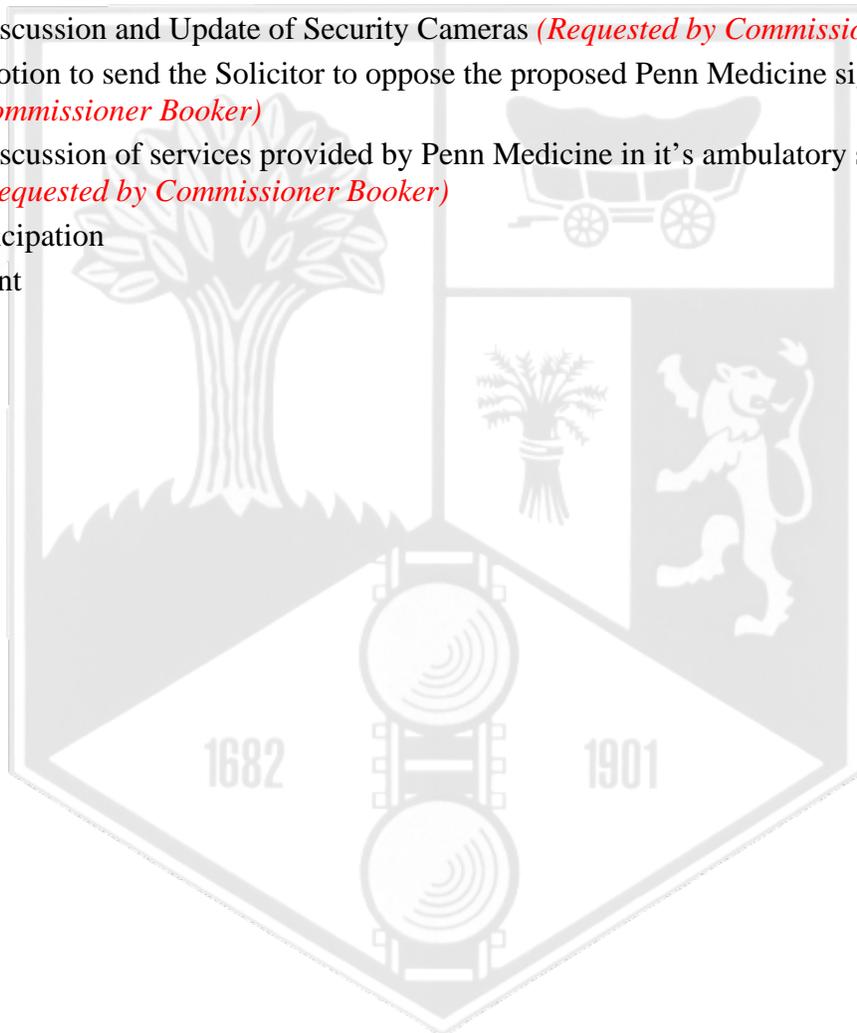
3. Appointments to Various Boards and Commissions

4. Announcement of Boards and Commission Vacancies

5. Committee Reports

- A. Approval of Fee Schedule – Zoning Hearing Solicitor – Constantine Z. Economides, Esquire
- B. Resolution #2020-37 - Authorizing the Award of the Design Contract for the Radnor Trail Extension, to Campbell Thomas & Co., in the Amount of \$118,087
- C. Resolution #2020-38 - 147 Conestoga Road – **Final** – Minor Final Subdivision Plan
- D. Resolution #2020-39 - 812/822 Glenbrook Avenue – **Preliminary** - Land Development Plan
- E. Ordinance #2020-09 - (**Introduction**) – Amending and restating Article I, Chapter 260 of the Radnor Township Code, Relating to Amusement Tax
- F. Resolution #2020-40 – Amending the Township’s Organizational Chart

- G. Resolution #2020-41 - Award of the Annual HVAC Maintenance Contract for the Township Building, Public Works Facility, and Radnor Activity Center
- H. Resolution #2020-42 - Authorizing and Directing the Submittal of the Applications for Traffic Signal Approval (TE-160) to the Pennsylvania Department of Transportation for the Intersection of Lancaster Avenue and King of Prussia Road, Associated with the Radnor TAP Trail Project
- I. Resolution #2020-43 – Authorizing the transfer of \$542,000 from the General Fund to the Capital Fund to fund various capital project funding shortfalls
- J. Resolution #2020-44 - Awarding the contract for the Construction of the Harford Trail Project to James R. Kenney, Excavating & Paving, Incorporated, in the Amount of \$378,369
- 6. Reports of Standing Committees of the Board
- 7. New Business
- 8. Old Business
  - a. Discussion and Update of Security Cameras (*Requested by Commissioner Abel*)
  - b. Motion to send the Solicitor to oppose the proposed Penn Medicine signage (*requested by Commissioner Booker*)
  - c. Discussion of services provided by Penn Medicine in it's ambulatory surgical center (*Requested by Commissioner Booker*)
- 9. Public Participation
- 10. Adjournment



# Public Participation

**RADNOR TOWNSHIP**  
**DISBURSEMENTS SUMMARY**  
**March 9, 2020**

The table below summarizes the amount of disbursements made since the last public meeting held on February 24, 2020. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code. Also, please visit the [Open Finance](#) program to view the Township's [Checkbook](#), where all vendor payments are available.

Link: <http://radnor.com/728/Disbursements-List>

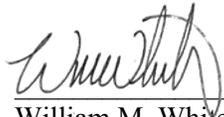
Fund (Fund Number)	2020-2C February 24, 2020	2020-2D February 28, 2020	Total
General Fund (01)	\$202,259.27	\$374,987.92	\$577,247.19
Sewer Fund (02)	1,188,542.67	7,389.37	1,195,932.04
Storm Sewer Management (04)	0.00	7,209.30	7,209.30
Capital Improvement Fund (05)	29,377.11	11,892.00	41,269.11
Police Pension Fund (07)	6,060.09	5,925.00	11,985.09
OPEB Fund (08)	1,820.32	166,960.12	168,780.44
Escrow Fund (10)	59,712.41	22,779.39	82,491.80
Civilian Pension Fund (11)	5,404.33	5,067.00	10,471.33
Investigation Fund (12)	245.00	0.00	245.00
\$8 Million Settlement Fund (18)	1,912.50	3,702.95	5,615.45
The Willows Fund (23)	0.00	1,553.40	1,553.40
Park & Trail Improvement Fund (501)	0.00	169,499.88	169,499.88
GOB19 Project Fund (502)	150.00	3,770.50	3,920.50
<b>Total Accounts Payable Disbursements</b>	<b>\$1,495,483.70</b>	<b>\$780,736.83</b>	<b>\$2,276,220.53</b>
<i>Electronic Disbursements</i>	n/a	n/a	<b>\$510,500.00</b>
<b>Grand Total</b>	<b>1,495,483.70</b>	<b>780,736.83</b>	<b>\$2,786,720.53</b>

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to ensure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored daily by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

*Respectfully Submitted,*



\_\_\_\_\_  
 William M. White  
 Finance Director

**ELECTRONICALLY PAID DISBURSEMENT LISTING**

Estimated Through March 23, 2020

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	3/10/2020	2/20 Credit Card Revenue Processing Fees	\$8,000.00 *
Payroll [Bi-Weekly] Transaction - Estimated	01-various	3/19/2020	Salaries and Payroll Taxes - General Fund	\$485,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	3/19/2020	Salaries and Payroll Taxes - Sewer Fund	\$17,500.00
<b>Period Total</b>				<b>\$510,500.00</b>

\* Credit card fees are charged to the Township's accounts on the tenth of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$485,000.00	3/5/2020	Salaries and Payroll Taxes - General Fund	\$458,728.82
\$17,500.00	3/5/2020	Salaries and Payroll Taxes - Sewer Fund	\$13,726.02
<b>\$502,500.00</b>			<b>\$472,454.84</b>
\$240,000.00	3/1/2020	Police Pension Payroll	\$229,521.65
\$173,000.00	3/1/2020	Civilian Pension Payroll	\$169,200.63
<b>\$413,000.00</b>			<b>\$398,722.28</b>

**TOWNSHIP OF RADNOR**  
**Minutes of the Meeting of February 24, 2020**

*The Radnor Township Board of Commissioners met at approximately 6:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087*

**Commissioners Present**

<i>Jack Larkin, President</i>	<i>Lisa Borowski, Vice President</i>	<i>Jake Abel</i>
<i>Richard Booker</i>	<i>Damien Enderle</i>	<i>Sean Farhy</i>
		<i>Moira Mulroney</i>

**Also Present:** *Kathryn Gartland, Township Treasurer; William M. White, Acting Township Manager/Township Secretary; John Rice, Township Solicitor; Steve Norcini, PE, Township Engineer; Steve McNelis, Director of Public Works; Christopher Flanagan, Superintendent of Police, Tammy Cohen, Director of Recreation & Community Programming; Molly Gallagher, Public Information Officer and Jennifer DeStefano, Executive Assistant to the Township Manager.*

*President Larkin called the meeting to order and led the assembly in the Pledge of Allegiance*

*Notice of Executive Session on preceding the Board of Commissioners meeting of February 24, 2020*

There was an Executive Session on February 24, 2020 preceding the Board of Commissioners meeting, where matters of real estate, personnel and litigation were discussed. All Commissioners were in attendance.

1. *Public Participation - Radnor Township Residents are encouraged to give public comment relevant to items on the current Agenda during the first public comment period; comments relevant to matters not on the current Agenda should be held for the second and final public comment period. All comments are limited to five minutes.*

Sara Pilling, Ready100 – She announced a Renewable Energy & Environmental Expo at the Haverford CREC on March 7th 11-2 PM at the Creek in Haverford Township.

Doug Blazey, Upland Way – He commented regarding the Wawa appeal.

Michael Lake – He spoke regarding the continuous tax increases and how each expenditure needs to be looked at with more detail.

Dan Sherry, Wayne – He spoke regarding the former managers separation agreement.

2. *Presentation by Willows Park Preserve (construction, fundraising and programming update)*  
Representatives of Willows Park Preserve made a brief presentation of their progress at the Willows Mansion.

3. *Consent Agenda*

- a) *Disbursement Review & Approval*
- b) *Approval of minutes of the Board of Commissioner meeting of February 10, 2020*
- c) *Chief's Monthly Report – February 2020*
- d) *Staff Traffic Committee Meeting Minutes – January 15, 2020*

- e) Resolution #2020-27 - Award the capital lease financing for two Public Works vehicle previously approved by the Board of Commissioners to TD Capital Leasing at an interest rate of 1.80% for a term of five years
- f) Resolution #2020-28 - Authorizing application for stop-light improvement at Lancaster and King of Prussia Road per TAP Trail plan

Consent agenda excluding item f passed 7-0.

- f) Resolution #2020-28 - Authorizing application for stop-light improvement at Lancaster and King of Prussia Road per TAP Trail plan

Commissioner Booker requested more detail on the above resolution. Mr. Norcini explained Radnor Township wishes to construct pedestrian improvements along Radnor-Chester Road (SR 1021) at each of the intersections of Lancaster Avenue (SR 0030) and King of Prussia Road, both associated with the Radnor TAP Trail Project. These improvements include ADA accessible ramps at the intersections and signal upgrades required by the ADA modifications. The Township owns all traffic signals within its political boundaries, although the signals are within Pennsylvania Department of Transportation (PennDOT) right-of-way. The signals require an application for traffic signal approval (TE-160) and the subsequent maintenance agreement with PennDOT.

Resolution #2020-28 passed 7-0.

#### 4. Committee Reports

##### A. 147 Conestoga Road – Caucus – Minor Final Subdivision Plan

The applicant is proposing to subdivide 147 Conestoga Road into two lots. The existing home will be on Lot 1 and a new single-family home will be constructed on lot 2. There was a discussion amongst the Commissioners and staff.

##### B. 812/822 Glenbrook Avenue – Caucus – Preliminary Final Land Development Plan

The applicant is proposing to re-build an existing mixed-use building that contains two residential units and a day care facility into a new building with three residential units. There was a brief discussion.

##### C. Ordinance #2020-08 - (Introduction) – Amending The Zoning Map Of Radnor Township By Rezoning Delaware County Tax Parcel No. 36-05-03203-00 From R-1 Residence District To PI Planned Institutional District

There was a discussion amongst the Commissioners and the applicant.

Commissioner Mulrone made a motion to table, seconded by Commissioner Booker. Motion passed 5-1 with Commissioner Farhy opposed and Commissioner Larkin abstaining.

##### D. Ordinance #2019-15 - (Introduction) – Amending the Township Zoning Ordinance to Allow Townhouse Developments in Certain Areas of the C-3 Service Commercial District and to Provide Regulations Therefore

Representative for the applicant briefly discussed the above proposed ordinance. There was a discussion amongst the Commissioners and applicant.

#### Public Comment

Susan Stern, Midland Avenue – She commented about adding in stormwater management to the ordinance.

Cheryl Tumola, Midland Avenue – She inquired what the area would be zoned.

Dan Sherry, Wayne – He inquired about board procedure during public comment.

Introduction of Ordinance #2019-05 passed 5-2 with Commissioner Booker and Farhy opposed.

*J. WAWA - Authorization for Solicitor to file Appeal of Common Pleas Court Decision of 1/30/2020*

There was a discussion amongst the Commissioners regarding the above agenda item.

Public Comment

Susan Stern – She spoke in support of the appeal.

Authorization for Solicitor to file Appeal of Common Pleas Court Decision of 1/20/2020 passed 7-0.

*E. Resolution #2020-24 - Authorizing repairs to the Township Owned Cow Barn on Wheeler Field at Ardrossan (Paid for by Insurance)*

On October 31, 2019 high winds damaged the Cow Barn/Shed on the Wheeler field at Ardrossan. An insurance claim was filed on behalf of the Township, and an estimate for repairs was received in the amount of \$23,524.00.

Public Comment

Sara Pilling, Garrett Avenue – She inquired if there was any long-term use of the building.

Resolution #2020-24 passed 6-0 with Commissioner Enderle off the dais.

*F. Resolution #2020-25 - Request to purchase two (2) Harley Davidson Police Motorcycles*

The Radnor Township Police Department received bids for the purchase of two (2) 2020 Harley-Davidson Road King Police Motorcycles. This was reviewed by the Board of Commissioners in January 2020 and bid authorization was received. This bid is two (2) 2020 Harley-Davidson Road King Police Motorcycles. The Radnor Township Police Department requests to purchase two (2) 2020 Harley-Davidson Road King Police Motorcycles. The Board of Commissioners authorized bidding for the motorcycles at the January 27, 2020 Board of Commissioner's meeting. The specifications were advertised and one (1) bid was received. The recommendation is to purchase from Brian's Harley Davidson, the lowest responsive and responsible bidder. Two (2) 2013 Harley-Davidson Road King Police Motorcycles currently in service with the Police Department will be traded in at current market value. There was a discussion amongst the Commissioners, Treasurer and staff.

Public Comment

Mark Lake – He spoke opposed to the resolution.

Resolution #2020-25 passed 7-0.

*G. Resolution #2020-26 - Approving The Purchase Of Eighteen New Rifles For Use By The Radnor Township Police Department*

Superintendent Flanagan and Lieutenant Pinto discussed that the new rifles consist of eighteen (18) new Sig Sauer Semi-Automatic Rifles; and they will be purchased under the 2019 (\$5,000.00) and the 2020 (\$31257.00) Police Capitol Fund for \$36,257.00.

Resolution #2020-26 passed 7-0.

*H. Resolution #2020-29 - Authorizing the President of the Board of Commissioners or the Acting Township Manager & Finance Director to execute all documents and agreements related to the Multimodal Transportation Fund grant for the Construction of Intersection Improvements at King of Prussia, Eagle and Pine Tree Roads*

The Commissioners approved Resolution No. 2018-09 authorizing the application of a Multimodal Transportation Fund (MTF) grant for the construction of intersection improvements at King of Prussia, Eagle and Pine Tree Roads. Staff has been contacted by the Pennsylvania Department of Transportation (PennDOT) that the resolution needs to be revised in order to proceed with the grant funding. A resolution was brought before the Commissioners at the February 10, 2020 meeting but failed to pass due to a lack of a majority approval. This intersection improvements project is being designed in coordination with Cabrini and Eastern Universities and will improve safety concerns at this intersection. The MTF grant application was signed in October 2019 by the Township Manager, specifically Robert Zienkowski. Staff was notified in January 2020 that, as the earlier resolution was written, the President of the Board of Commissioners, specifically Lisa Borowski, also had to sign the application. Since the individuals in those positions have changed, the application may not be simply re-signed under the earlier resolution. Instead, a new resolution is required, including the names and titles of those currently in the positions. The new resolution may also provide that either of those individuals may sign the application. There was an in-depth discussion amongst the Commissioners.

Public Comment

Sara Pilling, Garrett Avenue – She spoke in support.

Mark Donofrio – He asked if there were any intermediary solutions.

Dan Sherry – He spoke regarding bringing the resolution back to the Board.

Trey Miller, Eastern University – He spoke in support of the resolution.

Commissioner Larkin called the vote, motion passed 4-3 with Commissioners Booker, Abel and Farhy opposed.

*I. Resolution #2020-30 - Authorizing the Award of the Contract for the Design, Plans, Bid Documents, and Permitting for Erosion and Sedimentation Control for the SR 476/SR 030 Interchange Island, to Meliora Design, in the Amount of \$10,247*

The cost proposal from Meliora Design is to provide design, plans, and bidding documents for the erosion and sedimentation (E&S) control for the island at SR 476 (Blue Route). The design will be done in conjunction with Penn DOT and the Delaware County Conservation District input. This plan will be solely for E&S purposes to stabilize the site and does not include replanting of the area. Pending Board of Commissioners approval, a requisition will be entered into the financial system, with work to begin immediately following the receipt of a purchase order. The design will take 1-2 weeks, meeting with the outside agencies may take several weeks. Upon final approved design, we will be requesting authorization to receive sealed bids for the E&S work. There was a discussion amongst the Commissioners. There was a sense of the Board to inquire with Penn Medicine if the \$250,000 donation that was made could be reallocated to pay for this project.

Commissioner Abel proposed amendment to resolution that there is a public document made available when the investigation to the removal of the trees is complete, seconded by Commissioner Booker. Motion fails for lack of majority.

#### Public Comment

Sara Pilling, Garrett Avenue – She spoke in support of the need for a plan.

Dan Sherry, Wayne – He spoke regarding the donation from Penn Medicine.

Mark Donofrio – He spoke in support of the need for a plan.

Michael Lake – He commented that this is a self-inflicted emergency and a solution wasn't found prior.

Carol Wisher – She inquired if the RECT can take responsibility of this and get donations from businesses.

Commissioner Larkin called the vote, motion passed 6-1 with Commissioner Booker opposed.

#### J. WAWA - Authorization for Solicitor to file Appeal of Common Pleas Court Decision of 1/30/2020

Moved up on Agenda.

#### K. Resolution #2020-31 - Authorizing Distribution of Funds for Traffic Improvements (Requested by Commissioner Mulrone)

Commissioner Mulrone briefly described the above project.

Commissioner Farhy made a motion to amend the resolution to delete the *not to exceed amount*, seconded by Commissioner Mulrone. Motion failed for lack of a majority.

#### Public Comment

Mark Donofrio – He spoke in support of the resolution.

Resolution #2020-31 passed 7-0.

#### 5. Reports of Standing Committees of the Board

None

#### 6. New Business

Commissioner Farhy spoke regarding the showing of Kensington in Crisis and the benefits of the Board and would like to have a training class for residents on the use of Narcan. There was a sense of the Board to provide training.

Commissioner Enderle discussed that the property reassessments will be mailed March 16th, residents will have 10 days to review and have a discussion with County.

Commissioner Booker requested that Solicitor Rice look at the information that Dan Sherry provided on High Public Official Immunity. There was not a sense of the Board.

#### 7. Old Business

##### a. Discussion and Update of Security Cameras (Requested by Commissioner Abel)

##### b. Discussion of Towing Ordinance (Requested by Commissioner Abel)

Commissioner Abel requested for items 7a and 7b be discussed at a future meeting.

8. Public Participation

Paul Hayes, Midland Avenue – He commented regarding medical services being offered by Penn Medicine.

Dan Finley, Midland Avenue – He inquired whether we had inquired on the services that Penn would be providing.

Roberta Winters – She discussed the reassessments as well as Wednesday evening at the Library there will be a meeting regarding the census.

Dan Sherry, Wayne – He spoke about the separation agreement w/ former Manager and the ant disparage clause.

*There being no further business, the meeting adjourned on a motion duly made and seconded.*

*Respectfully submitted,  
Jennifer DeStefano*

DRAFT

# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board



**NAME OF OWNER:** MARC McQUESTEN  
**OWNER ADDRESS:** 233 WALNUT AVE  
**ADDRESS OF PROPERTY:** 233 WALNUT AVE  
**APPLICATION NUMBER:** HARB-2019-08

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

*replacement shed with 1 car garage, extend front porch, replace stucco with Hardie board siding consistent with rear addition completed in 2017*

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. This Approval is subject to the Applicant applying for and receiving all necessary permits and approvals; and complying with all applicable Municipal regulations. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

## NOTES AND/OR CONDITIONS OF APPROVAL:

**ISSUED:** 03/09/20

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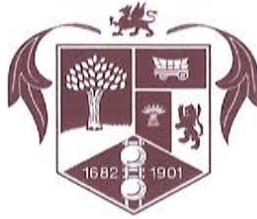
**TOWNSHIP OFFICIAL**

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**ACCEPTED BY APPLICANT**

# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board



**NAME OF OWNER:** LOMBARDI STATE REALTY LLC  
**OWNER ADDRESS:** 406 MANTOLOKING RD  
**ADDRESS OF PROPERTY:** 200 ½ W WAYNE AVE  
**APPLICATION NUMBER:** HARB-2020-02

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

*Construct new 1 car garage and rear porch. Add front door.*

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. This Approval is subject to the Applicant applying for and receiving all necessary permits and approvals; and complying with all applicable Municipal regulations. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

**NOTES AND/OR CONDITIONS OF APPROVAL:**

**ISSUED:** 03/04/20

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**TOWNSHIP OFFICIAL**

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**ACCEPTED BY APPLICANT**

**RESOLUTION NO. 2020-32**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, AWARDED THE CONTRACT FOR THE DESIGN, PERMITTING, CONSTRUCTION DOCUMENTS, AND BIDDING DOCUMENTS FOR SIDEWALK AND PEDESTRIAN IMPROVEMENTS ON LANCASTER AVENUE, FROM GARRETT AVENUE TO BARLEYCONE LANE, TO GILMORE & ASSOCIATES IN THE AMOUNT OF \$53,000**

*WHEREAS*, Radnor Township funded a sidewalk project on Lancaster Avenue, from Garret Avenue to Barleycone Lane, in the General Obligation Bond Series 2019 in the amount of \$473,500

*WHEREAS*, Gilmore & Associates submitted a cost proposal to provide design, engineering, Penn DOT permitting, construction documents, and biding documents in the amount of \$53,000

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Award the Contract for the Design, Permitting, Construction Documents, and Bidding Documents for Sidewalk and Pedestrian Improvements on Lancaster Avenue, from Garrett Avenue to Barleycone Lane, to Gilmore & Associates in the amount of \$53,000

*SO RESOLVED* this 9<sup>th</sup> day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
John Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 2, 2020

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer

CC William M. White, Acting Township Manager/Secretary

**LEGISLATION:** Resolution #2020-32 - Awarding the Contract for the Design, Permitting, Construction Documents, and Bidding Documents for Sidewalk and Pedestrian Improvements on Lancaster Avenue, from Garrett Avenue to Barleycone Lane, to Gilmore & Associates in the amount of \$53,000

**LEGISLATIVE HISTORY:** This project was funded by the 2019 General Obligation Bond, as voted and approved by the Commissioners.

**PURPOSE AND EXPLANATION:** The project entails replacing the existing four-foot wide sidewalk with a five-foot sidewalk, installing ADA curb ramps, pedestrian enhancements, and increased curb reveal, on Lancaster Avenue from Barley Cone Lane to Garret Avenue. Gilmore & Associates will provide construction documents, biding documents, and permitting.

**IMPLEMENTATION SCHEDULE:** Pending Board of Commissioners approval, a requisition will be entered into the financial system, with work to begin immediately following the receipt of a purchase order. The estimated time for project completion, design, permitting, and construction, is fourteen months.

**FISCAL IMPACT:** The cost proposal (proposal & timeline attached) from Gilmore & Associates is in the amount of \$53,000. The budgeted costs, directly from the GOB Series 2019 Project Budget Worksheet:

Lancaster Ave	\$	473,500.00
Lancaster [Barleycone to Garrett] Sidewalk	\$	473,500.00
1Proceeds - Bonds	\$	-
1Proceeds - Other	\$	-
2Design / Engineering	\$	54,000.00
3Construction	\$	345,000.00
4Inspection	\$	40,000.00
5Contingency	\$	34,500.00

**RECOMMENDED ACTION:** *I respectfully request the Board of Commissioners of Radnor Township Award the Contract for the Design, Permitting, Construction Documents, and Bidding Documents for Sidewalk and Pedestrian Improvements on Lancaster Avenue, from Garrett Avenue to Barleycone Lane, to Gilmore & Associates in the amount of \$53,000*



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

February 27, 2020

Project No. 17-0407901

Mr. Stephen F. Norcini, P.E.  
Director of Public Works  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

Reference: Professional Services Agreement  
Lancaster Avenue (SR 0030) Pedestrian Improvements (HOP)  
Radnor Township, Delaware County, Pennsylvania

Dear Mr. Norcini:

Per your request, Gilmore & Associates, Inc. (G&A) is proposing to provide traffic engineering and design services for pedestrian improvements along Lancaster Avenue (SR 0030) from Barley Cone Lane to Garrett Avenue in Radnor Township, Delaware County. These plans will incorporate new 4" to 6" reveal curb and 5' sidewalk along the south side of Lancaster Avenue as well as improved crossings at the signalized intersection of Lancaster Avenue and Lowry Lane. This work will include providing plans and applications for a PennDOT Highway Occupancy Permit (HOP), the revision of existing signal plans, and the preparation of construction bid documents and assistance during the bid and construction phases. This work will build off of the preliminary plans previously prepared.

- A. Prepare Final Engineering Plans for Highway Occupancy Permit (HOP) as follows:
  - 1. Prepare Plans for the HOP to include:
    - a. Updated Title sheet and Location Map
    - b. Updated General Notes and Details
    - c. Existing Conditions Plan
    - d. Update Construction and Grading Plan showing the detailed dimensions, grading, items to be removed, replaced, or installed sufficient for construction purposes. The plans are to assume the sidewalk is to remain at the current with except where modifications or bump outs are required to meet current ADA standards. In addition, 6" inch curb is assumed project area, raising curb and sidewalk elevation, or other means.
    - e. Signing and Striping Plans
    - f. Ramp details (13 ADA Accessible Ramps)
    - g. Roadway and driveway profiles
    - h. Cross Sections
    - i. Maintenance and Protection of Traffic Plan utilizing Pub 213 PATA figures
    - j. Sight Distance measurements and plan

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65 East Butler Avenue | Suite 100 | New Britain, PA 18901 | Phone: 215-345-4330 | Fax: 215-345-8606

2. Prepare letter form temporary construction easements for as many as 10 properties.
3. Prepare stormwater statement. It is assumed based on the nature of the improvements that no additional stormwater facilities will be required.
4. Prepare and submit HOP Application and forms
5. Resubmit HOP Application (2 resubmissions assumed)

Subtotal: **\$32,200.00**

- B. Provide Traffic Signal Permit Plan and Traffic Signal Design Report services as follows:
1. Revise the traffic signal permit and construction plans for the addition of ADA accessible ramps, pedestrian signals, relocation and addition of pedestrian push buttons as necessary as well as signal controller agreements at the intersection of Lancaster Avenue and Lowry's Lane. Task assumes existing permit plan is available in CAD format.
  2. Prepare Pedestrian Needs Study in order to abandon the existing crossing of the eastern leg of Lancaster Avenue.
  3. Prepare Traffic Signal Design Report for updating vehicular clearances and pedestrian timings.
  4. Prepare TE-160 and standard resolution for traffic signal modifications

Subtotal: **\$8,000.00**

- C. Perform Bid Phase services as follows:
1. Prepare Engineer's Opinion of Probable Cost
  2. Prepare project specifications and bid documents
  3. Attend Pre-Bid Meeting and prepare responses to bidder's questions

Subtotal: **\$5,400.00**

- D. G&A will perform Construction and Post Construction Phase services as follows:
1. Respond to contractor RFI's as the Township's representative.
  2. Attend Traffic Signal Pole Spot
  3. Perform Traffic signal inspections (assumes 2 field meetings) and prepare minutes.
  4. Perform Ramp and Traffic Signal As-Built measurements and revise plans and ramp forms as necessary.

Subtotal: **\$7,400.00**

Gilmore & Associates, Inc. shall provide the services outlined above, **for a not-to-exceed fee of \$53,000** subject to the following conditions:

- A. Fees are based on acceptance of this contract agreement within the next 30 days. Gilmore & Associates, Inc. reserves the right to adjust the cost of these services in accordance with increases in company billing rates if this Contract Agreement is not accepted within 30 days. The fees assume the completion of all professional services within 12 months from the date of contract execution. In the event the professional services are not completed within 12 months from the date of Contract Agreement execution, Gilmore & Associates, Inc. reserves the right to adjust the cost of the remaining services in accordance with increases in company billing rates.
- B. Method of Payment - Invoices shall be submitted on a monthly basis and are due upon receipt. Payment is due upon presentation of an invoice and is past due thirty (30) days from invoice date. Client will be assessed a service charge of one and one-half (1-1/2) percent per month (18% per annum) or a fraction thereof on past due payments.

- C. It is assumed that sufficient survey has been acquired to complete the project during the grant application phase and that the scope of improvements is in accordance with the grant.
- D. It is assumed that this project will be permitted through the HOP and as such will not be required to go through the complete DM1 project approval process.
- E. It is assumed based on the nature of the improvements that no additional drainage facilities will be required as part of this project.
- F. The assumptions made in A.1.d. are subject to the review and approval of PennDOT through their approval process. G&A will notify the Township Engineer of modifications required beyond the assumptions noted.

Should you find this contract agreement acceptable, please sign below and return the original to me as authorization to proceed.

Thank you for your continued consideration of Gilmore & Associates, Inc. We look forward to the successful completion of this project in Radnor Township. In the meantime, please do not hesitate to contact me with any questions or comments you may have.

Sincerely,



Damon Drummond, P.E., PTOE  
Senior Transportation Engineer  
Gilmore & Associates, Inc.  
[ddrummond@gilmore-assoc.com](mailto:ddrummond@gilmore-assoc.com)

Authorization to proceed:

\_\_\_\_\_  
Authorized Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Purchase Order Number

## PROJECT TIMELINE

The timeline associated with this project requires coordination and approval with PennDOT HOP, Signals, and ADA followed by bid documents, advertisement, bid award and construction. We anticipate the following timeline, totaling approximately 14 months, (8 months in design and permitting, 6 months in construction phase) from the point in time that *Notice to Proceed* received following resolution passage by the BOC (understanding this is G&A's best guess regarding turnaround time by PennDOT staff:

- Task 1. Obtain Approvals from PennDOT staff (Task Total of 240 days)
  - Notice to Proceed received following resolution passage by BOC
    - 1<sup>st</sup> G&A submission to PennDOT (HOP/Signals/ADA Updates) 60 days on (includes roadway and drainage design, and revised, signal permit plans
      - 30 Day review by PennDOT
    - 2<sup>nd</sup> G&A submission to PennDOT, 60 day turnaround from receipt of review; includes updated HOP and signal plans.
      - 30 Day review by PennDOT
    - 3<sup>rd</sup> G&A submission to PennDOT, 30 day turnaround by
      - 30 Day review by PennDOT with full approval
  
- Task 2. Preparation of Bids Documents following PennDOT approvals
  - Provided to Radnor Township within 30 days
  
- Task 3. Advertise on PennBID for 2 weeks
- Task 4. Township issue Notice to Proceed to Contractor within 14 days
- Task 5. Construction anticipated to take 120 days.

This timeline will be updated with dates and will be coordinated with the Township Engineer upon approval of notice to proceed.

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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer

CC: William M. White, Acting Township Manager/Secretary

Date: March 4, 2020

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#### **Authorization for the Engineering Department to Issue a Request For Proposals for Pennsylvania Department of Transportation Certified Inspection Services for the Radnor TAP Trail**

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Inspections for the Radnor TAP Trail must be performed by a firm who is certified by the Pennsylvania Department of Transportation, must have experience in federally funded projects, and be experienced in using Penn DOT's ECMS (Engineering and Construction Management System). The Township's appointed inspection firm does not, at this time, have the required certification. To provide the appropriate inspection services, the Engineering Department is requesting to issue an RFP for these services. The end result of the inspection services RFP will be for the firms to provide their hourly rates, and an estimate of the time (and subsequent estimated total) for inspection services for the TAP Trail.

**RESOLUTION NO. 2020-33**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, AWARDED  
THE CONTRACT FOR THE REPAIR OF THE ROBERTS ROAD CULVERT TO  
LOFTUS CONSTRUCTION IN THE AMOUNT OF \$555,000**

*WHEREAS*, the Roberts Road Culvert is in need of rehabilitation

*WHEREAS*, sealed bids were received for this project, and Loftus Construction is the lowest qualified bidder at \$55,000

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Award the Contract for the Repair of the Roberts Road Culvert to Loftus Construction in the Amount of \$555,000

*SO RESOLVED* this 9<sup>th</sup> day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
John Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: February 19, 2020

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer

CC: William M. White, Acting Township Manager/Secretary

**LEGISLATION: Resolution #2020-33: Awarding the Contract for the Repair of the Roberts Road Culvert to Loftus Construction in the Amount of \$555,000**

**LEGISLATIVE HISTORY:** The Roberts Road Culvert rehabilitation design was authorized by the Commissioners under an emergency basis. The project is noted in the 2020 Township budget.

Project Estimate	95	90	85	80	75	70	65	60	55	50	45	40	35	Grand Total
<b>INFRASTRUCTURE</b>	\$ 1,454,750	\$ 759,000	\$ 1,086,000	\$ 232,530		\$ 3,873,625	\$ 565,860							\$ 7,971,765
Arthur Road						\$ 265,560								\$ 265,560
Arthur Road Stormsewer Project						\$ 265,560								\$ 265,560
Brookside Road						\$ 328,900								\$ 328,900
Brookside Road Stormsewer Replacement						\$ 328,900								\$ 328,900
Chamounix & Eagle						\$ 3,336,000								\$ 3,336,000
Culvert replacements (2)						\$ 3,336,000								\$ 3,336,000
Highview Road			\$ 836,000											\$ 836,000
Highview Outfall			\$ 836,000											\$ 836,000
Malin Road	\$ 1,454,750													\$ 1,454,750
Malin Road Culvert Replacement	\$ 1,454,750													\$ 1,454,750
Mill Road			\$ 250,000											\$ 250,000
Mill Road Wall Replacement			\$ 250,000											\$ 250,000
Plant				\$ 114,540										\$ 114,540
Repair Storm Sewer under Resident House				\$ 114,540										\$ 114,540
Roberts Road		\$ 759,000												\$ 759,000
Roberts Road Culvert Repair		\$ 759,000												\$ 759,000
South Devon				\$ 117,990										\$ 117,990
Replace Storm Sewer under sidewalk and driveway				\$ 117,990										\$ 117,990
Villanova						\$ 300,300								\$ 300,300
Wistar Road Outfall						\$ 300,300								\$ 300,300
Wootton Road						\$ 208,725								\$ 208,725
Wootton Road Stormsewer Replacement						\$ 208,725								\$ 208,725
<b>Grand Total</b>	\$ 9,460,306	\$ 759,000	\$ 3,781,000	\$ 7,535,030	\$ 2,575,000	\$ 5,261,216	\$ 9,019,185	\$ 1,468,000	\$ 354,200	\$ 1,841,396	\$ 11,210,933	\$ 75,000	\$ 64,975	\$ 53,405,241

**PURPOSE AND EXPLANATION:** The work entailed in the rehabilitation: temporary stream diversion, underpinning, scour protection, rock slope protection, temporary support of the arch, repairs to the culvert, storm sewer installation, moment slab installation, guide rail installation, and signage. Currently there are jersey barriers in place to keep motorists from driving on the deteriorated portion of the culvert.

**IMPLEMENTATION SCHEDULE:** *Staff has been looking globally at the current traffic lane restrictions and road closures in the area due to Penn DOT projects. With Bryn Mawr Avenue currently under lane restrictions and Darby Paoli Road closed, the request is to award the project on the March 9<sup>th</sup>, and immediately provide an extension for the project due date, to allow the contractor to begin in June, and complete the project by Labor Day. This will reduce the impact to traffic in the general area.*

**FISCAL IMPACT:** The bid tabulation is noted below:

Roberts Road Culvert Rehabilitation	
Contract #B-19-007	
Bid Tabulation	
<b>Loftus Construction, Inc.</b>	<b>\$555,000</b>
Road-Con, Inc.	\$643,398
MAR-ALLEN Concrete Products, Inc.	\$734,267
CMR Construction Inc.	\$834,345
Anthony Biddle Contractors Inc.	\$840,565

Loftus Construction is the lowest qualified bidder at \$555,000. The project will be funded by the 04 Stormwater Fund. The amount noted in the budget for the project is \$759,000.



**Jersey Barriers**



**Failure of wall, Roberts Road**

**Arch ring failure**



**RECOMMENDED ACTION:** *I respectfully request the Board of Commissioners of Radnor Township Award the Contract for the Repair of the Roberts Road Culvert to Loftus Construction in the Amount of \$555,000.*

**RESOLUTION NO. 2020-34**

**A RESOLUTION OF RADNOR TOWNSHIP,  
DELAWARE COUNTY, PENNSYLVANIA,  
AUTHORIZING THE PAYMENT OF CHANGE ORDERS 2 and 3 FOR THE  
NORTH WAYNE FIELD STORMWATER MANAGEMENT BASIN  
REPAIR AND CLEANING (CONTRACT # B-18-010), TO  
N. ABBONIZIO CONTRACTORS, IN THE AMOUNT OF \$21,507**

*WHEREAS*, Radnor Township has incurred change orders to the original contract price due to unforeseen conditions, as part of the Basin Repair and Cleaning

*WHEREAS*, the tabulation of the Change Orders 2 and 3 is as follows:

<b>CO #</b>	<b>Description/Explanation</b>	<b>Cost</b>
2	Removal and disposal of unsuitable soils and replacement with suitable soil	\$ 7,602
3	Material required for the maintenance access drive subgrade stabilization	13,905
TOTAL COST OF CHANGE ORDERS 2 & 3		\$21,507

*NOW, THEREFORE*, be it **RESOLVED** by the Board of Commissioners of Radnor Township does hereby Authorize the payments of Change Orders 2 and 3 for the North Wayne Field Stormwater Management Basin Repair and Cleaning project (Contract # B-18-010), to N. Abbonizio Contractors, in the amount of \$21,507.

*SO RESOLVED* this 9th day of March, A.D., 2020.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: John Larkin

Title: President

ATTEST:

\_\_\_\_\_  
William M. White  
Acting Township Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 3, 2020

TO: Radnor Township Board of Commissioners

FROM: Dennis P. Capella, Engineering Project Manager

CC: William M. White, Acting Township Manager  
Stephen F. Norcini, P.E., Township Engineer

**LEGISLATION: Resolution #2020-34: Authorizing the Payment of Change Orders 2 and 3 for the North Wayne Field Stormwater Management Basin Repair and Cleaning (Contract # B-18-010), to N. Abbonizio Contractors, in the amount of \$21,507**

**LEGISLATIVE HISTORY:** These specific change orders have not been before the Commissioners previously. Change Order 1 has been approved previously.

**PURPOSE AND EXPLANATION:** During the process of construction of the Basin Repair and Cleaning, unforeseen issues were identified and had to be addressed. A summary of the current change orders follows:

CO #	Description/Explanation	Cost
2	Removal and disposal of unsuitable soils and replacement with suitable soil. The need for six loads of soil was determined during construction.	\$7,602
3	Material required for the maintenance access drive subgrade stabilization. It was determined that the stabilization was needed for heavy equipment transport.	13,905
TOTAL COST OF CHANGE ORDERS 2 & 3		\$21,507

**IMPLEMENTATION SCHEDULE:** Pending Board of Commissioners approval, the Change Orders will be signed and a requisition will be entered into the financial system.

**FISCAL IMPACT:** This project is funded by the Stormwater Management Fund.

**RECOMMENDED ACTION:** *Staff respectfully requests the Board of Commissioners of Radnor Township to authorize the payments of Change Orders 2 and 3 for the North Wayne Field Stormwater Management Basin Repair and Cleaning (Contract # B-18-010), to N. Abbonizio Contractors, in the amount of \$21,507.*

**RESOLUTION NO. 2020-35**

**A RESOLUTION OF RADNOR TOWNSHIP,  
DELAWARE COUNTY, PENNSYLVANIA,  
AUTHORIZING THE PAYMENT OF CHANGE ORDERS 1, 2 AND 3 FOR THE  
EMLEN TUNNELL PARK COMFORT STATION (CONTRACT # B-19-012), TO  
BARCLAY DESIGN AND CONSTRUCTION, IN THE AMOUNT OF \$6,650**

*WHEREAS*, Radnor Township has incurred change orders to the original contract price due to unforeseen conditions, as part of the Emlen Tunnell Park Comfort Station

*WHEREAS*, the tabulation of the Change Orders 1, 2 and 3 is as follows:

<b>CO #</b>	<b>Description</b>	<b>Cost</b>
1	Relocate existing dugout & flagpole receptacles into the new electrical panel; install additional ground & replace grounding electrode to tie both together; replace existing meter socket, 100 amp service & weather head.	\$3,050
2	Install new water service tee connection for existing drinking water fountain.	600
3	Additional grading & leveling to accommodate a new two-batting gage configuration. This change was made at the request of the Radnor Wayne Little League, and the Township will be reimbursed by the RWLL.	3,000
TOTAL COST OF CHANGE ORDERS 1, 2 & 3		\$6,650

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Authorize the payments of Change Orders 1, 2 and 3 for the Emlen Tunnell Park Comfort Station (Contract # B-19-012), to Barclay Design and Construction, in the amount of \$6,650

*SO RESOLVED* this 9th day of March, A.D., 2020.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: John Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Township Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 3, 2020

TO: Radnor Township Board of Commissioners

FROM: Dennis P. Capella, Engineering Project Manager

CC: William M. White, Acting Township Manager  
Stephen F. Norcini, P.E., Township Engineer

**LEGISLATION: Resolution #2020-35: Authorizing the Payment of Change Orders 1, 2 and 3 for the Emlen Tunnell Park Comfort Station (Contract # B-19-012), to Barclay Design and Construction, in the amount of \$6,650**

**LEGISLATIVE HISTORY:** These specific change orders have not been before the Commissioners previously.

**PURPOSE AND EXPLANATION:** During the process of construction of the Comfort Station, unforeseen issues were identified and had to be addressed. A summary of the current change orders follows:

CO #	Description/Explanation	Cost
1	Relocate existing dugout & flagpole receptacles into the new electrical panel; install additional ground & replace grounding electrode to tie both together; replace existing meter socket, 100 amp service & weather head/Several electric service code concerns came to light during the excavation for the building.	\$3,050
2	Install new water service tee connection for existing drinking water fountain/It was determined that the existing water fountain could be better served with connection to the new water service.	600
3	Additional grading & leveling to accommodate a new two-batting gage configuration/This change was made at the request of the Radnor Wayne Little League, and the Township will be reimbursed by the RWLL.	3,000
TOTAL COST OF CHANGE ORDERS 1, 2 & 3		\$6,650

**IMPLEMENTATION SCHEDULE:** Pending Board of Commissioners approval, the Change Orders will be signed and a requisition will be entered into the financial system.

**FISCAL IMPACT:** This project is funded by the General Obligation Bond.

**RECOMMENDED ACTION:** *Staff respectfully requests the Board of Commissioners of Radnor Township to authorize the payments of Change Orders 1, 2 and 3 for the Emlen Tunnell Park Comfort Station (Contract # B-19-012), to Barclay Design and Construction, in the amount of \$6,650.*

**RESOLUTION NO. 2020-36**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AUTHORIZING THE PURCHASE OF TWO  
REPLACEMENT FOUNTAINS FOR THE WILLOWS POND**

*WHEREAS*, the 1 ½ acre pond at the Willows Park is one of the main focal points within the Park

*WHEREAS*, in order to beautify, aerate, and help control the algae which forms on the pond each year, two Otterbine Fountains were installed in the pond 17 years ago

*WHEREAS*, the two original fountains are no longer working, and have outlived their useful life

*WHEREAS*, a quote to replace the two fountains was received by Weeds, Inc. under the PA Co-stars program in the amount of \$13,652.62

*NOW, THEREFORE*, be it *RESOLVED* the Board of Commissioners of Radnor Township does hereby authorize the purchase of two replacement fountains for the Willows Pond in the amount of \$13,652.62

*SO RESOLVED* this 9th day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Township Manager

**Radnor Township**  
**PROPOSED LEGISLATION**

DATE: March 9, 2020

TO: Radnor Township Board of Commissioners

CC: William M. White, Acting Township Manager

FROM: Stephen McNelis, Director of Public Works

LEGISLATION: Resolution 2020-36: Authorizing the Purchase of two replacement fountains for the Willows Pond

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LEGISLATIVE HISTORY: This item has not previously been before the Board of Commissioners.

PURPOSE AND EXPLANATION: The 1½ acre pond at the Willows Park is one of the main focal points within the Park. Seventeen years ago, the Township had 2 Otterbine Fountains installed to beautify, aerate, and help control the algae which forms on the pond each year. The Public Works staff seasonally, installs and removes the fountains each year in order to maintain and extend the life of the fountain. The older fountains are no longer functioning and need to be replaced.

IMPLEMENTATION SCHEDULE: Pending Board of Commissioners' approval, a purchase order will be processed, and upon approval of the purchase order, the fountains will be ordered from the co-stars vendor, Weeds, Inc.

FISCAL IMPACT: Funding for this repair will be taken from Park Improvement Capital Account 05450000-48216.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners authorize the purchase of two replacement fountains for the Willows Pond at a cost of \$13,652.62.

MOVEMENT OF LEGISLATION: It is being requested that the Board of Commissioners approve the legislation for this purchase.



Otterbine® Barebo, Inc. 3840 Main Road East • Emmaus, PA 18049 USA

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 aeration@otterbine.com • www.otterbine.com

#2

2020 PRICE LIST OTTERBINE BAREBO, INC. | AERATING FOUNTAINS (1HP-5HP)

Distributor Name:		Ship to Name/Address:		Total SL Price
TESCO		Radnor Park and Rec		13,652.62
PO Number:				Comments:
Date:	Feb 4 2020			Existing unit for loyalty D3-1222-1002 No lights 150 cables
Contact:	Brian 215 870 0895 BGON58@aol.com			

1st Step: Choose HP, Voltage & Phase of Aerating Fountain Units

Quantity	Part Number	Description HP/Voltage/Phase/HZ	SL Price	Extended SL Price
	01-0011-116	AF UNIT 1HP 115/1/60/MOTOR	\$4,325.47	\$0.00
	01-0011-216	AF UNIT 1HP 230/1/60/MOTOR	\$4,325.47	\$0.00
	01-0012-216	AF UNIT 2HP 230/1/60/MOTOR	\$4,848.92	\$0.00
2	01-0013-216	AF UNIT 3HP 230/1/60/MOTOR	\$5,866.81	\$11,733.62
	01-0013-236	AF UNIT 3HP 230/3/60/MOTOR	\$5,866.81	\$0.00
	01-0013-436	AF UNIT 3HP 460/3/60/MOTOR	\$5,866.81	\$0.00
	01-0015-216	AF UNIT 5HP 230/1/60/MOTOR	\$6,617.54	\$0.00
	01-0015-236	AF UNIT 5HP 230/3/60/MOTOR	\$6,371.95	\$0.00
	01-0015-436	AF UNIT 5HP 460/3/60/MOTOR	\$6,371.95	\$0.00
	01-0015-536	AF UNIT 5HP 575/3/60/MOTOR	\$6,946.93	\$0.00

2nd Step: Choose Aerating Fountain Patterns

Quantity	Part Number	Description	SL Price	Extended SL Price
	18-0038	SUNBURST 60Hz AF	\$335.60	\$0.00
	18-0081	SUNBURST 60Hz AF (5HP ONLY)	\$548.40	\$0.00
	18-0039	GEMINI 60Hz AF	\$253.77	\$0.00
	18-0082	GEMINI 60Hz AF (5HP ONLY)	\$519.02	\$0.00
	18-0040	SATURN 60Hz AF	\$297.11	\$0.00
	18-0083	SATURN 60Hz AF (5HP ONLY)	\$502.30	\$0.00
2	18-0041	PHOENIX 60Hz AF	\$1,223.00	\$2,446.00
	18-0042	ROCKET 60Hz AF	\$927.20	\$0.00
	18-0043	TRI-STAR 60Hz AF	\$1,249.58	\$0.00
	18-0044	COMET 60Hz AF	\$1,063.63	\$0.00
	18-0045	GENESIS 60Hz AF	\$1,317.87	\$0.00
	18-0046	CONSTELLATION 60Hz AF	\$1,332.12	\$0.00
	18-0077	EQUINOX 60Hz AF	\$1,271.31	\$0.00
	18-0079	OMEGA 60Hz AF	\$1,221.59	\$0.00

3rd Step: Choose Cable & Length (Sold in 25ft/7.5m increments with a 50ft/15m minimum. Cable is priced per foot.)

Quantity	Part Number	Description	SL Price	Extended SL Price
300	957-001	CABLE POWER 12/3 1Ph	\$3.41	\$1,023.00
	957-002	CABLE POWER 12/4 3Ph	\$3.52	\$0.00
	957-009	CABLE POWER 10/3 1Ph	\$3.52	\$0.00
	957-010	CABLE POWER 10/4 3Ph	\$3.79	\$0.00
	34-0002	CABLE POWER 8/3 1Ph	\$4.49	\$0.00
	34-0003	CABLE POWER 8/4 3Ph	\$5.76	\$0.00
	34-0004	CABLE POWER 6/3 1Ph	\$7.52	\$0.00

Cable Options



[Home \(/\)](#) > [Aerators & Fountains \(/aerators-fountains/\)](#) > [Aerating Fountains \(/aerators-fountains/aerating-fountains/\)](#) > [Phoenix](#)

## AERATING FOUNTAINS

# Phoenix

The Phoenix's two tiered pattern combines aesthetics with aeration, and is popular in commercial and residential settings alike.

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# Appointments to Various Boards and Commissions

# Announcement of Boards and Commission Vacancies

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## INTEROFFICE MEMORANDUM

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**TO:** BOARD OF COMMISSIONERS  
**FROM:** KEVIN W. KOCHANSKI, RLA, CZO  
DIRECTOR OF COMMUNITY DEVELOPMENT / BCO  
**SUBJECT:** ZONING HEARING BOARD SOLICITOR  
**DATE:** 2/28/2020  
**CC:** WILLIAM WHITE, TOWNSHIP MANAGER



Community  
Development  
Department

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At the February 20, 2020 Zoning Hearing Board Meeting, the Board reorganized and appointed Mr. Constantine Z. Economides as their solicitor. Mr. Economides was appointed by the Board of Commissioners as the Zoning Hearing Board alternate solicitor in March of 2019 and has been serving the Zoning Hearing Board as their interim solicitor in the absence of the primary solicitor since that time. The Zoning Hearing Board now would like Mr. Economides to be their primary solicitor.

I would respectfully request that the Board of Commissioners appoint Mr. Constantine Z. Economides to serve as solicitor for the Zoning Hearing Board. Mr. Economides has previously served as Solicitor to the Rental Housing Appeals Board and the Code Appeals Board. Attached, for your consideration, you will find an engagement letter prepared by Mr. Economides.

LAW OFFICES  
**ECONOMIDES & ECONOMIDES**

ATTORNEYS AT LAW

CONSTANTINE Z. ECONOMIDES, ESQ.  
DIRECT DIAL & FAX:  
484-367-7466  
cze@EELawFirm.com

104 S. WAYNE AVE, #7440  
WAYNE, PA 19087

[www.EELawFirm.com](http://www.EELawFirm.com)

February 21, 2020

John Reilly, Esquire  
Chairman, Radnor Township Zoning Hearing Board  
301 Iven Avenue  
Wayne, PA 19087

**RE: Solicitor - Zoning Hearing Board**

Dear Mr. Reilly:

Thank you for considering me for the appointment as Solicitor to the Zoning Hearing Board ("Board"). I appreciate the opportunity.

I look forward to working with you, the Board, and Radnor Township ("Township"). In regard to my representation of the Board, and with the consent and agreement of the Township, I shall be guided by the following understandings and agreements:

1. In connection with the services to be performed, it is difficult and impossible at this time to specify the exact nature, extent and difficulty of the contemplated services and attorney's time involved. In addition to conferences and hearings, there may be the necessity of representing the Board in appeals of its decisions. I shall exert effort at all times to represent the Board's interests and rights and, if possible, to seek an amicable resolution of all claims.

2. In connection with the services rendered, or to be rendered, it is understood and agreed that said services shall be compensated in a minimum of six-minute increments at the rate of **\$165.00** an hour. Hourly charges shall include all legal research, drafts of pleadings, conferences, telephone conversations, preparation for and appearances in court and hearings, preparation of Board decisions and resolutions, and other tasks necessary to handle these matters.

3. In addition, the Township will be responsible for all necessary and reasonable legal costs and expenses incurred or paid out in the performance of my services. These costs and expenses shall include filing fees, subpoena costs, deposition costs, fees of process servers, travel expenses, duplication expenses, and any other

February 21, 2020

necessary expenses. If I advance any costs or expenses, the Township shall reimburse me upon my furnishing the Township with information as to the amount.

4. During the course of my representation, it may be necessary to hire experts such as accountants, appraisers and investigators to assist in these matters. I may recommend certain experts, but the ultimate hiring will rest with the Township. The fees payable to any experts hired shall be paid directly by the Township.

5. Billing and accounting for my services and costs will be submitted on a regular basis. My billing statements shall be payable by the Township upon receipt, unless otherwise agreed upon.

In representing the Township in these matters, I cannot and do not warrant or predict results or final developments. Be assured that it is my desire to afford the Township conscientious, faithful, and diligent service, seeking at all times to achieve solutions that are just and reasonable for the Township.

If the foregoing meets with the approval of the Board and the Board of Commissioners, kindly signify their consent and approval by having an authorized representative of the Township execute this letter in the space provided below, insert the date, and return the original of this letter to me. Keep the copy of this letter for the Township's records.

Very truly yours,

Economides & Economides

By:   
Constantine Z. Economides

CZE/ev

Cc: William M. White, Township Manager

**CONSENTED TO AND APPROVED:**

Radnor Township

By: \_\_\_\_\_

Witness \_\_\_\_\_

**RESOLUTION NO. 2020-37**

**A RESOLUTION OF RADNOR TOWNSHIP,  
DELAWARE COUNTY, PENNSYLVANIA,  
AUTHORIZING THE PAYMENT OF A CHANGE ORDER FOR THE  
CONSULTING, DESIGN AND CONSTRUCTION SERVICES FOR THE  
RADNOR TRAIL EXTENSION TO  
CAMPBELL THOMAS & COMPANY, IN THE AMOUNT OF \$118,087**

*WHEREAS*, the Radnor Trail Extension is ready to proceed towards final design and construction.

*WHEREAS*, the project has received grants and intended proceeds from the 2019 General Obligation Bond.

*WHEREAS*, Campbell Thomas & Company has submitted a proposed Change Order to complete the consulting, design and construction services.

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby authorize the Payment of a Change Order for the Consulting, Design and Construction Services for the Radnor Trail Extension to Campbell Thomas & Company, in the amount of \$118,087.

*SO RESOLVED* this 9th day of March, A.D., 2020.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: John Larkin  
Title: President

ATTEST:

\_\_\_\_\_  
William M. White  
Acting Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 3, 2020

TO: Radnor Township Board of Commissioners

FROM: Dennis P. Capella, Engineering Project Manager

CC: William M. White, Acting Manager  
Stephen F. Norcini, P.E., Township Engineer

**LEGISLATION: Resolution #2020-37: Authorizing the Payment of a Change Order for the Consulting, Design and Construction Services for the Radnor Trail Extension to Campbell Thomas & Company, in the amount of \$118,087**

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**LEGISLATIVE HISTORY:** This change order has not been before the Board of Commissioners previously.

**PURPOSE AND EXPLANATION:** With Resolution No. 2016-58 the Commissioners awarded the initial design services contract to Campbell Thomas. Some of the originally intended design services were redirected to accommodate changing conditions, including a decision to discontinue the culvert under Radnor-Chester Road and instead provide a crosswalk. Additional services outside of the design were also authorized by the Commissioners to obtain grants, two of which have been successful, totaling \$282,000, the most recent in the fall of 2019 from the Pennsylvania Department of Conservation and Natural Resources for \$232,000. The proceeds included in the 2019 General Obligation Bond for this project are \$622,665. The project is now ready to move forward to complete the design, finalize the bid package and begin and complete construction, and the attached proposal outlines the professional services needed for this remaining work. This change order will enable the implementation of these services.

**IMPLEMENTATION SCHEDULE:** Upon approval by the Board of Commissioners, a requisition will be entered into the financial system and the Change Order will be signed.

**FISCAL IMPACT:** The project cost is to be funded by grants and the General Obligation Bond proceeds.

**RECOMMENDED ACTION:** *Staff requests the Board of Commissioners of Radnor Township to authorize the payment of this Change Order for the Consulting, Design and Construction Services for the Radnor Trail Extension to Campbell Thomas & Company, in the amount of \$118,087.*

Radnor Township  
Steve Norcini, PE, Township Engineer  
301 Iven Avenue, Wayne PA 19087

*Re: Proposal for Professional Services for Radnor Trail Extension 2020 to 2021  
Amendment for Continuing Consulting, Design, and Construction Phase Services*



January 30, 2020 (revised 2/26/2020)

Dear Mr. Norcini:

As you know our initial contract for Design and Construction Phase services for the Radnor Trail Extension was negotiated and executed in 2016 with the intent that the project would be under construction at some point in 2017. Budget and funding issues have delayed the project and expanded the scope and magnitude of our services from that original agreement. Based on our paid invoice of April 30, 2019, our hours expended on the project have far exceeded those anticipated under the original proposal by a significant amount. While some of the services of the original scope, such as completion of the final design, final PennDOT approval and bidding and construction phase services have not been completed, the time that would have been directed towards these services has been redirected to other efforts in the interest of moving the project forward that were not part of the original scope, including but not limited to the following:

- Assistance with and coordination of the 2017 Grant Applications.
- Assistance with development of schematic designs and related costs for the links to Cappelli and Encke Parks and related parking.
- Review of alternate strategies to reduce the budget; revise the scope of the project to make it more fundable or more easily implemented; or increase the funding.
- Development of a Preliminary Design for an alternate approach to access the trail corridor from Radnor-Chester Rd. without a culvert.
- Continuing meetings and coordination through 2018 and 2019 to the present date in an effort to keep the project moving forward.

It should be noted that the primary issue driving delays in the project from the beginning is the closure of Radnor-Chester Road. The effort to minimize the closure to the maximum extent resulted in the previous design approach to create a construction access through Cappelli Park and construct a culvert that could accommodate large construction vehicles. This was primarily to allow the trail extension to be built with Radnor-Chester Road in use. There was also some consideration given to future construction of a crossing of 476. This alone at least doubled, if not tripled, the cost of what was originally seen as a typical pedestrian/bicycle trail culvert at Radnor-Chester Rd.

Since 2017 two supplements to the original agreement were negotiated and executed to specifically assist the Township with preparation of Grant Applications in 2018 and 2019. The scopes were limited to the application work and did not include the efforts noted above. The scope of work for both of these supplements is complete at this time. Additional coordination efforts were required for both grant rounds that also exceeded the level of effort anticipated.

With the funding received in December 2019, the project appears to be now moving forward again from a design and construction standpoint. Pursuant to our meetings this month with the Township we have agreed on an approach that we believe will allow completion of the design, review and approval, and construction of the trail extension.

At this time we see the work required to move the project forward to a completed trail project in four tasks:

- Task 1. Fully defining the scope of the construction work based on the funding available and construction access directly from Radnor-Chester Rd.
- Task 2. Final Design and Construction Documentation of the newly defined scope of construction work. The design of the much of the trail extension construction on the rail bed, about 1000 feet, is substantially complete and is anticipated being reused with some modification. The new design work will focus on access to the rail bed for both trail users and construction access, which is proposed to be from the same point and about 600 feet, and an at-grade crossing for Radnor-Chester Road.
- Task 3. Approvals and Public Input Process. It should be that some of the approval process, and much of the Public Meeting/Property Owner Meeting process need to be repeated based on the passage of time and changes in the design approach.
- Task 4. Bidding and Construction Services.

That being said, we'd like to offer a proposal to continue to work, as we have been, with the Township now through 2020 and 2021 advancing the work of the tasks noted above, under the following terms and more specific general conditions of our original agreement dated April 26<sup>th</sup>, 2016 to reach a completed Radnor Trail Extension. Should there be any difference between the terms and conditions of our original agreement and this amendment, the terms and conditions of this amendment shall govern. **As noted below, this proposal is being offered on an hourly labor and expense cost basis with a not to exceed cost limit. If the work proceeds smoothly or more efficiently, the fees and costs billed for services will be limited to the hours and expenses expended up to the noted cost limit.**

**Details for Campbell Thomas & Co. Consultant Team's Work:**

Attached are a detailed scope of work and cost proposal for the work required to complete the project at this time. They are attached as exhibits to this proposal as follows:

Exhibit A: Proposed Scope of Work Radnor Trail Extension – Approach II

Exhibit B: Project Responsibility & Costs, Radnor Trail Extension - Approach II

**Compensation Details:**

CT&C will be compensated on the actual hours worked at the current 2020 hourly rates, shown below, and actual reimbursable expenses for a total amount **not to exceed \$118,087.00** (One Hundred, Eighteen Thousand and Eighty-Seven Dollars). Invoices from CT&C shall be submitted no more than on a monthly basis. Services from our consultants, as needed, will be billed as noted below.

Payment will be made by Radnor Township to CT&C within 30 days after receipt of a properly prepared invoice for work satisfactorily performed.

**Contact Person for this Project:**

We hope to have the opportunity to discuss this work further with you. Please feel free to call on me with any questions at my direct line, 215-985-4354, or at rthomas@campbellthomas.com

Very truly yours,



CAMPBELL THOMAS & CO.  
Robert P. Thomas, AIA, Partner  
Direct Line 215-985-4354 / Direct Email: <rthomas@campbellthomas.com>  
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**2020-21 Hourly Rate Schedule**

*Compensation for preparation of hourly work will be billed based on the following hourly rates:*

Partners	\$160.
Project Architects	\$110.
Civil Engineers	\$105.
Designers / Planners	\$100.
Architects Consultants	1.15 times actual cost
Reimbursable Expenses	1.2 times actual cost

cc:

**Lisa Borwoski** - Township Commissioner  
**John Nagle** - Township Representative for the Trail  
**Dennis Capella** – Engineering Dept. Project Manager

**Steve Norcini** – Township Engineer  
**Melissa Conn** – Purchasing and Contracts Coordinator

**Exhibit A: Proposed Scope of Work Radnor Trail Extension – Approach II**

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Revised: 2/26/2020

Members of the Consultant Team

Campbell Thomas & Co., Philadelphia, PA (CTC) w/ Jeff Case, PE

BCM Engineers (T. Wilson Landscape Architect), York, PA (BCM)

Gilmore Associates (GA) – Phase II Environmental Assessment

**Proposed Design Approach**

Based on meetings with the Township in January of 2020 the approach to the trail design has been changed from what was proposed in the funding request submitted in 2019. The approach proposed in 2019 was still problematic from the standpoint of construction access and was proposed in an effort to create no additional construction that would have to be removed or modified if a culvert was installed under Radnor-Chester Road. in the future. Based on the 2020 discussions this approach was abandoned in favor of an approach that created a construction access from Radnor-Chester Road. within the limits of the existing 100 foot wide PennDOT r/w used for the trail. There is 25 feet in width between the existing gas main along the east side of Radnor-Chester and the limits of the r/w. This is sufficient width to provide construction access to the r/w. The proposed approach is to fill the cut on the east side of Radnor-Chester Road as needed to create sufficient conditions for construction access and some staging area within the r/w. Fill will be placed to create a low sloped area for access and staging that extends 50 to 75 feet to the east from the Radnor-Chester Road r/w. The fill will the transition to a 5% slope as required to reach the elevation of the existing rail bed. From that point the proposed trail will be constructed as originally proposed to the west limit of the I-476 r/w.

Under this approach the proposed trail extension will connect to the existing Radnor Trail via an at grade crossing of Radnor-Chester Road. The crossing will be located just north of the existing trail and connect to the existing side path on the west side of the road. The crossing design will include appropriate safety/warning pavement markings, signage and flashing warning lights.

**Scope of Work – Revised 1/30/2020**

**I. Meetings and Coordination**

**Radnor Township Trail Committee** – CTC will conduct monthly planning and design progress meetings with the trail committee. These meetings will be in person at the township building or via telephone conference call during the course of the project planning, design and construction documentation as deemed appropriate. This will include coordination with the Township Engineers.

**Radnor Township Commissioners** – CTC will attend and present appropriate materials at two (2) of the regularly scheduled Township Commissioners Meetings during the course of the work.

**Public Review** – CTC will participate in two (2) Public Meetings / Presentations open to township residents concerned or interested in the project. The first will be during the Trail Planning/Preliminary Design Phase to present the current approach to the trail extension and solicit community input. The second will be during the Final Design/Construction Document Phase to present the Final Plan and receive comment. Radnor Township will schedule and arrange the meetings accordingly, including appropriate public notice and invitation process.

**Adjacent Private Property Owners** – During the design of the first phase of the Radnor Trail, a representative of the Township and Robert P. Thomas (CTC's partner in charge of the project) met with private property owners with lands immediately adjacent to the trail right-of-way, in small groups and/or in private in their homes, as best suited their schedules. Although much time was invested in this effort, it was invaluable in showing that the Township was interested in their concerns and convincing them they would be addressed to the fullest extent possible in the trail design. We propose that this approach be continued with the

extension of the Radnor Trail through this next section of the right-of-way. We expect that the Township will take the lead in organizing, scheduling and conducting this effort. CTC will participate in the meetings and document the owner's concerns and the conclusions reached at the meetings. Nine (9) meetings are estimated for this process.

**Project Management** – CTC as the prime consultant will be in charge of the overall management and coordination of the project for the consultant team. This includes being the primary contact for the consultant team, documenting meetings and review sessions, scheduling and managing the work of members and preparing invoices to the township.

## **II. Trail Planning and Preliminary Design**

**Natural Environment Evaluation** – BCM will take primary responsibility for evaluation of the natural environmental conditions along the right-of-way. This work generally consists of an update of the PNDI environmental review through the new DCNR Pennsylvania Conservation Explorer tool.

**Shade Tree Commission Coordination** – BCM will take primary responsibility coordination with the Shade Tree Commission. This work will include one (1) meeting with the commission and preparation a table analyzing tree removal and replacement plans.

**Recognized Environmental Contaminants** – As part of the Trail Planning and Preliminary Design work, GA will perform a Phase II Environmental Assessment based on the Phase I Evaluation Assessment performed along the trail right-of-way in 2017. This work will be performed on a fixed fee basis, as opposed to an hourly basis noted for the rest of the work. The total amount of GA's fixed fee is included in the "not to exceed" cost limit noted in the letter of agreement.

**Preliminary Design – Trail Alignment Plan** – CTC will take the lead in preparing the preliminary design phase trail alignment plan. This work includes:

1. Revision of the current Trail Alignment Plans and Details as needed to reflect the current approach to the construction of the trail extension described above.
2. Developing recommendations for fencing and other appropriate trail amenities.
3. The design work will be generally in accordance with both PennDOT standard practices and guidelines and the *AASHTO Guide for the Development of Bicycle Facilities*.
4. Trail construction is details are proposed to be similar to the existing Radnor Trail.

**Preliminary Design – Radnor Chester Rd. Crossing** – CTC will take the lead in preparing the preliminary design for the proposed Radnor-Chester Rd. at grade crossing. This work includes:

1. Design and planning of the crossing location and type.
2. Design and planning of the related link to the existing Radnor-Chester Rd. side path on the east side of Radnor-Chester Rd. The goal is to design this link to meet ADA accessibility requirements. Based on a preliminary assessment it is expected some of the existing side path will need to be removed and reconstructed.
3. Design and planning for related safety/warning pavement markings and signage, including flashing warning lights.
4. Design and planning for vehicle access controls at both ends of the crosswalk.

**Preliminary Design – E&S Plans** – BCM will take the lead in revising the grading and stormwater management plans for the trail extension as currently proposed, including Erosion and Sedimentation Control Plans.

**Preliminary Design – Landscape Plans** – BCM will take the lead in developing recommendations for and preparing preliminary landscape plans for the trail extension as currently proposed.

**Preliminary Design – Agency Review** – The consultant team will coordinate preliminary design reviews as noted below:

1. BCM will coordinate with the Delaware County Conservation District to update information submitted for the previously approved Erosion and Sediment Pollution Control Plans.

2. CTC will coordinate the preliminary design review process with PennDOT.
3. Hours have been included in the cost proposal spread sheet for limited coordination with PADEP, DCNR or other agencies if needed. This is not expected, but should more coordination be anticipated we will provide it as an additional service with prior approval by the Township
4. CTC will coordinate reviews and permitting as needed with Radnor Township. At this time the following reviews have been taken into consideration:
  - a. No planning review is anticipated.
  - b. Review and coordination with Township Department of Parks and Recreation.
  - c. Review with the Township Shade Tree Commission
  - d. Application for and required review for a grading permit.

### **III. Final Design and Construction Documents**

**Final Design – Trail Plan** – CTC will take the lead in preparing the final design trail alignment plans. This work includes:

1. Finalizing the trail alignment plans per the various reviews.
2. Developing and documenting trail construction methods and details per the various reviews including fencing and other amenities.
3. Developing trail direction and safety signage plans and details as needed.
4. Develop a Maintenance and Protection of Traffic Plan as/if needed.
5. Coordinating details as needed to address conditions identified in the Phase II Environmental Assessment that will remain in place in accordance with the assessment recommendations.  
**Remediation plans for conditions identified that may require further efforts, such as removal and disposal, are not included as part of this work and will need to be addressed accordingly based on the recommendations.**

**Final Design – Radnor-Chester Rd. Crossing** – CTC will finalize the crossing plans per the various reviews.

**Final Design – E&S Plans** – BCM will finalize the grading, stormwater management and E&S plans and related details, including an E&S narrative, and for final record submission to the county conservation district.

**Final Design – Landscape Plans** – BCM will finalize the landscape plans for the trail extension per the various reviews.

**Final Design – Specifications** – The consultant team will develop construction specifications for the work of the project based on the PennDOT 408 specification including special provisions required. This work will include preparation of Tabulation and Summary of Quantities for the various elements of construction.

**Opinion of Probable Cost of Construction** – Based on the Summary of Quantities the consultant team will prepare an Opinion of Probable Cost of Construction.

**Final Design – Agency Review** – The consultant team will coordinate final design reviews and approvals with agencies as noted below:

1. BCM will coordinate the final review of the revise grading, stormwater management and E&S plans with the Delaware County Conservation District.
2. CTC and BCM will coordinate the final review process with PennDOT and revise the final design package per their final review comments. CTC will assist the Township in coordinating the final documents for the Shared Use Agreement.
3. CTC will coordinate final reviews and approvals by Radnor Township.

**PennDOT ECMS System** – Based on the meeting with a representative from PennDOT on March 14, 2016 it is our understanding that the project will not need to be bid through the PennDOT ECMS system. No work is included in this proposal for working the project through the ECMS system.

**PennBID System** – Based on our meeting with the township on January 24, 2020, it is our understanding that the project will be bid through the PennBID System on a unit cost basis. The township will handle

coordination with and information upload to the PennBID System. No work is included in this proposal for the consultant team to coordinate this work.

#### **IV. Construction Phase Services**

**Construction Contract Bidding** – The CTC consultant team will assist the Township in the following tasks for construction contract bidding:

1. The Township will prepare the “bid package” and coordinate the bidding process through the PennBID System. The CTC team will provide construction documents as needed for the bidding process.
2. The Township will conduct a pre-bid conference including scheduling the time and providing a location for the meeting. CTC will attend and assist in conducting the meeting.
3. The Township will oversee and manage the bid process. CTC will assist with fielding questions and issuing addenda as appropriate.
4. The CTC team will review the bid proposals and make a recommendation on the contractor selection.
5. The Township will prepare the construction contract. The CTC team will assist providing appropriate construction document attachments for the final contract.

**Construction Observation** – The CTC team will monitor and observe construction during the course of the work to advise on general conformance with the construction documents. This work will include:

1. The Township will conduct a pre-construction conference. CTC will assist in conducting the meeting and provide minutes documenting discussion and conclusions.
2. CTC will attend bi-weekly construction progress meetings at the site with the contractor and the Township to review the work to date. CTC will prepare meeting minutes to document the discussion of these meetings.
3. The CTC team will provide written clarification of any document questions that arise during the course of construction. The team will also review contractor construction submittals as needed.
4. The CTC team will provide on-site field consultations as needed should conditions arise that need to be addressed in between regular construction progress meetings. These meetings will be documented with separate field memos or included in the next issued construction progress meeting minutes.
5. The CTC team will review and process contractor submittals during construction as needed.
6. The CTC team will assist the Township in performing a substantial completion inspection and preparing a punch-list of final items of work to be completed.
7. The CTC team will assist the Township with project close-out procedures at the completion of construction.

**Project Management** – Regular project management, including unit price contract construction record keeping will be coordinated by the Township Engineers and/or other designated Township Consultant and is not included as part of the CTC team work.

**Exhibit B: Project Responsibility & Costs -- Radnor Trail Extension - Approach II**

Campbell Thomas & Co., Principal Consultant

Revised: 2/26/2020

Contact: Robert P. Thomas, AIA, Partner-in-Charge, 215-985-4354

P= Primary Responsibility  
 S= Secondary Responsibility  
 X= Participant

Work Element	Radnor Township Responsibility				Campbell Thomas & Co.				BCM Engineers		Gilmore & Assoc., Inc.	
	Radnor Township	Township Trail Com	Township Engineers	Responsibility	Partner Admin.	Trail Architect	Civil Engineer	Planner	L'scape Architect	Responsibility	Environmental - REC	
					Robert P. Thomas, AIA	Harry S. Murray, NCARB	Jeff Case, PE	Doug Maisey	Tim Wilson, RLA			
Avg Hourly Rates					\$ 160	\$ 110	\$ 105	\$ 100		\$ 115		
<b>Meetings / Coordination</b>												
Meetings / Coordination with Township Trail Committee		X		X	12	18		8				
Commissioners Meetings (2 meetings est.)		X	X	P	4							
Community Meetings / Public Review Process (2 meetings est.)	P	P	X	X	6	6		6	X	6		
Meetings with adjacent Property Owners (9 meetings est.)	P	P	X	X	18	18						
Project management & Coordination		X	X	P	6	6		6	X	1		
<b>SUB TOTAL HOURS</b>					46	48	0	20		7		
<b>SUB TOTAL FEES</b>					\$ 7,360	\$ 5,280	\$ -	\$ 2,000		\$ 805		
<b>Trail Planning &amp; Preliminary Design</b>												
Environmental - Natural												
PNDI Update				X		1			P	1		
Shade Tree Commission Coordination												
Coordination Meeting (1 meeting est.)									P	4		
Tree Removal and Replacement Analysis				X		2			P	4		
Environmental - Recognized Environmental Contaminants												
Phase II Environmental Analysis and Report		X		S	2	8				P	FEE	
Preliminary Design - Trail Plan												
Revise Trail Alignment Plan		X	X	P	2	16		16	X	2		
Revise Trail Construction Details		X	X	P	2	16		12	X	2		
PennDOT Shares Use Permitting/Agreement			X	P	2	4		4	X	2		
Preliminary Design - Radnor-Chester Rd. Crossing												
Develop Prelim. Crossing Plan			X	P	4	24	4	8	S	3		
Includes Signage and Pavement Marking												
Preliminary E&S Plan												
Revise Grading & Stormwater Mngmt. Plan			X	X	1	2			P	8		
Revise E&S Plans			XX	X	1	2			P	8		
Preliminary Design - Landscape Plan												
Develop Preliminary Trail Landscape Plan		X	X	X	1	1			P	8		
Develop Preliminary Planting Materials List		X	X	X		1			P	4		
Preliminary Design - Agency Review												
Review Mtg. County Soils Conservation District				X		1			P	3		
Review Mtg. PA DEP (if needed)			X	P	1	2			S	3		
Coordinate Preliminary Design Review with PennDOT			X	P	4	8		4	X	1		
Incl. Crossing under Shared Use Agreement												
Township Planning Review			X	P	1	2			X	1		
<b>SUB TOTAL HOURS</b>					21	90	4	44		54		
<b>SUB TOTAL FEES</b>					\$ 3,360	\$ 9,900	\$ 420	\$ 4,400		\$ 6,210		
<b>Final Design / Construction Documentation</b>												
Final Design - Trail Plan												
Finalize Trail Alignment Plan per review		X	X	P	1	10			X	1		
Finalize Trail Construction Details per review			X	P	1	12			X	1		
Prepare Trail Direction & Safety Signage Plan			X	P	1	8		4				
REC Remediation Details			X	P	1	8			X	1		
MPT Plan			X	P	1	16	4		X	1		
Final Design - Radnor-Chester Rd. Crossing												
Finalize Crossing Plan per review		X	X	P	1	12			S	4		
Final Design - E&S Plan												
Finalize Stormwater Mgmt. / E&S plans & dtls per review			X	X	0.5	1			P	7		
Revise E&S Narrative			X	X	0.5	1			P	4		
Final Design Specifications - PennDOT 408												
List of Standard Provisions				P	1	4			S	1		
Prepare Special Provisions			X	P	1	16		4	S	2		
Summaries and Tabulation				P	1	16		8	S	4		
Opinion of Probable Cost of Construction				P	2	8		8	S	4		

P= Primary Responsibility  
 S= Secondary Responsibility  
 X= Participant

	Radnor Township Responsibility			Campbell Thomas & Co.				BCM Engineers	Gilmore & Assoc., Inc.		
	Radnor Township	Township Trail Com	Township Engineers	Responsibility	Partner Admin.	Trail Architect	Civil Engineer	Planner	L'scape Architect		
					Robert P. Thomas, AIA	Harry S. Murray, NCARB	Jeff Case, PE	Doug Maisey	Responsibility	Tim Wilson, RLA	Responsibility
Final Design Review & Permits											
Update County E&S Permit				S		1			P	8	
PA DEP (if needed)											
Prepare General Permit Applications				P	1	2			S	2	
Coordinate Review				P	1	1			S	2	
Final Design - PennDOT Review											
Coordinate Final Design PennDOT review			X	P	1	4			X	1	
Finalize Shared Use Agreement			X	P	1	2			X	1	
Township Review & Permit			P	S	1	4			X	1	
Finalize All Documentation per final review			X	P	4	16			S	8	
PennDOT ECMS Data Entry (NIC)				NIC					NIC		
SUB TOTAL HOURS					21	142	4	24		53	
SUB TOTAL FEES					\$ 3,360	\$ 15,620	\$ 420	\$ 2,400		\$ 6,095	
<b>Construction Phase Services</b>											
Construction Contract Bidding											
Advertisement for bid	P		X								
Bid Package Prep & Assembly	P		X	S	1	4		4	S	2	
Pre-Bid Conference	P		X	S	4	6			S	3	
Bidding	P		X	S	6	16		4	S	2	
Bid Review and Selection Recommendation	P		X	S	2	4			S	1	
Construction Contract Prep and Review	P		X	S	1	2					
Documents											
Interpret / Clarification Construction Docs			X	P	4	16			S	8	
Submittal Review			X	P	4	16		4	S	8	
Construction Observation											
Pre-Construction Conference	P		X	S	2	4			S	4	
Bi-weekly Construction Meetings & Minutes (to complete)	P		X	S	12	18					
As needed field consultation & reports			X	P	8	16			S	8	
Substantial Completion Inspection (incl. Punch List)	P		X	S	2	8					
Project close-out	P		X	S	2	8		4			
Project Management / Inspection	P		P								
SUB TOTAL HOURS					48	118	0	16		36	
SUB TOTAL FEES					\$ 7,680	\$ 12,980	\$ -	\$ 1,600		\$ 4,140	
<b>TOTALS</b>											
					136	398	8	104		150	Fixed
					\$ 160	\$ 110	\$ 105	\$ 100		\$ 115	Fee
					\$ 21,760	\$ 43,780	\$ 840	\$ 10,400		\$ 17,250	\$ 22,500

Total estimated Hours and Fee	Campbell Thomas & Company	Hours	646	Fee	\$ 76,780
Total estimated Hours and Fee	BCM Engineers (plus 1.15% admin. fee)	Hours	150	Fee	\$ 17,448
Total estimated Fee	Gilmore & Assoc. Inc. (1.15% admin. Fee)	Fixed Fee		Fee	\$ 22,759

Note: Reimbursable expenses will be billed at 1.2 times the direct costs to CTC to cover administrative costs. The cost below is an estimate of what those costs may be offered for budgeting purposes at this time.

Estimate of Reimbursable Expenses	\$ 1,100
<b>GRAND TOTAL, Fees and Reimbursable Expenses</b>	<b>\$118,087</b>

**RESOLUTION NO. 2020-38  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING THE PRELIMINARY/FINAL LAND  
DEVELOPMENT PLAN OF COLLIN WHELAN FOR THE PROPERTY  
LOCATED AT 147 CONESTOGA ROAD**

*WHEREAS*, Collin Whelan (“Applicant”) submitted an application for Preliminary/Final Land Development Plan approval for the property located at 147 Conestoga Road; and

*WHEREAS*, the Radnor Township Planning Commission and the Delaware County Planning Commission have reviewed the Applicant’s Preliminary/Final Plan submission; and

*WHEREAS*, the Radnor Township Board of Commissioners now intends to grant Preliminary/Final Land Development Plan approval for Applicant’s Plan.

*NOW, THEREFORE*, be it hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the Applicant’s Preliminary/Final Land Development Plan prepared by Wilkinson & Associates, Inc., consisting of six (6) sheets, dated January 20, 2020, last revised February 21, 2020 (“Plan”), subject to the following Preliminary/Final Plan approval conditions:

1. Compliance with the correspondence of Gannett Fleming dated February 18, 2020, a copy of which is attached hereto and incorporated herein as *Exhibit “A”*.
2. Compliance with the correspondence of Gilmore & Associates dated February 17, 2020, a copy of which is attached hereto and incorporated herein as *Exhibit “B”*.
3. Compliance with the decision of the Radnor Township Zoning Hearing Board dated November 21, 2019.
4. The Applicant shall execute development agreements and any other required documents in a form and manner to be approved by the Township Solicitor and shall post sufficient financial security to secure all improvements in a form acceptable to the Township.
5. The Applicant shall comply with all other applicable Township Ordinances with respect to sewage, stormwater management, zoning, and building codes, as well as all other applicable Township, County, Commonwealth, and Federal rules, regulations, codes, ordinances, and statutes.

**IN ADDITION** to the foregoing conditions of Preliminary/Final Plan approval, the Board does hereby approve the following waiver requests:

1. SALDO §255-22-B(1)(k)– as to showing existing principal buildings and driveways on the adjacent peripheral strip.
2. SALDO §255-27.C(4)– as to dedicating additional right-of- way along an existing street.

**SO RESOLVED**, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 9<sup>th</sup> day of March, 2020.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_

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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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### Memorandum

To: Radnor Township Board of Commissioners  
From: Stephen F. Norcini, PE, Township Engineer  
CC: William M. White, Acting Township Manager/Secretary  
Date: March 4, 2020

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**Re: 147 Conestoga Road – *FINAL* – Minor Final Subdivision Plan**

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The applicant is proposing to subdivide 147 Conestoga Road into two lots. The existing home will be on Lot 1 and a new single-family home will be constructed on lot 2.

The detailed review letters and plans are attached.

**This application is before the Board of Commissioners for FINAL approval. Action by the Board of Commissioners is required by April 6<sup>th</sup>, 2020.**



# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** February 18, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 147 Conestoga Road– Minor Final Subdivision Plan  
Collin Whelan– Applicant

Date Accepted: January 7, 2020

90 Day Review: April 6, 2020

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Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the above parcel into two lots, the existing home will remain on Lot 1 and a single-family home will be constructed on Lot 2. This project is located in the R-5 district of the Township.

The applicant was before the Zoning Hearing Board on November 21, 2019. We have attached a copy of the Zoning Hearing Board decision. The Zoning Hearing Board order is as follows:

1. Variance relief from Zoning Code Section 280-35(A)(1) is hereby **GRANTED** to permit the subdivision and creation of a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoined semi-detached dwelling known as 145 Conestoga Road, in the precise manner and specifications as shown in the Plans, exhibits, and testimony entered into and made part of the record;
2. Relief is granted only with respect to Zoning Code Section 280-35(A)(1); and
3. No relief is granted with respect to any other provisions of the Zoning Code.

147 Conestoga Road– Final Minor Subdivision Plan

Plans Prepared By: Wilkenson & Associates, Inc.

Dated: 01/20/2020, last revised 02/12/2020



The applicant has indicated that the following waivers are being requested:

1. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
2. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards.

#### Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant is in the process of completing the Planning Module.

#### Subdivision and Land Development

1. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
2. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Conestoga Road is a Major Collector. The right-of-way requirement is 80 feet and the cartway is 48 feet. The applicant has labeled the 50-foot right of way on Conestoga Road. Doyle Road is a local Road. The right-of-way requirement is 60 feet and the cartway is 28 feet. The applicant has labeled the 22-foot right of way on Doyle Road. The applicant has requested a waiver from this requirement.
3. §255-32.A – No changes shall be made in the contour of the land and no grading excavation, removal or destruction of the topsoil, trees or other vegetation cover of the land shall be commended until such time a plan for minimizing erosion and sedimentation has been processed and reviewed by the Township Engineer and the DCCD. The Board of Commissioners may waive this requirement for minor subdivisions. The applicant has indicated that the area of disturbance will be under 5,000 SF at all times and an E&S plan is not required to be submitted to the DCCD. The area of disturbance for the entire project listed on the plans is 7,795 SF. The E&S plan must be submitted to the DCCD for review.

4. §255-38.B – Street trees 2 ½ inches dbh intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development must be planted. 9 new street trees are required. The applicant has provided 6 new street trees and indicated that the existing trees along Doyle Rd are being maintained to comply with this requirement. Additional trees must be provided, or a waiver requested.

Stormwater

1. Please provide a detail layout of the proposed storm basin showing the total number of stormtank modules in the system.
2. Please provide a specification for the Brentwood stormtank model being used in the system that shows the void space for the module.
3. Please show the 0.054 cfs infiltration rate as the exfiltration component under the Pond Report. This will then revise the discharge rate of the system to only reflect the rate of runoff overflowing through the orifice without including the amount that is infiltrated.
4. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. New deeds must be prepared and recorded at the Delaware County Court House at the time of plan recording.
2. The existing sanitary sewer lateral for Lot 1 must be shown on the plans. The plan shows a relocated lateral for Lot 1.

The applicant appeared before the Planning Commission on February 3, 2020. The Planning Commission recommended approval of the plan contingent upon addressing all staff comments.

S. Norcini  
147 Conestoga Road  
February 18, 2020

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**RADNOR TOWNSHIP ZONING HEARING BOARD**

**APPEAL NO. 3050**

**APPEAL OF EIP Partnership LLC**, premises located at 147 Conestoga Road and zoned R5 Residential (“R5”).

**DECISION OF THE ZONING HEARING BOARD**

**Relief Requested**

1. The Applicant seeks a variance from the Lot Area and Lot Width restrictions of Code Section 280-35(A)(1) in order to create a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoining semi-detached dwelling known as 145 Conestoga Road.
2. The Applicant has withdrawn all of its other requests for relief that were originally part of this Appeal No. 3050.

**Findings of Fact**

1. This application involves the premises located at 147 Conestoga Road and zoned R5 Residential (“Premises”).
2. Testimony and evidence on this application was presented at the properly noticed hearing held on November 21, 2019.
3. The Applicant’s Exhibits A-1 through A-18 were entered into the record at the November 21, 2019 hearing. (November 21, 2019 Hearing Transcript, 47:17-20).
4. The location, specifications, and dimensions of the Applicants’ proposed lot subdivision are set forth on Applicant’s Exhibit A-8, the Proposed Site Plan dated 10/17/19, and Exhibit A-13, the Proposed Driveway Plan dated 11/18/2019, (collectively, the “Plans”).
5. The Applicant’s proposed subdivision will result in the creation of two lots with the widths of 30’ and 76.66’ respectively. (See the Plans).
6. The Radnor Township Planning Commission reviewed this request for Zoning Hearing Board relief and decided to remain neutral on this application. (H.T., 31:12-18).

**Conclusions of Law**

1. The granting of a variance will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use of adjacent properties, nor be a detriment to the public welfare.

2. The granting of this variance represents the minimum relief that will afford the Applicant's request with the least modification of the Zoning Code.

3. Variance relief is necessary to implement the purposes of the Municipal Planning Code and the Zoning Ordinance.

**Order**

Based on the testimony and exhibits entered into and made part of the record before the Board, and for the reasons set forth on the record, the Applicant's requested relief is hereby **GRANTED** and the Board hereby determines that:

1. Variance relief from Zoning Code Section 280-35(A)(1) is hereby **GRANTED** to permit the subdivision and creation of a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoined semi-detached dwelling known as 145 Conestoga Road, in the precise manner and specifications as shown in the Plans, exhibits, and testimony entered into and made part of the record;
2. Relief is granted only with respect to Zoning Code Section 280-35(A)(1); and
3. No relief is granted with respect to any other provisions of the Zoning Code.

**BY ORDER OF THE ZONING HEARING BOARD**

/s/ **JOHN REILLY, CHAIRMAN**

/s/ **GEORGE F. NAGLE, VICE CHAIRMAN**

/s/ **BRADLEY DELIZIA**

/s/ **WILLIAM F. MARTIN**

/s/ **RICHARD J. WEITZMAN**

**Alternate Board Members Jamie Forman and Scott Simon were absent during this hearing.**

DATED: November 21, 2019

MAILED: December 24, 2019

THIS DECISION WILL EXPIRE IF THE APPLICANTS FAIL TO OBTAIN A BUILDING PERMIT WITHIN SIX MONTHS OF THIS DATE: December 24, 2019.



**MEMORANDUM**

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**Date:** February 17, 2020

**To:** Stephen F. Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**cc:** Superintendent Christopher Flanagan, Radnor Township Police Department  
Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.  
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate  
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

**Reference:** 147 Conestoga Road – Preliminary/Final Development Plan Review 1  
Minor Final Subdivision  
Radnor Township, Delaware County, PA  
G&A 19-12042

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Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration.

**A. DOCUMENTS REVIEWED**

1. Preliminary/Final Development Plan for 147 Conestoga Road, dated January 20, 2020, prepared for Collin Whelan, prepared by Wilkinson & Associates, Inc., consisting of 6 sheets.

**B. REVIEW COMMENTS**

1. §255-27.A.(8) – Any applicant who encroaches within the legal right-of-way of a state highway is required to obtain a highway occupancy permit (HOP) from the Pennsylvania Department of Transportation. The proposed driveway will require a HOP. The Applicant will be required to include the Township on all correspondence with PennDOT.
2. §255-27.C.(4) - Where a subdivision abuts or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Conestoga Road is classified as a Major Collector with a right-of-way width requirement of 80 feet and the cartway width of 48 feet. Doyle Road is a local Road with a right-of-way width requirement of 60 feet and the cartway width of 28 feet. The applicant indicates a 50-foot right-of-way on Conestoga Road and a 33-foot

right-of-way on Doyle Road. The applicant is requesting a waiver from this requirement.

3. §255-27.H.(3) – In all districts, no structure, fence, planting or other structure shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Revise the plans to eliminate the proposed tree from within the limits of the clear sight triangle at the Doyle Road driveway.
4. §255-28.B. – Revise the plans to include the required and available sight distance at the proposed driveways.
5. §255-37.A. – A grass buffer along Doyle Road is recommended to minimize pedestrian-vehicle conflict along Doyle Road. If the proposed sidewalk is to remain along the existing edge of pavement, the deteriorating curb line will need to be replaced in conjunction with the sidewalk installation.
6. §255-37. C. – A sidewalk easement is required from the applicant for areas that the sidewalk extends outside the public right-of-way
7. §255-3.F. – The grades and paving of sidewalks and pedestrian paths shall be continuous across driveways.
  - a. The maximum sidewalk cross slope across the driveways shall be 2.00%. Refer to PennDOT Publication RC-67M for further guidance.
  - b. Revise the Doyle Road driveway apron to use the appropriate apron design in order to provide a compliant pedestrian path (i.e. Type 3, 3A or 4 Apron).
  - c. Provide driveway and sidewalk cross slopes at the Doyle Road driveway.
8. Revise the driveway details to include the roadway slope, top and bottom of curb elevations, tie-in point elevations and dimensions.
9. The proposed driveway grade at Conestoga Road is 8%. Provide the Conestoga Road cross slope at the driveway. The maximum allowable algebraic grade change between the driveway and roadway is 8%. Revise the driveway grade, if necessary.
10. Revise the sidewalk detail to include a 6-inch subbase.
11. The proposed ramp at the Conestoga Road/Doyle Road is to be designed to direct pedestrians to cross Doyle Road only. Revise the ramp design to lengthen the ramp flare directing the pedestrian to Doyle Road. A single detectable warning surface (DWS) for crossing Doyle Road is sufficient and a DWS for sidewalk coming down Doyle Road is not required. A constant slope over the DWS is recommended as not to warp the DWS. The ramps are within the PennDOT ROW and the final curb ramp design will be reviewed under the PennDOT HOP process.
12. Dimension the cartway width for both Conestoga Road and Doyle Road.
13. Add a general note that during construction that the Maintenance and Protection of Traffic will be done in accordance with PennDOT Publication 213. "Temporary Traffic Control Guidelines".



*Excellence Delivered **As Promised***

**Date:** January 27, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 147 Conestoga Road– Minor Final Subdivision Plan  
Collin Whelan– Applicant

Date Accepted: January 7, 2020

90 Day Review: April 6, 2020

---

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the above parcel into two lots, the existing home will remain on Lot 1 and a single-family home will be constructed on Lot 2. This project is located in the R-5 district of the Township.

The applicant was before the Zoning Hearing Board on November 21, 2019. We have attached a copy of the Zoning Hearing Board decision. The Zoning Hearing Board order is as follows:

1. Variance relief from Zoning Code Section 280-35(A)(1) is hereby **GRANTED** to permit the subdivision and creation of a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoined semi-detached dwelling known as 145 Conestoga Road, in the precise manner and specifications as shown in the Plans, exhibits, and testimony entered into and made part of the record;
2. Relief is granted only with respect to Zoning Code Section 280-35(A)(1); and
3. No relief is granted with respect to any other provisions of the Zoning Code.

147 Conestoga Road– Final Minor Subdivision Plan

Plans Prepared By: Wilkenson & Associates, Inc.

Dated: 01/20/2020



The applicant has indicated that the following waivers are being requested:

1. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
2. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards.

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant has indicated they have submitted the module mailer to the PA DEP for review.

Zoning

1. §280-105.F – No parking, loading or service areas shall be located within front yard setbacks except as permitted in the case of PI, PA, PB and PLO Districts or unless authorized as a special exception by the Zoning Hearing Board in a Commercial or Commercial-Office District, provided that the restriction against such use is clearly impracticable. In no case, however, shall the distance between the street right-if-way and the portion of a lot used for parking be less than 20 feet. The applicant wishes to continue the existing non-conformity for parking in the front yard setback for Lot 2.

Subdivision and Land Development

1. §255-22-B.(1)(j) – Boundaries of all adjoining properties with names and addressed of landowner must be shown on the site plans. The landowner on the easterly side of lot 2 must be shown on the plans.
2. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.

3. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Conestoga Road is a Major Collector. The right-of-way requirement is 80 feet and the cartway is 48 feet. The applicant has labeled the 50-foot right of way on Conestoga Road. Doyle Road is a local Road. The right-of-way requirement is 60 feet and the cartway is 28 feet. The applicant has labeled the 22-foot right of way on Doyle Road. The applicant has requested a waiver from this requirement.
4. §255-32.A – No changes shall be made in the contour of the land and no grading excavation, removal or destruction of the topsoil, trees or other vegetation cover of the land shall be commended until such time a plan for minimizing erosion and sedimentation has been processed and reviewed by the Township Engineer and the DCCD. The Board of Commissioners may waive this requirement for minor subdivisions. The applicant has indicated that the area of disturbance will be under 5,000 SF at all times and an E&S plan is not required to be submitted to the DCCD. The applicant must provide the square footage for the area of disturbance.
5. §255-38.B – Street trees 2 ½ inches dbh intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development must be planted. 9 new street trees are required. The applicant has provided 3 new street trees and indicated that the existing trees along Doyle Rd are being maintained to comply with this requirement. Additional trees must be provided, or a waiver requested.

Stormwater

1. In Radnor Township credit is not given for impervious cover removed. Please revise the system to account for the total proposed impervious surfaces on Lots 1 & 2.
2. §245-22(A)(1)(c) - The infiltration facility shall be capable of completely infiltrating the retention (infiltration) volume ( $Re_v$ ) within four days (96 hours). Please provide calculations showing the stormwater system drains within 96 hours.
3. §245-23(D)(1) - The following calculation formula is to be used to determine the water quality storage volume (WQv) in acre-feet of storage required by this chapter:  
 $WQv = [(P)(Rv)(A)]/12$ , where:  
WQv = Water quality volume (acre-feet)  
P = 1 inch  
A = Area of the project contributing to the water quality BMP (acres)  
 $Rv = 0.05 + 0.009(I)$  where I is the percent of the area that is impervious surface  
[(impervious area/A)x100]

Calculations must be provided showing that the water quality storage volume is met.

4. §245-25(A)(1)(b) – Table 408.1 for Stormwater District A requires that the 2-year post-development storm runoff be reduced to the 1-year pre-development storm runoff and straight control for the 5- through 100-year storm events. Please provide pre-development and post-development hydrographs (captured/routed/bypass as necessary) for the 1-year, 2-year, 5-year, 10-year, 25-year, 50-year, and 100-year storm events.
5. §245-27(J) - Underground stormwater management systems must be designed to store the two- through one-hundred-year storms within a pipe or other open system that will permit the inspection and maintenance of the system. The entire storm must be placed in the pipe (i.e., the stone bedding around the pipe is not to be included in the volume calculations). The stormwater system must be revised to only include the volume within the pipe.
6. Please show the overflow orifice in the basin detail.
7. Please provide infiltration testing results including a depth to the limiting zone.

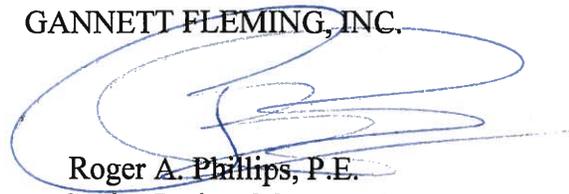
General

1. New deeds must be prepared and recorded at the Delaware County Court House at the time of plan recording.
2. The existing sanitary sewer lateral for Lot 1 must be shown on the plans. The plan shows a relocated lateral for Lot 1.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**RADNOR TOWNSHIP ZONING HEARING BOARD**

**APPEAL NO. 3050**

**APPEAL OF EIP Partnership LLC**, premises located at 147 Conestoga Road and zoned R5 Residential (“R5”).

**DECISION OF THE ZONING HEARING BOARD**

**Relief Requested**

1. The Applicant seeks a variance from the Lot Area and Lot Width restrictions of Code Section 280-35(A)(1) in order to create a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoining semi-detached dwelling known as 145 Conestoga Road.
2. The Applicant has withdrawn all of its other requests for relief that were originally part of this Appeal No. 3050.

**Findings of Fact**

1. This application involves the premises located at 147 Conestoga Road and zoned R5 Residential (“Premises”).
2. Testimony and evidence on this application was presented at the properly noticed hearing held on November 21, 2019.
3. The Applicant’s Exhibits A-1 through A-18 were entered into the record at the November 21, 2019 hearing. (November 21, 2019 Hearing Transcript, 47:17-20).
4. The location, specifications, and dimensions of the Applicants’ proposed lot subdivision are set forth on Applicant’s Exhibit A-8, the Proposed Site Plan dated 10/17/19, and Exhibit A-13, the Proposed Driveway Plan dated 11/18/2019, (collectively, the “Plans”).
5. The Applicant’s proposed subdivision will result in the creation of two lots with the widths of 30’ and 76.66’ respectively. (See the Plans).
6. The Radnor Township Planning Commission reviewed this request for Zoning Hearing Board relief and decided to remain neutral on this application. (H.T., 31:12-18).

**Conclusions of Law**

1. The granting of a variance will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use of adjacent properties, nor be a detriment to the public welfare.

2. The granting of this variance represents the minimum relief that will afford the Applicant's request with the least modification of the Zoning Code.

3. Variance relief is necessary to implement the purposes of the Municipal Planning Code and the Zoning Ordinance.

**Order**

Based on the testimony and exhibits entered into and made part of the record before the Board, and for the reasons set forth on the record, the Applicant's requested relief is hereby **GRANTED** and the Board hereby determines that:

1. Variance relief from Zoning Code Section 280-35(A)(1) is hereby **GRANTED** to permit the subdivision and creation of a lot for the existing semi-detached single family dwelling (one side of a twin home) with the same lot area and lot width as the adjoined semi-detached dwelling known as 145 Conestoga Road, in the precise manner and specifications as shown in the Plans, exhibits, and testimony entered into and made part of the record;
2. Relief is granted only with respect to Zoning Code Section 280-35(A)(1); and
3. No relief is granted with respect to any other provisions of the Zoning Code.

**BY ORDER OF THE ZONING HEARING BOARD**

/s/ **JOHN REILLY, CHAIRMAN**

/s/ **GEORGE F. NAGLE, VICE CHAIRMAN**

/s/ **BRADLEY DELIZIA**

/s/ **WILLIAM F. MARTIN**

/s/ **RICHARD J. WEITZMAN**

**Alternate Board Members Jamie Forman and Scott Simon were absent during this hearing.**

DATED: November 21, 2019

MAILED: December 24, 2019

THIS DECISION WILL EXPIRE IF THE APPLICANTS FAIL TO OBTAIN A BUILDING PERMIT WITHIN SIX MONTHS OF THIS DATE: December 24, 2019.



## DELAWARE COUNTY PLANNING COMMISSION

1055 E. Baltimore Pike

Media, PA 19063

Phone: (610) 891-5200

Email: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

### COUNCIL

JOHN P. McBLAIN  
CHAIRMAN

COLLEEN P. MORRONE  
VICE CHAIRMAN

MICHAEL F. CULP  
KEVIN M. MADDEN  
BRIAN P. ZIDEK

LINDA F. HILL  
DIRECTOR

January 17, 2020

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Name of Dev't: 147 Conestoga Road  
DCPD File No.: 34-7503-20  
Developer: Collin Whelan  
Location: Northwest intersection of Conestoga Road  
and Doyle Avenue  
Recv'd in DCPD: December 20, 2019

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on January 16, 2020, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

A handwritten signature in cursive script, appearing to read "Linda F. Hill".

Linda F. Hill  
Director

cc: Collin Whelan  
Wilkinson & Associates Inc.



1055 E. Baltimore Pike  
Media, PA 19063  
Phone: (610) 891-5200  
Email: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

Date: January 16, 2020  
File No.: 34-7503-20

PLAN TITLE: 147 Conestoga Road  
DATE OF PLAN: December 6, 2019  
OWNER OR AGENT: Collin Whelan  
LOCATION: Northwest intersection of Conestoga Road and Doyle Avenue  
MUNICIPALITY: Radnor Township  
TYPE OF REVIEW: Final subdivision  
ZONING DISTRICT: R-5  
SUBDIVISION ORDINANCE: Local  
PROPOSAL: Subdivide 0.37 acre into two lots  
UTILITIES: Public  
RECOMMENDATIONS: Approval  
STAFF REVIEW BY: Joshua Chast  
REMARKS:

### **CURRENT PROPOSAL**

The applicant proposes to subdivide their property of 0.37 acre into two lots. Lot 1 will retain the semidetached single-family dwelling known as 147 Conestoga Road. Lot 2 will contain the proposed 1,837 sq. ft. single-family detached dwelling.



Date: January 16, 2020  
File No.: 34-7503-20

REMARKS (continued):

**SITE CHARACTERISTICS**

The site's existing conditions include being used as a front yard for 147 Conestoga Road. Other than the dwelling, the only existing structure is the shed, which is to be demolished and replaced. There is significant vegetation following the perimeter of the lot. Directly south of the site is the West Wayne Preserve and the adjacent Radnor Trail. The site is surrounded on all other sides by residential dwellings but is within walking distance of the Lancaster Avenue commercial corridor.

**APPLICABLE ZONING**

The proposal is located within the R-5 district and is subject to applicable regulations set forth in the Municipal zoning code.

**NONCONFORMITIES**

The site's proposed lot size and lot width do not appear to comply with the R-5 regulations established in the Municipal zoning code. However, variances for both proposed nonconformities were granted on November 21, 2019 by the Radnor Township zoning hearing board.

**COMPLIANCE**

Upon the applicant obtaining the required zoning variance approvals for lot size and width, the proposal appears to comply with the R-5 district provisions.

**MONUMENTS AND PINS**

It is recommended that the four corners of each lot be marked with iron pins or concrete monuments.

Date: January 16, 2020  
File No.: 34-7503-20

REMARKS (continued):

**HIGHWAY OCCUPANCY PERMIT**

In accordance with Section 508(6) of the Pennsylvania Municipalities Planning Code, the Township Engineer should confirm if the plan will need a highway occupancy permit(s) for access onto Conestoga Road (S.R. 1019).

**SEWAGE FACILITIES**

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Municipality should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

**STORMWATER MANAGEMENT**

The Municipal Engineer must verify the adequacy of all proposed stormwater management facilities.

**HISTORICAL AND ARCHEOLOGICAL SIGNIFICANCE**

There will be no effect on existing resources if the existing twin residential building is to be retained, as it appears to be. This portion of Conestoga Road has a variety of styles and ages of residential buildings. If the new design can keep the overall historic character and configuration of the stone twin home on the site, which has Colonial Revival features, that would be preferable.

Date: January 16, 2020  
File No.: 34-7503-20

REMARKS (continued):

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



January 20, 2020

Collin Whelan

147 Conestoga Rd

Response Letter to 147 Conestoga Road – Minor Final Subdivision Plan Review Letter

The review comments from the Gannett Fleming Minor Final Subdivision Plan Review Letter, dated December 30, 2019 are provided below. Responses to the review comments provided by Wilkinson & Associates, Inc. are provided in bold and italics below each comment.

#### Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

***Noted. We are currently awaiting DEP's response to the module mailer.***

#### Zoning

1. The required lot areas in the zoning table represent the lot areas for a single-family semidetached dwelling. Since this project proposes two different types of houses, both requirements must be shown in the zoning table.

***The zoning tables have been revised on the first sheet.***

2. §280-35-A.(1) — The minimum lot areas per family for the single family semi-detached dwelling is 5,445 square feet. The applicant is proposing a lot area of 4,500 square feet that will mimic the neighboring twin home. The ZHB transcript appears to have approved the variance for the minimum lot width but did not specifically approve a variance for lot area.

***Comment. No response necessary.***

3. §280-35-A.(8) — The maximum impervious surface allowed is 40%. A breakdown must be provided for how the impervious surfaces were calculated in the zoning table.

***A breakdown of the impervious areas for each have been provided on the first sheet.***

#### Subdivision and Land Development

1. §255-22-B.(1)(d)[5] — The site plan must show any variances or special exceptions granted.

***The variances granted by the ZHB have been provided on the first sheet.***

2. §255-22-B.(1)(d)171 — The site plan must show any steep slope areas if any.

***Steep slopes are not present on the site.***

3. §255-22-B.(1)(j) — Boundaries of all adjoining properties with names and address of landowner must be shown on the site plans.

***Adjoiners have been added to the plans.***

4. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.

***An expanded existing conditions plan has been provided on Sheet 3. A waiver has been requested of this section to provide PASDA topography and an aerial image of this expanded area.***

5. §255-22-B.(1)(p) — Contour lines measures at vertical intervals of two feet must be located on the site plans.

***Existing and proposed contours have been provided on the plans.***

6. §255-22-B.(1)(q) — Datum to which contour lines refer should be listed on the site plans.

***The datum has been provided on the first sheet.***

7. §255-22-B.(1)(r) — Large trees over six inches is caliper must be shown on the site plans.

***Trees over six inches are caliper are noted on Sheet 2.***

8. §255-27.C(4) — Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Conestoga Road is a Major Collector. The right-of-way requirement is 80 feet and the cartway is 48 feet. The applicant has labeled the 50-foot right of way on Conestoga Road. Doyle Road is a local Road. The right-of-way requirement is 60 feet and the cartway is 28 feet. The applicant has labeled the 22-foot right of way on Doyle Road.

***A waiver of this section has been requested.***

9. §255-27.1(4) — Driveway grades shall not exceed 16%.

***The proposed driveways have been graded to not exceed 16%. See Sheet 4.***

10. §255-32.A — No changes shall be made in the contour of the land and no grading excavation, removal or destruction of the topsoil, trees or other vegetation cover of the land shall be commended until such time a plan for minimizing erosion and sedimentation has been processed and reviewed by the Township Engineer and the DCCD. The Board of Commissioners may waive this requirement for minor subdivisions.

***The area of disturbance is anticipated to be under 5,000 SF at all times. Under these circumstances, an E&S Plan would not have to be submitted to DCCD for review.***

11. §255-38.B — Street trees 2<sup>1</sup>/<sub>2</sub> inches dbh intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development must be planted. A landscape plan must be provided.

***Street trees have been added, where possible. Additionally, the existing trees located along Doyle Rd are maintained to comply with this requirement.***

12. §255-56 — Wherever practical, sanitary sewers shall be installed and connected to an appropriate public sewer system. The proposed sanitary sewer lateral for Lot 2 must be shown on the plans.

***Sewer lateral have been added to Sheet 4.***



Stormwater

1. Stormwater calculations demonstrating that the requirements of the stormwater ordinance are being met must be submitted as part of the Final Plan submission. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

***A Drainage Plan Narrative has been prepared and provided for compliance with the Stormwater Management Ordinance.***

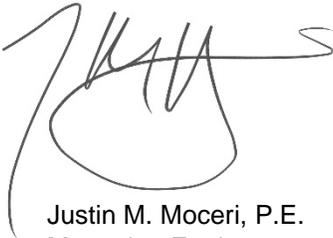
General

1. New deeds must be prepared and recorded at the Delaware County Court House at the time of plan recording.

***Noted. New deeds will be prepared and recorded.***

Should you have any questions or concerns during the course of your review, please do not hesitate to contact me at 610-415-1220 or at [jmocer@wilkinsonassoc.com](mailto:jmocer@wilkinsonassoc.com).

Sincerely,



Justin M. Mocer, P.E.  
Managing Engineer





January 20, 2020

Collin Whelan

147 Conestoga Rd

Response Letter to 147 Conestoga Road – Lot Line Adjustment Review Letter

The review comments from the Gilmore & Associates, Inc. Lot Line Change/Subdivision Plan Review Letter, dated December 26, 2019 are provided below. Responses to the review comments provided by Wilkinson & Associates, Inc. are provided in bold and italics below each comment.

## **B. REVIEW COMMENTS**

The proposed lot line adjustments do not generate any transportation related comments. However, the applicant indicates roadway and driveway modifications with the redevelopment of the property. The following should be considered when the applicant applies for the other improvements including the proposed driveway and sidewalk as indicated on the plan:

1. §255-37.A(8) – Any applicant who encroaches within the legal right-of-way of a state highway is required to obtain a highway occupancy permit (HOP) from the Pennsylvania Department of Transportation. The proposed driveway will require a HOP. The Applicant will be required to include the Township on all correspondence with PennDOT.

***A PennDOT permit will be obtained for the construction of the proposed minimum use driveway and sewer lateral on Lot 1 and the proposed sidewalk and ADA ramp on Lot 2.***

2. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township standards. Driveway details will need to be provided.

***The driveway detail is provided on Sheet 5.***

3. §255-37.F – The grades and paving of sidewalks and pedestrian paths shall be continuous across driveways. Sidewalk details will need to be provided.

***Sidewalks are continuous across driveways. The detail is provided on Sheet 5.***

4. An ADA compliant curb ramp should be constructed on the corner of Conestoga Road and Doyle Street where the proposed sidewalk connects to the existing sidewalk along Conestoga Road.

***An ADA compliant ramp has been provided at the corner of Conestoga and Doyle Roads. See Sheet 4 for ramp grading and Sheet 5 for the associated detail.***

Should you have any questions or concerns during the course of your review, please do not hesitate to contact me at 610-415-1220 or at [jmoceri@wilkinsonassoc.com](mailto:jmoceri@wilkinsonassoc.com).

Sincerely,

A handwritten signature in black ink, appearing to read "Justin M. Moeri", is written over a large, stylized circular flourish or scribble.

Justin M. Moeri, P.E.  
Managing Engineer



# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** December 30, 2019

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 147 Conestoga Road– Minor Final Subdivision Plan  
Collin Whelan– Applicant

Date Accepted: January 7, 2020

90 Day Review: April 6, 2020

---

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the above parcel into two lots, the existing home will remain on one parcel and a single-family home will be constructed on the other parcel. This project is located in the R-5 district of the Township.

The applicant was before the Zoning Hearing Board on November 21, 2019. We have attached a copy of the transcript to this letter since the decision is not yet available.

147 Conestoga Road– Final Minor Subdivision Plan

Plans Prepared By: Wilkenson & Associates, Inc.

Dated: 12/06/2019

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

Zoning

1. The required lot areas in the zoning table represent the lot areas for a single-family semidetached dwelling. Since this project proposes two different types of houses, both requirements must be shown in the zoning table.



2. §280-35-A.(1) – The minimum lot areas per family for the single family semi detached dwelling is 5,445 square feet. The applicant is proposing a lot area of 4,500 square feet that will mimic the neighboring twin home. The ZHB transcript appears to have approved the variance for the minimum lot width but did not specifically approve a variance for lot area.
3. §280-35-A.(8) – The maximum impervious surface allowed is 40%. A breakdown must be provided for how the impervious surfaces were calculated in the zoning table.

Subdivision and Land Development

1. §255-22-B.(1)(d)[5] – The site plan must show any variances or special exceptions granted.
2. §255-22-B.(1)(d)[7] – The site plan must show any steep slope areas if any.
3. §255-22-B.(1)(j) – Boundaries of all adjoining properties with names and addressed of landowner must be shown on the site plans.
4. §255-22-B.(1)(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
5. §255-22-B.(1)(p) – Contour lines measures at vertical intervals of two feet must be located on the site plans.
6. §255-22-B.(1)(q) – Datum to which contour lines refer should be listed on the site plans.
7. §255-22-B.(1)(r) – Large trees over six inches is caliper must be shown on the site plans.
8. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Conestoga Road is a Major Collector. The right-of-way requirement is 80 feet and the cartway is 48 feet. The applicant has labeled the 50-foot right of way on Conestoga Road. Doyle Road is a local Road. The right-of-way requirement is 60 feet and the cartway is 28 feet. The applicant has labeled the 22-foot right of way on Doyle Road.
9. §255-27.I(4) – Driveway grades shall not exceed 16%.

10. §255-32.A – No changes shall be made in the contour of the land and no grading excavation, removal or destruction of the topsoil, trees or other vegetation cover of the land shall be commended until such time a plan for minimizing erosion and sedimentation has been processed and reviewed by the Township Engineer and the DCCD. The Board of Commissioners may waive this requirement for minor subdivisions.
11. §255-38.B – Street trees 2 ½ inches dbh intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development must be planted. A landscape plan must be provided.
12. §255-56 – Wherever practical, sanitary sewers shall be installed and connected to an appropriate public sewer system. The proposed sanitary sewer lateral for Lot 2 must be shown on the plans.

Stormwater

1. Stormwater calculations demonstrating that the requirements of the stormwater ordinance are being met must be submitted as part of the Final Plan submission. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. New deeds must be prepared and recorded at the Delaware County Court House at the time of plan recording.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**MEMORANDUM**

---

**Date:** December 26, 2019

**To:** Stephen F. Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**cc:** Superintendent Christopher Flanagan, Radnor Township Police Department  
Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.  
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate  
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

**Reference:** 147 Conestoga Road – Lot Line Adjustment  
Minor Final Subdivision – Lot Line Change/Subdivision Plan Review  
Radnor Township, Delaware County, PA  
G&A 19-12042

---

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the lot line change for the above referenced project.

**A. DOCUMENTS REVIEWED**

1. Subdivision and Land Development Application Form
2. Application for Act 147 Review
3. Lot Line Change/Subdivision Plan for 147 Conestoga Road, dated December 6, 2019, prepared for Collin Whelan, prepared by Wilkinson & Associates, Inc., consisting of 3 sheets.

**B. REVIEW COMMENTS**

The proposed lot line adjustments do not generate any transportation related comments. However, the applicant indicates roadway and driveway modifications with the redevelopment of the property. The following should be considered when the applicant applies for the other improvements including the proposed driveway and sidewalk as indicated on the plan:

1. §255-37.A(8) – Any applicant who encroaches within the legal right-of-way of a state highway is required to obtain a highway occupancy permit (HOP) from the Pennsylvania Department of Transportation. The proposed driveway will require a

HOP. The Applicant will be required to include the Township on all correspondence with PennDOT.

2. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township standards. Driveway details will need to be provided.
3. §255-37.F – The grades and paving of sidewalks and pedestrian paths shall be continuous across driveways. Sidewalk details will need to be provided.
4. An ADA compliant curb ramp should be constructed on the corner of Conestoga Road and Doyle Street where the proposed sidewalk connects to the existing sidewalk along Conestoga Road.

**RADNOR TOWNSHIP**  
**301 IVEN AVE**  
**WAYNE PA 19087**  
**P) 610 688-5600**  
**F) 610 971-0450**  
WWW.RADNOR.COM

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 147 Conestoga Road.

Zoning District R-5 Application No. \_\_\_\_\_  
(Twp. Use)

Fee \$4,400 Ward No. \_\_\_\_\_ Is property in HARB District No

Applicant: (Choose one) Owner \_\_\_\_\_ Equitable Owner

Name Collin Whelan

Address 211 Poplar Ave., Wayne, PA 19087

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ Cell 610-290-6530

Email collinwhelan@yahoo.com

Designer: (Choose one) Engineer  Surveyor \_\_\_\_\_

Name Wilkinson & Associates, Inc.; Attention: Justin M. Mocerri, P.E.

Address 1220 Valley Forge Road – Suite 22

Telephone 610-415-1220 Fax \_\_\_\_\_

Email jmocerri@wilkinsonassoc.com

Area of property 15,999 SF Area of disturbance 15,999 SF

Number of proposed buildings 1 Proposed use of property **Residential**  
**(new single-family home)**

Number of proposed lots 2

**(Applying for lot  
line change only)**

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary \_\_\_\_\_ Final  Revised \_\_\_\_\_

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

**There are no known requirements that are not being adhered to.**

---

---

Are there any infringements of Chapter 280 (Zoning), and if so what and why?

**The minimum lot width and lot area are not being provided on Lot 1. The width and lot area for Lot 1 are identical to the adjoining semi-detached home at 145 Conestoga Road, and are of similar dimension and area to other lots located along Conestoga Road. Without the infringement, a subdivision of the property is not feasible. It should be noted that the zoning hearing board approved the aforementioned infringement to allow the proposed 2-lot subdivision on November 21, 2019.**

Individual/Corporation/Partnership Name

**Collin Whelan**

---

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature \_\_\_\_\_

Print Name **Collin Whelan**

---

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

# DELAWARE COUNTY PLANNING COMMISSION

## APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

### DEVELOPER/APPLICANT

Name Collin Whelan E-mail collinwhelan@yahoo.com

Address 211 Poplar Ave., Wayne, PA 19087 Phone 610-290-6530

Name of Development 147 Conestoga Road

Municipality Radnor Township

### ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm Wilkinson & Associates, Inc. Phone 610-415-1220

Address 1220 Valley Forge Road - Suite 22, Phoenixville, PA 19460

Contact Justin M. Mocerri, P.E. E-mail jmocerri@wilkinsonassoc.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input checked="" type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District R-5

Tax Map # 36 / 12 / 272

Tax Folio #  / / / /

**STATEMENT OF INTENT**

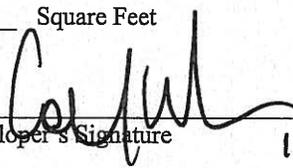
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The existing use of the site is a semi-detached home. The proposed use is to subdivide the site into two (2) parcels: one parcel will remain the existing semi-detached home and one new parcel will be created for the proposed single-family home.

Total Site Area                      0.37                      Acres  
Size of All Existing Buildings      1,142                      Square Feet  
Size of All Proposed Buildings      2,125.5                      Square Feet  
Size of Buildings to be Demolished <sup>224</sup>                      Square Feet

Collin Whelan  
Print Developer's Name

  
Developer's Signature                      12/6/19

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission      Regular Meeting \_\_\_\_\_

Local Governing Body              Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title of Designated Municipal Official                      Phone Number

\_\_\_\_\_  
Official's Signature                      Date

**FOR DCPD USE ONLY**

Review Fee:                      Check # \_\_\_\_\_                      Amount \$ \_\_\_\_\_                      Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**

 ORIGINAL 

Prepared By: Aronimink Abstract Corp.  
Return To: Aronimink Abstract Corp.  
12 St. Albans Circle  
Newtown Square, PA. 19073

T# 3145396

This Indenture Made this 21 day of June, 2010.

**Between**

Mary L. Donatoni, by her Attorney in Fact, Michael J. Santoleri, by Power of Attorney dated June 16, 2010 and being hereinwith recorded

(hereinafter called the Grantor)

AND

Marybeth Avioli

(hereinafter called the Grantee),

**Witnesseth** That the said Grantor for and in consideration of the sum of Two Hundred Fifty Thousand-----dollars (\$250,000.00) lawful money of the United States of America, unto Grantor well and truly paid by the said Grantee and at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee and Grantee's heirs, successors and assigns as

ALL THAT CERTAIN lot or piece of stone messuage on tenement thereon erected, situate at Wayne, in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania according to a recent plan and survey made by Milton R. Yerkes, C.E., on September 23rd, 1919 as follows, to wit:

BEGINNING at a point in the middle of the Conestoga Road, distant, 123.55 of a foot Southeastwardly from a stone at the intersection of the said middle line of Conestoga Road with the middle line of South Devon Avenue and also a corner of land about to be conveyed to Joseph H. McGregor thence extending North 36 degrees 30 minutes 15 seconds East, partly through the center of a party wall, 150 feet to a point in the line of ground now or late of said W. H. Doyle; thence extending South, 63 degrees 29 minutes 45 seconds East, along said ground, 106.66 of a foot to a point in the middle of a private right of way; thence extending along said middle line, South 26 degrees 30 minutes 15 seconds West, 150 feet to the middle line of said Conestoga Road and thence along the same, North 63 degrees 29 minutes 45 seconds West, 106.66 of a foot to the place of beginning.

Tax ID / Parcel No. 36-06-03387-00

RD BK04763-1286  
2010036062 06/29/2010 02:35:15 PM:2  
RCD FEE: \$82.50 POL SUB TAX: \$3,750.00 ST TAX: \$2,500.00

DT-DEED



36-RADNOR \$3,750.00

THOMAS J. JUDGE SR. ROD

DELAWARE  
COUNTY

Being the same premises which St. Davids Buildings and Loan Association by Deed dated February 1, 1944 and recorded February 11, 1944 in Delaware County in 1245 Page 100 conveyed unto Frank Donatoni and Matilda Donatoni, his wife, in fee.

And the said Franco Donatoni died on 7-11-73.

Also being the same premises which Mary L. Donatoni, individually and Administratrix, C.T.A., of the Estate of Franco Donatoni by Deed dated November 18, 1994 and recorded November 29, 1994 in Delaware County in Deed Book Volume 1318 Page 1432 conveyed unto Mary L. Donatoni, in fee.

**Together** with all and singular improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor and Grantor's heirs, successors and assigns, as well at law as in equity, of, in, and to the same.

**To have and to hold** the said lot(s) or piece(s) of ground above described with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantee and Grantee's heirs, successors and assigns to and for the only proper use and behoof of the said Grantee and Grantee's heirs, successors and assigns, forever as

**And** the said Grantor and Grantor's heirs, successors and assigns do by these presents, covenant, grant and agree, to and with the said Grantee and Grantee's heirs, successors and assigns, that the said Grantor and Grantor's heirs, successors and assigns all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantee and Grantee's heirs, successors and assigns, against the said Grantor and Grantor's heirs, successors and assigns all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under Grantor and Grantor's heirs, successors and assigns shall and will WARRANT and forever DEFEND.

In Witness Whereof, the said Grantor has caused these presents to be duly executed dated the day and year first above written.

**Sealed and Delivered**  
IN THE PRESENCE OF US

*Michael J. Santoleri* ATTORNEY-IN-FACT  
for MARY L. DONATONI

---

Michael J. Santoleri, Attorney in  
Fact for Mary L. Donatoni

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DELAWARE

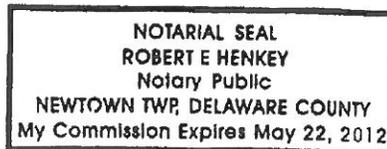
On this, the 21 day of June, 2010, before me, the undersigned officer, personally appeared Michael J. Santoleri, Attorney in Fact for Mary L. Donatoni, known by me (or satisfactorily proven) to be the person whose name(s) is/are subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



Notary Public

My commission expires:



# DEED

T# 3145396

## Grantor:

Mary L. Donatoni, by her Attorney in Fact, Michael J. Santoleri, by Power of Attorney dated June 16, 2010 and being hereinwith recorded

## TO

## Grantee:

Marybeth Avioli

## PREMISES

147 Conestoga Rd.  
Radnor Twp.  
Delaware County, Pennsylvania

The address of the above named Grantee is:

658 Marydell Lane  
West Chester, PA. 19380

Certified by: Joe H



*First American Title*™

# ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

## Schedule A

COMMITMENT NUMBER

**PANPA-0273**

### Transaction Identification Data for reference only:

Issuing Agent: PANDO ABSTRACT, LLC

Issuing Office: 1 W. Third Street, 2nd Floor, Media, PA 19063

ALTA @ Universal ID:

Loan ID No:

Commitment No:

Issuing Office File No: PANPA-0273

Property Address: 147 Conestoga Road, Wayne, PA 19087

Revision No.:

### SCHEDULE A

1. Commitment Date: at

2. Policy to be issued:

- (a)  ALTA® Owner's Policy of Title Insurance (6-17-06)
- ALTA Homeowner's Policy (Rev. 12-2-13) (EAGLE)
- Other

Proposed Insured: **EIP Partnership LLC and 147 Conestoga, LLC**

Proposed Policy Amount: \$

- (b)  ALTA® Loan Policy of Title Insurance (6-17-06)
- ALTA® Expanded Coverage Residential Loan – Current Assessments (4-2-15) (EAGLE)
- ALTA® Short Form Residential Loan – Current Violations (4-2-15)
- ALTA® Short Form Expanded Coverage Residential Loan – Current Assessments (4-2-15) (EAGLE)

Proposed Insured:

Proposed Policy Amount: \$

3. The estate or interest in the land described or referred to in this Commitment is fee simple.

4. Title to the fee simple estate or interest in the Land is at the Commitment Date vested in:

**Marybeth Avioli**

**And was acquired by: Deed from Mary L. Donatoni, by her Attorney in Fact, Michael J. Santoleri, dated June 21, 2010, and recorded June 29, 2010, in the office of Office of the Recorder of Deeds for the County of Delaware, in Volume 4763, at Page 1286.**

### FIRST AMERICAN TITLE INSURANCE COMPANY

PANDO ABSTRACT, LLC

By:  \_\_\_\_\_  
Authorized Signatory

*This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by First American Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.*

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*First American Title*™

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

## Schedule A (Cont.)

COMMITMENT NUMBER

**PANPA-0273**

Commitment No.: **PANPA-0273**

5. The Land is described as follows:

**See Exhibit A attached hereto and made a part hereof**

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Schedule BI &amp; BII</b>	COMMITMENT NUMBER <b>PANPA-0273</b>

Commitment No.: **PANPA-0273**

**SCHEDULE B, PART I  
Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
  - a. **Deed from Marybeth Avioli to EIP Partnership LLC and 147 Conestoga, LLC conveying the subject property set forth under Schedule A.**
5. Original photo identification for all parties to the transaction must be provided.
6. Proof to be furnished that as to each grantor/mortgagor who is an individual, if presently married, that he/she is neither separated from his/her spouse nor a party to any pending divorce proceeding in any jurisdiction, otherwise, the non-record spouse must join in the deed or mortgage contemplated hereunder.
7. Proof that there are no overdue support obligations of record with the Domestic Relations Section of the parties to this transaction, up through the date of recording of the instruments to be insured.
8. Town, County and School Taxes and Water and Sewer Rents for the prior three years. (Receipts to be produced and filed with the Company.) If certification of payment or amount due is obtained from the taxing and municipal authorities in lieu of such receipts, proof must be provided that the taxing and municipal authorities have not turned collection of any unpaid amounts over to a collection agency or law firm. Absent such proof, or if the taxing or municipal authorities have turned collection over to a collection agency or law firm, then additional certification of payment or amount due to be obtained from such collection agency or law firm.
9. Real Estate Taxes and Municipal Claims (If paid, receipts are to be produced and filed with the Company).  
**PARCEL IDENTIFICATION NUMBER: 36060338700**  
**ASSESSMENT: .00**
10. The Company may make other requirements or exceptions upon its review of the documents creating the estate or interest to be insured or otherwise ascertaining details of the transaction.
11. Mortgages: NONE
12. Judgments: NONE
13. SUPPORT ARREARAGE SEARCH RESULTS: NONE

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*First American Title*™

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

COMMITMENT NUMBER

**PANPA-0273**

### Schedule BI & BII (Cont.)

Commitment No.: **PANPA-0273**

14. Homeowners Association Dues, if any.
15. Real Estate Taxes and Municipal Claims (If paid, receipts are to be produced and filed with the Company).  
Tax Account Number: 36060338700 Assessment: \$144,050.00
16. As to EIP Partnership, LLC, the following must be furnished:
  - a. Certificate of Organization and all amendments thereto filed with the Department of State of the State of Pennsylvania.
  - b. Operating Agreement and all amendments thereto.
  - c. Proof that all the consents and requirements of the Operating Agreement have been met with respect to the authority of the members or managers to execute and deliver the title documents on behalf of EIP Partnership, LLC for this transaction.
  - d. Certificate of Good Standing (only if the limited liability company is a foreign entity, i.e. created in a state other than Pennsylvania).
17. As to 147 Conestoga, LLC, the following must be furnished:
  - a. Certificate of Organization and all amendments thereto filed with the Department of State of the State of Pennsylvania.
  - b. Operating Agreement and all amendments thereto.
  - c. Proof that all the consents and requirements of the Operating Agreement have been met with respect to the authority of the members or managers to execute and deliver the title documents on behalf of 147 Conestoga, LLC for this transaction.
  - d. Certificate of Good Standing (only if the limited liability company is a foreign entity, i.e. created in a state other than Pennsylvania).
18. Real estate taxes returned to the Tax Claim Bureau of Delaware County not certified. Proper certification to be obtained from said bureau.
19. FOR INFORMATION ONLY: Last Insured By: Aronimink Abstract Corp. in 2010; File Number: T 3145396.

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	ISSUED BY <b>First American Title Insurance Company</b>
<b>Schedule BI &amp; BII</b>	COMMITMENT NUMBER <b>PANPA-0273</b>

Commitment No.: **PANPA-0273**

**SCHEDULE B, PART II**

**Exceptions**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims by parties in possession or under the terms of any unrecorded lease or agreement(s) of sale.
3. Any variation in location of lines or dimensions or other matters which an accurate survey would disclose.
4. Easements, or claims of easements, not shown by the Public Records.
5. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
6. Possible tax increase based on additional assessments.
7. Accuracy of area content not insured.
8. Title to that part of the premises lying in the bed and right of way of all roads, driveways and alleyways is subject to public and private rights therein.
9. Subject to easements of party walls and the rights of adjoining owners therein.
10. Private right of way as set forth in Deed Book 1245, Page 100.

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Exhibit A</b>	COMMITMENT NUMBER <b>PANPA-0273</b>

Commitment No.: **PANPA-0273**

The Land referred to herein below is situated in the **County of Delaware, Commonwealth of Pennsylvania**, and is described as follows:

ALL THAT CERTAIN lot or piece of stone messuage on tenement thereon erected, Situate at Wayne, in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania according to a recent plan and survey made by Milton R. Yerkes, C.E., on September 23rd, 1919 as follows, to wit:

BEGINNING at a point in the middle of the Conestoga Road, distant, 123.55 of a foot Southeastwardly from a stone at the intersection of the said middle line of Conestoga Road with the middle line of South Devon Avenue and also a corner of land about to be conveyed to Joseph H. McGregor thence extending North 26 degrees (erroneously stated as North 36 degrees in prior deed) 30 minutes 15 seconds East, partly through the center of a party wall, 150 feet to a point in the line of ground now or late of said W. H. Doyle; thence extending South, 63 degrees 29 minutes 45 seconds East, along said ground, 106.66 of a foot to a point in the middle of a private right of way; thence extending along said middle line, South 26 degrees 30 minutes 15 seconds West, 150 feet to the middle line of said Conestoga Road and thence along the same, North 63 degrees 29 minutes 45 seconds West, 106.66 of a foot to the place of BEGINNING.

FOLIO NO. 36060338700

# COLLIN WHELAN

December 19, 2019

Dear Neighbor,

**RE: Minor Final Subdivision Plan #2019-S-09  
147 Conestoga Road**

We have applied to Radnor Township for the approval of a Minor Final Subdivision Plan at the above location to subdivide the parcel into two lots, the existing home will remain on one parcel and a single-family home will be constructed on the other parcel.

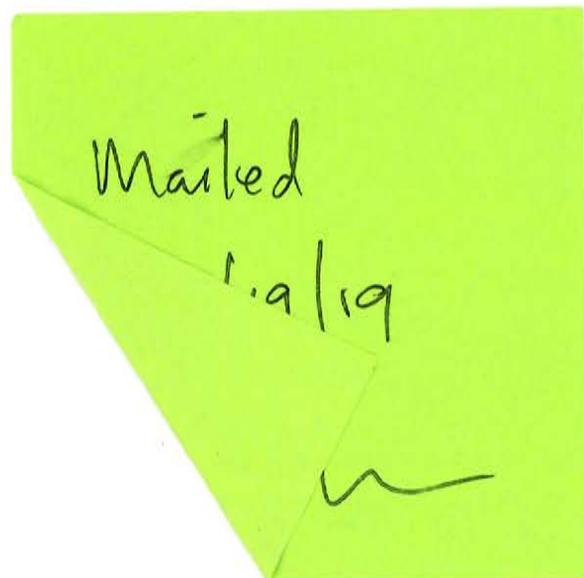
These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at a scheduled meeting on **Tuesday January 7, 2020**.

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087.

Sincerely,



Collin Whelan



211 POPLAR AVENUE  
WAYNE, PA 19087



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Name and Address of Sender

**Radnor Township  
Engineering**

361 Ives Ave.  
Wayne PA 19087

USPS Tracking/Article Number

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- Adult Signature Required
  - Adult Signature Restricted Delivery
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  - Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Complete Subways Inc.  
408 St. Yanks Rd.  
Wayne, PA 19087

Mr. & Mrs. Nagel  
445 Boxwood Rd.  
Rosemont, PA 19010

Mr. & Mrs. Geo. Detmire  
270 S. Penn Ave  
Wayne, PA 19087

Mr. & Mrs. Louis Gruber  
Revocable Trust  
340 Rockland Rd.  
Wayne, PA 19087

Mr. & Mrs. Hollman  
200 S. Penn Ave  
Wayne, PA 19087

Mr. & Mrs. Hassell  
129 Conestoga Rd.  
Wayne, PA 19087

3D Body Works Strong City LLC  
300 W. Boat Rd.  
West Chester, PA 19380

Mr. & Mrs. Penabaz  
121 Conestoga Rd.  
Wayne, PA 19087

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Wayne PA 19087  
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1.	GPIC Real Estate LP 119 Conestoga Rd. Wayne, PA 19087	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation Restricted Delivery												
2.	Manssa Smtback 131 Conestoga Rd. Wayne, PA 19087													
3.	Grant + Mary Roman 145 Galloway Rd. Wayne, PA 19087													
4.	Briana Hedcock 200 S. Nelson Rd. Wayne, PA 19087													
5.	Edward S. Sizarone Method 200 S. Nelson Ave. Wayne, PA 19087													
6.	Anthony Bernill Jr. 133 S. Squiretown Rd. Wayne, PA 19087													
7.	Robert L. Morris 125 Conestoga Rd. Wayne, PA 19087													
8.	Francis Leonard 8041 Martin Ave. Brynar Mawr, PA 19010													

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Advance Township  
Engineers  
301 Iron Ave  
Wayne PA 19087

USPS Tracking/Article Number

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 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
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 Registered Mail  
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 Signature Confirmation  
 Signature Confirmation Restricted Delivery

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ARC CBWNET#001 LLC 200 Snyder Rd #1100 Dresher PA 19025	Three Sixty Five INC 35 S. Radnor Chester Rd. Villanova PA 19083	Mr & Mrs. Gibbons 13 Rowing Lane Rossmont, PA 19010	Mr. & Mrs. Necken 139 Conestoga Rd. Wayne, PA 19087	MaryBeth Hill 658 Mansfield Lane West Chester, PA 19380	Mr. & Mrs. McGinl 8 Taylor Rd. Wayne, PA 19087	Mr. & Mrs. O'Neill 378 W. Lancaster Ave Wayne PA 19087	100 W. Parkers 595 E. Lancaster Ave #303 St. Davids, PA 19087												



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- Collect on Delivery (COD)
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- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Joseph Eckert + Joan Connolly  
114 Mainstar Ct.  
Galloway, NJ 08205

Robert Wierman  
101 S. Lancaster Rd.  
Wayne, PA 19087

Robert D'Amico  
183 Lancaster Rd.  
Wayne, PA 19087

Embroid' State Realty LLC  
406 Mont Piking Rd.  
Brick, NJ 08723

Mr & Mrs. Crayley  
40 Lovelle Ct #1  
Wayne, PA 19087

Mr T. Ms. DeJoseph  
145 Chestnut Rd  
Wayne, PA 19087

Mr. Mark Klein  
12 Pavle Road  
Wayne, PA 19087

Ms Megan Gummel  
4 Park Road  
Wayne, PA 19087

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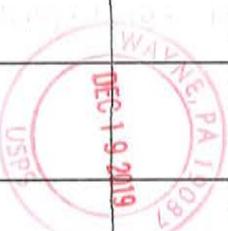
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Wayne PA 19087

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- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Mr. J. Lukas  
89 Blackmore Blvd Cir  
West Newtown, PA 17076

Bangkok Bng + Yul Kyung  
346 W. Lancaster Ave.  
Wayne, PA 19087

Ms. Melissa Neisberg  
7 Doyle Rd  
Wayne, PA 19087

Mr T. M. Amament  
109 Lamborn Rd.  
Wayne, PA 19087

Mr. Gordon Tobias  
109 Lamborn Rd.  
Wayne PA 19087

Mr + Mrs. M. Throck  
111 Lamborn Rd.  
Wayne PA 19087

ETM Partners LLC  
157 Conestoga Rd  
Wayne, PA 19087

Mr. T. M. Elhanna F.  
159 Conestoga Rd  
Wayne, PA 19087

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 Engineering  
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 Wayne PA 19087

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Handling Charge

Actual Value if Registered

Insured Value

Due Sender if COD

ASR Fee

ASRD Fee

RD Fee

RR Fee

SC Fee

SCRD Fee

SH Fee

1. Mr. Mark P. Maib  
 8 Clayton Ave  
 Wilmington, DE 19809

2. Mr. Anthony F. Ford  
 237 Selby Blvd  
 Wayne, PA 19087

3. Ms. Cheryl L. Lee  
 11011 E. Lancaster Rd Unit D  
 Wayne, PA 19087

4. Mr. Kelly  
 100 Lancaster Rd.  
 Wayne, PA 19087

5. Mr. Ms. Garcia  
 1044 Roman Rd - A5  
 Wayne PA 19087

6. Ms. Parvus Mappis  
 1044 Roman Rd - B3  
 Wayne PA 19087

7. Ms. Karen Hackett  
 1044 Roman Rd #3  
 Wayne PA 19087

8. Mr. Robert Holliger  
 3227 Saw Mill Rd.  
 New Park Square, PA 19073

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Wayne PA 19087

Check type of mail or service

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- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

1. Radner Twnshp  
301 Fern Ave  
Wayne PA 19087
2. Jehovah Witness Church  
1203 Myrtlewood Ave  
Wayne PA 19087
3. Mr. + Mrs. Roberts  
243 Demerit Ave  
Wayne, PA 19087
4. Ms. Kathleen Ward  
112 Rantown Rd Unit 2  
Wayne PA 19087
5. Mr. Turner  
1104 Rantown Rd.  
Wayne, PA 19087
6. Mr. McGontrick  
104 Rantown Rd.  
Wayne, PA 19087
7. Ms. Mueller  
1044 Rantown Rd Apt 2  
Wayne, PA 19087
8. Mr + Mrs. B. Spiller Stiff  
1044 Rantown Rd.  
Wayne, PA 19087

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Check type of mail or service

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Handling Charge

Actual Value if Registered

Insured Value

Due Sender if COD

ASR Fee

ASRD Fee

RD Fee

RR Fee

SC Fee

SCRD Fee

SH Fee

Nature Township Lnp.  
301 Egan Ave.  
Wayne PA 19077

USPS Tracking/Article Number

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee

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Postmark with Date of Receipt.

1.	Ms. Kelly Martin 104th Lancaster Rd C1 Wayne, PA 19077										
2.	Mr. + Mrs. Patricia 110 E Sandpaper Rd. Wayne, PA 19077										
3.	Mr. + Mrs. Shurt 110 E Sandpaper Rd. Wayne, PA 19077										
4.	Jesse Tabeaux 241 Seward Ave. Wayne, PA 19077										
5.	Ms. Susan Holmes 110 E Sandpaper Rd. Wayne PA 19077										
6.	Mr. Schumacher 118 Sandpaper Rd. Wayne, PA 19077										
7.	Mr. + Mrs. Cocchi 107 Seward Ave. Wayne, PA 19077										
8.	Ms. Linda Lee 104th Lancaster Rd A1 Wayne PA 19077										



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DEC 19 2019  
AMC/UNT  
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R23044H108210-13



Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster Per (Name of receiving employee)

PS Form 3877, January 2017 (Page 1 of 2)

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PSN 7530-02-000-9098



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Engineering  
301 TREN AVE  
Wayne PA 19087

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  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Ms. Barbara Korman  
135 Plater Drive  
Wayne PA 19087

Mr. T. M. Swisher  
237 Lenoir Ave  
Wayne, PA 19087

Ms. Constance  
110 of Conestoga Rd.  
Wayne, PA 19087

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(for additional copies of this receipt).  
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DEC 19 2019  
\$1.23  
R2304H108210-13



1.	2.	3.	4.	5.	6.	7.	8.	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR	ASRD	RD	RR	SC	SCRD	SH
													Fee	Fee	Fee	Fee	Fee	Fee	Fee

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

3

3

Complete in Ink

INDEX OF DRAWINGS	
SHEET NO.	TITLE
01	RECORD PLAN
02	EXISTING CONDITIONS & DEMOLITION PLAN
03	EXPANDED EXISTING CONDITIONS PLAN
04	GRADING & UTILITY PLAN
05	CONSTRUCTION DETAILS
06	CONSTRUCTION DETAILS

**GENERAL NOTES:**

- THIS PLAN REFERENCE: A DRAWING ENTITLED: "BOUNDARY & TOPOGRAPHIC SURVEY" PREPARED BY WILKINSON & ASSOCIATES, INC. PROJECT NO. 2020-258 DATED 01-15-2020
- EQUITABLE OWNER/APPLICANT: COLLIN WHELAN ADDRESS: 211 POPLAR AVE., WAYNE PA 19087 PHONE: 610-290-6530
- TAX MAP REFERENCES: THIS SITE IS KNOWN AS 147 CONESTOGA RD, RADNOR TOWNSHIP, DELAWARE COUNTY, COMMONWEALTH OF PENNSYLVANIA. THE SITE IS ALSO KNOWN AS A.P.N. #36-06-0338700 AND RECORDED IN D.B. 4763, PG. 1286.
- (TBR) INDICATES ITEM TO BE REMOVED. ALL OTHER ITEMS TO REMAIN UNLESS OTHERWISE NOTED.
- PROPOSED BUILDING AND DRIVEWAY SIZES & LOCATIONS ARE FOR GRAPHICAL REPRESENTATION ONLY. ACTUAL CONSTRUCTED LOCATIONS MAY VARY SLIGHTLY.
- ZONING DATA: ZONED: R-5 RESIDENCE DISTRICT EXISTING USE: SINGLE-FAMILY SEMI-DETACHED DWELLING (TO REMAIN) PROPOSED USE: SINGLE-FAMILY DETACHED DWELLING
- THE APPLICANT IS REQUIRED TO MAINTAIN THE AREA OF THE CLEAR SIGHT TRIANGLE(S) AND THE TOWNSHIP HAS THE RIGHT TO ENTER AND PERFORM REQUIRED MAINTENANCE IN THE AREA IF DEEMED CRITICAL TO PUBLIC WELFARE.
- SURVEY DATUM IS NAD 1983 STATEPLANE PENNSYLVANIA SOUTH.



**SITE LOCATION MAP**  
SCALE 1" = 2000'

**EXISTING FEATURES LEGEND**  
NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT NECESSARILY APPEAR ON THIS PLAN

- TRACT (SITE) BOUNDARY
- ADJACENT BOUNDARY
- RIGHT-OF-WAY LINE
- ROADWAY CENTERLINE

**PROPOSED FEATURES LEGEND**  
NOTE: ALL ITEMS SHOWN IN LEGEND MAY NOT NECESSARILY APPEAR ON THIS PLAN

- LOT LINE
- RIGHT-OF-WAY LINE
- BUILDING SETBACK LINE
- PROPOSED PAVING
- PROPOSED SIDEWALK

**ZONING TABLE (R-5 RESIDENCE DISTRICT REQUIREMENTS)**  
PROPOSED USE: SINGLE-FAMILY SEMI-DETACHED

	REQUIRED	LOT 1 (147 CONESTOGA RD)
MIN. LOT AREA	5,445 SF	4,500 SF*
MIN. LOT WIDTH AT BUILDING LINE	40'	30'*
MAX. BUILDING COVERAGE	35%	24.1%
MAX. IMPERVIOUS COVERAGE	40%	40%
FRONT YARD SETBACK	25'	25'
SIDE YARD SETBACK	10'	10'
REAR YARD SETBACK	20'	20'
MAX. BUILDING HEIGHT	3 STORIES OR 35'	WILL COMPLY

**ZONING TABLE (R-5 RESIDENCE DISTRICT REQUIREMENTS)**  
PROPOSED USE: SINGLE-FAMILY DETACHED

	REQUIRED	LOT 2
MIN. LOT AREA	5,500 SF	11,499 SF
MIN. LOT WIDTH AT BUILDING LINE	55'	60.16'
MAX. BUILDING COVERAGE	35%	17.5%
MAX. IMPERVIOUS COVERAGE	40%	24.5%
FRONT YARD SETBACK	25'	25.0'
SIDE YARD SETBACK	10'	10.0'
REAR YARD SETBACK	20'	35.0'
MAX. BUILDING HEIGHT	3 STORIES OR 35'	WILL COMPLY
ACCESSORY BUILDING (GARAGE)	3' MIN. FROM SIDE OR REAR	3.0'

**EXISTING IMPERVIOUS TABLE - LOT 1**

AREA	SF
BUILDING (INCLUDING PORCH)	1,086
DRIVEWAY WITHIN LOT	0
SIDEWALK WITHIN LOT	130
DECK/PATIO	50
DRIVEWAY WITHIN R.O.W.	0
SIDEWALK WITHIN R.O.W.	140
TOTAL IMPERVIOUS WITHIN LOT	1266
TOTAL IMPERVIOUS WITHIN R.O.W.*	140

**EXISTING IMPERVIOUS TABLE - LOT 2**

AREA	SF
BUILDING (INCLUDING PORCH)	278
DRIVEWAY WITHIN LOT	313
SIDEWALK WITHIN LOT	121
DECK/PATIO	0
DRIVEWAY WITHIN R.O.W.	88
SIDEWALK WITHIN R.O.W.	217
TOTAL IMPERVIOUS WITHIN LOT	712
TOTAL IMPERVIOUS WITHIN R.O.W.*	305

**PROPOSED (AND EXISTING TO REMAIN) IMPERVIOUS TABLE - LOT 1**

AREA	SF
BUILDING (INCLUDING PORCH)	1,086
DRIVEWAY WITHIN LOT	613
SIDEWALK WITHIN LOT	54
DECK/PATIO	50
DRIVEWAY WITHIN R.O.W.	71
SIDEWALK WITHIN R.O.W.	74
TOTAL IMPERVIOUS WITHIN LOT	1803
TOTAL IMPERVIOUS WITHIN R.O.W.*	145

**PROPOSED (AND EXISTING TO REMAIN) IMPERVIOUS TABLE - LOT 2**

AREA	SF
BUILDING (INCLUDING PORCH)	1,901
DRIVEWAY WITHIN LOT	659
SIDEWALK WITHIN LOT	147
DECK/PATIO	115
DRIVEWAY WITHIN R.O.W.	8
SIDEWALK WITHIN R.O.W.	705
TOTAL IMPERVIOUS WITHIN LOT	2822
TOTAL IMPERVIOUS WITHIN R.O.W.*	713

**STORMWATER MANAGEMENT NOTES:**

- MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES:
  - THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS ARE PERMANENT AND ARE NOT TO BE REMOVED. THE OWNER(S) OF LOT 2 SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF THE STORMWATER MANAGEMENT FACILITIES LOCATED ON THEIR LOT. THE TOWNSHIP SHALL HAVE THE RIGHT, BUT NOT THE OBLIGATION, TO ENTER UPON THE SAID PROPERTY TO PERFORM ANY REQUIRED MAINTENANCE WHICH HAS NOT BEEN PROPERLY PERFORMED OR CARRIED OUT IN A TIMELY MANNER. THE INDIVIDUAL LOT OWNER(S) SHALL BEAR THE RESPONSIBILITY FOR THE COST OF ANY MAINTENANCE WHICH IS PERFORMED BY THE TOWNSHIP. A LIEN MAY BE FILED AGAINST THE PROPERTY FOR THE COSTS OF ALL CORRECTIONS INCLUDING APPLICABLE ENGINEERING AND/OR ATTORNEY'S FEES. THIS SHALL CONSTITUTE A BLANKET EASEMENT ON THE PROPERTY FOR THESE PURPOSES.
  - THE OWNER SHALL EXECUTE A STORMWATER BEST MANAGEMENT PRACTICES OPERATIONS AND MAINTENANCE AGREEMENT WITH RADNOR TOWNSHIP, WHICH IS RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS, IN DELAWARE COUNTY, PA. THE AGREEMENT CONSTITUTES A COVENANT RUNNING WITH THE LAND.
  - NO CONSTRUCTION VEHICLES ARE PERMITTED TO TRAVERSE THE AREAS PROPOSED FOR INFILTRATION.
  - DURING SITE CONSTRUCTION, OVERLAND RUNOFF SHALL BE DIVERTED AROUND THE EXCAVATION AREA.
  - EXCAVATION FOR THE INFILTRATION FACILITIES SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE INFILTRATION BASIN.
  - THE BOTTOM OF THE BASIN SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF STONE.
  - A "BLANKET" DRAINAGE EASEMENT SHALL BE OFFERED TO RADNOR TOWNSHIP TO INSPECT THE STORMWATER MANAGEMENT FACILITIES (INFILTRATION BASINS, STORM SEWERS) WITHIN THESE LOTS.
  - AN "AS-BUILT" PLAN OF THE STORMWATER MANAGEMENT FACILITIES WILL BE PROVIDED UPON COMPLETION OF SAME.

**ENGINEERING CERTIFICATION OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON, AS WELL AS ALL DRAWINGS BEARING MY SEAL, ARE TRUE AND CORRECT TO THE ACCURACY REQUIRED BY RADNOR TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE AND WERE PREPARED BY ME OR UNDER MY DIRECTION AND TO THE BEST OF MY KNOWLEDGE.

PROFESSIONAL RESPONSIBLE FOR THE PREPARATION OF THE SWM SITE PLAN:  
I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE SWM SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE

JUSTIN M. MOCERI, PROFESSIONAL ENGINEER  
(SEAL)

**VARIANCES GRANTED**

THE FOLLOWING ZONING VARIANCE(S) WERE GRANTED BY THE ZONING HEARING BOARD ON 11/21/2019.

- SECTION 280-35(A)(1) TO PERMIT THE SUBDIVISION AND CREATION OF A LOT FOR THE EXISTING SEMI-DETACHED SINGLE FAMILY DWELLING WITH THE SAME LOT AREA AND LOT WIDTH AS THE ADJOINED SEMI-DETACHED DWELLING KNOWN AS 145 CONESTOGA RD.

**WAIVERS REQUESTED**

THE FOLLOWING SALDO WAIVERS ARE REQUESTED FROM THE RADNOR TOWNSHIP BOARD OF COMMISSIONERS

- SECTION 255-22-B.(1)(k) TO ALLOW AN EXPANDED EXISTING CONDITIONS PLAN WITH LIDAR TOPOGRAPHY AND AERIAL ORTHOIMAGERY TO REPLACE THE REQUIREMENT TO SHOW EXISTING BUILDINGS, DRIVEWAYS, SEWERS, EASEMENTS AND OTHER SIGNIFICANT MAN-MADE FEATURES WITHIN 500 FT OF THE SITE.
- SECTION 255-27.C(4) TO ALLOW THE EXISTING NON-CONFORMING RIGHTS-OF-WAY ALONG CONESTOGA ROAD (50' WIDE) AND DOYLE ROAD (33' WIDE) TO REMAIN.



(1) SIGNATURE (2) SEAL

**WILKINSON & ASSOCIATES, INC.**  
1220 VALLEY FORGE ROAD  
THE COMMONS AT VALLEY FORGE  
SUITE 22  
PHOENIXVILLE, PA 19460  
PHONE (610) 415-1220  
FAX (610) 415-1224

**COLLIN WHELAN**  
PROPOSED SUBDIVISION  
147 CONESTOGA ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY  
COMMONWEALTH OF PENNSYLVANIA

**PRELIMINARY/FINAL LAND DEVELOPMENT PLAN**  
**RECORD PLAN**



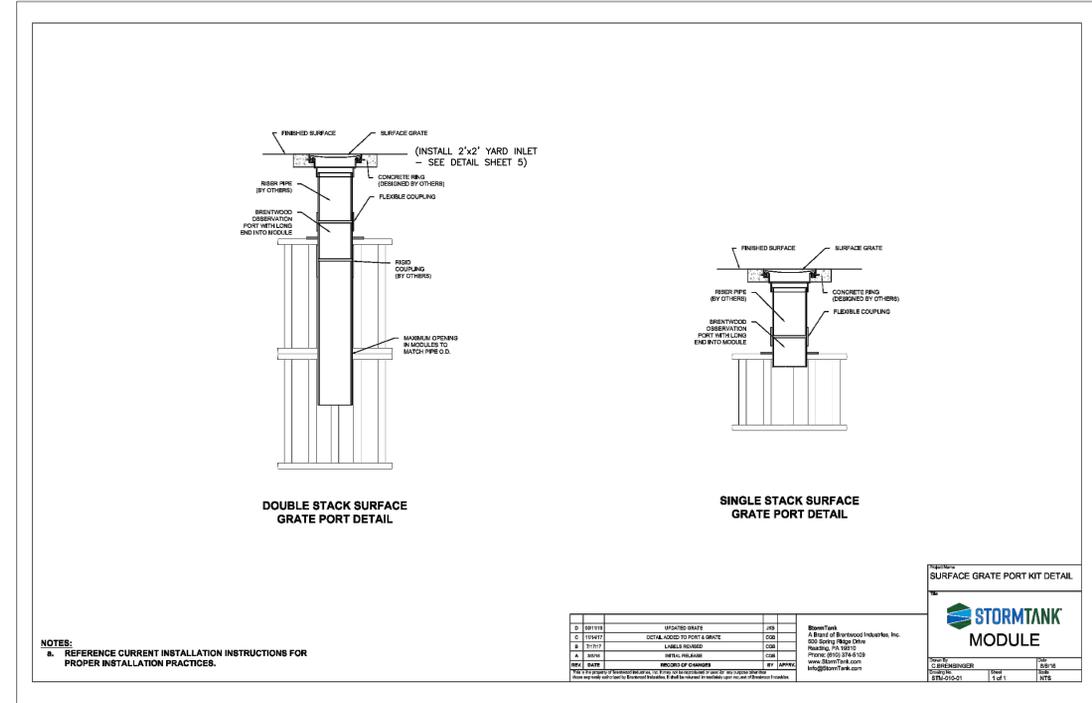
PROJECT MANAGER: JMM	DATE: 01-20-2020	PROJECT NO.:2019238	DRAWING NO.:2019238R03
VERT. SCALE (NOTED): 1" = 10'	VERT. SCALE (NOTED): 1" = 10'	DRAWN BY: JMM	REVISION: 00







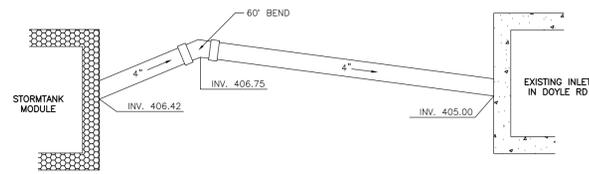




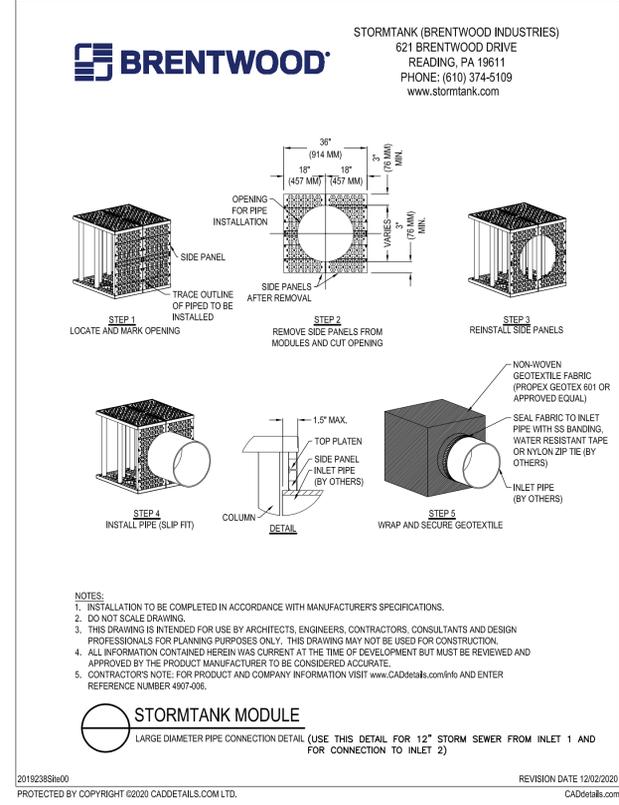
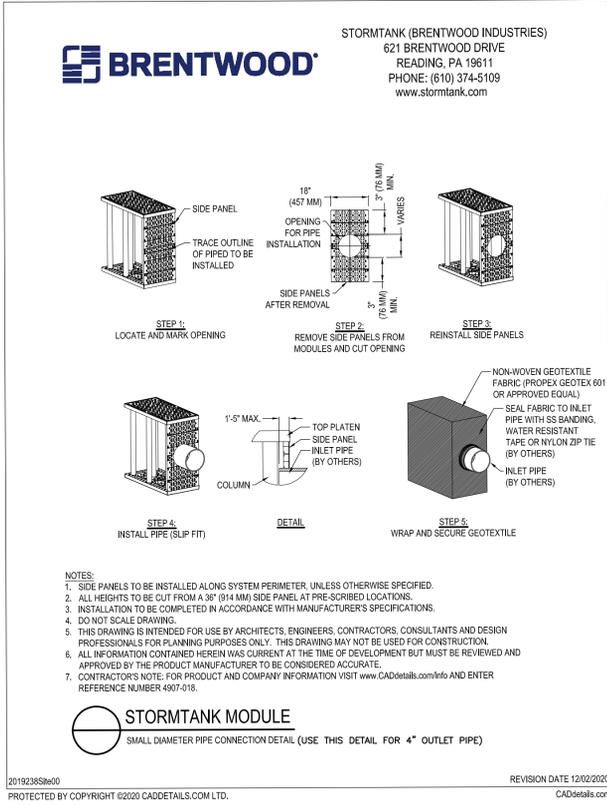
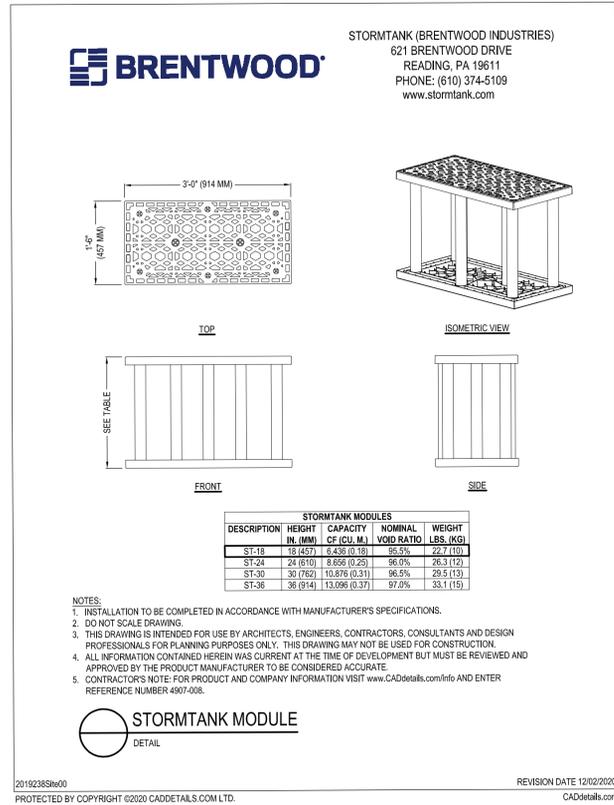
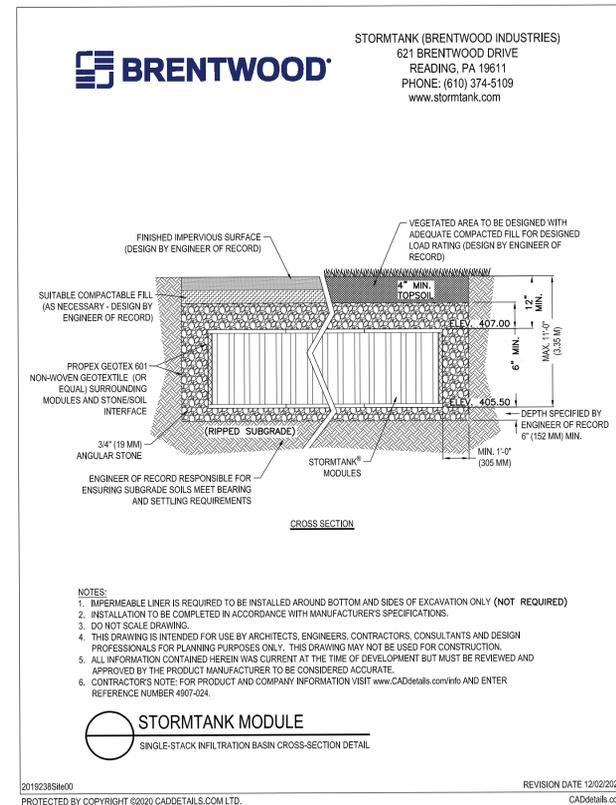
### UNDERGROUND INFILTRATION BASIN 1

#### OPERATION AND MAINTENANCE PROCEDURES:

- ALL BASIN STRUCTURES SHALL BE INSPECTED FOR CLOGGING, EXCESSIVE DEBRIS AND SEDIMENT ACCUMULATION AT LEAST FOUR (4) TIMES PER YEAR, AS WELL AS AFTER EVERY STORM GREATER THAN ONE (1) INCH. PROPERLY DISPOSE OF SEDIMENT IN ACCORDANCE WITH STATE REGULATIONS.
  - BASIN STRUCTURES INCLUDE STORM STRUCTURES IN AND UPGRADE OF THE FACILITY AND THEIR FILTER BAGS, AND ROOF RAINWATER COLLECTION SYSTEMS.
- DO NOT FLUSH ACCUMULATED ROOF DEBRIS INTO THE FACILITY UNLESS IT IS CAPTURED BEFORE IT FLOWS INTO THE INFILTRATION BASIN.
- VEGETATED AREAS CONTRIBUTING TO THE FACILITY SHALL BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
- INSPECT THE BASIN AFTER EVERY STORM GREATER THAN ONE (1) INCH TO ENSURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. IF THE BASIN DOES NOT DRAIN DOWN WITHIN 72 HOURS, REMEDIATION MEASURES SHALL BE TAKEN SUCH AS CLEANING OUT OF THE PERFORATED PIPE, REDESIGN/RECONFIGURATION OF THE DISCHARGE ASSEMBLY OR REPLACEMENT OF THE ENTIRE FACILITY.



INFILTRATION BASIN 1 4" OUTLET PIPE DETAIL



CALL BEFORE YOU DIG!  
 FEDERAL SAFETY REGULATIONS REQUIRE LOCATING UTILITIES PRIOR TO CONSTRUCTION PHASE AND TO WORKING IN UTILITY AREAS. STOP CALL  
 1-800-242-1776

NO.	DATE	DESCRIPTION
01	2/17/2020	REVISION PER IFC REVIEW LETTER 2 DATED 12/2/2020

WILKINSON & ASSOCIATES, INC.  
 1220 VALLEY FORGE ROAD  
 THE COMMONS AT VALLEY FORGE  
 SUITE 22  
 PHOENIXVILLE, PA 19460  
 PHONE (610) 415-1220  
 FAX (610) 415-1224

COLLIN WHELAN  
 PREPARED FOR  
 1707 CONESTOGA ROAD  
 RADNOR TOWNSHIP  
 DELAWARE COUNTY  
 COMMONWEALTH OF PENNSYLVANIA

PRELIMINARY/FINAL LAND DEVELOPMENT PLAN  
 CONSTRUCTION DETAILS



PROJECT MANAGER: JMM	DATE: 01-20-2020	PROJECT NO.:	2019238
DRAWING NO.:	2019238-020	DRAWN BY:	JMM
CHECKED BY:	JMM	REVISION:	00

**RESOLUTION NO. 2020-39  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING THE PRELIMINARY LAND  
DEVELOPMENT PLAN OF TIM RUBIN FOR THE PROPERTY  
LOCATED AT 812 – 822 GLENBROOK AVENUE**

*WHEREAS*, Tim Rubin (“Applicant”) submitted an application for Preliminary Land Development Plan approval for the property located at 812 – 822 Glenbrook Avenue; and

*WHEREAS*, the Radnor Township Planning Commission and the Delaware County Planning Commission have reviewed the Applicant’s Preliminary Plan submission; and

*WHEREAS*, the Radnor Township Board of Commissioners now intends to grant Preliminary Land Development Plan approval for Applicant’s Plan.

*NOW, THEREFORE*, be it hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the Applicant’s Preliminary Land Development Plan prepared by Momenee, Inc., consisting of four (4) sheets, dated January 6, 2020, last revised February 13, 2020 (“Plan”), subject to the following Preliminary Plan approval conditions:

1. Compliance with the correspondence of Gannett Fleming dated February 18, 2020, a copy of which is attached hereto and incorporated herein as *Exhibit “A”*.
2. Compliance with the correspondence of Gilmore & Associates dated February 17, 2020, a copy of which is attached hereto and incorporated herein as *Exhibit “B”*.
3. Compliance with the Radnor Township Zoning Board decision of October 17, 2019.
4. The Applicant shall execute development agreements and any other required documents in a form and manner to be approved by the Township Solicitor and shall post sufficient financial security to secure all improvements in a form acceptable to the Township.
5. The Applicant shall comply with all other applicable Township Ordinances with respect to sewage, stormwater management, zoning, and building codes, as well as all other applicable Township, County, Commonwealth, and Federal rules, regulations, codes, ordinances, and statutes.

***SO RESOLVED***, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 9<sup>th</sup> day of March, 2020.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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## Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer

CC: William M. White, Acting Township Manager/Secretary

Date: March 4, 2020

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**Re: 812/822 Glenbrook Avenue –*Preliminary* – Preliminary Final Land Development Plan**

---

The applicant is proposing to re-build an existing mixed use building that contains two residential units and a day care facility into a new building with three residential units.

The detailed review letters and plans are attached.

**This application before the Commissioners is for Preliminary Approval. The plan will be back before the Commissioners for caucus and final, for FINAL approval. Action is required of the Board of Commissioners for FINAL approval, barring any extensions granted by the applicant, by May 3rd, 2020.**



# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** February 18, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 812-822 Glenbrook Avenue - Preliminary Land Development Plan  
Tim Rubin– Applicant

Date Accepted: February 3, 2020

90 Day Review: May 3, 2020

---

Gannett Fleming, Inc. has completed a review of the Preliminary Land Development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to re-construct an existing mixed-use building with 2 residential units and a day care to a new building with 3 residential units. This project is located in the C-1 district of the Township.

The applicant was before the Zoning Hearing Board on October 17, 2019. We have attached a copy of the Zoning Hearing Board decision. The Zoning Hearing Board order is as follows:

1. This application involves the premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial ("Premises").
2. Testimony and evidence on this application was presented at the properly noticed hearing held on October 17, 2019.
3. Applicant's Exhibits A-1 through A-12 were entered into the record at the October 17, 2019 hearing. (October 17, 2019 Hearing Transcript, 50:8-14).

## 812-822 Glenbrook Ave – Land Development Plan

Plans Prepared By: Momenee, Inc.

Dated: 01/06/2020, last revised 02/13/2020

### Zoning

1. The zoning information for the proposed project must be shown in the zoning table. The applicant has indicated that this will be added to the next plan submittal.
2. The square footage of the existing building to be demolished is 3,666 square feet. The square footage of the proposed building must be shown on the plans. The applicant has indicated that this will be added to the next plan submittal.



Subdivision and Land Development

1. §250-20.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has added part of the information to the vicinity plan. If all the information is not provided, a waiver must be requested from this requirement.
2. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards.

General

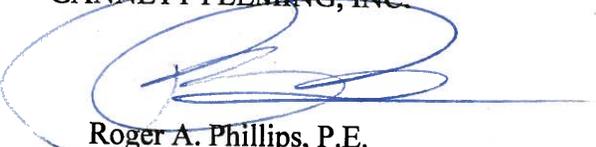
1. The applicant must provide a copy of the consolidated deed that was to be recorded with the lot consolidate plan in 2016. The applicant has indicated that they would re-record the consolidated deed.
2. Right-of-way information must be provided regarding the area along Glenbrook Avenue where the proposed driveway will be located. Please confirm the ownership of this portion of the project.

The applicant appeared before the Planning Commission on February 3, 2020. The Planning Commission recommended approval of the plan contingent upon addressing all staff comments and to change this submission to be preliminary/final.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**RADNOR TOWNSHIP ZONING HEARING BOARD**

**APPEAL NO. 3046**

APPEAL OF Glenbrook Avenue Investors, LLC, premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“C1”).

**DECISION OF THE ZONING HEARING BOARD**

**Relief Requested**

1. Applicant seeks permission to add an additional apartment to its previously approved two-unit apartment building.
2. Applicant intends to raze the existing building and reconstruct it in its same location and dimensions.
3. Applicant requests a special exception under Section 280-101(A)(1) or 280-101(A)(2) of the Zoning Code to expand an existing nonconforming use, a modification of previously granted relief, or a variance pursuant to Section 280-47 of the Code.
4. Applicant also requests such other relief as required in accordance with the Plans and Exhibits presented to the Zoning Hearing Board.

**Findings of Fact**

1. This application involves the premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“Premises”).
2. Testimony and evidence on this application was presented at the properly noticed hearing held on October 17, 2019.
3. Applicant’s Exhibits A-1 through A-12 were entered into the record at the October 17, 2019 hearing. (October 17, 2019 Hearing Transcript, 50:8-14).
4. The applicant’s testimony and exhibits establish that during the previous owners’ possession, the existing wood building was damaged by water infiltration and is now structurally unsound. (*Id.*, 12:13 – 13:15, and 14:16 – 15:14, Exh. A-9).
5. The Premises is located adjacent to public rail transportation. (*Id.*, 11:1 – 11:7).
6. The rental market at this location is more conducive to the existing building being used as a three-unit building as opposed to a two-unit building. (*Id.*, 13:16).
7. The granting of this application will further the public’s interest by providing more moderate-priced housing in the Township. (*Id.*, 51:21 – 52:5).

### Conclusions of Law

1. The Premises is nonconforming in its front and side yard setbacks.
2. The granting of relief, subject to the conditions set forth below, will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use of adjacent properties, nor be a detriment to the public welfare. This is evidenced by the lack of any public or Township objection to the requested relief, subject to the conditions set forth below.
3. The granting of relief, subject to the conditions set forth below, represents the minimum relief that will afford the Applicant's request.
4. The conditions set forth below to the Board's grant of a special exception are necessary to implement the purposes of the Municipal Planning Code and the Zoning Ordinance.

### Order

Based on the record before the Board, the applicant is hereby **GRANTED** the following special exception:

1. A special exception is **GRANTED**, pursuant to Code Sections 280-101(A)(1) and 280-101(A)(2), to permit the expansion of the nonconforming use of the existing building (Premises C depicted on Applicant's Exhibit "A-12") from a two-unit building to its use as a three-unit building, consistent with the testimony presented, with the following limitations:
  - a. The proposed new structure replacing the existing building shall be on the same footprint as the existing building; and
  - b. The square footage of the new building, including parking, shall be no greater than the existing building.
2. Relief is granted only with respect to Zoning Code Sections 280-101(A)(1) and 280-101(A)(2).
3. No relief is granted with respect to any other provisions of the Zoning Code.

### **BY ORDER OF THE ZONING HEARING BOARD**

/s/ JOHN REILLY, CHAIRMAN

/s/ WILLIAM F. MARTIN

/s/ SCOTT SIMON

/s/ RICHARD J. WEITZMAN

**Vice Chairman George F. Nagle is opposed to this Decision.**

**Alternate Board Member Jamie Forman was present but did not vote on this Application. Board Member Bradley Delizia was absent during this hearing.**

DATED: October 17, 2019

MAILED: November 25, 2019

THIS DECISION WILL EXPIRE IF THE APPLICANTS FAIL TO OBTAIN A BUILDING PERMIT WITHIN SIX MONTHS OF THIS DATE: November 25, 2019.



**MEMORANDUM**

---

**Date:** February 17, 2020

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE  
Senior Transportation Engineer

**cc:** Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

**Reference:** 812-822 Glenbrook Avenue  
Preliminary Land Development Plan Review 2  
Radnor Township, Delaware County, PA  
G&A 20-01170

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Gilmore and Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

**A. BACKGROUND**

The subject parcel located at 812-822 Glenbrook Avenue is situated in the C-1 Local Commercial Zoning District and takes access to Bryn Mawr Avenue (S.R. 1032), west of County Line Road (S.R. 1001) in Radnor Township, Delaware County. The applicant intends on redeveloping 812-822 Glenbrook Avenue in order to construct a residential apartment building with three (3) units and two (2) proposed parking spaces under the building.

**B. DOCUMENTS REVIEWED**

1. Preliminary Land Development Plans for 812-822 Glenbrook Avenue, prepared by Momenee, Inc., prepared for Tim Rubin, consisting of 4 sheets, dated January 6, 2020.

**C. SUBDIVISION AND LAND DEVELOPMENT COMMENTS**

1. §255-20.B(1)(o)(6) – Show any existing or proposed easements including an access or parking easement for the shared access/parking area to Bryn Mawr Avenue.
2. Clearly identify the entrances to the proposed building. An ADA accessible path to the building must be provided. Based on the single entrance shown on the east side of the building, it appears that a set of stairs is on the path, thus this is not an ADA accessible path.
3. The maximum algebraic change in grade between the driveway and the roadway shall not exceed 8 percent. Revise the plans to indicate the longitudinal slope in front of the

proposed driveway access. In addition, provide the top and bottom of curb elevations along the driveway apron. Refer to PennDOT Publication RC-64M for the permitted curb reveal at driveways and Publication RC-67M for Type 1A driveway apron design.

If you have any questions regarding the above, please contact this office.

February 13, 2020

**Momenee Job #19-116**

Mr. Steve Norcini, P.E.  
Radnor Township Engineer  
Radnor Township  
301 Iven Avenue  
Radnor, PA 19087

**RE: 812-822 Glenbrook Avenue  
Preliminary/Final Land Development Plan  
Upper Providence Township, Montgomery County, PA**

Dear Mr. Norcini,

We are in receipt of the Gannett Fleming, Inc review letter from Roger Phillips, P.E. dated January 27, 2020 for the above-mentioned project. Please see below our responses to the comments in red.

### **Zoning**

1. The zoning information for the proposed project must be shown in the zoning table.

*The information will be added to the plans next submittal.*

2. The square footage of the existing building to be demolished is 3,666 square feet. The square footage of the proposed building must be shown on the plans.

*The information will be added to the plans for the next submittal once the architectural design has been completed. To note, the proposed square footage will not exceed that of the existing building.*

### **SUBDIVISION AND LAND DEVELOPMENT**

1. Section 250-20.B.(1)(1): Boundaries of all adjoining properties (with names and addressed of landowners in the case of unplatted land) must be shown on the plans.

*The information has been added to the plans.*

2. Section 250-20.B.(1)(n): Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.

*The information has been partially added to the plans. A vicinity image has been used along with linework to show the surrounding area within 500 feet of the property.*

3. Section 250-20.B.(2): Soil map information must be provided on the plans.

*The soil map information has been added to the plans (Sheet 3 of 4). The entire site is within the UugB soil type.*

4. Section 255-27.C.(4): Where a subdivision abut or contains an existing street of inadequate right-of- way width, the Board of Commissioners may require the reservation or dedication of rights- of-way to conform with the required standards.

Comment has been noted by the applicant.

### **General**

1. The applicant must provide a copy of the consolidated deed that was to be recorded with the lot consolidate plan in 2016.

The deed of consolidation is to be re-recorded with the Delaware County Recorder of Deeds due to the document not being on file with Delaware County.

2. Additional information must be provided regarding the area along Glenbrook Avenue where the proposed driveway will be located.

Additional information is still being sought with Radnor Township. The information that has already been obtained included right-of-way information which has been used to update the plans. The area of interest along Glenbrook does not seem to have a designated purpose, and is most likely the reminisce of the County Line Road, Bryn Mawr Avenue, and Glenbrook Avenue intersection change.

If there are any questions about this comment response letter, please contact me by phone at 610-527-3030 or email at [wdaggett@karinsengineering.com](mailto:wdaggett@karinsengineering.com).

Very truly yours,  
**MOMENEE, INC.**



William Daggett, E.I.T.  
Staff Engineer III  
WOD Enclosures 19116 Gannett Response Letter

cc: Damon Drummond, P.E., PTOE – Senior Transportation Engineer, Gilmore & Associates, Inc.  
Roger Phillips, P.E. – Senior Project Manager, Gannett Fleming, Inc  
Leslie Salsbury, P.E. – Senior Project Manager, Gannett Fleming, Inc  
Kevin W. Kochanski, RLA, CZO – Director of Community Development, Radnor  
Patricia Sherwin – Radnor Township Engineering Department

February 13, 2020

**Momenee Job #19-116**

Mr. Steve Norcini, P.E.  
Radnor Township Engineer  
Radnor Township  
301 Iven Avenue  
Radnor, PA 19087

**RE: 812-822 Glenbrook Avenue  
Preliminary/Final Land Development Plan Review 1  
Upper Providence Township, Montgomery County, PA  
G&A 20-01170**

Dear Mr. Norcini,

We are in receipt of the Gilmore & Associates, Inc review letter from Damon Drummond, P.E. dated January 24, 2020 for the above-mentioned project. Please see below our responses to the comments in red.

**SUBDIVISION AND LAND DEVELOPMENT**

1. Section 255-20.B.(1)(f): Provide the property owner information (name and address) of the adjoining properties.

*The information has been added to the plans.*

2. Section 255-20.B.(1)(m): The applicant shall revise the plans to dimension the right-of-way and cartway widths along all boundary streets shown on the plans.

*The information has been added to the plans.*

3. Section 154-12.D.(5): Show any existing or proposed easements including an access or parking easement for the shared access/parking area to Bryn Mawr Avenue.

*There are no existing or proposed easements. An easement can be provided if the Township deems necessary.*

4. Clearly identify the entrances to the proposed building. An ADA accessible path to the building must be provided.

*The building entrance has been added to the plans. The proposed building entrance is located in the area of one of the existing building entrances. The proposed entrance is ADA accessible from the rear yard parking handicap spot to the ADA ramp and following the path around the building to the entrance.*

5. The maximum algebraic change in grade between the driveway and the roadway shall not exceed 8 percent. Revise the plans to indicate the longitudinal slope in front of the proposed driveway access. The slope of the proposed apron appears to be 8.2% and may need to be reduced.

*The slope has been revised to meet the requirement.*

6. Install a No Right Turn (R3-1) sign (24" x 24") within the concrete walk area for drivers approaching Glenbrook Avenue.

The sign has been provided and added to the plans along with a sign detail.

If there are any questions about this comment response letter, please contact me by phone at 610-527-3030 or email at [wdaggett@karinsengineering.com](mailto:wdaggett@karinsengineering.com).

Very truly yours,  
**MOMENEE, INC.**



William Daggett, E.I.T.  
Staff Engineer III  
WOD Enclosures 19116 Gilmore Response Letter

cc: Damon Drummond, P.E., PTOE – Senior Transportation Engineer, Gilmore & Associates, Inc.  
Roger Phillips, P.E. – Senior Project Manager, Gannett Fleming, Inc  
Leslie Salisbury, P.E. – Senior Project Manager, Gannett Fleming, Inc



# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** January 27, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 812-822 Glenbrook Avenue - Preliminary Land Development Plan  
Tim Rubin– Applicant

Date Accepted: February 3, 2020

90 Day Review: May 3, 2020

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Gannett Fleming, Inc. has completed a review of the Preliminary Land Development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to re-construct an existing mixed-use building with 2 residential units and a day care to a new building with 3 residential units. This project is located in the C-1 district of the Township.

The applicant was before the Zoning Hearing Board on October 17, 2019. We have attached a copy of the Zoning Hearing Board decision. The Zoning Hearing Board order is as follows:

1. A special exception is **GRANTED**, pursuant to Code Sections 280-101(A)(1) and 280-101(A)(2), to permit the expansion of the nonconforming use of the existing building (Premises C depicted on Applicant's Exhibit "A-12") from a two-unit building to its use as a three-unit building, consistent with the testimony presented, with the following limitations:
  - a. The proposed new structure replacing the existing building shall be on the same footprint as the existing building; and
  - b. The square footage of the new building, including parking, shall be no greater than the existing building.
2. Relief is granted only with respect to Zoning Code Sections 280-101(A)(1) and 280-101(A)(2).
3. No relief is granted with respect to any other provisions of the Zoning Code.

**812-822 Glenbrook Ave – Land Development Plan**

Plans Prepared By: Momenee, Inc.

Dated: 01/06/2020



Zoning

1. The zoning information for the proposed project must be shown in the zoning table.
2. The square footage of the existing building to be demolished is 3,666 square feet. The square footage of the proposed building must be shown on the plans.

Subdivision and Land Development

1. §250-20.B(1)(l) – Boundaries of all adjoining properties (with names and addresses of landowners in the case of unplatted land) must be shown on the plans.
2. §250-20.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. §250-20.B(2) – Soil map information must be provided on the plans.
4. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards.

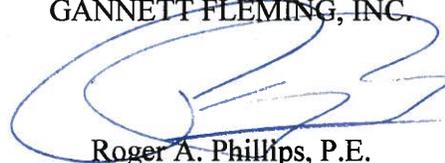
General

1. The applicant must provide a copy of the consolidated deed that was to be recorded with the lot consolidate plan in 2016.
2. Additional information must be provided regarding the area along Glenbrook Avenue where the proposed driveway will be located.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**RADNOR TOWNSHIP ZONING HEARING BOARD**

**APPEAL NO. 3046**

APPEAL OF Glenbrook Avenue Investors, LLC, premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“C1”).

**DECISION OF THE ZONING HEARING BOARD**

**Relief Requested**

1. Applicant seeks permission to add an additional apartment to its previously approved two-unit apartment building.
2. Applicant intends to raze the existing building and reconstruct it in its same location and dimensions.
3. Applicant requests a special exception under Section 280-101(A)(1) or 280-101(A)(2) of the Zoning Code to expand an existing nonconforming use, a modification of previously granted relief, or a variance pursuant to Section 280-47 of the Code.
4. Applicant also requests such other relief as required in accordance with the Plans and Exhibits presented to the Zoning Hearing Board.

**Findings of Fact**

1. This application involves the premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“Premises”).
2. Testimony and evidence on this application was presented at the properly noticed hearing held on October 17, 2019.
3. Applicant’s Exhibits A-1 through A-12 were entered into the record at the October 17, 2019 hearing. (October 17, 2019 Hearing Transcript, 50:8-14).
4. The applicant’s testimony and exhibits establish that during the previous owners’ possession, the existing wood building was damaged by water infiltration and is now structurally unsound. (*Id.*, 12:13 – 13:15, and 14:16 – 15:14, Exh. A-9).
5. The Premises is located adjacent to public rail transportation. (*Id.*, 11:1 – 11:7).
6. The rental market at this location is more conducive to the existing building being used as a three-unit building as opposed to a two-unit building. (*Id.*, 13:16).
7. The granting of this application will further the public’s interest by providing more moderate-priced housing in the Township. (*Id.*, 51:21 – 52:5).

**Conclusions of Law**

1. The Premises is nonconforming in its front and side yard setbacks.
2. The granting of relief, subject to the conditions set forth below, will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use of adjacent properties, nor be a detriment to the public welfare. This is evidenced by the lack of any public or Township objection to the requested relief, subject to the conditions set forth below.
3. The granting of relief, subject to the conditions set forth below, represents the minimum relief that will afford the Applicant's request.
4. The conditions set forth below to the Board's grant of a special exception are necessary to implement the purposes of the Municipal Planning Code and the Zoning Ordinance.

**Order**

Based on the record before the Board, the applicant is hereby **GRANTED** the following special exception:

1. A special exception is **GRANTED**, pursuant to Code Sections 280-101(A)(1) and 280-101(A)(2), to permit the expansion of the nonconforming use of the existing building (Premises C depicted on Applicant's Exhibit "A-12") from a two-unit building to its use as a three-unit building, consistent with the testimony presented, with the following limitations:
  - a. The proposed new structure replacing the existing building shall be on the same footprint as the existing building; and
  - b. The square footage of the new building, including parking, shall be no greater than the existing building.
2. Relief is granted only with respect to Zoning Code Sections 280-101(A)(1) and 280-101(A)(2).
3. No relief is granted with respect to any other provisions of the Zoning Code.

**BY ORDER OF THE ZONING HEARING BOARD**

/s/ **JOHN REILLY, CHAIRMAN**

/s/ **WILLIAM F. MARTIN**

/s/ **SCOTT SIMON**

/s/ **RICHARD J. WEITZMAN**

**Vice Chairman George F. Nagle is opposed to this Decision.**

**Alternate Board Member Jamie Forman was present but did not vote on this Application. Board Member Bradley Delizia was absent during this hearing.**

DATED: October 17, 2019

MAILED: November 25, 2019

THIS DECISION WILL EXPIRE IF THE APPLICANTS FAIL TO OBTAIN A BUILDING PERMIT WITHIN SIX MONTHS OF THIS DATE: November 25, 2019.



**MEMORANDUM**

---

**Date:** January 24, 2020

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE  
Senior Transportation Engineer

**cc:** Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

**Reference:** 812-822 Glenbrook Avenue  
Preliminary Land Development Plan Review 1  
Radnor Township, Delaware County, PA  
G&A 20-01170

---

Gilmore and Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

**A. BACKGROUND**

The subject parcel located at 812-822 Glenbrook Avenue is situated in the C-1 Local Commercial Zoning District and takes access to Bryn Mawr Avenue (S.R. 1032), west of County Line Road (S.R. 1001) in Radnor Township, Delaware County. The applicant intends on redeveloping 812-822 Glenbrook Avenue in order to construct a residential apartment building with three (3) units and two (2) proposed parking spaces under the building.

**B. DOCUMENTS REVIEWED**

1. Preliminary Land Development Plans for 812-822 Glenbrook Avenue, prepared by Momenee, Inc., prepared for Tim Rubin, consisting of 4 sheets, dated January 20, 2020.
2. Submission letter prepared by Momenee, Inc., prepared for Radnor Township, dated January 8, 2020.
3. Subdivision and Land Development Application
4. Application for ACT 247 Review

**C. SUBDIVISION AND LAND DEVELOPMENT COMMENTS**

1. §255-20.B(1)(f) – Provide the property owner information (name and address) of the adjoining properties.
2. §255-20.B(1)(m) – The applicant shall revise the plans to dimension the right-of-way and cartway widths along all boundary streets shown on the plans.
3. §255-20.B(1)(o)(6) – Show any existing or proposed easements including an access or parking easement for the shared access/parking area to Bryn Mawr Avenue.
4. Clearly identify the entrances to the proposed building. An ADA accessible path to the building must be provided.
5. The maximum algebraic change in grade between the driveway and the roadway shall not exceed 8 percent. Revise the plans to indicate the longitudinal slope in front of the proposed driveway access. The slope of the proposed apron appears to be 8.2% and may need to be reduced.
6. Install a No Right Turn (R3-1) sign (24" x 24") within the concrete walk area for drivers approaching Glenbrook Avenue.

If you have any questions regarding the above, please contact this office.

**RADNOR TOWNSHIP**  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 812 - 822 Glenbrook Avenue

Zoning District C-1 Application No. \_\_\_\_\_  
(Twp. Use)

Fee \_\_\_\_\_ Ward No. 5 Is property in HARB District No

Applicant: (Choose one) Owner  Equitable Owner \_\_\_\_\_

Name Tim Rubin

Address 931 Haverford Road, Bryn Mawr, PA 19010

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ Cell \_\_\_\_\_

Email trubin1206@gmail.com

Designer: (Choose one) Engineer  Surveyor \_\_\_\_\_

Name William Daggett of Momence, Inc

Address 924 County Line Road, Bryn Mawr, PA 19010

Telephone (610) 527-3030 Fax \_\_\_\_\_

Email wdaggett@karinsengineering.com

Area of property 27,983 SF Area of disturbance Reconstruct in place

Number of proposed buildings 1 Proposed use of property Residential

Number of proposed lots 1

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary  Final \_\_\_\_\_ Revised \_\_\_\_\_  
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

Section 255-13 for a sketch plan. The project has been approved by the Zoning Hearing Board and is a reconstruction in place/ footprint. The two other buildings were already rehabbed and completed without requiring the SALDO process. This project will be through the same construction method.

Are there any infringements of Chapter 280 (Zoning), and if so what and why?

The lot is an existing non-conforming lot per setback requirements. The project development will be constructed in place, therefore not requiring additional construction measures. The Zoning Hearing Board has approved this project under Appeal No. 3046 dated October 17, 2019.

Individual/Corporation/Partnership Name

Glenbrook Avenue Investors, LLC

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature William Daggett

Print Name William Daggett

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

**DELAWARE COUNTY PLANNING COMMISSION**

**APPLICATION FOR ACT 247 REVIEW**

**Incomplete applications will be returned and will not be considered "received" until all required information is provided.**

Please type or print legibly

**DEVELOPER/APPLICANT**

Name Tim Rubin E-mail trubin1206@gmail.com

Address 931 Haverford Road, Bryn Mawr, PA 19010 Phone —

Name of Development 812-822 Glenbrook Avenue

Municipality Radnor Township

**ARCHITECT, ENGINEER, OR SURVEYOR**

Name of Firm Momenee, Inc Phone (610) 527-3030

Address 924 County Line Road, Bryn Mawr, PA 19010

Contact William Daggett E-mail wdaggett@karimsengineering.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District C-1

Tax Map # 36/41/202

Tax Folio # 36/05/03033/00

**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The existing building is a mixed-use building which was last a day care on the first floor with two residential units on the second floor. The proposed building will be three (3) residential units.

Total Site Area	<u>0.642</u>	Acres
Size of All Existing Buildings	<u>5,564</u>	Square Feet
Size of All Proposed Buildings	<u>5,564</u>	Square Feet
Size of Buildings to be Demolished	<u>1,771</u>	Square Feet

Tim Rubin  
Print Developer's Name

\_\_\_\_\_  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission      Regular Meeting \_\_\_\_\_

Local Governing Body            Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title of Designated Municipal Official

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Official's Signature

\_\_\_\_\_  
Date

**FOR DCPD USE ONLY**

Review Fee:            Check # \_\_\_\_\_      Amount \$ \_\_\_\_\_      Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**



924 County Line Road • Bryn Mawr, PA 19010  
 Phone: (610) 527-3030 • Fax: (610) 527-9008

From:	William Daggett wdaggett@karinsengineering.com	Date: 1/8/2020	Job No: 19-116
To:	Radnor Township 301 Iven Avenue Wayne, PA 19087	Attention: Mr. Steve Norcini, P.E.	Phone: 610-688-5600
		Re: 812-822 Glenbrook Avenue – Land Development Plan	

We are sending you the attached:

- Plans       Computer Disk       Specifications       Calculations  
 Copy of Letter       Change Order       Shop Drawings       Other

Copies	Date	No.	Description
26	1/6/2020	4	Land Development Plans
1	1/6/2020	1	SALDO Application
10	1/6/202	USB	Thumb Drive with Electronic Submittal
1	1/6/2020	1	PSA Fee
1	1/6/2020	1	Application Fee
-	-	-	
-	-	-	

These are transmitted as checked below:

- For Approval       Approved as Submitted       Resubmit \_\_\_\_\_ Copies for Approval  
 For Your Use       Approved as Noted       Submit \_\_\_\_\_ Copies for Distribution  
 As Requested       Returned for Corrections       Return \_\_\_\_\_ Corrected Prints  
 For Review and Comment: \_\_\_\_\_  
 For Bids Due:       Prints Returned After Loan to Us

Remarks:

Copy To: Patricia Sherwin

Signed: William Daggett, E.IT.



# Chicago Title Insurance Company

## COMMITMENT

File No. **BAC15-0091**

## SCHEDULE A

1. Commitment Date: **May 7, 2015**
2. Policy or Policies to be issued: Amount
  - (a) ALTA Owner's Policy (06-17-06), as modified by TIRBOP \$ **900,000.00**  
Proposed Insured:  
**TGR LLC, a Pennsylvania Limited Liability Company**
  - (b) \$  
Proposed Insured:
3. The estate or interest in the land described or referred to in this commitment and covered herein is Fee Simple and title thereto is at the effective date hereof vested in:

**Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation formerly known as BMH Realty Corporation, a Pennsylvania Non-Profit Corporation**

### As to Premises A

**Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1253 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.**

### As to Premises B, C and D

**Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1246 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.**

**And the said BMH Realty Corporation, a Pennsylvania non-profit corporation, is now known as Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation.**

Countersigned:

**Brandywine Abstract Company, LP  
615 Old Lancaster Road  
Bryn Mawr, PA 19010**

By: *Maurice Kelly Weston*  
Authorized Signatory



**SCHEDULE A**  
*(continued)*

File No. **BAC15-0091**

4. The land referred to in this commitment is described as follows:

*For informational purposes only:*

**214 Bryn Mawr Avenue (A), 812-814 Glenbrook Avenue (B), 816-818 Glenbrook Avenue (C),  
820-822 Glenbrook Avenue (D), Bryn Mawr, PA 19010  
Radnor Township  
County of Delaware**

**SEE CONTINUATION OF SCHEDULE A FOR LEGAL DESCRIPTION**



**SCHEDULE A**

*(continued)*

File No. **BAC15-0091**

**LEGAL DESCRIPTION**

PREMISES A: Parcel 1

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements there erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan thereof made by M.R. and J. B. Yerkes, made May 2, 1945 , as follows, to wit:

BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees 16 minutes West from its intersection with the middle of Haverford Road; thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 40.62 feet to a point ; thence partly crossing Bryn Mawr Avenue South 58 degrees, 31 minutes West 41.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Philadelphia and Western Railway the two following courses and distance, (1) North 31 degrees, 03 minutes West 182.76 feet to a point; (2) North 58 degrees, 2 minutes East 44.70 feet to a stone; thence along the Northeast side of a right of way 15.0 feet wide by other land of Anne Vauclain and others the four following courses and distances (1) South 37 degrees, 14 minutes East 115.10 feet to a stone (2) 52 degrees 45 minutes East 50.05 feet to a stone, (3) South 55 degrees, 02 minutes East 24.06 feet to a stone; (4) thence by land of Bryn Mawr Hospital, South 8 degrees 44 minutes East 17.23 feet to the place of beginning.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 to a point; (3) North 52 degrees, 45 minutes West 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances: (1) South 52 degrees, 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees 44 minutes Est 17.23 feet to the place of beginning.

BEING known as 214 Bryn Mawr Avenue.

Premises A: Parcel 2

ALL THAT CERTAIN Lot or piece of land with the tenement thereon erected, SITUATE in the Township of Radnor , County of Delaware and State of Pennsylvania, bounded and described according to a survey thereof made on June 6, 1899 by Samuel M. Garrigues, C.E., Bryn Mawr , Pennsylvania, as follows, to wit:

BEGINNING at a stake on the North side of Bryn Mawr Avenue in line of land now or late of Sophia Newlin; thence along the North side line of Bryn Mawr Avenue South eighty-one degrees, sixteen minutes West sixty-nine and ninety-two one-hundredths feet; thence by other land of which this was a part North eight degrees, forty-four minutes West six and three tenths feet; thence by land now or late of the Estate of J.T. McBride, North fifty-eight degrees, thirty-one minutes East seventy-five and eighty-nine one-hundredths feet; thence by land now or late of Sophia Newlin South eight degrees, forty-four minutes East thirty-six feet to the place of beginning.



**SCHEDULE A**

*(continued)*

File No. **BAC15-0091**

**PREMISES B:**

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, SITUATE in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Survey and Plan thereof made by Milton R. Yerkes, Civil Engineer, as of July 8, 1925, as follows, to wit:

BEGINNING at a point in the middle of Glenbrook Avenue a corner of this and land now or late of Frank Pietropaola at the distance of one hundred eighty-seven and eight-tenths feet Northwestwardly from the middle line of Bryn Mawr Avenue; thence by land now or late of Frank Pietropaola, South thirty-four degrees, fifty-eight minutes West, one hundred thirty and forty-two one-hundredths feet; thence by land now or late of Philip Harrison, et al, North fifty-two degrees, forty-five minutes West, fifty feet and five one-hundredths of a foot; thence North thirty-four degrees, fifty-eight minutes East, one hundred twenty-nine and fifty-two one-hundredths feet to the middle of Glenbrook Avenue; thence along the middle line of said Avenue, South fifty-three degrees, forty-eight minutes East, fifty feet to the place of beginning.

BEING KNOWN as No. 812-814 Glenbrook Avenue.

**PREMISES C:**

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M. R. and J. B. Yerkes, made May 2, 1945 as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue, now known as Railroad Avenue, said point is at the distance of 171.55 feet measured Northwesterly along the middle line of Glenbrook Avenue from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by land of Joseph Meth South 34 degrees, 58 minutes 129.50 feet to a stone in line of other land of Anne Vauclain; thence by said other land of Anne Vauclain the two following courses and distances (1) North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more fully described 49.3 feet to a stone; (2) North 40 degrees no minutes East 115.80 feet to a point in the middle of Glenbrook Avenue thence along the middle line of Glenbrook Avenue the two following courses and distances, (1) South 52 degrees 28 minutes East 16.06 feet to a point , (2) South 53 degrees 48 minutes East 20.44 feet to the place of beginning.

BEING known as 816-18 Glenbrook Avenue.

**PREMISES D:**

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M.R. and J. B. Yerkes, made May 2, 1945, as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue now known as Railroad, said point is at the distance of 208.05 feet measured Northwesterly along the middle line of Glenbrook Avenue, from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by other land of Anne Vauclain the two following courses and distances, (1) South 40 degrees no minutes West 115.80 feet to a stone; (2) thence North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more fully described 65.8 feet to a stone in line of land of the Philadelphia and Western Railway Company; thence by same North 58 degrees 02 minutes East 105.10 feet to a point in the middle of

**SCHEDULE A**  
*(continued)*

File No. **BAC15-0091**

Glenbrook Avenue; thence along the same South 52 degrees 28 minutes East 31.79 feet to the place of beginning.

BEING Known as 820-22 Glenbrook Avenue.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right-of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 feet to a point; (3) North 52 degrees, 45 minutes 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances, (1) South 52 degrees 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees, 44 minutes East 17.23 feet to the place of beginning.



**SCHEDULE B – SECTION 1**

File No. **BAC15-0091**

The following are the requirements to be complied with:

1. Instrument(s) satisfactory to us, creating the estate or interest to be insured must be executed, delivered and filed for record.
  - A. DEED FROM: Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation formerly known as BMH Realty Corporation, a Pennsylvania non-profit corporation  
 TO: TGR LLC, a Pennsylvania Limited Liability Company  
 DATED: \_\_\_\_\_  
 RECORDED: \_\_\_\_\_
  - B. MORTGAGE FROM: TGR LLC, a Pennsylvania Limited Liability Company  
 TO:  
 DATED: \_\_\_\_\_  
 RECORDED: \_\_\_\_\_
2. Payment of full consideration to or for the account of the grantors or mortgagors.
3. Payment of the premiums, fees and charges for the policy.
4. Possible unfiled mechanics liens and municipal claims.
5. Terms of any unrecorded lease or rights of parties in possession.
6. Proof that all natural persons in this transaction are of full age and legally competent.
7. Proof of identity of parties as set forth in Recital.
8. POWERS OF ATTORNEY: If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.
9. Proof that no parties to this transaction are involved in bankruptcy proceedings; if bankruptcy has been filed, same to be examined; possible additional requirements/exceptions to be added.
10. Satisfactory evidence should be provided that improvements and/or repairs or alterations thereto are completed; that contractor, sub-contractors, labor and materialmen are all paid; and have released of record all liens or notice of intent to perfect a lien for labor material.
11. TAXES:  
 Receipts for Township, County and School Taxes for the three prior years to be produced.  
 Township, County and School Taxes for the current year 2015  
 Assessment \$226,000.00 (A), \$230,270.00 (B), \$253,600.00 (C) and \$260,700.00 (D)  
 Tax ID / Parcel No. 36-05-02856-00 (A), 36-05-03031-00 (B), 36-05-03032-00 (C) and 36-05-03033-00 (D)
12. WATER AND SEWER RENTS:  
 Receipts for Water and Sewer Rents for the three prior years to be produced.  
 Water and Sewer Rents for the current year 2015.

Valid only if Schedules A and B-II are attached.



**SCHEDULE B – SECTION 1**  
*(continued)*

File No. **BAC15-0091**

13. MECHANICS AND MUNICIPAL CLAIMS: NONE
14. MORTGAGES: NONE
15. JUDGMENTS: NONE
16. Names of all relevant parties to the within real estate transaction to be searched prior to closing to verify that they are not Specially Designated Nationals subject to the provisions of President's Executive Order Targeting Terrorist Assets.
17. Owner's Affidavit on Company form to be executed by sellers or mortgagors and filed with Company.
18. Proof that Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation is the successor to BMH Realty Corporation, a Pennsylvania non-profit corporation
19. Articles of Incorporation or Charter of grantor corporation.
20. Proof that the Charter of grantor corporation is still in full force and effect.
21. By-Laws of grantor corporation.
22. Consent of governing body to this transaction, if required by By-Laws.
23. Certified copy of resolution of Board of Directors showing the proper majority (depending upon the number of Directors -2/3's majority if less than 21 or simple majority if 21 or over). authorizing the execution of the instrument to be insured in accordance with articles and By-Laws of Grantor Corporation.
24. Proof that the present transaction does not constitute a disposal of all or substantially all of the assets of the Grantor Corporation, otherwise compliance with Section 5930 of the Pennsylvania Nonprofit Corporation Act of 1988 must be had and adequate proof thereof furnished.
25. Proof of compliance with all requirements set forth in the operating agreement of TGR LLC, a Pennsylvania Limited Liability Company regarding the capacity and authority of members or managers to execute and deliver Mortgage for this transaction.
26. Certificate of organization (as amended) of TGR LLC, a Pennsylvania Limited Liability Company as filed with Pennsylvania Department of State and operating agreement (as amended) to be produced for review.
27. Taxes settled by the Commonwealth of Pennsylvania against mortgagor corporation.
28. Last Insured Not Available.

**SCHEDULE B – SECTION 2**File No. **BAC15-0091**

Schedule B of the policy or policies to be issued will contain the following exceptions unless the same are disposed of to the satisfaction of the Company.

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this report.
2. Rights or claims of parties in possession of the land not shown by the public record.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose.
5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.
6. Rights of the public and others entitled thereto in and to the use of that portion of the premises within the bounds of Glenbrook Avenue and Bryn Mawr Avenue.
7. Title to portion of premises hereon within the right of way of Philadelphia and Western Rail Road is excepted.
8. Rights granted to Philadelphia Electric Company in Deed Books 1477 page 499 and 2351 page 65.

Valid only if Schedules A and B-I are attached.

Prepared by and Return to:

Brandywine Abstract Company, LP  
615 Old Lancaster Road  
Bryn Mawr, PA 19010  
610-519-9300

File No. BAC15-0091

FOLIO # 36-05-02856-00 (A), 36-05-03031-00 (B),  
36-05-03032-00 (C) and 36-05-03033-00 (D)

**This Indenture**, made the 18<sup>th</sup> day of April, 2015,

**Between**

**MAIN LINE REALTY CORPORATION, A PENNSYLVANIA NON-PROFIT CORPORATION, FORMERLY KNOWN AS BMH REALTY CORPORATION**

(hereinafter called the Grantor), of the one part, and

**GLENBROOK AVENUE INVESTORS LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY**

(hereinafter called the Grantee), of the other part,

**Witnesseth**, that the said Grantor for and in consideration of the sum of **Eight Hundred Thousand And 00/100 Dollars (\$800,000.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee

PREMISES A: Parcel 1

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan thereof made by M.R. and J. B. Yerkes, made May 2, 1945 as follows, to wit:

BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle of Haverford Road. Thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 40.62 feet to a point; thence partly crossing Bryn Mawr Avenue South 58 degrees, 31 minutes West 41.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Philadelphia and Western Railway the two following courses and distance, (1) North 31 degrees, 03 minutes West 182.76 feet to a point; (2) North 58 degrees, 2 minutes East 44.70 feet to a stone; thence along the Northeast side of a right of way 15.0 feet wide by other land of Anne Vauclain and others the four following courses

and distances (1) South 37 degrees, 14 minutes East 115.10 feet to a stone (2) 52 degrees 45 minutes East 50.05 feet to a stone, (3) South 55 degrees, 02 minutes East 24.06 feet to a stone; (4) thence by land of Bryn Mawr Hospital, South 8 degrees 44 minutes East 17.23 feet to the place of beginning.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 to a point; (3) North 52 degrees, 45 minutes West 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances: (1) South 52 degrees, 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees 44 minutes East 17.23 feet to the place of beginning.

BEING known as 214 Bryn Mawr Avenue.

Premises A: Parcel 2

ALL THAT CERTAIN Lot or piece of land with the tenement thereon erected, SITUATE in the Township of Radnor , County of Delaware and State of Pennsylvania, bounded and described according to a survey thereof made on June 6, 1899 by Samuel M. Garrigues, C.E., Bryn Mawr , Pennsylvania, as follows, to wit:

BEGINNING at a stake on the North side of Bryn Mawr Avenue in line of land now or late of Sophia Newlin; thence along the North side line of Bryn Mawr Avenue South eighty-one degrees, sixteen minutes West sixty-nine and ninety-two one-hundredths feet; thence by other land of which this was a part North eight degrees, forty-four minutes West six and three tenths feet; thence by land now or late of the Estate of J.T. McBride, North fifty-eight degrees, thirty-one minutes East seventy-five and eighty-nine one-hundredths feet; thence by land now or late of Sophia Newlin South eight degrees, forty-four minutes East thirty-six feet to the place of beginning.

PREMISES B:

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, SITUATE in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Survey and Plan thereof made by Milton R. Yerkes, Civil Engineer, as of July 8, 1925, as follows, to wit:

BEGINNING at a point in the middle of Glenbrook Avenue, a corner of this and land now or late of Frank Pietropaola at the distance of one hundred eighty-seven and eight-tenths feet Northwestwardly from the middle line of Bryn Mawr Avenue; thence by land now or late of Frank Pietropaola, South thirty-four degrees, fifty-eight minutes West, one hundred thirty and forty-two one-hundredths feet; thence by land now or late of Philip Harrison, et al, North fifty-two degrees, forty-five minutes West, fifty feet and five one-hundredths of a foot; thence North thirty-four degrees, fifty-eight minutes East, one hundred twenty-nine and fifty-two one-hundredths feet to the middle of Glenbrook Avenue; thence along the middle line of said Avenue, South fifty-three degrees, forty-eight minutes East, fifty feet to the place of beginning.

BEING KNOWN as No. 812-814 Glenbrook Avenue.

PREMISES C:

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M. R. and J. B. Yerkes, made May 2, 1945 as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue, now known as Railroad Avenue, said point is at the distance of 171.55 feet measured Northwesterly along the middle line of Glenbrook Avenue from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by land of Joseph Meth South 34 degrees, 58 minutes 129.50 feet to a stone in line of other land of Anne Vauclain; thence by said other land of Anne Vauclain the two following courses and distances (1) North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more fully described 49.3 feet to a stone; (2) North 40 degrees no minutes East 115.80 feet to a point in the middle of Glenbrook Avenue thence along the middle line of Glenbrook Avenue the two following courses and distances, (1) South 52 degrees 28 minutes East 16.06 feet to a point , (2) South 53 degrees 48 minutes East 20.44 feet to the place of beginning.

BEING known as 816-18 Glenbrook Avenue.

PREMISES D:

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M.R. and J. B. Yerkes, made May 2, 1945, as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue now known as Railroad, said point is at the distance of 208.05 feet measured Northwesterly along the middle line of Glenbrook Avenue, from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by other land of Anne Vauclain the two following courses and distances, (1) South 40 degrees no minutes West 115.80 feet to a stone; (2) thence North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more

fully described 65.8 feet to a stone in line of land of the Philadelphia and Western Railway Company; thence by same North 58 degrees 02 minutes East 105.10 feet to a point in the middle of Glenbrook Avenue; thence along the same South 52 degrees 28 minutes East 31.79 feet to the place of beginning.

BEING Known as 820-22 Glenbrook Avenue.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right-of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 feet to a point; (3) North 52 degrees, 45 minutes 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances, (1) South 52 degrees 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees, 44 minutes East 17.23 feet to the place of beginning.

As to Premises A

Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1253 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.

As to Premises B, C and D

Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1246 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.

And the said BMH Realty Corporation, a Pennsylvania non-profit corporation, is now known as Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation.

UNDER AND SUBJECT to all covenants, conditions, restrictions, easements, rights of way and reservations of record, to the effect valid, subsisting and enforceable,

FURTHER UNDER AND SUBJECT to the following restrictions, covenants, and conditions, which shall run with the land:

For so long as Main Line Hospitals, Inc. or any of its affiliates or any of their respective successors or assigns owns or operates any of the land or properties known as the Bryn Mawr Hospital and its surrounding and adjacent campus, including without limitation, the hospital buildings, the Gerhard building, the Founder's Building, 825 Old Lancaster Road, or the North Medical Office Building, neither all nor any portion of the premises conveyed pursuant to this Deed shall be owned, leased, licensed or otherwise used by or for any Competing Business. For purposes hereof, "Competing Business" means any person or entity which engages in any of the following uses: hospitals, medical clinics, medical offices (including physician practices, physician groups, osteopathic, and podiatric offices and services), ambulatory care services, ambulatory surgery services, in-patient or out-patient or clinical services, physical therapy, work hardening, occupational therapy services, rehabilitation services, home health services, diagnostic imaging and other diagnostic or therapeutic services, clinical/reference laboratory services, health and welfare services, and academic medical centers, or any other business or practice providing health care services.;

**Together with** all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

**To have and to hold** the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever.

**Under and Subject**, as aforesaid.

**And** the said Grantor, for itself, its successors and assigns, does, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor, and its successors and assigns, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.

In Witness Whereof, the party of the first part has hereunto set its hand and seal. Dated the day and year first above written.

MAIN LINE REALTY CORPORATION, A PENNSYLVANIA NON-PROFIT CORPORATION, FORMERLY KNOWN AS BMH REALTY CORPORATION, A PENNSYLVANIA NON-PROFIT CORPORATION

By: [Signature]  
Name: John J. Lynch  
Title: President

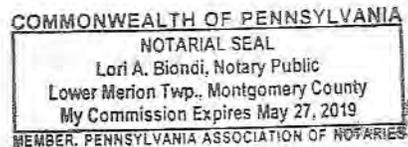
Commonwealth of Pennsylvania }  
County of ~~Delaware~~ Montgomery } ss

AND NOW, this 18 day of April, 2016 before me, the undersigned Notary Public, appeared John J. Lynch who acknowledged himself/herself to be the President (title) of Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation formerly known as BMH Realty Corporation, and he/she, as such President (title) being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as President (title).

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

Lori A. Biondi  
Notary Public  
My commission expires May 27, 2019

The precise residence and the complete post office address of the above-named Grantee is:



\_\_\_\_\_  
On behalf of the Grantee

# Deed

FOLIO # 36-05-02856-00 (A),  
36-05-03031-00 (B), 36-05-03032-00 (C)  
and 36-05-03033-00 (D)

Main Line Realty Corporation, a  
Pennsylvania Non-Profit Corporation  
formerly known as BMH Realty  
Corporation,  
TO

Glenbrook Avenue Investors LLC, a  
Pennsylvania Limited Liability Company

## PREMISES:

214 Bryn Mawr Avenue (A), 812-814  
Glenbrook Ave. (B), 816-818 Glenbrook  
Ave. (C), 820-822 Glenbrook Ave. (D),  
Bryn Mawr, PA 19010

Brandywine Abstract Company, LP  
615 Old Lancaster Road  
Bryn Mawr, PA 19010  
Telephone: 610-519-9300 Fax: 610-519-9301

January 22, 2020

Dear Neighbor,

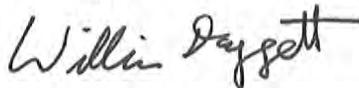
**RE: Land Development Application #2020-D-02  
812-822 Glenbrook Avenue – Preliminary Land Development Plan**

We have applied to Radnor Township for the approval of a Preliminary Land Development Plan at the above location to re-construct an existing mixed-use building with 2 residential units and a day care to a new-mixed use building with 3 residential units.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at a scheduled meeting on **Monday February 3, 2020**.

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087.

Sincerely,



William Daggett, EIT  
Staff Civil Engineer III

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BRYN MAWR  
16 N BRYN MAWR AVE  
BRYN MAWR, PA 19010-9998  
410992-0010  
(800)275-8777  
01/23/2020 12:59 PM

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Product	Qty	Unit Price	Price
CTOM - Firm - Domestic	49	\$0.41	\$20.09
CTOM - Firm - Domestic	38	\$0.41	\$15.58
CTOM - Firm - Domestic	49	\$0.41	\$20.09
Total:			\$55.76

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Debit Card Remit'd \$55.76  
(Card Name:VISA)  
(Account #:XXXXXXXXXX0043)  
(Approval #)  
(Transaction #:173)  
(Receipt #:013306)  
(Debit Card Purchase:\$55.76)  
(Cash Back:\$0.00)  
(AID:A0000000980840 Chip)  
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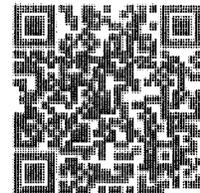
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1.	819 GLENBROOK AVE LLC 2301 PHEASANT HILL LA MALVERN, PA 19355													
2.	864 COUNTY LINE RD P O BOX 1 BRYN MAWR, PA 19010													
3.	934 COUNTY LINE ROAD ASSOCIATES LLC 934 COUNTY LINE RD BRYN MAWR, PA 19010													
4.	ALVARE GAYNOR PROPERTIES 890 COUNTY LINE RD													
5.	U.S. POSTAGE PAID BRYN MAWR, PA 19010 JAN 23, 20 AMOUNT \$20.09 R2305H127929-09													
6.	U.S. POSTAGE PAID BRYN MAWR, PA 19010 JAN 23, 20 AMOUNT \$20.09 R2305H127929-09													
7.	BARIKOE FAMILY TRUST P O BOX 484 BRYN MAWR, PA 19010													
8.	BENTZ PAMELA H 849 GLENBROOK AVE BRYN MAWR, PA 19010													

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1.		THE BIRTH CENTER 918 COUNTY LINE RD BRYN MAWR, PA 19010															
2.		BONO KATHARINE 857 GLENBROOK AVE BRYN MAWR, PA 19010															
3.		BOWMAN VALERIE B & SMITH KRISTINE B 716 AUBREY AVE ARDMORE, PA 19003															
4.		BOWMAN VALERIE 138 MONTROSE AVE #47 BRYN MAWR, PA 19010															
5.		BROWER RICHARD O JR 241 BRYN MAWR AVE BRYN MAWR, PA 19010															
6.		BRUNNER KEITH E & LISA SCARDECCHIO 891 GLENBROOK AVE BRYN MAWR, PA 19010															
7.		BRYN MAWR HOSPITAL REALTY CORP BRYN MAWR AVE BRYN MAWR, PA 19010															
8.		BRYN MAWR HOSPITAL REALTY CORP C/O HALFPENNY MGMT CO PO BOX 739 ARDMORE, PA 19003															
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1.	BUCHANAN PROPERTIES LLC 890 COUNTY LINE RD BRYN MAWR, PA 19010												
2.	CAMDEN PROPERTIES INC 132 BALA AVE BALA CYNWYD, PA 19004												
3.	CAMPANALE JOSEPH F 236 LANDOVER RD BRYN MAWR, PA 19010												
4.	CANTY CAMISHA 9 COURTNEY CIR BRYN MAWR, PA 19010												
5.	CANZATER JOAN C 723 BROOK ST BRYN MAWR, PA 19010												
6.	CARTLIDGE WILLIAM M 326 E MANOA RD HAVERTOWN, PA 19083												
7.	CARTER JANET B 232 LANDOVER RD BRYN MAWR, PA 19010												
8.	CARROLL EDNA & STEPHANIE L 721 BROOK ST BRYN MAWR, PA 19010												
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1.	CARVALHO LUCEMARE SANTOS 200 LANDOVER RD BRYN MAWR, PA 19010																	
2.	CHANDLER DANIEL J & AMANDA LYNN 13 BEATRICE DRIVE BRYN MAWR, PA 19010																	
3.	COFFEY JOHN L & GEORGEANN M 1717 TOWNE DR WEST CHESTER, PA 19380																	
4.	DAVIS CHRISTOPHER S 155 PENNSYLVANIA AVE BRYN MAWR, PA 19010																	
5.	DAVIS HUNTER B & KATHERYNE W 719 MILLER ST BRYN MAWR, PA 19010																	
6.	DDG DEVELOPMENT 2045 HOLLIS RD LANSDALE, PA 19446																	
7.	DEAN WILLIAM T 731 MOORE AVE BRYN MAWR, PA 19010																	
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1.	DIMARTINO YOLANDA 157 PENNSYLVANIA AVE BRYN MAWR, PA 19010															
2.	DRAGUS LINDA L & WOLF KEVIN D 727 MOORE AVE BRYN MAWR, PA 19010															
3.	GRAVES SHIRLEY P 718 BROOK ST BRYN MAWR, PA 19010															
4.	E HAVERFORD ASSOCIATES LLC 756-758 HAVERFORD ROAD BRYN MAWR, PA 19010															
5.	E HAVERFORD ASSOCIATES LLC 958 COUNTY LINE RD #201 BRYN MAWR, PA 19010															
6.	EXECUTIVE PROPERTY MANAGEMENT PO BOX 174 VILLANOVA, PA 19085															
7.	FALCONE CHARLES P 86 WEST EAGLE RD HAVERTOWN, PA 19083															
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1.	FIORILLO JOSEPH A & ELYSE J & DAVIS MICHAELA PO BOX 174 VILLANOVA, PA 19085		10 in value										
2.	FOSTER ROSE 711 MOORE AVE BRYN MAWR, PA 19010												
3.	FRANDSEN SIGRID M 212 LANDOVER RD BRYN MAWR, PA 19010												
4.	GARDNER FOX 919 GLENBROOK AVE BRYN MAWR, PA 19010												
5.	GARDNER FOX PENNINGTON REAL ESTATE PRTRSH 917 GLENBROOK AVE BRYN MAWR, PA 19010												
6.	GARDNER FOX & PENNINGTON REAL ESTATE PARTNERSHIP 925 GLENBROOK AVE BRYN MAWR, PA 19010												
7.	GLENBROOK AVENUE INVESTORS LLC 931 HAVERFORD ROAD BRYN MAWR, PA 19010												
8.	GLENCOUNTY LTD 1100 RED ROSE LANE VILLANOVA, PA 19085												

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1.	GOOD LIVING INVESTMENTS INC 510 DEER POINTE ROAD WEST CHESTER, PA 19382												
2.	GOTTFRIED MARC 722 MOORE AVE BRYN MAWR, PA 19010												
3.	GRAVES JERRY L & MARY E 717 MILLER ST BRYN MAWR, PA 19010												
4.	GROSS KENNETH S & KRISTINE L P O BOX 490 CONCORDVILLE, PA 19331												
5.	GROSSMAN ANNE B 8 BEATRICE DR BRYN MAWR, PA 19010												
6.	GUILLEN SINDY L 719 BROOK ST BRYN MAWR, PA 19010												
7.	HAHN TAE Y 2878 EASTBURN RD BROOMALL, PA 19008												
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2.		HARDY BENJAMIN & ELIZABETH 1270 S LEOPARD RD BERWYN, PA 19312																	
3.		HARRIS ALEXANDER L & SCHWEITZER JOHANNA C 216 LANDOVER RD BRYN MAWR, PA 19010																	
4.		HARSOULAS TINA & TSIHLAS HELEN H 883 MISSION WAY SACRAMENTO, CA 95819																	
5.		HEMCHER LISA M 261 WILLIAMS RD ROSEMONT, PA 19010																	
6.		HEMCHER JOHN J 317 ROCKINGHAM RD ROSEMONT, PA 19010																	
7.		HOPKO JOSEPH & NANCY C SHARTS 11 BEATRICE DR BRYN MAWR, PA 19010																	
8.		HYDROCEPHALUS EQUALITY ADVOCAC 1121 GREENTREE LA PENN VALLEY, PA 19072																	
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1.	INTERNATIONAL MATERIALS INC 936 COUNTY LINE RD BRYN MAWR, PA 19010																
2.	IRON KEY PROPERTIES LLC 728 MOORE AVE BRYN MAWR, PA 19010																
3.	JEFFIRES VIRGINIA W 713 MOORE AVE BRYN MAWR, PA 19010																
4.	JEWISH FEDERATION OF GREATER PHILADELPHIA 272 BRYN MAWR AVE BRYN MAWR, PA 19010																
5.	JEWISH FEDERATION OF GREATER PHILADELPHIA 2100 ARCH ST #700 PHILADELPHIA, PA 19103																
6.	JGVS LP 936 COUNTY LINE RD BRYN MAWR, PA 19010																
7.	JOY B MCGOWAN TRUST P O BOX 1180 BRYN MAWR, PA 19010																
8.	KEELEY SCOTT 205 ROLLING RD BROOMALL, PA 19008																
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1.	KERSTING ERASMUS KRITSOFFER & MAUREEN PATRICIA 2 BEATRICE DR BRYN MAWR, PA 19010												
2.	KULKARNI MONISH 1011 CHESTNUT ST #504E PHILADELPHIA, PA 19107												
3.	LARK PROPERTIES LLC 122 PIQUA CIRCLE BERWYN, PA 19312												
4.	LEE HOWARD & TRAN NGOC 911 GLENBROOK AVE BRYN MAWR, PA 19010												
5.	LI SCOTT & VOONG SARAH 719 MOORE AVE BRYN MAWR, PA 19010												
6.	LIND ROGER 344 S DEVON AVE WAYNE, PA 19087												
7.	LIU H EDWARD & NORA K 844 COUNTY LINE RD BRYN MAWR, PA 19010												
8.	LUETTGEN GARRETT & HENRICHSEN JENNIFER 939 GLENBROOK AVE BRYN MAWR, PA 19010												



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<b>MOMENEY, INC</b> 924 COUNTY LINE ROAD BRYN MAWR, PA 19010		1.	LUYAAS BRENT & CURTAZ JESSICA 725 MILLER ST BRYN MAWR, PA 19010												
		2.	MAD REAL ESTATE 360 LLC 5142 BOND AVE DREXEL HILL, PA 19026												
		3.	MALLON TERESA 848 COUNTY LINE RD BRYN MAWR, PA 19010												
		4.	MARENCO PEDRO J & KATHERINE N 7 BEATRICE DR BRYN MAWR, PA 19010												
		5.	MARCHESANI ANTHONY & ROBIN 1714 RIDGEWAY RD HAVERTOWN, PA 19083												
		6.	MASTRANGELO SALVATORE M 219 EXCALIBUR DRIVE NEWTOWN SQUARE, PA 19073												
		7.	MCCOWN DONALD A JR & GAIL B 909 GLENBROOK AVE BRYN MAWR, PA 19010												
		8.	MCGOWAN BRIAN J JR & BRENDAN M 937 GLENBROOK AVE BRYN MAWR, PA 19010												
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BRYN MAWR, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

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Postmark with Date of Receipt.

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	MILLER MERLINE 727 BROOK ST BRYN MAWR, PA 19010													
2.	MOFFA ANTHONY & LORI 214 LANDOVER RD BRYN MAWR, PA 19010													
3.	MUNGO DAVID C 223 BROOK ST BRYN MAWR, PA 19010													
4.	NORTON LAWRENCE J TRUST 734 MOORE AVE BRYN MAWR, PA 19010													
5.	PAONE ANTHONY 3330 MILL ROAD COLLEGEVILLE, PA 19426													
6.	PECO ENERGY COMPANY 2301 MARKET ST PHILADELPHIA, PA 19101													
7.	PHIBBS EMMA L & STELL BRYAN 144 PARK AVE - APT #1 SWARTHMORE, PA 19081													
8.	PICCHIONI CHARLES A 534 OLIVIA WAY LAFAYETTE HILL, PA 19444													



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U.S. POSTAGE PAID  
BRYN MAWR, PA  
19010  
JAN 23 20  
AMOUNT  
\$1.45  
R2305H127929-09

Handling Charge - if Registered and

Adult Signat

Adult Signat

Restrict

Restrict

Signature

Signature Confirmation Restrict

Special Handling

Postmaster, Per (Name of receiving employee)

Total Number of Pieces Listed by Sender 8

Total Number of Pieces Received at Post Office

Complete in Ink

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**Firm Mailing Book For Accountable Mail**

Name and Address of Sender

**MOMENEE, INC**  
**924 COUNTY LINE ROAD**  
**BRYN MAWR, PA 19010**

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
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1.	PIETROPAOLO JOSPEHINA 2712 S KENT RD BROOMALL, PA 19008													
2.	POPOV ANATOLIY VELTEROVICH & ANIKEYEVA NADEZHDA NIKOLAYEVNA 6 BEATRICE DR BRYN MAWR, PA 19010													
3.	PORTER DANIEL R 717 MOORE AVE BRYN MAWR, PA 19010													
4.	QUINN JAMES C & ANDREA S 727 MILLER ST BRYN MAWR, PA 19010													
5.	RADWYN APARTMENTS LP 18TH & WALNUT STS PHILA, PA 19103													
6.	RAMUS DANA MANON 846 COUNTYLINE RD BRYN MAWR, PA 19010													
7.	RAYCHAUDHURI SUBHASHIS & MAO WEN 5 BEATRICE DR BRYN MAWR, PA 19010													
8.	ROBINSON JOHN F & YOUNG MARGARET O 206 LANDOVER RD BRYN MAWR, PA 19010													
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office												

**U.S. POSTAGE PAID**  
**BRYN MAWR, PA**  
**JAN 23, 20**  
**AMOUNT**  
**\$1.45**  
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Handling Charge - If Registered and over

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 Return Rece  
 Signature Confi  
 Signature Confirmation Restricted Delivery  
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Postmaster, Per (Name of receiving employee)



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**MOMENEE, INC**  
**924 COUNTY LINE ROAD**  
**BRYN MAWR, PA 19010**

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  - Priority Mail Express
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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge - if \$50,000 in value	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	ROSELLE CHRISTOPHER & MORGAN C 721 MOORE AVE BRYN MAWR, PA 19010													
2.	SAEEDI NAHAL 712 BROOK ST BRYN MAWR, PA 19010													
3.	SAUNDERS GERTRUDE 742 HAVERFORD RD BRYN MAWR, PA 19010													
4.	SETTY MURALIKRISHNA & KODEBOYINA RADHIKA 4 BEATRICE DR BRYN MAWR, PA 19010													
5.	LINDA & MICHAEL SCHADE LLC 421 N ROSE LA HAVERFORD, PA 19041													
6.	SCHOFIELD GEORGE J IV 726 MOORE AVE BRYN MAWR, PA 19010													
7.	SEPTA 69TH STREET BLVD UPPER DARBY, PA 19082													
8.	SHEA JOHN M 653 RADNOR VALLEY DR VILLANOVA, PA 19085													

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Postmaster, Per (Name of receiving employee)

Total Number of Pieces Listed by Sender: **8**

PS Form 3877, January 2017 (Page 1 of 2)

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PSN 7530-02-000-9098



**Firm Mailing Book For Accountable Mail**

Name and Address of Sender

**MOMENEE, INC**  
**924 COUNTY LINE ROAD**  
**BRYN MAWR, PA 19010**

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*(for additional copies of this receipt).*  
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  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
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  - Insured Mail
  - Priority Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	(Extra Service) Fee	Handling Charge - If Registered and Insured Value	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	SHEA JOHN M 1 STONEHENGE LN MALVERN, PA 19355												
2.	SHEWALE SWAPNIL V & SONAWANE POONAM S 234 LANDOVER RD BRYN MAWR, PA 19010												
3.	SHI HENG 1 BEATRICE DR BRYN MAWR, PA 19010												
4.	SISTERS TO SONS LLC 881 GLENBROOK AVE BRYN MAWR, PA 19010												
5.	SOUTH BRYN MAWR AVE ASSOC LLC 245 BRYN MAWR AVENUE BRYN MAWR, PA 19010												
6.	SMITH JEFFREY & PAUL 432 PENN VALLEY RD NARBERTH, PA 19072												
7.	STRAIN ROBERT BRIAN 900 GLENBROOK AVE BRYN MAWR, PA 19010												
8.	STRAYER SUZETT 410 ROSLYN LA WYNNWOOD, PA 19096												
Total Number of Pieces Listed by Sender <b>8</b>		Total Number of Pieces Received at Post Office											

U.S. POSTAGE PAID  
 BRYN MAWR, PA  
 19010  
 JAN 23, 20  
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**Firm Mailing Book For Accountable Mail**

Name and Address of Sender		Check type of mail or service		Affix Stamp Here (for additional copies of this receipt). Postmark with Date of Receipt.													
USPS Tracking/Article Number		Addressee (Name, Street, City, State, & ZIP Code™)		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
MOMENEY, INC 924 COUNTY LINE ROAD BRYN MAWR, PA 19010		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery															
1.		WATTLES JR RICHARD G & KAREN E 593 UPPER GULPH ROAD WAYNE, PA 19087															
2.		WAWA INC 260 BALTIMORE PIKE WAWA, PA 19063															
3.		THE WDE GROUP LLC 676 GLENMARY RD WAYNE, PA 19087															
4.		WOLF KEVIN D & JENNIFER T 725 MOORE AVE BRYN MAWR, PA 19010															
5.		WOOTTEN NATHAN VAN 905 DELMONT DR WYNNWOOD, PA 19096															
6.		WORK AT COLAB LLC 450 WARICK RD WYNNWOOD, PA 19096															
7.		WRIGHT ALAN & KLINE PAULA 714 MOORE AVE BRYN MAWR, PA 19010															
8.		ZEALOR MARGARET A 723 MOORE AVE BRYN MAWR, PA 19010															
Total Number of Pieces Listed by Sender		Postmaster, Per (Name of receiving employee)															
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BRYN MAWR, PA  
19010  
JAN 23, 2017  
SP \$1.45  
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**924 COUNTY LINE ROAD**  
**BRYN MAWR, PA 19010**

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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if	ASR Fee	ASRD Fee	RD Fee	RR	SC	SCRD	SH Fee
1.	SWAHN JOHN F 730 MOORE AVE BRYN MAWR, PA 19010												
2.	TGR LLC 744 PROVIDENCE RD MALVERN, PA 19355												
3.	TOGNINI GINA 212 WASHINGTON AVE NEWTOWN, PA 18940												
4.	TUCKER BERNICE 204 LANDOVER RD BRYN MAWR, PA 19010												
5.	VENUTO JOSEPH C & CAROL M 114 SYCAMORE DR LANGHORNE, PA 19053												
6.	VILLANOVA INVESTMENT LLC 1576 MCDANIEL DR WEST CHESTER, PA 19380												
7.	WAN Y SHIH & WEI-HENG SHIH 641 HEATHER LA BRYN MAWR, PA 19010												
8.	WALTERS MELETA 208 LANDOVER RD BRYN MAWR, PA 19010												

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OWNER/APPLICANT:  
 GLENBROOK AVENUE INVESTORS, LLC  
 C/O TIMOTHY R. RUBIN  
 931 HAVERFORD ROAD  
 BRYN MAWR, PA 19010

- PLAN NOTES:**
1. THE INTENTION OF THIS PLAN IS TO SHOW THE PROPOSED DEMOLITION OF THE EXISTING BUILDING NOT IN USE. THE LOT WAS APPROVED FOR A THREE BUILDING RENOVATION/REHAB WHICH INCLUDED A TOTAL OF 14 APARTMENT UNITS. TWO OF THE THREE BUILDINGS HAVE BEEN RENOVATED AND ARE CURRENTLY IN USE. THE LAST BUILDING HAS BEEN DEEMED UNSUITABLE FOR RENOVATION BY A STRUCTURAL ENGINEER.
  2. THE EXISTING BUILDING TO BE DEMOLISHED WAS PREVIOUSLY A MIXED-USE BUILDING CONSISTING OF TWO RESIDENTIAL UNITS ON THE SECOND FLOOR AND A COMMERCIAL UNIT ON THE FIRST FLOOR.
  3. THE RADNOR TOWNSHIP ZONING HEARING BOARD GRANTED APPROVAL FOR CONSTRUCTION OF A THREE-UNIT RESIDENTIAL BUILDING UNDER APPEAL NO. 3046 DATED OCTOBER 17, 2019 PER THE FOLLOWING TWO (2) LIMITATIONS:
    - 3.1. THE PROPOSED NEW STRUCTURE REPLACING THE EXISTING BUILDING SHALL BE ON THE SAME FOOTPRINT AS THE EXISTING BUILDING.
    - 3.2. THE SQUARE FOOTAGE OF THE NEW BUILDING, INCLUDING PARKING, SHALL BE NO GREATER THAN THE EXISTING BUILDING.
  4. AN INTERIOR SQUARE-FOOTAGE SURVEY OF THE EXISTING BUILDING TO BE DEMOLISHED WAS COMPLETED BY MOMENEE, INC ON AUGUST 25, 2019.
    - 4.1. EXISTING BUILDING SQUARE FOOTAGE = 3,666 SF

**ZONING DISTRICT C-1: (LOCAL COMMERCIAL DISTRICT)**

LOT SIZE	15,000 SF MIN
WIDTH	100' MIN
BUILDING AREA**	25% MAX
FRONT YARD**	20' MIN
SIDE YARD**	20' MIN
REAR YARD**	35% OF LOT DEPTH
BUILDING HEIGHT	35' MAX
IMPERVIOUS COVERAGE**	60% MAX

\*\*LOT IS EXISTING NONCONFORMING TO TOWNSHIP CODE REQUIREMENTS. BUILDINGS WERE APPROVED TO BE RENOVATED FOR APARTMENT UNITS AS LISTED ON THE PLANS PER PARKING REQUIREMENTS WERE MET.

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

- REFERENCE PLANS:**
1. THIS PLAN IS REFERENCED FROM THE RADNOR TOWNSHIP APPROVED "GRADING PERMIT PLANS FOR GLENBROOK AVENUE INVESTMENTS, LLC 812-822 GLENBROOK AVENUE" DATED 04/28/16 LAST REVISED 9/12/16.

**EXISTING IMPERVIOUS COVERAGE:**

HOUSE	5,871 SF (23.47%)
HARD SCAPE	12,190 SF
TOTAL	18,061 SF (72.50%)

\*\*IMPERVIOUS COVERAGE WILL NOT CHANGE WITH PROPOSED BUILDING

**EXISTING PARKING CALCULATION:**

\*PER TOWNSHIP PARKING CODE §280-103.B(1)-DWELLINGS

2 SPACES PER DWELLING UNIT	14 DWELLING UNITS = 28 SPACES REQUIRED
TOTAL PARKING PROVIDED	= 29 SPACES
*INCLUDING 2 HANDICAP SPACES	

**TAX PARCEL NUMBER:**  
 PREMISE A: 214 BRYN MAWR AVENUE, PARCEL ID #36-05-02856-00  
 PREMISE B: 812-814 GLENBROOK AVENUE, PARCEL ID #36-05-03031-00  
 PREMISE C: 816-818 GLENBROOK AVENUE, PARCEL ID #36-05-03032-00  
 PREMISE D: 820-822 GLENBROOK AVENUE, PARCEL ID #36-05-03033-00  
 \*LOTS WERE PREVIOUSLY CONSOLIDATED PER REQUEST OF RADNOR TOWNSHIP

**SOURCE OF DEED:**  
 FILE NO. BAC15-0091

**TOTAL AREA: (TO THE TITLE LINE)**  
 27,983 S.F.

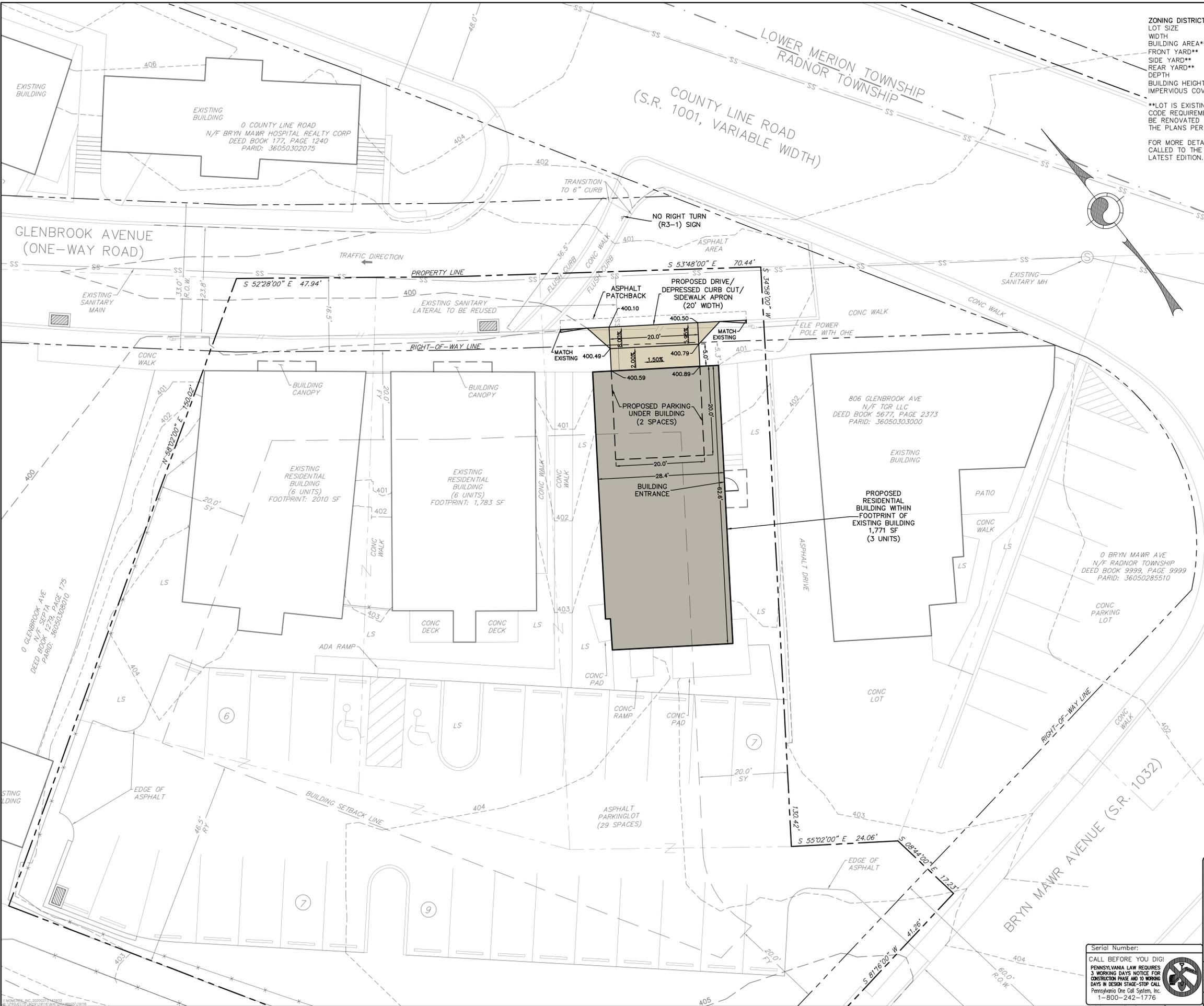
**NET AREA: (TO THE ROAD R/W)**  
 24,912 S.F. (0.572 ACRES)

**LINE/TYPE LEGEND**

(Dashed line)	EXISTING PROPERTY LINE
(Dashed line)	EXISTING RIGHT OF WAY
(Dashed line)	EXISTING BUILDING SETBACK
(Dashed line)	EXISTING FENCE
(Dashed line)	EXISTING EASEMENT
(Dashed line)	EXISTING EDGE OF CONCRETE
(Dashed line)	EXISTING ADJOINER PROPERTY LINE
(Dashed line)	EXISTING TOWNSHIP LINE
(Dashed line)	CONSOLIDATED PROPERTY LINE
(Dashed line)	EXISTING 2' CONTOUR
(Dashed line)	EXISTING 10' CONTOUR
(Dashed line)	EXISTING STORM PIPES
(Hatched area)	TO BE REMOVED
(Solid area)	EXISTING BUILDING
(Solid area)	EXISTING CONCRETE
(Solid area)	EXISTING ASPHALT
(Solid area)	EXISTING LANDSCAPE

EXISTING CONDITIONS/DEMOLITION		FILE NO.:	19-116
 ENGINEERING   PLANNING   SURVEYING 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030			
LAND DEVELOPMENT PLAN			
<b>812-822 GLENBROOK AVE</b>			
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA			
ONE-CALL:	20160630801	OWNER/APPLICANT:	TIM RUBIN
DRAWN BY:	WOD	931 HAVERFORD ROAD	
CHECKED BY:	DRF	BRYN MAWR, PA 19010	
SHEET	1	OF 4	
DATE:	JANUARY 6, 2020	SCALE:	1" = 10'

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**ZONING DISTRICT C-1: (LOCAL COMMERCIAL DISTRICT)**  
 LOT SIZE 15,000 SF MIN  
 WIDTH 100' MIN  
 BUILDING AREA\*\* 25% MAX  
 FRONT YARD\*\* 20' MIN  
 SIDE YARD\*\* 20' MIN  
 REAR YARD\*\* 35% OF LOT  
 DEPTH 35' MAX  
 BUILDING HEIGHT 60% MAX  
 IMPERVIOUS COVERAGE\*\*

\*\*LOT IS EXISTING NONCONFORMING PER TOWNSHIP CODE REQUIREMENTS. BUILDINGS WERE APPROVED TO BE RENOVATED FOR RESIDENTIAL UNITS AS NOTED ON THE PLANS PER PARKING REQUIREMENTS ARE MET.

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.



**PLAN NOTES:**

1. THE INTENTION OF THIS PLAN IS TO SHOW THE PROPOSED CONSTRUCTION OF THE THREE-UNIT RESIDENTIAL BUILDING. THE PROPOSED BUILDING WILL INCLUDE TWO (2) PARKING SPACES ON THE FIRST FLOOR ALONG WITH RESIDENTIAL AREA/ACCESS. THE SECOND FLOOR WILL CONSIST OF RESIDENTIAL UNITS NOT TO EXCEED THE APPROVED THREE-UNIT MAXIMUM.
2. THE PROPOSED BUILDING PARKING ACCESS WILL BE FROM GLENBROOK AVENUE.
3. THE EXISTING SIDEWALK AND CURB ALONG THE FRONTAGE OF THE PROPOSED BUILDING WILL BE RECONSTRUCTED IN PLACE TO ACCOMMODATE FOR ACCESS TO THE PROPOSED PARKING WITHIN THE BUILDING.
4. THE PROPOSED BUILDING HEIGHT WAS DISCUSSED WITH THE ZONING HEARING BOARD AND CONCLUDED NOT TO EXCEED THE ADJACENT RESIDENTIAL BUILDING HEIGHTS ALONG WITH MEETING ALL OTHER ZONING REQUIREMENTS.
5. THE RADNOR TOWNSHIP ZONING HEARING BOARD GRANTED APPROVAL FOR CONSTRUCTION OF A THREE-UNIT RESIDENTIAL BUILDING UNDER APPEAL NO. 3046 DATED OCTOBER 17, 2019 PER THE FOLLOWING TWO (2) LIMITATIONS:
  - 5.1. THE PROPOSED NEW STRUCTURE REPLACING THE EXISTING BUILDING SHALL BE ON THE SAME FOOTPRINT AS THE EXISTING BUILDING.
  - 5.2. THE SQUARE FOOTAGE OF THE NEW BUILDING, INCLUDING PARKING, SHALL BE NO GREATER THAN THE EXISTING BUILDING.

**UTILITY NOTES:**

1. THE PROPOSED BUILDING WILL REUSE THE EXISTING BUILDING UTILITY CONNECTIONS IN THE SAME MANNER AND LOCATION.

**REFERENCE PLANS:**

1. THIS PLAN IS REFERENCED FROM THE APPROVED "GRADING PERMIT PLANS FOR GLENBROOK AVENUE INVESTMENTS, LLC 812-822 GLENBROOK AVENUE" DATED 04/28/16 LAST REVISED 9/12/16.

**TOTAL AREA: (TO THE TITLE LINE)**

27,983 SF

**NET AREA: (TO THE ROAD R/W)**

24,912 SF

**EXISTING IMPERVIOUS COVERAGE:**

HOUSE	5,871 SF (23.47%)
HARD SCAPE	12,190 SF
TOTAL	18,061 SF (72.50%)

**PROPOSED IMPERVIOUS COVERAGE:**

HOUSE	5,871 SF (23.47%)
HARD SCAPE	12,190 SF
TOTAL	18,061 SF (72.50%)

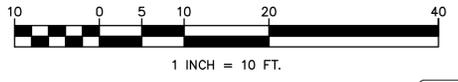
\*\*IMPERVIOUS COVERAGE WILL NOT CHANGE WITH PROPOSED BUILDING/CONSTRUCTION

**PROPOSED PARKING CALCULATION:**

\*PER TOWNSHIP PARKING CODE §280-103.B(1)-DWELLINGS  
 2 SPACES PER DWELLING UNIT  
 15 DWELLING UNITS = 30 SPACES REQUIRED  
 TOTAL PARKING PROVIDED = 31 SPACES  
 \*INCLUDING 2 HANDICAP SPACES

**LINE TYPE LEGEND**

	EXISTING ADJOINER PROPERTY LINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY
	EXISTING BUILDING SETBACK
	EXISTING FENCE
	EXISTING EASEMENT
	EXISTING EDGE OF CONCRETE
	EXISTING SOILS
	EXISTING TOWNSHIP LINE
	EXISTING TREE LINE
	EXISTING 2' CONTOUR
	EXISTING 10' CONTOUR
	EXISTING STORM PIPES
	IMPERVIOUS TO BE REMOVED
	PROPOSED CONCRETE
	PROPOSED BUILDING
	EXISTING BUILDING
	SPOT ELEVATION



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Serial Number:  
 CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE-STOP CALL  
 Pennsylvania One Call System, Inc.  
 1-800-242-1776

<b>PROPOSED SITE PLAN</b>  ENGINEERING   PLANNING   SURVEYING 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030		FILE NO.: 19-116  REGISTERED PROFESSIONAL ENGINEER DAVID R. FIORELLO ENGINEER PE027479E
LAND DEVELOPMENT PLAN <b>812-822 GLENBROOK AVE</b> RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA		
ONE-CALL: 20160630801 DRAWN BY: WOD CHECKED BY: DRF	OWNER/APPLICANT TIM RUBIN 931 HAVERFORD ROAD BRYN MAWR, PA 19010	SHEET <b>2</b> OF 4 DATE: JANUARY 6, 2020 SCALE: 1" = 10'

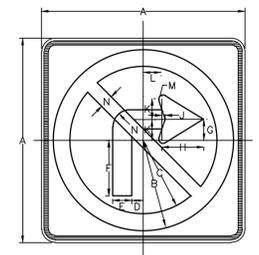


LOCATION MAP  
SCALE: 1" = 2,000'

**LINETYPE LEGEND**

---	EXISTING PROPERTY LINE
- - - -	EXISTING RIGHT OF WAY
- - - - -	EXISTING BUILDING SETBACK
- x - x - x	EXISTING FENCE
- . - . - .	EXISTING EASEMENT
- - - - -	EXISTING EDGE OF CONCRETE
- . . . - .	EXISTING SOILS
- - - - -	EXISTING TOWNSHIP LINE
- - - - -	EXISTING TREE LINE
- - - - -	EXISTING 2' CONTOUR
- - - - -	EXISTING 10' CONTOUR
- - - - -	EXISTING STORM PIPES
---	PROPOSED CONCRETE
---	PROPOSED BUILDING
---	EXISTING BUILDING
---	EXISTING CONCRETE
---	EXISTING ASPHALT
---	EXISTING LANDSCAPE

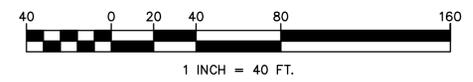
NO RIGHT TURN SIGN (R3-1)



COLOR : ARROW AND BORDER BLACK (NON-REFLECTORIZED)  
CIRCLE AND DIAGONAL RED (REFLECTORIZED)  
BACKGROUND WHITE (REFLECTORIZED)

SIGN SIZE	DIMENSIONS												
	A	B	C	D	E	F	G	H	J	K	L	M	N
24x24	24	10.5	8.5	1.5	2.5	6.5	2.75	5.0625	0.375	2.875	2.4375	0.50	2

SIGN SIZE	MAR-GIN	BDR-DER	BLANK-STD
24x24	0.375	0.625	B3-24



**ZONING DISTRICT C-1: (LOCAL COMMERCIAL DISTRICT)**  
 LOT SIZE 15,000 SF MIN  
 WIDTH 100' MIN  
 BUILDING AREA\*\* 25% MAX  
 FRONT YARD\*\* 20' MIN  
 SIDE YARD\*\* 20' MIN  
 REAR YARD\*\* 35% OF LOT  
 DEPTH 35' MAX  
 BUILDING HEIGHT 60' MAX  
 IMPERVIOUS COVERAGE\*\* 60% MAX

\*\*LOT IS EXISTING NONCONFORMING TO TOWNSHIP CODE REQUIREMENTS. BUILDINGS WERE APPROVED TO BE RENOVATED FOR APARTMENT UNITS AS LISTED ON THE PLANS PER PARKING REQUIREMENTS WERE MET.

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

**PLAN NOTES:**  
 THE INTENTION OF THIS PLAN IS TO SHOW THE LOCATION OF EXISTING AND PROPOSED BUILDINGS/IMPERVIOUS COVER WITHIN THE SURROUNDING VICINITY.

TOTAL AREA: (TO THE TITLE LINE) 27,983 SF  
 NET AREA: (TO THE ROAD R/W) 24,912 SF

**SOILS INFORMATION**

SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DRAINAGE	DEPTH TO WATER TABLE	DEPTH TO BEDROCK
Uu9B	URBAN LAND-GLENELG COMPLEX	0 TO 8 PERCENT SLOPES	C	WELL DRAINED	≥ 5.0'	2-6 FT

\*\*ENTIRE SITE IS WITHIN AND SURROUNDED BY URBAN LAND-UDORTHERTS (Uu9B) SOILS.

Serial Number: 

CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

VICINITY MAP		FILE NO.:	19-116
 <b>MOMENEES, INC.</b> a Karins Company ENGINEERING   PLANNING   SURVEYING 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030			
LAND DEVELOPMENT PLAN <b>812-822 GLENBROOK AVE</b> RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA			
ONE-CALL:	20160630801	OWNER/APPLICANT:	TIM RUBIN
DRAWN BY:	WOD	931 HAVERFORD ROAD	BRYN MAWR, PA 19010
CHECKED BY:	DRF		
REVISIONS PER TOWNSHIP REVIEW	DATE	COMMENTS	
		SHEET	3 OF 4
		DATE:	JANUARY 6, 2020
		SCALE:	1" = 40'

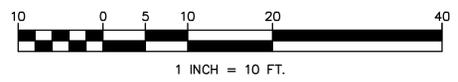


OWNER/APPLICANT:  
 GLENBROOK AVENUE INVESTORS, LLC  
 C/O TIMOTHY R. RUBIN  
 931 HAVERFORD ROAD  
 BRYN MAWR, PA 19010

PLAN NOTES:  
 THE INTENTION OF THIS PLAN IS TO SHOW THE EROSION & SEDIMENT CONTROL MEASURES USED DURING THE RECONSTRUCTION IN PLACE OF THE PROPOSED PROJECT.

- LINETYPE LEGEND**
- EXISTING PROPERTY LINE
  - EXISTING RIGHT OF WAY
  - EXISTING BUILDING SETBACK
  - - - EXISTING FENCE
  - - - EXISTING EASEMENT
  - - - EXISTING EDGE OF CONCRETE
  - - - EXISTING ADJOINER PROPERTY LINE
  - - - EXISTING TOWNSHIP LINE
  - - - CONSOLIDATED PROPERTY LINE
  - - - EXISTING 2' CONTOUR
  - - - EXISTING 10' CONTOUR
  - - - EXISTING STORM PIPES
- PROPOSED CONCRETE** (hatched pattern)
- PROPOSED BUILDING** (solid grey)
- EXISTING BUILDING** (solid brown)
- EXISTING CONCRETE** (solid tan)
- EXISTING ASPHALT** (solid light blue)
- EXISTING LANDSCAPE** (solid green)
- SPOT ELEVATION** (e.g., 400.95)

- E&S LEGEND**
- SILT FENCE OR SILT SOCK (dashed line with vertical bars)
  - INLET PROTECTION (sun symbol)



COPYRIGHT: THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE REPRODUCED OR USED FOR ANY PURPOSES WITHOUT THE WRITTEN PERMISSION OF MOMENEE, INC. ALL RIGHTS RESERVED. APPROVED, SIGNED AND SEALED PLANS SHALL BE VALID FOR CONSTRUCTION PURPOSES. ©MOMENEE, INC. 2020

EROSION AND SEDIMENT CONTROL PLAN		FILE NO.:	19-116
 <b>MOMENEE, INC.</b> a Karins Company ENGINEERING   PLANNING   SURVEYING 924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030			
LAND DEVELOPMENT PLAN			
<b>812-822 GLENBROOK AVE</b>			
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA			
ONE-CALL:	20160630801	OWNER/APPLICANT:	TIM RUBIN
DRAWN BY:	WOD	931 HAVERFORD ROAD	BRYN MAWR, PA 19010
CHECKED BY:	DRF		
REVISIONS PER TOWNSHIP REVIEW	DATE	COMMENTS	
1	02/13/20		
SHEET <b>4</b> OF 4			DATE: JANUARY 6, 2020
			SCALE: 1" = 10'

**ORDINANCE NO. 2020-09**

**AN ORDINANCE OF THE BOARD OF COMMISSIONERS OF THE TOWNSHIP OF RADNOR AMENDING AND RESTATING ARTICLE I, CHAPTER 260 OF THE RADNOR TOWNSHIP CODE, RELATING TO THE AMUSEMENT TAX.**

*WHEREAS*, the Board of Commissioners of Radnor Township, pursuant to the authority of the Local Tax Enabling Act 53 P.S. §6924.101 *et seq.*, as amended, and the Radnor Township Home Rule Charter, wishes to improve administration and enforcement of the Amusement Tax; and

*WHEREAS*, the Board wishes to keep the subject and rate of the Amusement Tax the same as has been historically imposed by the Township;

*NOW THEREFORE, IT IS HEREBY ENACTED AND ORDAINED* by the Board of Commissioners of Radnor Township, as follows:

**Section 1.** Article I of Chapter 260 of the Radnor Township Code is hereby repealed in its entirety and replaced with the following:

**Article I. Amusement Tax**

**§260-1. Intent; statutory authority.**

The Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, under and by virtue of the authority vested in it by the Act of December 31, 1965, being Act No. 511 and known as the "Local Tax Enabling Act,"**[1]** does hereby ordain that a tax to provide revenue for general Township purposes is hereby levied, assessed and imposed upon the privilege of attending or engaging in the amusements in the Township of Radnor, in accordance with the following.

*[1] Editor's Note: See 53 P.S. §6924.101 et seq.*

**§ 260-2. Title.**

This article shall be known and may be cited as the "Radnor Township Amusement Tax Ordinance."

**§ 260-3. Definitions and word usage.**

A. Definition of terms. As used in this article, the following terms shall have the meanings indicated, except where the context clearly indicates a different meaning:

**Amusement** - means all manner and forms of entertainment, including, among others, theatrical or operatic performances, concerts,, vaudeville, circus, carnival and sideshows, all forms of entertainment at fairgrounds and amusement parks, athletic contests, including wrestling matches, boxing and sparring exhibitions, football, basketball, and baseball games, skating, golfing, tennis, hockey, bathing,

swimming, archery, shooting, riding, dancing, rowing, bowling, billiards, pool and all other forms of diversion, sport, recreation or pastime, shows, exhibitions, contests, displays and games and all other methods of obtaining admission charges, donations, contributions or monetary charges of any character from the general public or a limited or selected number thereof, directly or indirectly in return for other than tangible property or specific personal or professional services.

**Association** – means any partnership, limited partnership or other forms of unincorporated enterprise owned by two or more persons.

**Established Price** – means the regular monetary charges of any character whatsoever, including donations, contributions and dues or membership fees (periodical or otherwise), fixed and exacted or in any manner received by producers, as herein defined, from the general public or a limited or selected number thereof, directly or indirectly, for the privilege to attend or engage in any entertainment or amusement, provided that when such entertainment or amusement is conducted at any place where the charge for admission is wholly or in part included in the price paid for refreshment, services or merchandise, the amount paid for admission to such amusement shall be deemed to be 50% of the amount paid for refreshment, service and merchandise.

**Finance Director** – means the Finance Director of the Township of Radnor, or his duly authorized agent.

**Person** – means every natural person, proprietorship, partnership, association, limited liability company, corporation or other legally recognized entity. Whenever used in any clause prescribing or imposing a penalty, the term "person" as applied to partnerships or other associations shall mean the partners or members thereof, and as applied to corporations, the officers and directors thereof.

**Place of Amusement** - means any place, indoors or outdoors, within the Township, where the general public or a limited or selected number thereof may, upon payment of an established price, attend or engage in any amusement as herein defined, including, among others, theaters, opera houses, amusement parks, stadia, arenas, baseball parks, skating rinks, circus or carnival tents or grounds, fairgrounds, social, sporting, athletic, riding, gun or country clubs, riding academies, golf courses, golf driving ranges, miniature golf courses, bathing and swimming places, dance halls, tennis courts, archery, rifle or shotgun ranges, bowling alleys, pool and billiard parlors, gardens, cabarets, nightclubs and other restaurants where amusement or entertainment is provided, and other like places.

**Producer** – means any person, as herein defined, conducting an amusement event or operating any place of amusement, as herein defined, where the general public or a limited or selected number thereof may, upon the payment of an established price, attend or engage in any amusement.

**Temporary or Itinerant Amusement** – means any amusement with a duration of less than 60 consecutive calendar days.

**Township** – means the Township of Radnor, Delaware County, Pennsylvania.

- B. Word usage. The singular shall include the plural, and the masculine shall include the feminine and neuter.

**§ 260-4. Amusement permit required.**

On and after the effective date of this article, it shall be unlawful for any producer to continue to conduct or thereafter to begin to conduct any form of amusement at any permanent or temporary place of amusement or any itinerant form of amusement within the Township, unless an amusement permit or permits shall have been issued to him as hereafter prescribed and the tax herein imposed paid in accordance with the provisions herein made.

**§ 260-5. Permit application; fee.**

- A. Every producer conducting, desiring to continue to conduct, or desiring hereafter to begin to conduct any amusement within the Township shall file an application for a permanent, temporary or itinerant amusement permit or permits, as the case may be, with the Finance Director before conducting or continuing to conduct any such amusement. Each person shall apply for a separate amusement permit and shall be deemed to be a separate producer. If any producer conducts business under a fictitious name, such producer shall apply for registration in both the true and fictitious names of the producer and shall list the fictitious name first on the application. Every application for such permit or permits shall be made upon a form prescribed, prepared and furnished by the Finance Director and shall set forth the name under which the producer conducts or intends to conduct an amusement, whether the producer conducts or intends to conduct a permanent, temporary or an itinerant form of amusement and such other information as the Finance Director may require.
- B. If the producer has or intends to have more than one place of amusement within the Township, he shall state the location of each such place and, in the case of itinerant forms of amusement, the date and length of time such amusement is to be conducted at each place.
- C. In the case of an application for a permit for a temporary place of amusement or itinerant form of amusement, the producer shall state the name and address of the owner, lessee or custodian of the premises upon which such amusement is to be conducted.

- D. If a producer is an association or a corporation, the application shall state the names and addresses of the principal officers thereof and any other information prescribed by the Finance Director for purposes of identification.
- E. The application shall be signed and verified by oath or affirmation by the producer or its authorized representative.
- F. The applicant, at the time of making the application, shall pay to the Township a permit fee as follows:
  - (1) For a temporary permit, good for one day only: \$10.
  - (2) For a permanent permit, good for one year: \$20.
  - (3) For an itinerant permit, good for three months: \$15.

**§ 260-6. Issuance, assignability, display and expiration of permit.**

- A. Issuance. Upon approval of the application and the payment of any permit fee or fees herein required, the Finance Director shall grant and issue to each producer an annual, temporary or itinerant amusement permit for each place of amusement within the Township set forth in the application.
- B. Validity; display. Amusement permits shall not be assignable, shall be valid only for the persons in whose names issued and for the conduct of amusements at the places designated therein and shall at all times be conspicuously displayed at the places for which issued.
- C. Expiration.
  - (1) All permits for permanent places of amusement shall expire on the 31st day of December next succeeding the date upon which they are issued, unless sooner suspended, surrendered or revoked for cause by the proper authorities of the Township.
  - (2) Permits for temporary places of amusement or for forms of itinerant amusement shall expire at the time specified therein.

**§ 260-7. Notice of change in schedule**

The producer of a temporary or itinerant form of amusement shall notify the Finance Director promptly of any change in the original contemplated schedule either as to date or time of the conduct of the amusement at each place.

### **§ 260-8. Renewal and replacement of permits.**

- A. Renewal of permanent permits. Permits issued for permanent places of amusement, under the provisions of this article, may be renewed annually before the first day of January upon application made to the Finance Director and the payment of a renewal fee of \$20.
- B. Replacement of permits. Whenever any permit issued under the provisions of this Article is defaced, destroyed or lost, the Finance Director may, upon request, issue a duplicate permit to the holder thereof.

### **§ 260-9. Suspension of permit; hearings.**

The Finance Director may suspend an amusement permit whenever he finds that the holder thereof has failed to comply with any of the provisions of this article. Any such suspension shall be issued by the Finance Director in writing. Upon the suspension of any amusement permit, the Finance Director shall request the holder thereof to surrender immediately all permits or duplicates thereof which have been issued to him, and the holder shall promptly surrender all such permits to the Finance Director as directed. A producer whose permit has been suspended, upon request made, in writing, within 10 days after such suspension, shall be entitled to a hearing before the Board of Commissioners on or before the next regular meeting. After such hearing, the Board of Commissioners shall either rescind the order of suspension, for good cause appearing therefor, or shall continue the suspension or revoke the permit.

### **§ 260-10. Imposition of tax; rate.**

A tax to provide revenue for general Township purposes is hereby levied, assessed and imposed upon the admission fee or privilege to attend or engage in any amusement within the Township, at the rate of 10% of the established price charged the general public or a limited or selected group thereof by any producer for such privilege, which shall be paid by the person acquiring such privilege.

### **§ 260-11. Tax on free admissions and box seats.**

- A. Free admission. In the case of persons (except bona fide employees of a producer or municipal or state officers on official business) admitted free or at a reduced rate to any place of amusement at a time when and under circumstances where an established price is charged to other persons, the tax imposed by this article shall be computed on the established price charged to such other persons of the same class for the same or similar accommodation, to be paid by the persons so admitted.
- B. Permanent use of seats. In the case of persons having the permanent use of boxes or seats in any place of amusement or having a lease for the use of such box or seat in such place of amusement, the tax imposed by this article shall be computed

on the established price for which a similar box or seat is sold for each performance or exhibition at which the box or seat is used or reserved by or for the lessee or holder, such tax is to be paid by the lessee or holder.

**§ 260-12. Collection of tax.**

- A. Collection by producer. Producers shall collect the tax imposed by this article and shall be liable to the Township as agents thereof for the payment of the same to the Township, as hereinafter provided in this article. In the event a producer neglects or fails to collect and/or remit the tax due from any admittee as imposed in Section 260-10, the producer shall become primarily liable for payment of the tax.
- B. Other means of payment. Where permits are obtained for conducting amusements by persons who are not the owners, lessees or custodians of the places where the amusements are to be conducted or where the amusement is permitted by the owner, lessee or custodian of any places to be conducted without the procurement of a permit or permits required by this article, the tax imposed by this article shall be paid by the owner, lessee or custodian of such place where such amusement is held or conducted, unless paid by the producer conducting the amusement.

**§ 260-13. Report and payment of tax.**

- A. Responsibilities of producers. For the purpose of ascertaining the amount of tax payable by the producers to the Township:
  - (1) Every producer, except as hereinafter provided, conducting a place of amusement shall, on or before the 10th day of each month, transmit to the Finance Director, on forms prescribed and prepared by the Finance Director, a report, under oath or affirmation, of the amount of tax due for the preceding month.
  - (2) Every producer conducting a temporary place or itinerant form of amusement, within 5 days after each performance, shall file a report, under oath or affirmation, with the Finance Director on forms prescribed and prepared by the Finance Director and furnish the information required therein.
  - (3) Every producer, at the time of making every report required by this section, shall compute the taxes collected by him and the taxes due to the Township and shall simultaneously transmit the report required by this section to the Finance Director and pay to the Finance Director the taxes due to the Township during the period for which the report is made; provided, however, that such producer may deduct therefrom a discount of 2% if the report is filed and the tax paid on or before the due date thereof.

- (4) Every producer shall maintain daily records for each day on which an amusement is conducted, indicating the number of persons admitted to that amusement; the established price of admission or other such cover charge paid by each person; the number of persons admitted without paying the established price of admission and the established price of admission charged to other persons at the time of admission of the nonpaying admittee; and the gross amount of admission fees received on that day. All such information shall be set forth on the report filed pursuant to this section.
- B. Due date. The amount of all taxes imposed under the provisions of this article shall, in the case of places of permanent amusement, be due and payable on the 10th day of the next succeeding month following each monthly report, and in the case of temporary places or itinerant forms of amusement, such taxes shall be due and payable 5 days after each performance
- C. Failure to comply. If any producer or other person required to make a report and pay or remit tax shall neglect or refuse to make any report and/or payment as herein required, a penalty of 10% of the amount of the tax due and unpaid shall be added thereto, plus interest of one percent (1%) of the tax due for each month or fractional part thereof from the day the tax is due and payable until paid to the Finance Director.
- D. Method of recovery. The method of recovery shall be as follows:
- (1) The Finance Director shall have the power in the name of the Township to collect unpaid or unremitted taxes, interest and penalties from the producers owing such taxes, interest and penalties by institution of a civil action or other appropriate remedy.
  - (2) If for any reason the tax is not paid or remitted when due and suit is brought for the recovery of any such tax, the person liable therefor shall, in addition, be liable for the costs of collection and interest and penalties herein imposed, including but not limited to legal fees and charges incurred by the Township in the collection of the tax authorized by this article.
  - (3) The Finance Director shall have the power to report all persons who have neglected or refused to pay or remit the amount of tax due to the Township Solicitor, who shall file a municipal claim in the Office of Judicial Support of Delaware County against each such taxpayer or producer in the amount of the tax due and any penalties or interest accrued.
  - (5) The Finance Director shall have the power to revoke the permit or permits of any person who shall fail or refuse to file a report as required by this article or who shall fail or refuse to pay or remit any taxes, interest or penalty due.

- (6) In addition to the above remedies, the Finance Director shall have the power to recover unpaid or unremitted taxes as other debts or like amount are now by law recoverable.

**§ 260-14. Powers of Finance Director.**

- A. Examination of records. If the Finance Director is not satisfied with the report and payment of tax made by any producer under the provisions of this article, he is hereby authorized and empowered to make a determination of the tax due by such producer, based upon the facts contained in the report or upon any information within his possession or that shall come into his possession, and for this purpose the Finance Director, or his designee, is authorized to examine the books, papers, tickets, ticket stubs and any other records whatsoever of any producer taxable under this article, to verify the accuracy of any report or payment made under the provisions hereof or to ascertain whether the taxes imposed by this article have been paid.
- B. Every person subject to the tax imposed by this article shall make his records or copies thereof available to the Finance Director at any reasonable time and place requested, in writing, by the Finance Director in order to enable the Finance Director to make examination thereof as may be necessary to verify the accuracy of any payment made of the tax required by this article. However, a written request or demand of any records of a taxpayer shall not be deemed a condition precedent for commencement of any judicial proceeding against a taxpayer.
- C. Estimation of tax. If any producer or supposed producer neglects or refuses to make a report or if, as a result of an investigation by the Finance Director, a report is found to be incorrect, then in such case the Finance Director shall estimate the tax due by said producer or supposed producer and determine the amount due by said producer or supposed producer for any taxes, penalties and interest thereon. In all such cases of assessment, the Finance Director shall give the producer assessed a notice in which shall be stated the amount of the amusement tax due as well as any penalties or interest assessed.
- D. Rules and regulations. The Finance Director is authorized and empowered to prescribe, adopt and promulgate rules and regulations relating to any matter or thing pertaining to the administration and enforcement of this article and the collection of the tax hereby imposed, subject to the approval of the Board of Commissioners of the Township of Radnor.

**§ 260-15. Payment of receipts into treasury.**

- A. All taxes, interest and penalties received, collected or recovered under the provisions of this article shall be paid into the treasury of the Township of Radnor for the use and benefit of the Township of Radnor.
- B. The Finance Director shall receive payment of the taxes, penalties and interest imposed by this article. It shall be his duty to keep a record showing the amount received by him from each person paying the tax and the date of such payment. Unless otherwise instructed by the producer, when crediting any payment that is less than the total amount of interest, penalties and tax due, the Finance Director shall first apply any sum received to outstanding principal, then to outstanding interest and then to any penalties or other fees owed.

**§ 260-16. Violations and penalties.**

- A. Any person, as defined in this article, who shall fail, neglect or refuse to comply with the terms or provisions of this article shall be responsible and liable for the costs of collection, including attorneys' fees, at the flat and hourly rates shown below and at the rate of \$200 per hour for any work not included in the fees shown below:

<b>Activity</b>	<b>Legal Fees</b>	<b>Court Fees</b>	<b>Sheriff Fees</b>
Verify account information and data, establish and open file; prepare and send demand letter; account for monies received	\$160	n/a	n/a
Prepare and file civil complaint in Magisterial District Court; account for monies received	\$300	According to fee schedule	Varied
Represent taxing authority at any MDJ hearing: includes preparation of case; preparation of witnesses and any exhibits; attendance at any hearings or conferences; post-hearing pleadings or exhibits	\$200 per hour	n/a	n/a
Prepare and file request to certify judgment with County; account for monies received	\$160	According to fee schedule	n/a
Execution of judgment against delinquent taxpayer, e.g., prepare praecipe for writ of execution and all related documents	\$200 per hour	According to fee schedule	Varied

- B. Any person or entity subject to tax who fails to comply with the provisions of this article may be subject to a civil fine, not to exceed \$600 per violation, plus costs, including court filing fees and the Township's attorney fees. The fine imposed by this section shall be in addition to any other penalty imposed by this article.

**Section 2.** Severability. If any section, paragraph, sub-section, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

**Section 3.** Repealer. All ordinances inconsistent herewith are repealed to the extent of such inconsistency.

**Section 4.** Effective Date. This Ordinance shall become effective on June 1, 2020.

**ENACTED AND ORDAINED** this \_\_\_\_\_ day of \_\_\_\_\_, 2020.

RADNOR TOWNSHIP

By: \_\_\_\_\_

Name: Jack Larkin

Title: President

ATTEST: \_\_\_\_\_

William M. White, Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** February 24, 2020

**TO:** Board of Commissioners

**FROM:** Robert Tate, CPA Assistant Finance Director & Human Resource Manager

**LEGISLATION:** Ordinance 2020-09 amending Chapter 260 of the Radnor Township Code, relating to repeal and replace the current Amusement Tax.

**LEGISLATIVE HISTORY:** As currently written, the Amusement Tax requires patrons of amusements to pay a 10% tax on the established price of admission to such places of amusement. The producer of the amusement is required to collect the tax and remit it to the Township monthly. Where the producer fails to collect the tax, the producer is liable to pay the tax that should have been collected.

**PURPOSE AND EXPLANATION:** The Act 511 Tax Team proposes that the Amusement Tax be repealed and replaced with a version that clarifies the tax, improves on the current language, and eases administration and enforcement of the tax, while keeping the rate and subject of the tax the same as is currently imposed.

**FISCAL IMPACT:** The Act 511 Tax Team estimates that improved enforcement and collection of the Amusement Tax will increase revenue in the range of \$300,000 - \$400,000 based on rough estimates prepared by the Township's business tax auditor.

**RECOMMENDED ACTION:** The Act 511 Tax Team respectfully recommends that Ordinance 2020-09 be introduced on March 9, 2020 and adopted on March 23, 2020, with an effective date of June 1, 2020, in order to allow sufficient time to notify producers of the changes in the Ordinance. Thank you for your consideration.

**RESOLUTION NO. 2018-53**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING THE RADNOR TOWNSHIP ORGANIZATIONAL CHART**

*WHEREAS*, Article 5, Departmental Organization of the Administrative Code establishes the Departments of the Township and their duties and responsibilities; and

*WHEREAS*, Section 5-22(A) of the Administrative Code permits the Board of Commissioners to establish a separate organizational chart by Resolution; and

*WHEREAS*, the Board previously adopted Resolution 2011-87 which established the Organizational Chart for the Township and has since amended the Chart via Resolutions 2011-116, 2013-20, 2013-144, 2017-63, 2018-53 and 2019-77; and

*WHEREAS*, the Board of Commissioners wishes to amend the Organizational Chart to reflect various administrative changes.

*NOW, THEREFORE*, be it hereby *RESOLVED* that the Board of Commissioners of Radnor Township does hereby adopt the Organizational Chart attached to this Resolution as Exhibit "A", replacing any old version of the Organizational Chart by incorporating the following changes:

<b>Department</b>	<b>Position</b>	<b>Description</b>
Finance	Business Tax Administrator	A full-time, dedicated position to administer all elements of the Act 511 tax laws

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 9<sup>th</sup> day of March, 2020.

RADNOR TOWNSHIP

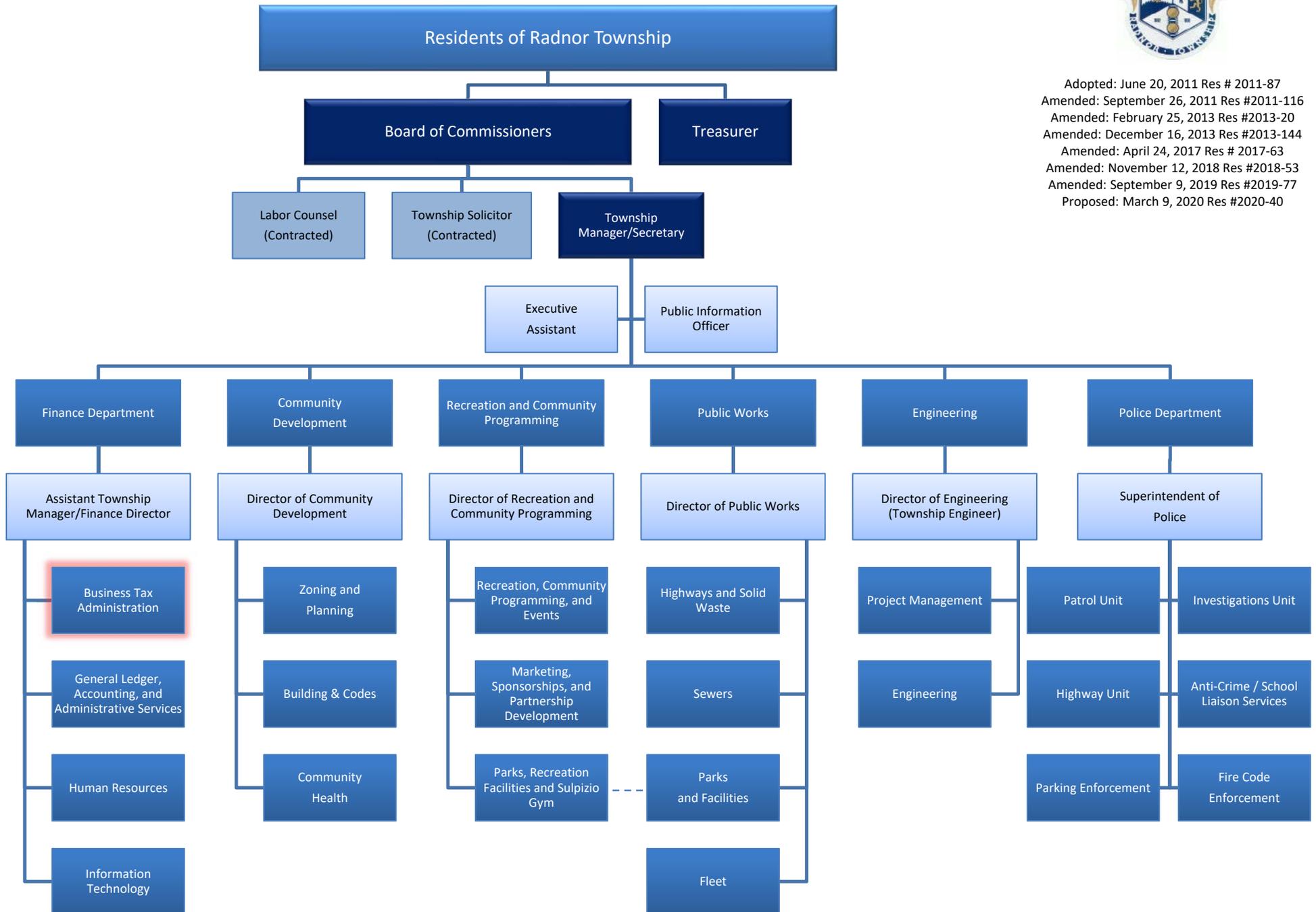
BY: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_  
Name: William White  
Title: Acting Township Manager / Secretary

# RADNOR TOWNSHIP ORGANIZATIONAL CHART



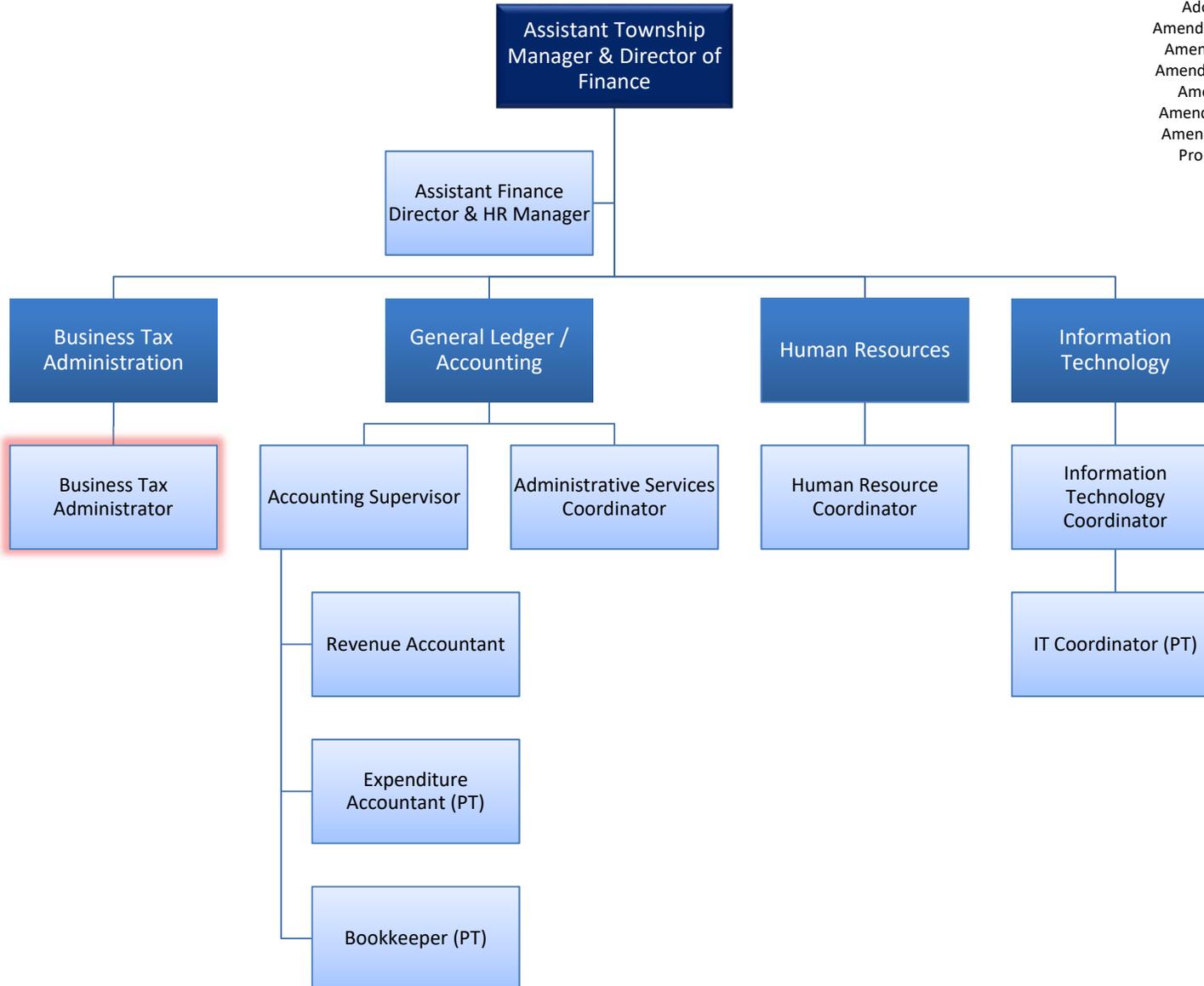
Adopted: June 20, 2011 Res # 2011-87  
 Amended: September 26, 2011 Res #2011-116  
 Amended: February 25, 2013 Res #2013-20  
 Amended: December 16, 2013 Res #2013-144  
 Amended: April 24, 2017 Res # 2017-63  
 Amended: November 12, 2018 Res #2018-53  
 Amended: September 9, 2019 Res #2019-77  
 Proposed: March 9, 2020 Res #2020-40



# RADNOR TOWNSHIP FINANCE



Adopted: June 20, 2011 Res # 2011-87  
Amended: September 26, 2011 Res #2011-116  
Amended: February 25, 2013 Res #2013-20  
Amended: December 16, 2013 Res #2013-144  
Amended: April 24, 2017 Res # 2017-63  
Amended: November 12, 2018 Res #2018-53  
Amended: September 9, 2019 Res #2019-77  
Proposed: March 9, 2020 Res #2020-40



# Radnor Township



## PROPOSED LEGISLATION

**DATE:** March 4, 2020

**TO:** Board of Commissioners

**FROM:** William White, Acting Township Manager & Finance Director

**LEGISLATION:** Resolution 2020-40 amending the Township's organizational chart for the sole purpose of adding a Business Tax Administrator position in the Finance Department

**LEGISLATIVE HISTORY:** The Township Organizational Chart is approved by the Board of Commissioners and is amended from time to time. In all cases where new positions are being proposed, the Board needs to approve the change.

**PURPOSE AND EXPLANATION:** The Administration reviews departmental organization periodically as opportunities arise due to program changes, personnel changes, etc. The only change to the organizational chart proposed with Resolution 2020-40 is to add a full-time, dedicated position to the Finance Department for the administration of the Township's Act 511 program. To-date, the Assistant Finance Director & Human Resource Manager has split time between this function, HR matters, annual audit matters, financial reporting matters and other tasks as assigned. With all the responsibilities assigned, the Act 511 oversight lacks the dedication necessary to ensure revenue potential. The Act 511 taxes generate roughly \$14,000,000 in revenue to the Township annually with over 2,500+ taxpayers filing their annual tax returns. Additionally, with the anticipated amendment to the Amusement Tax Ordinance, additional reporting, filing, follow up and other administrative functions will be required of the Finance Department.

Given the reliance that the Township has on the revenue generated through this program, and the responsibilities placed on the Administration to fairly enforce all tax laws, have a full-time, dedicated, expert on staff is critical. This position will work to ensure fair compliance, accurate reporting, filing services/ taxpayer assistance, and other functions relating only to the Act 511 tax program as assigned.

**FISCAL IMPACT:** The table below summarizes the anticipated savings to be realized:

Anticipated Amusement Tax Revenue Increase	\$400,000
Full Cost of Business Tax Administrator position	(125,000)
<b>Net Revenue / (Cost) of new Position</b>	<b>275,000</b>

**RECOMMENDED ACTION:** The Administration respectfully requests that the Board of Commissioners adopts Resolution 2020-40 at the March 9, 2020 meeting.

**RESOLUTION NO. 2020-41**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AWARDED THE ANNUAL HEATING, VENTILATING,  
AND AIR CONDITIONING MAINTENANCE CONTRACT FOR THE  
TOWNSHIP BUILDING, PUBLIC WORKS FACILITY, AND RADNOR  
ACTIVITY CENTER TO JJ WHITE, INCORPORATED**

*WHEREAS*, Radnor Township owns the Municipal Building and the Public Works Facility, and leases the Radnor Activity Center

*WHEREAS*, Radnor Township is responsible for maintaining the heating, ventilating, and air conditioning systems at the aforementioned buildings

*WHEREAS*, J.J. White, Incorporated has submitted a cost proposal to perform quarterly preventative maintenance on said HVAC systems at the aforementioned buildings

*NOW, THEREFORE*, be it **RESOLVED** the Board of Commissioners of Radnor Township does hereby award the annual Heating, Ventilating and Air Conditioning Preventative Maintenance and Repair Contract for the Township Building, Public Works Building, and Radnor Activity Center to J.J. White, Incorporated in the amount of \$15,250

**SO RESOLVED** this 9th day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: Jack Larkin

Title: President

ATTEST: \_\_\_\_\_

William M. White

Acting Township Manager

**Radnor Township**  
**PROPOSED LEGISLATION**

DATE: March 9, 2020

TO: Radnor Township Board of Commissioners

CC: William M. White, Acting Township Manager

FROM: Stephen McNelis, Director of Public Works

LEGISLATION: Resolution 2020 - 41: Award of the Annual Heating, Ventilating, and Air Conditioning Maintenance and Repair Contract for the Township Building, Public Works Facility, and Radnor Activity Center

---

LEGISLATIVE HISTORY: Legislation for this service has been before the Board of Commissioners annually since 2014.

PURPOSE AND EXPLANATION: Previously, there were separate contractors used for the preventative maintenance requirements of the heating, ventilating, and air conditioning needs of the Township Building, Public Works Building, and Radnor Activity Center. By soliciting quotations for all three buildings, we gain some advantage of economies of scale, as well as a streamlined process for repairs and emergencies. The contract covers quarterly visits and specific tasks to be performed at each facility. This will aid in keeping the equipment in good operating condition and should reduce emergency repairs.

IMPLEMENTATION SCHEDULE: Upon approval by the Board of Commissioners, a purchase order will be processed and J.J. White, Incorporated will begin the work in March 2020.

FISCAL IMPACT: The total cost of the contract is \$15,250 per year: Township Building - \$12,250 – account 01403B00-44110; Radnor Activity Center - \$1,500 – account 01450300-44310; and the Public Works Facility - \$1,500 – account 01403B003-44110. The invoice will be paid in four, equal, quarterly installments of \$3,812.50.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners Award the Heating, Ventilating, and Air Conditioning Preventative Maintenance Contract for the Township Building, Public Works Building, and Radnor Activity Center to J.J. White, Incorporated in the amount of \$15,250.

MOVEMENT OF LEGISLATION: It is being requested that the Board of Commissioners approve the legislation for this project.

**RESOLUTION NO. 2020-41**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AWARDED THE ANNUAL HEATING, VENTILATING,  
AND AIR CONDITIONING MAINTENANCE CONTRACT FOR THE  
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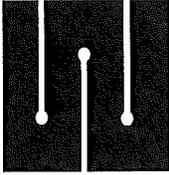
*NOW, THEREFORE*, be it *RESOLVED* the Board of Commissioners of Radnor Township does hereby award the annual Heating, Ventilating and Air Conditioning Preventative Maintenance and Repair Contract for the Township Building, Public Works Building, and Radnor Activity Center to J.J. White, Incorporated in the amount of \$15,250

*SO RESOLVED* this 9th day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Township Manager



# J J WHITE INCORPORATED CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

We hereby propose to furnish J J White Customized Service and Maintenance on the equipment listed in attached list.

**Coverage Type:** "Preventive Maintenance Routine Inspections" as described in our "Tasking List".

**Included:**

- Please see attached tasking list.
- We'll provide the following supplies per our tasking list:
  - Oil for fans and motor bearings, grease, and filters. Belts will be provided and replaced annually.
- Prepare system(s) for summer operation at the beginning of cooling season. Provide annual cleaning of condenser coils.
- Prepare boiler system(s) and check HVAC equipment for winter operation.
- Prepare Cooling tower(s) and HVAC equipment for winter operation.
- Provide labor and materials for changing filters during each inspection.
- Four mechanical inspections per year. We'll provide recommendations of repairs and/or replacements if necessary. This will be provided in a written report for your review.
- A mutually agreed upon check list will be utilized for all inspections.
- All repair labor and material on a T and M basis.
- Customer to provide dumpster for used filters.

**Note:** Labor repair rates and emergency service 24 hours a day, 7 days a week are as follows:

Straight Time: **\$ 110.00** per hour  
 Overtime: **\$ 165.00** per hour  
 Double Time: **\$ 220.00** per hour

Our mark-up percentage for materials, subcontractors, and 3<sup>rd</sup> party rentals is 15%.

The above rates include the HVAC service van equipped with all standard HVAC tools.

**Inspection Schedule: To be determined by customer**

Under J. J. White Customized Service and Maintenance, we will systematically inspect and report as to the condition of your equipment on the following schedule. **Note:** This can be modified at the owner's request.

JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
	X			X				X			X

X - Denotes scheduled inspection.

A detailed report for each inspection will be issued to owner or owner's representative. This report will include equipment log readings, a report on the condition of those items inspected, a list of needed repairs, and recommendations.

**J J WHITE INCORPORATED**  
**CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**  
**TASKING LIST**

1. Report in with the customer representative
  2. Record and report abnormal conditions, measurements taken, etc.
  3. Review customer logs with the customer for operational problems and trends.
- **Split System Unit(s):**
    - Check suction and discharge pressure.
    - Visually inspect units for refrigeration leaks.
    - Lubricate motor and fan bearings.
    - Check Pulleys for wear. Verify proper motor(s) operation.
    - Check refrigerant charge at site glass.
    - Check electrical connections, torque as needed.
    - Check fans and fan drive alignment.
    - Clean outside air intake screens and check dampers.
    - Inspect all coils for cleanliness.
    - Check condensate drain pan and drain, clean as needed.
    - Replace belts.
    - Verify proper operation sequence.
    - Check contactors for wear.
    - Replace air filters.
    - Check for unusual noise or vibration.
    - Check integrity of the heat exchanger.
    - Check burners, igniters, and burner controls including safeties.
    - Power wash condenser coils annually.
  - **Water Source Heat Pump Units:**
    - Check drive pulleys for wear. Replace belt(s) annually if applicable.
    - Verify proper condenser water flow.
    - Verify proper refrigerant charges.
    - Check electrical connections, torque connections if necessary.
    - Lubricate motor(s) and bearings as necessary.
    - Replace air filters.
    - Check condensate drain and pan, clean as needed.
    - Check for unusual noise and vibration.
    - Verify proper operating sequence.
  - **Rooftop Package Unit:**
    - Check suction and discharge pressure.
    - Visually inspect units for refrigeration leaks.
    - Lubricate motor and fan bearings.
    - Check Pulleys for wear. Verify proper motor(s) operation.
    - Check refrigerant charge at site glass.
    - Check electrical connections, torque as needed.
    - Check fans and fan drive alignment.
    - Clean outside air intake screens and check dampers.
    - Inspect all coils for cleanliness.
    - Check condensate drain pan and drain, clean as needed.
    - Replace belt(s) annually.
    - Verify proper operation sequence.
    - Verify operation of crank case heater.

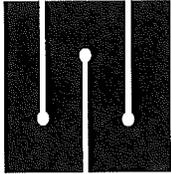
- Check contactors for wear.
  - Replace air filters.
  - Check for unusual noise or vibration.
  - Check integrity of the heat exchanger.
  - Check burners, igniters, and burner controls including safeties.
  - Power wash condenser coils annually.
- **Exhaust Fan:**
    - Replace belt(s) annually.
    - Check operation of motor and dampers.
    - Check bearing and lubricate if necessary.
- **Hanging Heaters**
    - Visually inspect heat exchangers.
    - Inspect blower motor and drive sheaves.
    - Check burners, igniters, and burner controls including safeties.
    - Verify operation.
    - Check flue to ensure proper draft.
    - Replace belt(s) annually.

#### **Summer Change Over:**

- **Cooling tower:**
  - Clean tower strainer and inspect for wear.
  - Clean tower sump and inspect for leaks.
  - Check spray nozzles and inspect for damage.
  - Remove and clean tower pump strainer.
  - Lubricate motor(s) and bearings.
  - Check drive pulleys for wear. Replace belt(s) annually.
  - Fill tower and verify operation of tower fill, tower pump, and tower fan.

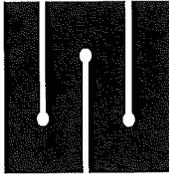
#### **Winter Change Over:**

- **Boiler and Burner:**
  - Brush clean fire-side of boiler.
  - Check operation of pilot assemble. Remove parts as need to clean or adjust.
  - Check electrical connections and torque if necessary.
  - Check boiler for proper water levels and bleed out all air if necessary.
  - Verify operation of all safeties associated with the boiler.
  - Blow down boilers. Remove covers and clean out all low water cutoffs.
  - Lubricate and check operation of the boiler pump.
  - Check boiler controls and verify proper settings and sequence of events.
  - Check gas pressures and verify pressures are in recommended range.
  - Perform combustion test. Verify boiler is running at maximum efficiency or determine adjustments that need to be made to achieve maximum efficiency.
- **Cooling Tower:**
- **If Cooling tower needs to be drained:**
  - Drain and winterize cooling tower.
  - Shut down all associate equipment.
- **If Cooling tower does not need to be drained:**
  - Verify operation of all safeties.
  - Verify operation of heaters.
  - Verify operation of control and settings.



**J J WHITE INCORPORATED**  
**CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**  
**EQUIPMENT OPTIONS SCHEDULE**

- |                                                                                                                                                                                                                                               | Included                            | Omitted                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 1. <b><u>Air Filter Service</u></b><br>Furnish labor and Material to change air handling unit<br>Filters up to <u>4</u> times a year.                                                                                                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 2. <b><u>Analysis Services</u></b><br>Furnish annual chemical analysis and report on:<br><input type="checkbox"/> Compressor oil <input type="checkbox"/> refrigerant <input type="checkbox"/> condenser water.                               | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 3. <b><u>Water Treatment</u></b><br>Furnish complete water treatment service including<br>chemicals for condenser water circuit.                                                                                                              | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 4. <b><u>Condenser / Chilled Water Circuit</u></b><br>Furnish coverage for condenser and chilled water pumps,<br>motors, and starters.                                                                                                        | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 5. <b><u>Tube Cleaning</u></b><br>Conduct annual visual tube inspection of condenser tubes<br>and mechanically brush clean up to once per year.                                                                                               | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 6. <b><u>Emergency Service</u></b><br>Furnish emergency service between regular inspections.<br>Service to be billed at agreed upon rates.                                                                                                    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 7. <b><u>Seasonal Inspection</u></b><br>Conduct an Annual Season Inspection including annual<br>maintenance requirements per the Schedule "A"                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 8. <b><u>Air Handling Units</u></b><br>Furnish coverage for air handling units including coils,<br>Blowers, motors, starters, and belts.                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 9. <b><u>Eddy Current Tube Testing</u></b><br>Conduct electronic analysis of condenser/cooler tubes for<br>detection of wear, pitting, and corrosion.                                                                                         | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 10. <b><u>Non-moving Parts Coverage</u></b><br>Furnish coverage on non-moving parts such as tubes, stators,<br>shells, etc.                                                                                                                   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 11. <b><u>Parts Coverage</u></b><br>Under this agreement, we will furnish all necessary repair and<br>renewal parts and lubricants required to maintain the equipment in<br>good operating condition. These items furnished at no extra cost. | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 12. <b><u>Labor Coverage</u></b><br>Under this agreement, we will furnish all necessary labor,<br>during regular working hours, to install repair parts, make necessary<br>adjustments, and to keep the equipment operating efficiently.      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |



**J J WHITE INCORPORATED**  
**CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**  
**SCHEDULE – “A”**  
**(EQUIPMENT COVERED)**

**NOTE:** Items/equipment not listed above are excluded.

**Township Building**

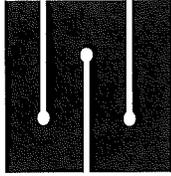
<u>Item #:</u>	<u>Qty.</u>	<u>System Components</u>	<u>Manufacturer</u>	<u>Model No.</u>	<u>Serial No.</u>	<u>Location</u>
1	4	RTU	Multiple	Multiple	Multiple	Roof
2	50	Heat Pumps	Trane	Multiple	Multiple	Multiple
3	2	ERU	Semco	Multiple	Multiple	Roof
4	3	Split Systems	Trane	Multiple	Multiple	Multiple
5	2	Exhaust Fan	Trane	Multiple	Multiple	Roof
6	1	Hepa		---	---	Mech. Room
7	1	Boiler/Pumps	Raypack	---	---	Mech. Room
8	1	Cooling Tower	Evapco	---	---	Outside
9	1	Duct-less Split	Sanyo			Generator Closet
10	8	Electric heaters				Entrances
11	2	Heating Water Pumps				Boiler Room
12	1	Condenser Water Pump				Sally Port Mech. Rm.
13	1	Exhaust System				Sally Port Mech. Rm.

**Sulpizio Gym**

<u>Item #:</u>	<u>Qty.</u>	<u>System Components</u>	<u>Manufacturer</u>	<u>Model No.</u>	<u>Serial No.</u>	<u>Location</u>
1	4	RTU	Trane	Multiple	Multiple	Roof
2	1	Exhaust Fan	Trane	---	---	Roof
3	1	Water Heater	Bradford White	---	---	Mech. Room

**Township Garage**

<u>Item #:</u>	<u>Qty.</u>	<u>System Components</u>	<u>Manufacturer</u>	<u>Model No.</u>	<u>Serial No.</u>	<u>Location</u>
1	27	Heaters	Reznor	NA	NA	Multiple
2	7	Exhaust Fans	NA	NA	NA	Multiple
3	1	Split System	Trane	NA	NA	Bldg. 3



**J J WHITE INCORPORATED**  
**CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**

**Price and Payment Terms**

The total price for J. J. White's Customized Service Agreement during the term of this agreement is **\$15,720.00** per year.

**Cost per Building:**

Radnor Township Building (301 Iven Ave., Wayne PA 19087) = **\$12,620.00**  
Sulpizio Gym (125 S. Wayne Ave., Wayne PA 19087) = **\$1,550.00**  
Township Garage (235 E. Lancaster Ave., Wayne PA 19087) = **\$1,550.00**

This amount will be paid to J. J. White, Incorporated in four (4) installments of **\$3,930.00**

These payments will be due and payable when the customer receives the J. J. White, Incorporated invoice and after the services J. J. White Incorporated is complete.

**Additional Terms and Conditions follow:**

**The term of this agreement is**

**February 1, 2020 through January 31, 2021.**

**Dated Submitted:** January 9, 2019

**Respectfully Submitted by:**

Mr. Chris Mars, HVAC Operations Manager  
J. J. White, Incorporated  
C: 215-620-0545  
**cmars@jjwhiteinc.com**

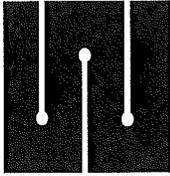
**Accepted by:**

**By:** \_\_\_\_\_

**Title:** \_\_\_\_\_

**Date:** \_\_\_\_\_

This agreement is subject to approval of an authorized J J White, Incorporated representative.



## **J J WHITE INCORPORATED** **CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**

**OFFER AND ACCEPTANCE:** J. J. White Incorporated (White) offers to sell the materials, equipment and services indicated in strict accordance with the terms and conditions stated herein. Submittal of a Purchase Order or execution of this offer by Buyer, or allowing White to commence work shall be deemed an acceptance of this offer, which offer and acceptance shall constitute a legally enforceable contract between Buyer and White. Any additional or differing terms and conditions contained on Buyer's Purchase Order (whether or not such terms materially alter this offer) are hereby rejected by White and shall not become part of the contract between Buyer and White unless expressly consented to in writing by White. This offer is subject to acceptance within 30 days after date and is based on all work being performed during regular working hours. It shall be noted that the work set forth in coverage type above shall be performed between the hours of 8:00 A.M. and 4:30 P.M., on regular working days. All inspection and preventive maintenance work, repair work and emergency service calls required by the customer hereunder after regular working hours, Saturdays, Sundays and holidays shall be invoiced at regular overtime rates, unless indicated otherwise hereafter. All hours actually worked in performing emergency service, same day service calls, and after hour service or emergency call-ins will be billed including travel time portal to portal during this schedule. Any alterations, additions, adjustments or repairs made by others to the equipment set forth in Schedule "A" unless authorized by us shall terminate our obligation hereunder, and we shall be paid all sums due us as of that time.

**ACCESS:** In order to permit us to perform our obligations under this agreement you will provide ready access to the equipment.

**REPAIR:** All repair and replacement parts furnished hereunder will be only those recommended by the manufacturer of the equipment covered by this agreement. If such repair and replacement parts become unavailable from the original manufacturer our obligation to obtain such parts shall cease and customer shall have the option to cancel this agreement on a pro rata basis at such time. This agreement does not include the complete replacement of condensing units, evaporative condensers, cooling towers, air handler, chillers or any other major system components.

(a) White Customized Service and Maintenance furnished hereunder shall not include the normal function of starting and stopping the subject equipment, which function includes the opening and closing of valves, dampers or regulators normally installed to protect the equipment against damage, nor does it include the defrosting of evaporators.

(b) If our company is required to make repairs and/or replacements or emergency calls occasioned by improper operation, negligence or misuse of the equipment or due to any cause beyond our control, except ordinary wear and tear, you shall reimburse us for the expense incurred in making such repairs and/or replacements or emergency calls in accordance with our current established rates for performing such services. White shall not be required to furnish any items of equipment, parts or materials which are recommended by insurance companies or governmental agencies or instrumentalities nor does White assume any responsibility for deficiencies of due to any cause beyond our control, except ordinary wear and tear, you shall reimburse us for the expense incurred in making such repairs and/or replacements or system design and resulting lack of system performance.

(c) White shall not nor shall we assume any liability for the repair cost of damage to heat exchangers serving heating or cooling including waterside, airside or refrigerant side. We shall not be liable for repairs to any components of non-metallic cooling towers except motor, fan drives or blades.

(d) This agreement does not include air conditioning ductwork, grilles, registers and diffusers; balancing of air and water flow; electrical disconnect switches and circuit breakers; recording or portable instruments, gauges or thermometers; repairs to any piping other than exposed refrigerant piping; repairs to exposed equipment damage due to freezing; cleaning of water cooled condensers more than once a year; maintaining the appearance of decorative casings or cabinets; or repairs to electrical power or control wiring unless mounted on, or inside subject equipment. The furnishing of water treatment is not included in this agreement unless specifically noted hereafter.

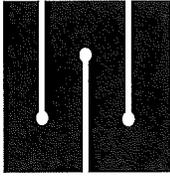
(e) In the case of refrigeration systems such as walk-in-boxes, reach-in-boxes, etc., this agreement also does not include the repair or replacement of hardware such as door handles, closing mechanisms or related parts thereof, or repair or replacement of door, cabinets or cover of gaskets, or repairs or replacement of walk-in-box structural components or insulation.

**PRE-EXISTING CONDITIONS:** This agreement specifically contemplates that at the time of its execution all major system components of the equipment set forth in Schedule "A" are in normal operating condition. Within thirty (30) days of initial inspection of the equipment in normal operation, White, shall advise the customer of the discovery of any malfunctions or deficiencies of system components and submit recommendations of corrective measures to be made at the customer's expense in addition to the price provided under payment terms. Upon customer approval of the recommended corrective measures and the accomplishment thereof, White, will assume responsibility for the system as specified in Schedule "A".

**TERMS:** Terms of Payment for goods shipped and/or services rendered hereunder shall be NET on RECEIPT of INVOICE. White reserves the right to add to any account outstanding more than thirty (30) days a charge of one and one-half (1 ½%) percent of the principal amount due at the end of each thirty (30) day period. This agreement shall remain in effect for one (1) year from date of approval by White and shall continue from year to year, unless at least thirty (30) days prior to any anniversary of the date of approval of this agreement either party shall give written notice to the other of their intention to change the terms of or terminate the agreement. Neither party shall be liable in any manner whatsoever to the other on account of such termination. White reserves the right to terminate this agreement at its option at any time the customer fails to make payment when due as provided in under payment term above, or if customer fails to pay any other costs and expenses incurred for additional material or labor supplied by White. Customer may not, including by operation of law, assign the Customized Service and Maintenance Agreement without prior written consent of White.

**HAZARDOUS WASTE:** Hazardous wastes remain the property and the responsibility of the customer even when removed from the equipment or replaced by White as provided by the terms of this agreement. The customer shall be responsible for the proper storage and disposal of hazardous wastes. This includes, but not limited to, used oil, contaminated or uncontaminated refrigerant, and PCB's.

**INVOICING:** White reserves the right to issue partial or complete invoices as material is furnished and as services are rendered.



## J J WHITE INCORPORATED

# CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

**PERFORMANCE:** White shall not be liable for failure to ship or delays in delivery of equipment or performance of services hereunder where such failure or delay is due to the disapproval of the White Credit Department, or due to strikes, fire, accidents, national emergency, failure to secure materials from the usual sources of supply, or any other circumstance beyond the control of White, whether of the class of causes enumerated above or not, which shall prevent White from making deliveries or performing services in the usual course of business. In the event of the disapproval of the White Credit Department or the occurrence of any of the above. White may, at its sole option, cancel Buyer's Purchase Order without any liability on the part of White. Alternatively, White may extend the time for its performance by a period equal to the duration of the cause underlying White's failure or delay. Receipt of the equipment or services by Buyer upon its delivery shall constitute a waiver of all claims for delay.

**TAXES:** Prices quoted are exclusive of taxes. The amount of any present or any future occupation, sales, use service, excise or other similar tax which White shall be liable for either on its own behalf or on behalf of the Buyer, with respect to any order for machinery or services, shall be in addition to the billing prices and be paid by the Buyer.

**WARRANTY:** White guarantees service work and all materials of White manufacture against defects in workmanship and material for 90 days from date of completion of the work and will repair or replace F.O.B. point of manufacture or shipment such products or components as White finds defective. This warranty does not include the cost of labor to remove or reinstall any defective components, nor does this warranty include cost of handling, shipping or transportation involved in supplying replacements for defective components. This warranty does not include the replacement of refrigerant lost from the system after completion of the work. On machinery and materials furnished by White, but manufactured by others, White will extend the same guarantee it receives from the manufacturer.

THE WARRANTY AND LIABILITY SET FORTH ABOVE ARE IN LIEU OF ALL OTHER WARRANTIES AND LIABILITIES, EXPRESS OR IMPLIED, IN LAW OR IN ACT, INCLUDING THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THE WARRANTIES CONTAINED HEREIN SET FORTH BUYER'S SOLE AND EXCLUSIVE REMEDY IN THE EVENT OF A DEFECT IN WORKMANSHIP OR MATERIALS.

**PATENTS:** If there is brought against the Buyer any suit or proceeding based on a claim that an apparatus, or any part thereof, furnished under this contract constitutes an infringement of any patent of the United States, White, if notified promptly in writing and given authority, information and assistance by the Buyer for the defense of same, will defend same and pay all expenses and costs which may be awarded therein against the Buyer. In the event that the Buyer has complied with the conditions just stated and the apparatus, or any part thereof, is held to constitute infringements and its use is enjoined, White, in lieu of all others liability except as above state, will, at its own expense, either procure for the Buyer the right to continue using said apparatus, or replace same with non-infringing apparatus, or modify it so it becomes non-infringing, or remove said apparatus and refund the purchase price thereof, but White's liability shall in no case exceed the purchase price of said infringing apparatus.

**LIMITATION OF LIABILITY:** All claims, causes of action or legal proceedings against White arising from White's performance under this contract must be commenced by Buyer within the express warranty period specified under paragraph Warranty hereof. Failure to commence any such claim, cause of action or legal proceeding within such period shall constitute a voluntary and knowing waiver thereof by Buyer. IN NO EVENT SHALL WHITE'S LIABILITY FOR DIRECT OR COMPENSATORY DAMAGES EXCEED THE PAYMENTS RECEIVED BY WHITE FROM BUYER UNDER THE INSTANT CONTRACT, NOR SHALL WHITE BE LIABLE FOR ANY SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES. THESE LIMITATIONS ON DAMAGES SHALL APPLY UNDER ALL THEORIES OF LIABILITY OR CAUSES OF ACTION, INCLUDING BUT NOT LIMITED TO CONTRACT, WARRANTY, TORT OR STRICT LIABILITY.

**DELIVERY:** Shipping dates are approximate only. No shipping date requested or specified by Buyer will be binding on White unless such request of specification is specifically agreed to in writing by an officer of White. Shipment shall be F.O.B. Factory, with title passing to Buyer upon delivery to the carrier by White.

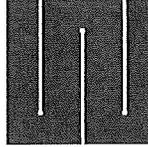
**CANCELLATION:** White reserves the right to collect cancellation charges (including but not limited to all costs and expenses incurred, plus reasonable overhead and profit against any cancelled order).

**DISPUTES AND CHOICE OF LAWS:** This contract shall be deemed to have been entered into and shall be governed by the laws of the Commonwealth of Pennsylvania. All claims, disputes and controversies arising out of or relating to this contract, or the breach thereof shall, in lieu of court action, be submitted to arbitration in accordance with the Commercial Arbitration Rules of the American Arbitration Association, and any judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. The site of the arbitration shall be, Pennsylvania, unless another site is mutually agreed between the parties. The parties agree that any party to the arbitration shall be entitled to discovery of the other party as provided by the Federal Rules of Civil Procedure; provided, however, that any such discovery shall be completed within four (4) months from the date of Demand for Arbitration is filed with the American Arbitration Association.

**COSTS TO WHITE:** In the event it becomes necessary for White to incur any costs or expenses in the collection of monies due White from the Buyer, or to enforce any of its rights or privileges hereunder. Buyer, upon demand shall reimburse White for all such costs and expenses (including, but not limited to, reasonable attorney's fees).

**ENTIRE AGREEMENT:** These terms and conditions, and the matter set forth on the face of White's offer to sell, constitute the entire agreement between White and Buyer. No course of dealings or performance or prior, concurrent or subsequent understandings, agreements or representations become part of this contract unless expressly agreed to in writing by an authorized representative of White.

ASSIGNMENT: Buyer shall not assign this contract or any interest therein without the prior written consent of White. Any actual or attempted assignment without White's consent shall entitle White, at its sole option, to cancel this contract and, in such event, White shall be entitled to payment for all work performed and materials furnished to the date of cancellation, as well as reasonable compensation for lost income and profits.



J.J. WHITE INCORPORATED®

• CONSTRUCTING WITH KNOWLEDGE.  
SERVICE WITH INTEGRITY AND SAFETY.®  
SINCE 1920

9 January 2020

S20-002

5500 BINGHAM STREET  
PHILADELPHIA, PA 19120  
TEL: 215-722-1000  
FAX: 215-745-6229

**E-MAIL: rhale@radnor.org**

**SUBJECT: PREVENTIVE MAINTENANCE AGREEMENT, (3) - RADNOR TOWNSHIP BLDGS.**

Robert Hale  
Information Technology Coordinator  
Radnor Township  
610-688-5600 ext. 105

Dear Mr Hale:

We herewith submit our **Lump Sum Firm Price** for the above referenced project in accordance with your request.

Please see our Attachment "Clarifications".

We trust this proposal will merit your favorable consideration and thank you for the opportunity of bidding on this work.

Very truly yours,

J.J. WHITE, INCORPORATED

*James J. White, IV*

James J. White, IV  
President

JJW/cjm  
Attachment

CONSTRUCTION MANAGEMENT  
GENERAL & MECHANICAL CONSTRUCTION  
HVAC SERVICE / FACILITIES MAINTENANCE & OPERATION  
EXCHANGER HYDROBLASTING / EXTRACTION SERVICES  
API TANK CONSTRUCTION & REPAIR  
ELECTRICAL, SOLAR & RENEWABLE ENERGY

PHILADELPHIA, PA  
UPLAND, PA  
NEW CASTLE, DE

**PREVENTIVE MAINTENANCE AGREEMENT****CLARIFICATIONS:**

Our Lump Sum Price is listed in our Customized Service Maintenance Agreement – page no. 6.

This price is **\$15,720.00**

Please note that this proposal does not include costs, procedures, or indemnities with respect to any "Hazardous Substances (including mold)", "Hazardous Wastes", and/or "Hazardous Materials" (collectively, "Hazardous Substances"). This proposal is submitted with the express assumption that J.J. White, Inc. shall not encounter nor be responsible for any Hazardous Substances that exist on the Buyer's property or operations. Should J.J. White, Inc. encounter any such Hazardous Substances during the performance of the work pursuant to this Agreement, J.J. White, Inc. reserves the right to cease work until such time as Buyer and J.J. White mutually agree upon a lawful, cost-effective and efficient process to address such Hazardous Substances, including necessary worker and environmental protections.

Our price does not include any consideration for consequential and/or liquidated damages, either written or implied.

**Our Price is Based On:**

- Performing our maintenance inspections per our attached tasking list which states the frequency of inspections and the task(s) to perform.
- Providing maintenance materials (i.e.: filters, belts, coil cleaner, etc.) to perform our inspections. It does not include equipment replacement parts.
- Providing the customer with a comprehensive report of our maintenance inspections with a list of suggested repairs if applicable. If required, these repairs can be performed on a T & M basis or quoted out for your review.
- Providing new filters during inspection and (1) belt change & coil cleaning annually. This is the industry standard and manufactures recommended preventive maintenance schedule.

**Our Price Does Not Include:**

- Working overtime, Saturday, and/or Sunday.
- Normal working hours are as follows-Monday thru Friday from 7:00am to 3:30pm.

**CONFIDENTIALITY NOTICE: THE CONTENTS OF THIS QUOTATION ARE CONFIDENTIAL, INTENDED ONLY FOR THE USE OF THE ADDRESSEE SHOWN ABOVE, AND ARE NOT TO BE DISCLOSED TO THIRD PARTIES.**

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**RESOLUTION NO. 2020-42**

**A RESOLUTION OF RADNOR TOWNSHIP,  
DELAWARE COUNTY, PENNSYLVANIA,  
AUTHORIZING THE SUBMITTAL OF THE APPLICATIONS FOR  
TRAFFIC SIGNAL APPROVAL (TE-160) TO THE  
PENNSYLVANIA DEPARTMENT OF TRANSPORTATION  
FOR THE INTERSECTION OF LANCASTER AVENUE (SR 0030) AND  
KING OF PRUSSIA ROAD ASSOCIATED WITH THE RADNOR TAP TRAIL**

**WHEREAS**, Radnor Township wishes to construct pedestrian improvements associated with the Radnor TAP Trail Project, along Lancaster Avenue (SR 0030) and King of Prussia Road with end points at Radnor-Chester Road (SR 1021)

**WHEREAS**, these improvements include ADA accessible ramps at the intersections and signal upgrades required by the ADA modifications

**WHEREAS**, the signals require an application for traffic signal approval (TE-160) and the subsequent maintenance agreement with PennDOT

**NOW, THEREFORE**, be it **RESOLVED** by the Board of Commissioners of Radnor Township does hereby Authorize and Direct the Submittal of the Application for Traffic Signal Approval (TE-160) to the Pennsylvania Department of Transportation for the *Intersection of Lancaster Avenue (SR 0030) and King of Prussia Road Associated with the Radnor TAP Trail*

**SO RESOLVED** this 9th day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: John Larkin

Title: President

ATTEST:

\_\_\_\_\_  
William M. White  
Acting Manager/Secretary

**Radnor Township**  
**PROPOSED LEGISLATION**

DATE: March 3, 2020  
TO: Radnor Township Board of Commissioners  
FROM: Dennis P. Capella, Engineering Project Manager  
CC: William M. White, Acting Township Manager  
Stephen F. Norcini, P.E., Township Engineer

**LEGISLATION: Resolution #2020-42: Authorizing and Directing the Submittal of the Application for Traffic Signal Approval (TE-160) to the Pennsylvania Department of Transportation for the Intersection of Lancaster Avenue (SR 0030) and King of Prussia Road Associated with the Radnor TAP Trail**

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**LEGISLATIVE HISTORY:** The Board of Commissioners previously authorized the submittal of two TE-160 applications for intersections associated with the Radnor TAP Trail in the vicinity of the Radnor High School. This application is for the third intersection.

**PURPOSE AND EXPLANATION:** Radnor Township wishes to construct pedestrian improvements, associated with the Radnor TAP Trail Project, along Lancaster Avenue (SR 0030) and King of Prussia Road with end points at Radnor-Chester Road (SR 1021),. These improvements include ADA accessible ramps at the intersections and signal upgrades required by the ADA modifications. The Township owns all traffic signals within its political boundaries, although the signals are within Pennsylvania Department of Transportation (PennDOT) right-of-way. The signals require an application for traffic signal approval (TE-160) and the subsequent maintenance agreement with PennDOT.

**IMPLEMENTATION SCHEDULE:** Upon approval by the Board of Commissioners, the TE-160 application will be submitted to PennDOT.

**FISCAL IMPACT:** This project is to be funded by the General Obligation Bond. There is not additional funding required for this application.

**RECOMMENDED ACTION:** *Staff requests the Board of Commissioners of Radnor Township to Authorize and Direct the Submittal of the Application for Traffic Signal Approval (TE-160) to the Pennsylvania Department of Transportation for the Intersection of Lancaster Avenue (SR 0030) and King of Prussia Road Associated with the Radnor TAP Trail*

**RESOLUTION NO. 2020-43**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AUTHORIZING THE TRANSFER OF \$574,045 FROM THE GENERAL FUND TO VARIOUS CAPITAL FUNDS FOR THE PURPOSE OF FUNDING THE HARFORD TRAIL, MONTROSE/COUNTY LINE SIGNAL, AND CREUTZBURG CENTER CAPITAL PROJECTS**

**WHEREAS**, the Township currently has \$316,985 available from 2016 and 2019 borrowed amounts for the completion of the Harford Trail project. Current project installation costs total \$458,369, requiring an additional \$150,000 (rounded) to completely fund, as bid; and

**WHEREAS**, the Township partnered with Lower Merion Township to complete a County Line Corridor Study in 2018/2019. The study is complete and various projects have been identified including the installation of a new traffic signal at Montrose and County Line at an estimated total cost of \$530,000. Lower Merion has agreed to fund \$260,000, requiring Radnor to allocate \$270,000 to fund design, installation and contingency costs; and

**WHEREAS**, the Creutzburg Center is in need of immediate repointing improvements to the exterior of the facility to stop water from penetrating into the building at an estimated cost of \$64,000. The project is being headed up by the Main Line School Night, lessee of the Creutzburg Center, in conjunction with other building improvements that they are funding in accordance with the Lease Agreement; and

**WHEREAS**, the Board of Commissioners have identified these three projects as an immediate priority requiring funding that has been identified by surplus revenues realized in the General Fund from 2019 (cash-basis, unaudited).

**NOW, THEREFORE**, be it hereby **RESOLVED** that the Radnor Township Board of Commissioners does hereby authorize the transfer of \$574,045 from the General Fund to various Capital Project Funds as follows:

<b>Fund</b>	<b>Project</b>	<b>Amount</b>
GOB 2019 Capital Fund (#502)	Harford Trail	\$150,000
GOB 2019 Capital Fund (#502)	Montrose / County Line Signal	\$270,000
Capital Fund (#005)	Creutzburg Center Repointing	\$64,000

**SO RESOLVED** this 9<sup>th</sup> day of March, 2020.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Jack Larkin, Esq.  
Title: President

ATTEST: \_\_\_\_\_  
Name: William M. White  
Title: Acting Township Manager / Secretary

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**INTEROFFICE MEMORANDUM**

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**TO:** BOARD OF COMMISSIONERS  
**FROM:** WILLIAM WHITE, ACTING TOWNSHIP MANAGER & FINANCE DIRECTOR  
**SUBJECT:** **NEEDED CAPITAL FUNDING RECOMMENDATION**  
**DATE:** FEBRUARY 24, 2020  
**CC:** JENNIFER DESTEFANO, EXECUTIVE ASSISTANT



Finance  
Department

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Over the past month, there have been three projects requiring funding that either wasn't included in the 2020 budget or where bids came in over what is available. This memorandum will summarize those three project situations and present an idea that will fund them. If approved by the Board, legislation memorializing the decision will be on the March 9, 2020 agenda.

Project Summaries:

1. **Harford Trail:** Amount needed **\$150,000** | Situation Summary: The Township has \$316,985 available and bids came in at \$378,369. The amount needed will cover the bid shortfall plus estimated inspections at \$23,000 and contingencies at \$57,000. In terms of process, proceeding as designed is important to this project because of the easement agreement needed from Brandywine. If the plans are altered, a new easement agreement would be necessary and will (a) require us to reject current bids, (b) redesign the trail, (c) obtain a new easement agreement, (d) rebid, (e) then award the project.
2. **Montrose / County Line Signal:** Amount needed **\$270,000** | Situation Summary: As presented at the January 27 meeting, this project will add a much-needed signal at Montrose / County Line. The total project cost is estimated to be \$530,000 with Lower Merion Township paying for roughly half (\$260,000). The need for funding is important because Lower Merion Township, based on an understanding that the Township was funding our half, has already allocated funds and are ready to proceed with design. The project timing will allow the Township to seek grant funding, which could offset the amount needed. If a grant were to be awarded, the amount needed would be available for future capital projects. If no grant is awarded, then the Township is ready to go with its portion of the funding needed.
3. **Creutzburg Center:** Amount needed **\$64,000** | Situation Summary: Main Line School Night approached the Township during the 2020 budget discussions in October / November and requested this amount to assist in the repointing of exterior walls at the Creutzburg Center (a building owned by the Township). Given the fact the MLSN is funding a considerable portion of the improvements and given the modest amount requested to assist in completing the project, we've included it for consideration with this request.

Funding Proposal:

Attached is the 2019 General Fund operating summary emailed to the Board on January 22, 2020. As described in the email, the General Fund ended 2020 with an unaudited, cash surplus of **\$574,045**. I am recommending that the Board approve the transfer of these funds to the appropriate Capital Fund and appropriate from this transfer, the amounts needed for the three projects listed above. The excess transfer amount, over the amounts needed for these three projects, will remain in the capital fund and be available for other project variances/ needs.

Unless directed otherwise, we will have legislation placed on the March 9, 2020 agenda memorializing the transfer of funds and the appropriation amendments.

**RESOLUTION NO. 2020-44**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AWARDING THE CONTRACT FOR THE CONSTRUCTION OF  
THE HARFORD TRAIL PROJECT TO JAMES R. KENNEY, EXCAVATING &  
PAVING, INCORPORATED, IN THE AMOUNT OF \$378,369**

*WHEREAS*, Radnor Township wishes to reinstate a trail from the Radnor Elementary School to the Harford Park/Creutzberg Center

*WHEREAS*, the reinstating of said trail will be part of the larger connection from the Radnor Station to the Elementary School to the Creutzberg Center/Harford Park

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Award the contract for the Construction of the Harford Trail Project to James R. Kenney, Excavating & Paving, Incorporated, in the Amount of \$378,369

*SO RESOLVED* this 9<sup>th</sup> day of March, A.D., 2020

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
John Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Acting Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 3, 2020

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer

CC: William M. White, Acting Township Manager

**LEGISLATION: Resolution #2020-44 - Awarding the contract for the Construction of the Harford Trail Project to James R. Kenney, Excavating & Paving, Incorporated, in the Amount of \$378,369**

**LEGISLATIVE HISTORY:** The Board of Commissioners authorized design of the Harford Trail, funding (\$125,000) in the 2016 Trail Bond, and in the General Obligation Bond Series 2019.

5285401H - HARFORD PK TRAIL IMPRV	\$0.00	(\$220,320.00)	\$ -	\$ -	\$220,320.00
30770 - CONTRIBUTIONS	(\$125,000.00)	\$0.00	\$ -	\$ -	(\$125,000.00)
31090 - GOB PROCEEDS	(\$220,320.00)	(\$220,320.00)	\$ -	\$ -	\$0.00
48111 - CAPEX-ENGINEERING	\$22,120.00	\$0.00	\$ -	\$ -	\$22,120.00
48112 - CAPEX-INSPECTION	\$43,200.00	\$0.00	\$ -	\$ -	\$43,200.00
48204 - CAPEX-IMPROVEMENTS	\$280,000.00	\$0.00	\$ -	\$ -	\$280,000.00

**PURPOSE AND EXPLANATION:** Previously there was a driveway/path that allowed pedestrians the ability to reach the Township's Harford Park/Creutzberg Center from Radnor Elementary School. This was part of a larger connection from Radnor Station, to the Elementary School, to Harford Park/Creutzberg Center. After litigation, it was determined that this path was unable to be used by the general public, it was private property. Eventually, the parcel was sold, and the former path became the shared driveway to two interior building lots.

To reinstate this trail connection, the Commissioners awarded the contract for design for a new path, that would use the property of Brandywine Realty Trust. The necessary easements were obtained from Brandywine Realty Trust, and the plan finalized for sealed bids (please see attached bid set plans).

**IMPLEMENTATION SCHEDULE:** Pending Commissioners funding of this project, a Notice to Proceed will be issued to the contractor. It is anticipated that the project will take 120 days from NTP to be completed.

**FISCAL IMPACT:** The accounting for the Harford Trail follows:

Harford Trail CAPEX Accounting	
2016 Trail Bond Funds	\$125,000.00
2019 GOB Funds	\$220,320.00
Expenses YTD (design)	-\$28,335.40
James R. Kenney, Excavating & Paving (low bidder)	-\$378,369.00
*Funding Shortfall	-\$61,384.40
*Does not include contingency (\$56,755) & Inspection funding (\$37,836)	

The Board of Commissioners will have to determine how to fund the shortfall.

**RECOMMENDED ACTION:** Staff respectfully requests the Board of Commissioners of Radnor Township fund this project and Award the contract for the Construction of the Harford Trail Project to James R. Kenney, Excavating & Paving, Incorporated, in the Amount of \$378,369

# HARFORD TRAIL

## RADNOR TOWNSHIP, DELAWARE COUNTY, PA

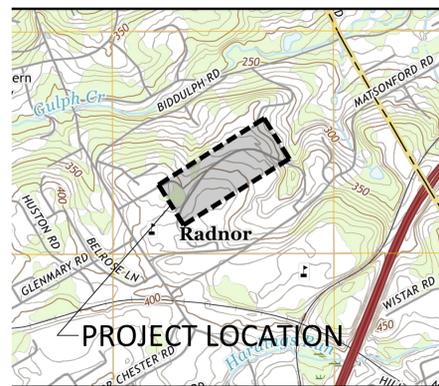
REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT

**meliora**   
 MELIORA DESIGN  
 259 MORGAN STREET  
 PHOENIXVILLE, PA 19460  
 610.933.0123  
 WWW.MELIORADESIGN.COM

### LOCATION MAP



MAP SCALE : 1" = 1000 FT.

### LIST OF DRAWINGS

Sheet Number	Sheet Title
CS	COVER SHEET
C1.00	EXISTING CONDITIONS - SHEET 1
C1.01	EXISTING CONDITIONS - SHEET 2
C1.02	EXISTING CONDITIONS - SHEET 3
C2.00	EROSION & SEDIMENT CONTROL PLAN - SHEET 1
C2.01	EROSION & SEDIMENT CONTROL PLAN - SHEET 2
C2.02	EROSION & SEDIMENT CONTROL PLAN - SHEET 3
C2.03	EROSION & SEDIMENT CONTROL NOTES
C2.04	EROSION & SEDIMENT CONTROL DETAILS
C3.00	STORMWATER & GRADING PLAN - SHEET 1
C3.01	STORMWATER & GRADING PLAN - SHEET 2
C3.02	STORMWATER & GRADING PLAN - SHEET 3
C3.03	PIPE PROFILE
C3.04	GRADING SECTIONS
C3.05	STORMWATER DETAILS
C4.00	SITE PLAN - SHEET 1
C4.01	SITE PLAN - SHEET 2
C4.02	SITE PLAN - SHEET 3
C4.03	SITE DETAILS



IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, RADNOR TOWNSHIP HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.

ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.

PROJECT TITLE:

HARFORD TRAIL

SEAL:



SUBMISSION:

CONSTRUCTION DOCUMENTS

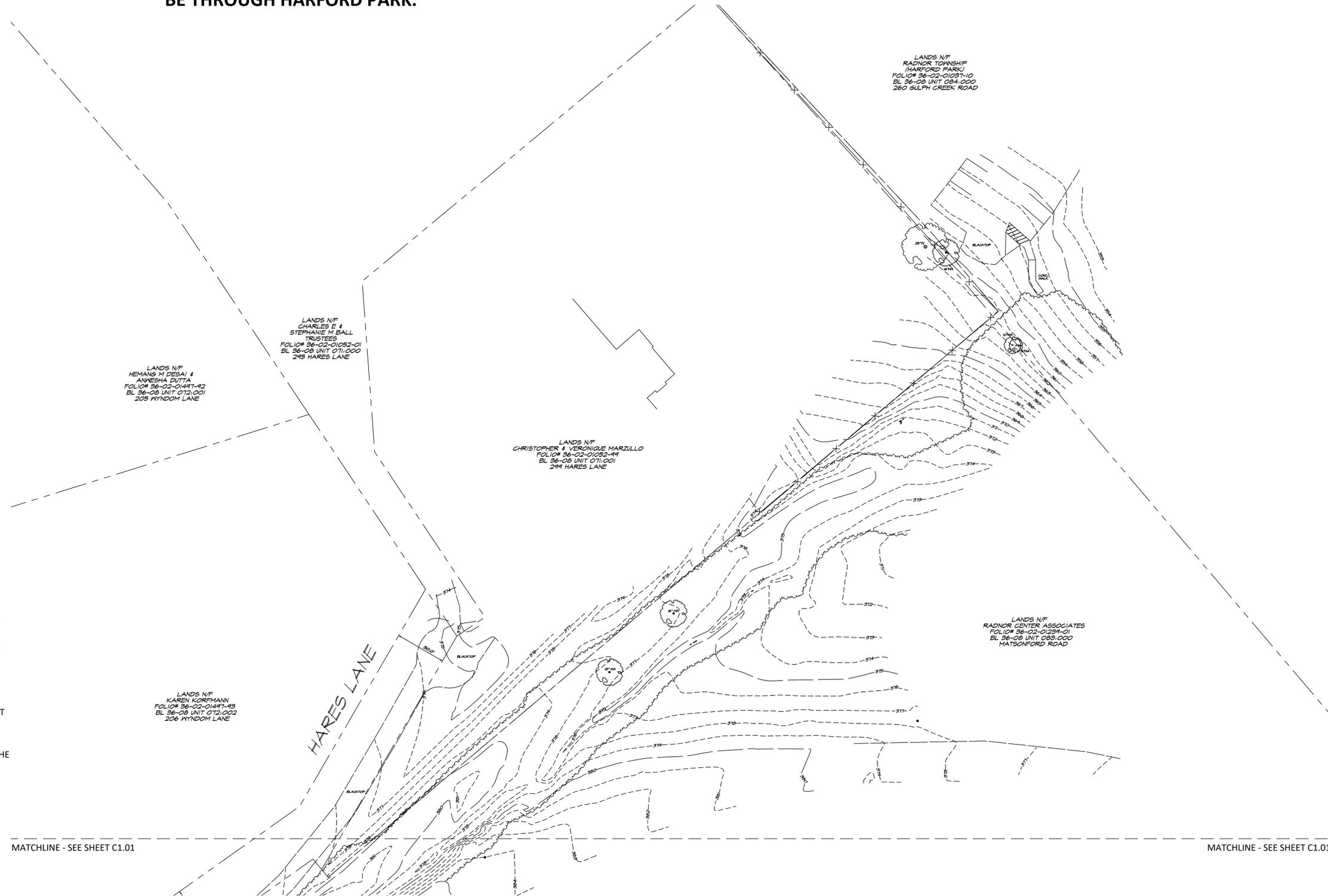
DRAWING TITLE:

COVER SHEET

DATE:	11/11/19	DRAWING NO:	CS
SCALE:	AS NOTED		
DRAWN BY:	MKT		
CHECKED BY:	MBH		

EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-X- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

**NOTE:**  
**ABSOLUTELY NO WORK OR ACCESS CAN TAKE PLACE FROM THE PAVED DRIVE, HARES LANE OR PRIVATE DRIVES. ALL ACCESS SHALL BE THROUGH HARFORD PARK.**

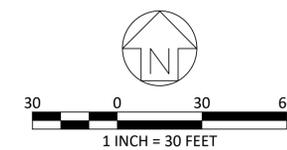


**NOTES:**

- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, RADNOR TOWNSHIP HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES AVE COMMENCED.



ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



REVISIONS:	
DATE:	ISSUE:

**OWNER:**  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

**CIVIL ENGINEERING CONSULTANT**

**meliora**

MELIORA DESIGN  
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**PROJECT TITLE:**  
 HARFORD TRAIL

**SEAL:**

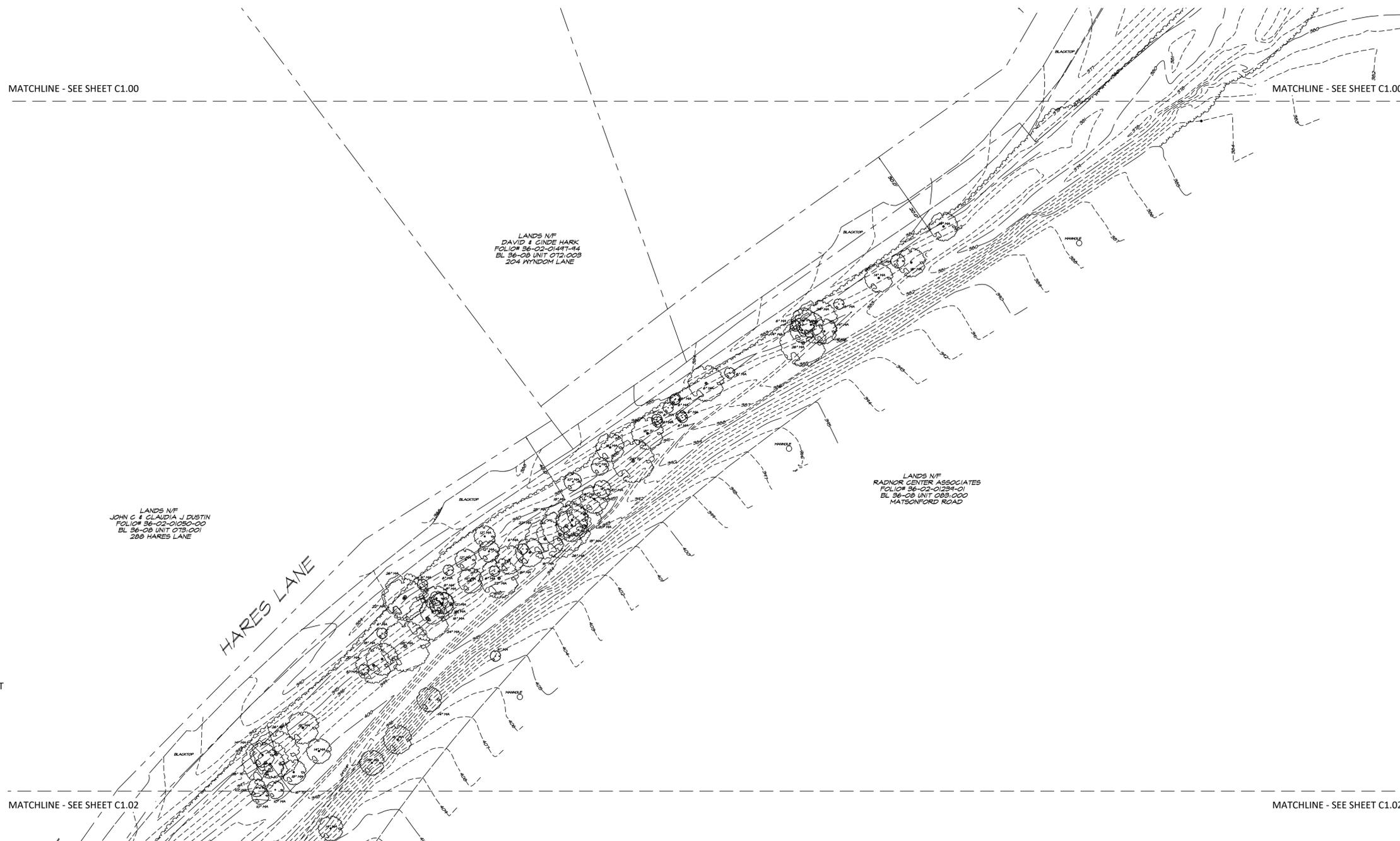
**SUBMISSION:**  
 CONSTRUCTION DOCUMENTS

**DRAWING TITLE:**  
 EXISTING CONDITIONS - SHEET 1

DATE: 11/11/19	DRAWING NO: C1.00
SCALE: 1" = 20'	
DRAWN BY:	
CHECKED BY:	

EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-X- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
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--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

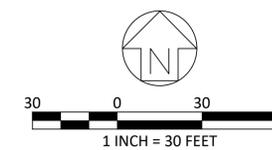
**NOTE:**  
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- NOTES:
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  - IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES AVE COMMENCED.



ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:  
**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**EXISTING CONDITIONS - SHEET 2**

DATE: 11/11/19	DRAWING NO: <b>C1.01</b>
SCALE: 1" = 20'	
DRAWN BY:	
CHECKED BY:	



EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

EROSION & SEDIMENT CONTROL LEGEND	
---	LIMIT OF DISTURBANCE
---	PROJECT BOUNDARY/TEMPORARY EASEMENT
-x-	CONSTRUCTION FENCE (DETAIL 6/C2.2)
X	TREE REMOVAL
+	STORMWATER PIPE REMOVAL
○	TREE PROTECTION (DETAIL 4/C2.2)
○	COMPOST SOCK (DETAIL 1/C2.2)
▨	EROSION CONTROL BLANKET (DETAIL 3/C2.2)
▩	ROCK CONSTRUCTION ENTRANCE (DETAIL 5/C2.2)

---400---	PROPOSED CONTOUR
▨	PROPOSED TRAIL

**NOTE:**  
**ABSOLUTELY NO WORK OR ACCESS CAN TAKE PLACE FROM THE PAVED DRIVE, HARES LANE OR PRIVATE DRIVES. ALL ACCESS SHALL BE THROUGH HARFORD PARK.**

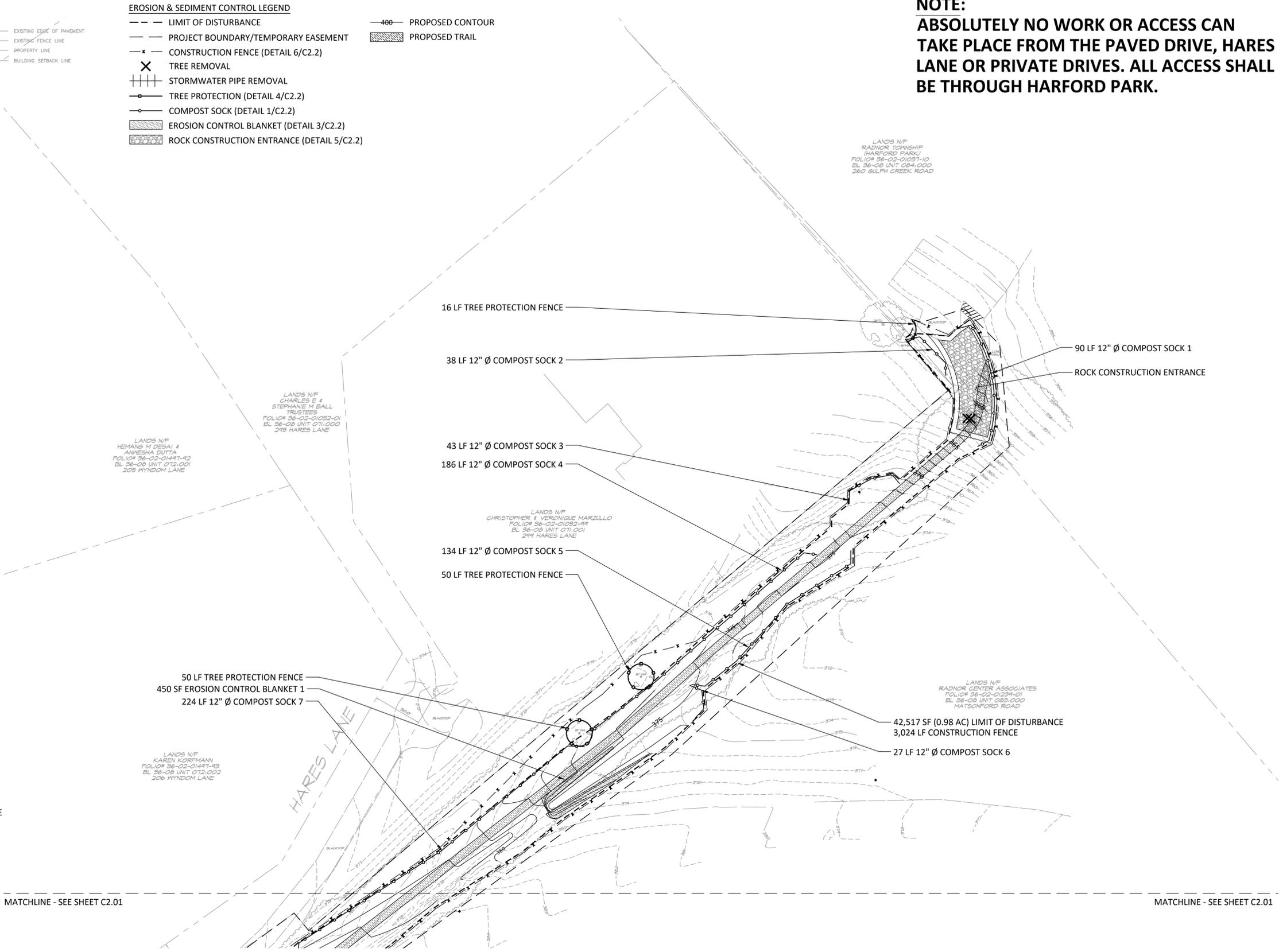
REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT

**meliora**   
 MELIORA DESIGN  
 259 MORGAN STREET  
 PHOENIXVILLE, PA 19460  
 610.933.0123  
 WWW.MELIORADESIGN.COM

- NOTES:
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, RADNOR TOWNSHIP HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
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  - TREE REMOVAL OUTSIDE OF THE LIMIT OF DISTURBANCE SHALL ONLY CONSIST OF CUTTING THE TREE TO GROUND LEVEL AND LEAVING THE STUMP IN GROUND. TREES WITHIN THE LIMIT OF DISTURBANCE SHALL HAVE THE STUMP REMOVED BY GRINDING OR RIPPING.
  - ALL CONSTRUCTION ACTIVITY WILL REMAIN WITHIN THE PROJECT BOUNDARY/TEMPORARY EASEMENT AS SHOWN ON THE PLAN.

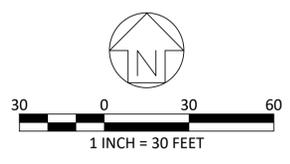


MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.01



ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



PROJECT TITLE:

**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**EROSION & SEDIMENT CONTROL PLAN - SHEET 1**

DATE: 11/11/19	DRAWING NO:
SCALE: 1" = 30'	<b>C2.00</b>
DRAWN BY: MKT	
CHECKED BY: MBH	

EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

**EROSION & SEDIMENT CONTROL LEGEND**

--- LIMIT OF DISTURBANCE	---400--- PROPOSED CONTOUR
--- PROJECT BOUNDARY/TEMPORARY EASEMENT	--- PROPOSED TRAIL
-x- CONSTRUCTION FENCE (DETAIL 6/C2.2)	
X TREE REMOVAL	
+++ STORMWATER PIPE REMOVAL	
--- TREE PROTECTION (DETAIL 4/C2.2)	
--- COMPOST SOCK (DETAIL 1/C2.2)	
--- EROSION CONTROL BLANKET (DETAIL 3/C2.2)	
--- ROCK CONSTRUCTION ENTRANCE (DETAIL 5/C2.2)	

**NOTE:**  
**ABSOLUTELY NO WORK OR ACCESS CAN TAKE PLACE FROM THE PAVED DRIVE, HARES LANE OR PRIVATE DRIVES. ALL ACCESS SHALL BE THROUGH HARFORD PARK.**

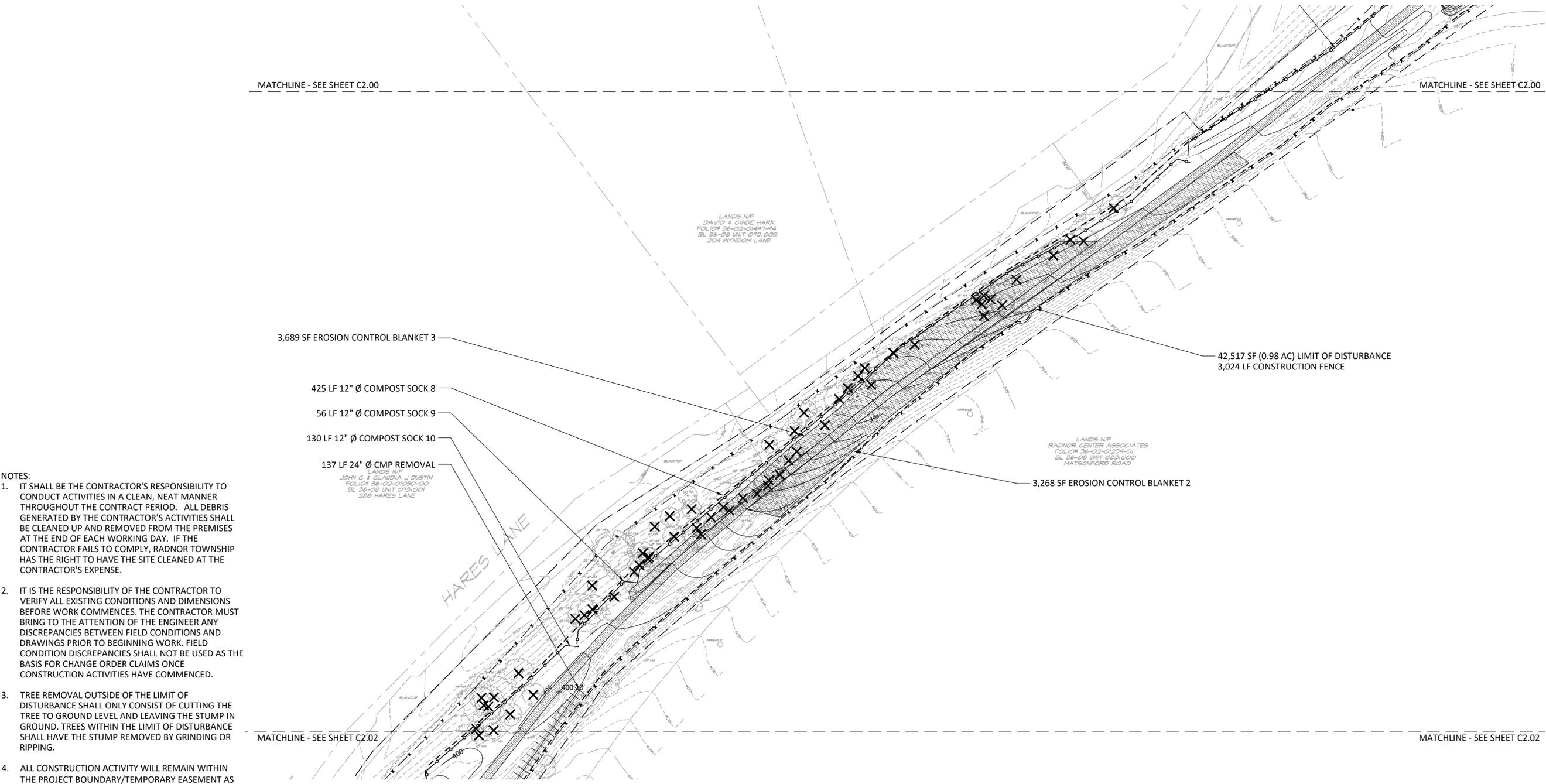
REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



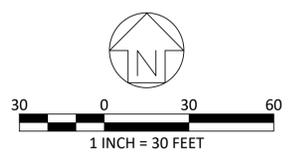
MELIORA DESIGN  
 259 MORGAN STREET  
 PHOENIXVILLE, PA 19460  
 610.933.0123  
 WWW.MELIORADESIGN.COM



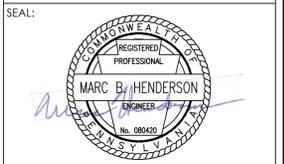
- NOTES:**
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, RADNOR TOWNSHIP HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
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  - ALL CONSTRUCTION ACTIVITY WILL REMAIN WITHIN THE PROJECT BOUNDARY/TEMPORARY EASEMENT AS SHOWN ON THE PLAN.



ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



PROJECT TITLE:  
**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**EROSION & SEDIMENT CONTROL PLAN - SHEET 2**

DATE: 11/11/19	DRAWING NO: <b>C2.01</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

**EXISTING CONDITIONS LEGEND**

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING STORM SEWER PIPING
- EXISTING SANITARY SEWER PIPING
- EXISTING GAS MAIN
- EXISTING WATER MAIN / SERVICE
- EXISTING OVERHEAD UTILITY WIRES
- EXISTING UNDERGROUND TELEPHONE
- EXISTING SOIL SERIES LIMITS
- EXISTING EDGE OF WOODS
- EXISTING PLANTING BED
- EXISTING EDGE OF PAVEMENT
- x- EXISTING FENCE LINE
- PROPERTY LINE
- BUILDING SETBACK LINE

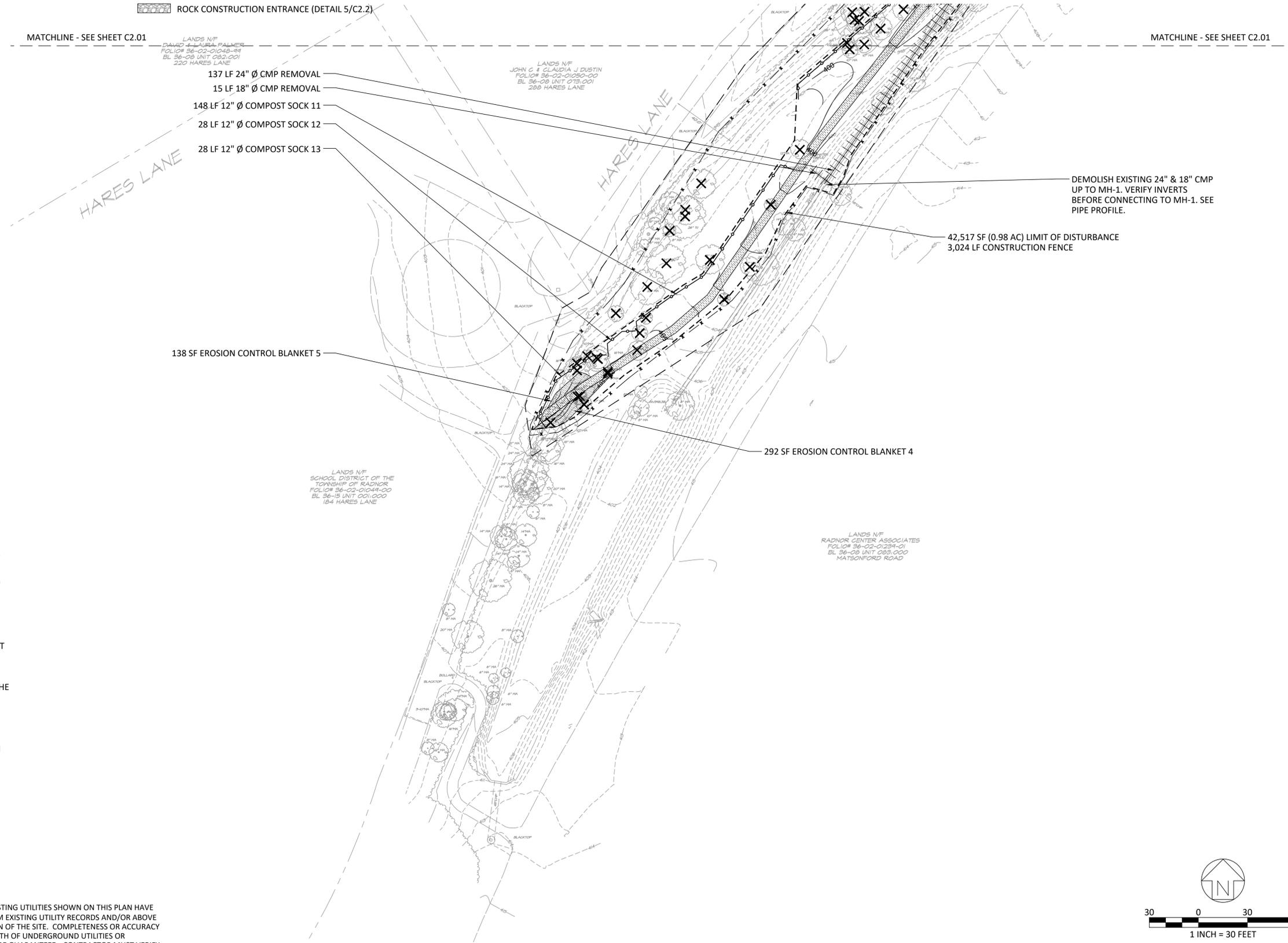
**EROSION & SEDIMENT CONTROL LEGEND**

- LIMIT OF DISTURBANCE
- PROJECT BOUNDARY/TEMPORARY EASEMENT
- x- CONSTRUCTION FENCE (DETAIL 6/C2.2)
- X TREE REMOVAL
- +++ STORMWATER PIPE REMOVAL
- TREE PROTECTION (DETAIL 4/C2.2)
- COMPOST SOCK (DETAIL 1/C2.2)
- EROSION CONTROL BLANKET (DETAIL 3/C2.2)
- ROCK CONSTRUCTION ENTRANCE (DETAIL 5/C2.2)
- 400--- PROPOSED CONTOUR
- PROPOSED TRAIL

**NOTE:**  
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MATCHLINE - SEE SHEET C2.01

MATCHLINE - SEE SHEET C2.01

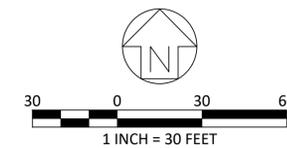


**NOTES:**

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REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:

**HARFORD TRAIL**

SEAL:



SUBMISSION:

**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:

**EROSION & SEDIMENT CONTROL PLAN - SHEET 3**

DATE: 11/11/19	DRAWING NO: <b>C2.02</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

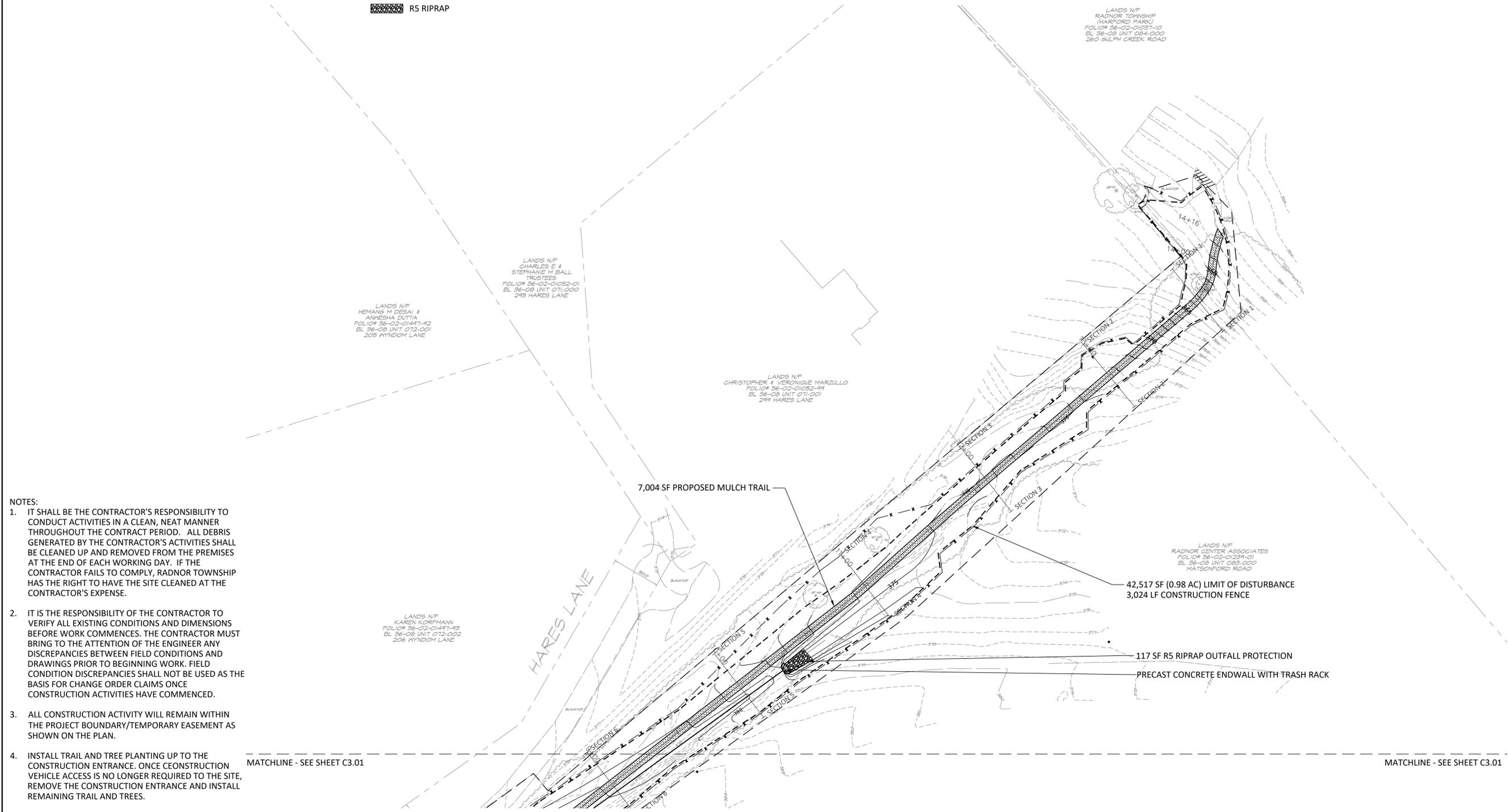




EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

LEGEND	
--- LIMIT OF DISTURBANCE	
--- PROJECT BOUNDARY/TEMPORARY EASEMENT	
-x- CONSTRUCTION FENCE (DETAIL 6/C2.2)	
--- PROPOSED CONTOUR	
--- PROPOSED TRAIL	
--- HDPE STORMWATER PIPE	
○ MANHOLE	
--- ENDWALL	
--- R5 RIPRAP	

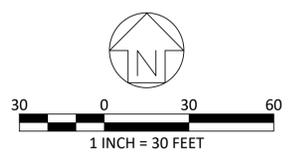
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REVISIONS:	
DATE:	ISSUE:

OWNER:  
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 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT

**meliora**

MELIORA DESIGN  
 259 MORGAN STREET  
 PHOENIXVILLE, PA 19460  
 610.933.0123  
 WWW.MELIORADESIGN.COM

PROJECT TITLE:  
**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

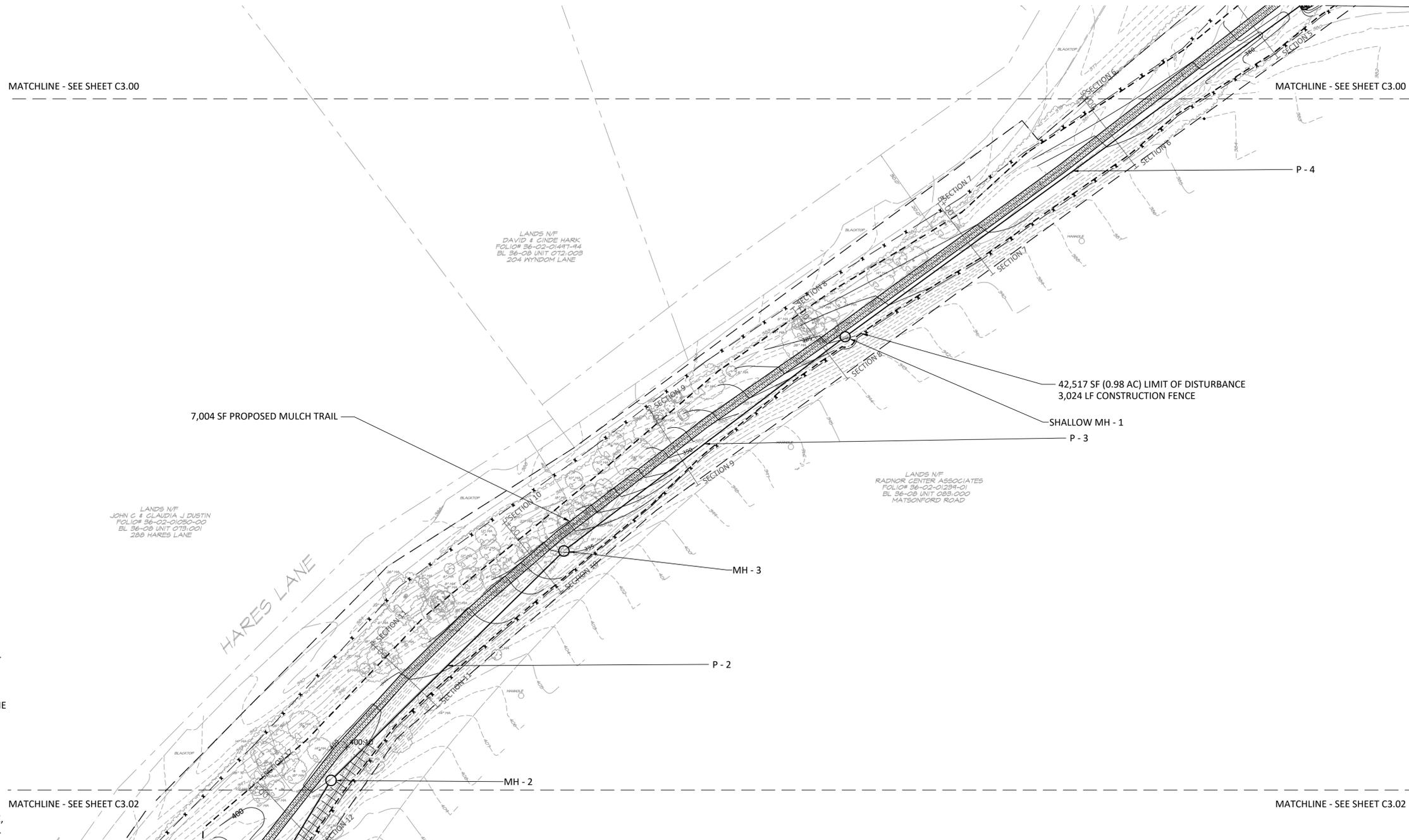
DRAWING TITLE:  
**STORMWATER & GRADING PLAN - SHEET 1**

DATE: 11/11/19	DRAWING NO: <b>C3.00</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

EXISTING CONDITIONS LEGEND	
--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

LEGEND	
--- LIMIT OF DISTURBANCE	
--- PROJECT BOUNDARY/TEMPORARY EASEMENT	
-x- CONSTRUCTION FENCE (DETAIL 6/C2.2)	
--- PROPOSED CONTOUR	
▨ PROPOSED TRAIL	
--- HDPE STORMWATER PIPE	
○ MANHOLE	
▤ ENDWALL	
▨ R5 RIPRAP	

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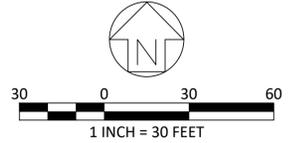
LANDS N/F  
 JOHN G & CLAUDIA J DUSTIN  
 FOLIO# 36-02-01230-00  
 BL 36-02 UNIT 079.001  
 288 HARES LANE

LANDS N/F  
 DAVID & GINDE HARK  
 FOLIO# 36-02-01447-44  
 BL 36-02 UNIT 072.003  
 204 WYNDOM LANE

LANDS N/F  
 RADNOR CENTER ASSOCIATES  
 FOLIO# 36-02-01234-01  
 BL 36-02 UNIT 083.000  
 MATSONFORD ROAD



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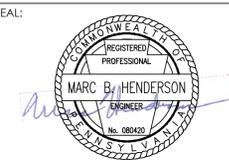
REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:  
**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**STORMWATER & GRADING PLAN - SHEET 2**

DATE: 11/11/19	DRAWING NO: <b>C3.01</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

**EXISTING CONDITIONS LEGEND**

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- EXISTING STORM SEWER PIPING
- EXISTING SANITARY SEWER PIPING
- EXISTING GAS MAIN
- EXISTING WATER MAIN / SERVICE
- EXISTING OVERHEAD UTILITY WIRES
- EXISTING UNDERGROUND TELEPHONE
- EXISTING SOIL SERIES LIMITS
- EXISTING EDGE OF WOODS
- EXISTING PLANTING BED
- EXISTING EDGE OF PAVEMENT
- x- EXISTING FENCE LINE
- PROPERTY LINE
- BUILDING SETBACK LINE

**LEGEND**

- LIMIT OF DISTURBANCE
- PROJECT BOUNDARY/TEMPORARY EASEMENT
- x- CONSTRUCTION FENCE (DETAIL 6/C2.2)
- PROPOSED CONTOUR
- PROPOSED TRAIL
- HDPE STORMWATER PIPE
- MANHOLE
- ENDWALL
- R5 RIPRAP

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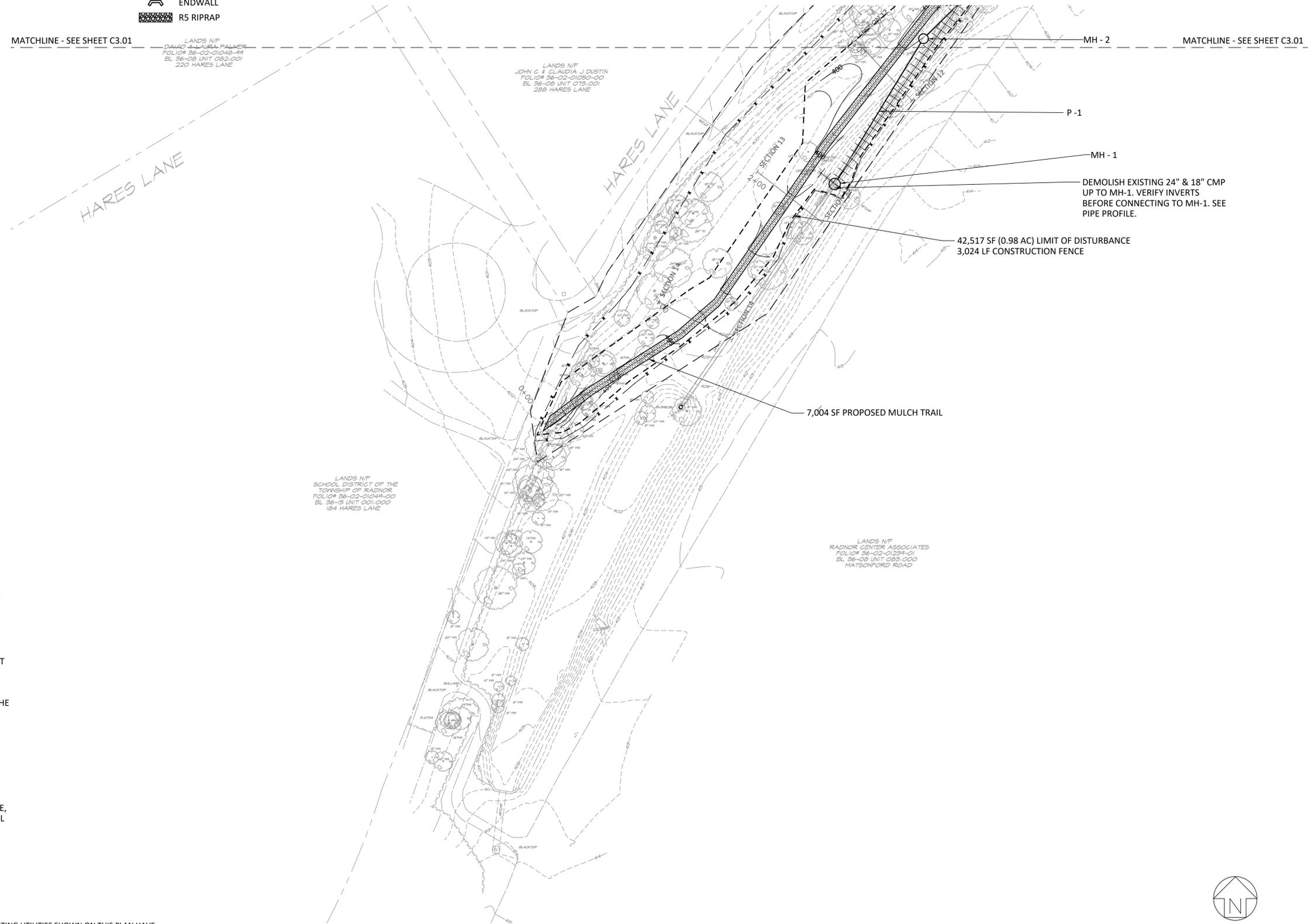
MATCHLINE - SEE SHEET C3.01

LANDS N/F  
 DAVID & LAURA PALMER  
 FOLIO# 36-02-01040-00  
 BL 36-02 UNIT 021.001  
 220 HARES LANE

LANDS N/F  
 JOHN C. & CLAUDIA J. DUSTIN  
 FOLIO# 36-02-01050-00  
 BL 36-02 UNIT 073.001  
 288 HARES LANE

LANDS N/F  
 SCHOOL DISTRICT OF THE  
 TOWNSHIP OF RADNOR  
 FOLIO# 36-02-01044-00  
 BL 36-15 UNIT 001.000  
 184 HARES LANE

LANDS N/F  
 RADNOR CENTER ASSOCIATES  
 FOLIO# 36-02-01234-01  
 BL 36-02 UNIT 023.000  
 MATSONFORD ROAD



MH - 2

MATCHLINE - SEE SHEET C3.01

P - 1

MH - 1

DEMOLISH EXISTING 24" & 18" CMP UP TO MH-1. VERIFY INVERTS BEFORE CONNECTING TO MH-1. SEE PIPE PROFILE.

42,517 SF (0.98 AC) LIMIT OF DISTURBANCE  
 3,024 LF CONSTRUCTION FENCE

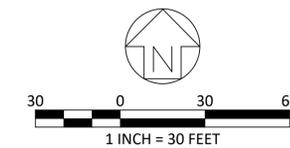
7,004 SF PROPOSED MULCH TRAIL

**NOTES:**

1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONDUCT ACTIVITIES IN A CLEAN, NEAT MANNER THROUGHOUT THE CONTRACT PERIOD. ALL DEBRIS GENERATED BY THE CONTRACTOR'S ACTIVITIES SHALL BE CLEANED UP AND REMOVED FROM THE PREMISES AT THE END OF EACH WORKING DAY. IF THE CONTRACTOR FAILS TO COMPLY, RADNOR TOWNSHIP HAS THE RIGHT TO HAVE THE SITE CLEANED AT THE CONTRACTOR'S EXPENSE.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS BEFORE WORK COMMENCES. THE CONTRACTOR MUST BRING TO THE ATTENTION OF THE ENGINEER ANY DISCREPANCIES BETWEEN FIELD CONDITIONS AND DRAWINGS PRIOR TO BEGINNING WORK. FIELD CONDITION DISCREPANCIES SHALL NOT BE USED AS THE BASIS FOR CHANGE ORDER CLAIMS ONCE CONSTRUCTION ACTIVITIES HAVE COMMENCED.
3. ALL CONSTRUCTION ACTIVITY WILL REMAIN WITHIN THE PROJECT BOUNDARY/TEMPORARY EASEMENT AS SHOWN ON THE PLAN.
4. INSTALL TRAIL AND TREE PLANTING UP TO THE CONSTRUCTION ENTRANCE. ONCE CONSTRUCTION VEHICLE ACCESS IS NO LONGER REQUIRED TO THE SITE, REMOVE THE CONSTRUCTION ENTRANCE AND INSTALL REMAINING TRAIL AND TREES.



ALL LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DEVELOPED FROM EXISTING UTILITY RECORDS AND/OR ABOVE GROUND EXAMINATION OF THE SITE. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. CONTRACTOR MUST VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE START OF WORK PER PENNSYLVANIA ACT 287 OF 1974 AS AMENDED BY ACT 199 OF 2004 OR LATER.



REVISIONS:	
DATE:	ISSUE:

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:

**HARFORD TRAIL**

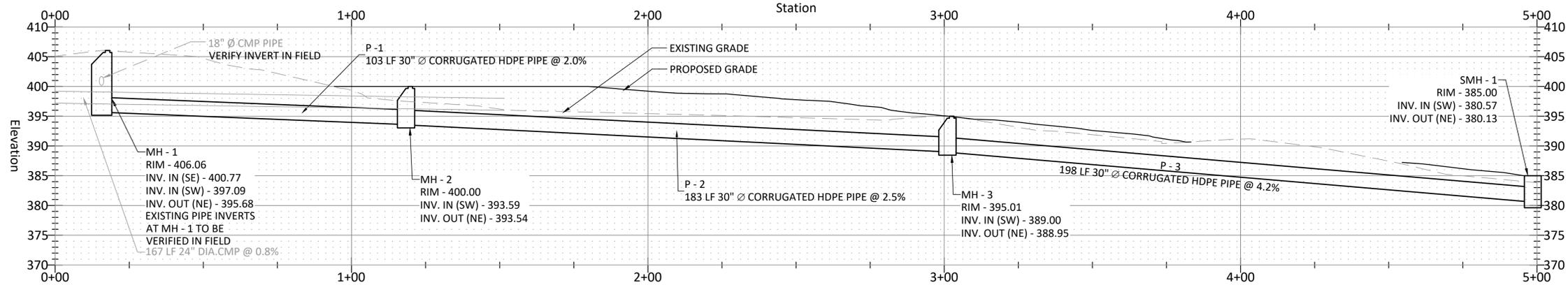


SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

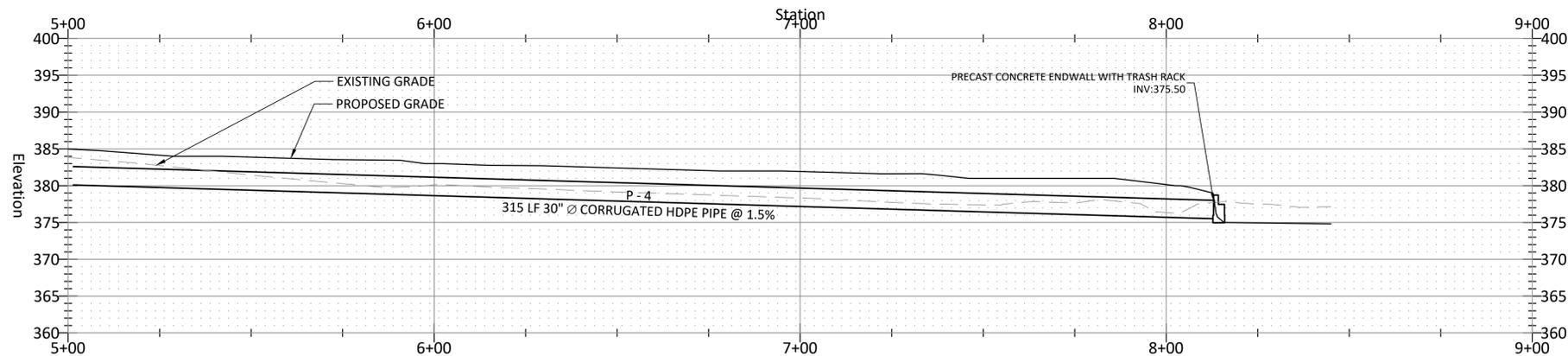
DRAWING TITLE:  
**STORMWATER & GRADING PLAN - SHEET 3**

DATE: 11/11/19	DRAWING NO: <b>C3.02</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

### STORM PIPE PROFILE



### STORM PIPE PROFILE



**NOTE:**  
**ABSOLUTELY NO WORK OR ACCESS CAN TAKE PLACE FROM THE PAVED DRIVE, HARES LANE OR PRIVATE DRIVES. ALL ACCESS SHALL BE THROUGH HARFORD PARK.**



REVISIONS:	
DATE:	ISSUE:

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 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:

**HARFORD TRAIL**

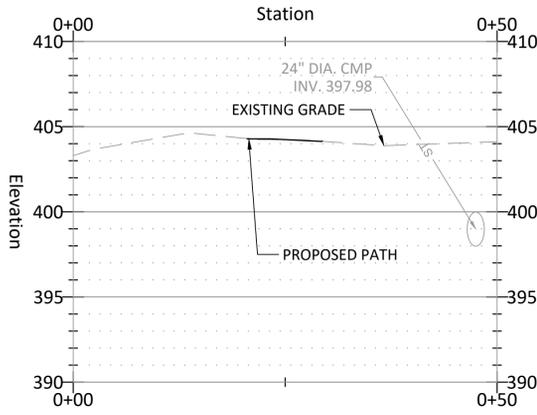


SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

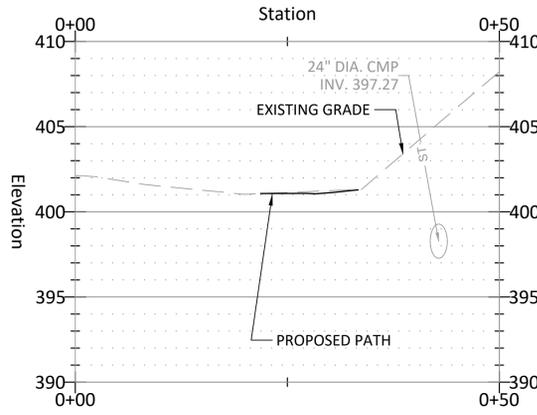
DRAWING TITLE:  
**PIPE PROFILE**

DATE: 11/11/19	DRAWING NO: <b>C3.03</b>
SCALE: AS NOTED	
DRAWN BY: MKT	
CHECKED BY: MBH	

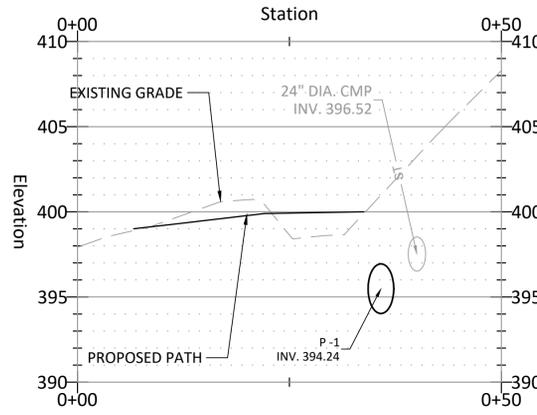
**SECTION 14 PROFILE**



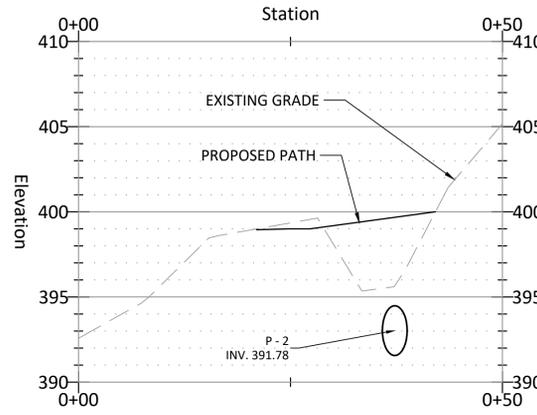
**SECTION 13 PROFILE**



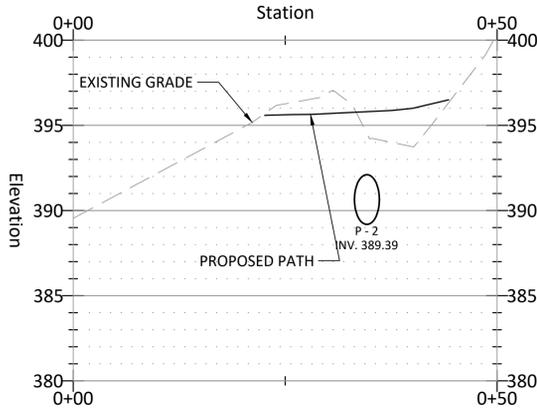
**SECTION 12 PROFILE**



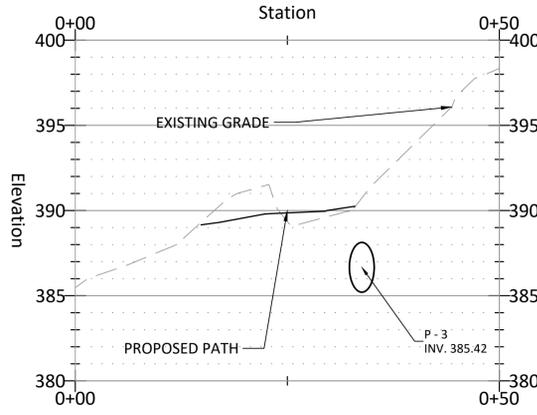
**SECTION 11 PROFILE**



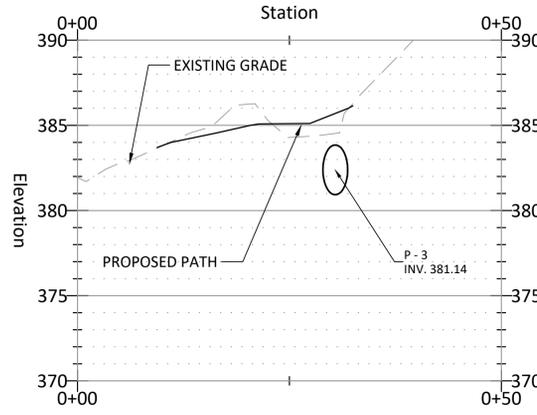
**SECTION 10 PROFILE**



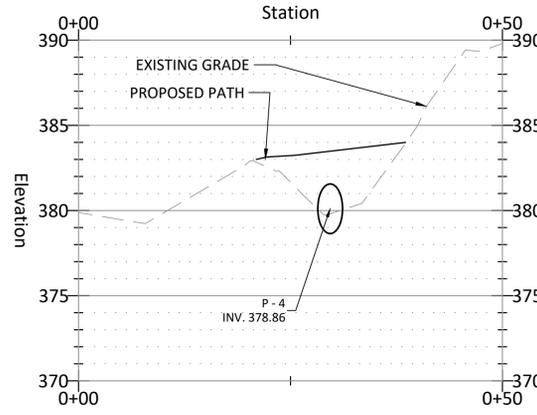
**SECTION 9 PROFILE**



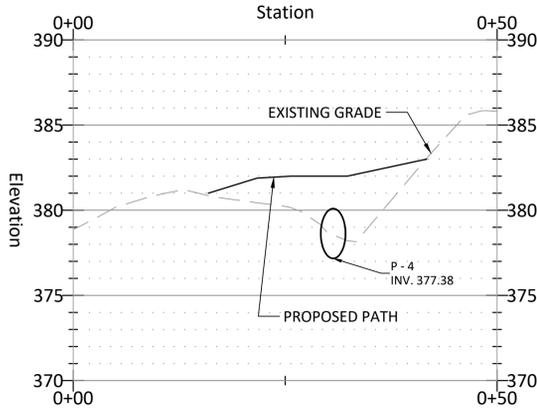
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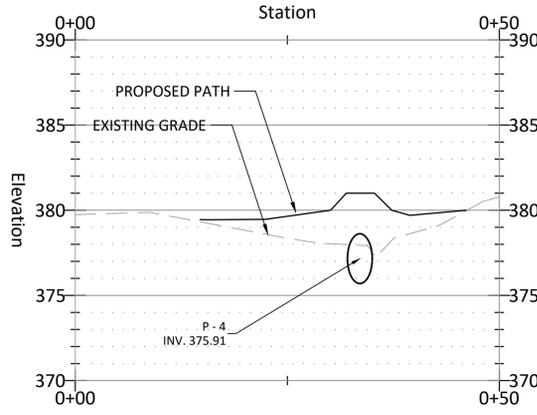
**SECTION 7 PROFILE**



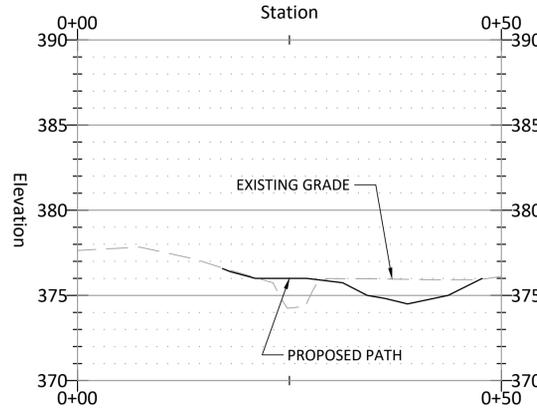
**SECTION 6 PROFILE**



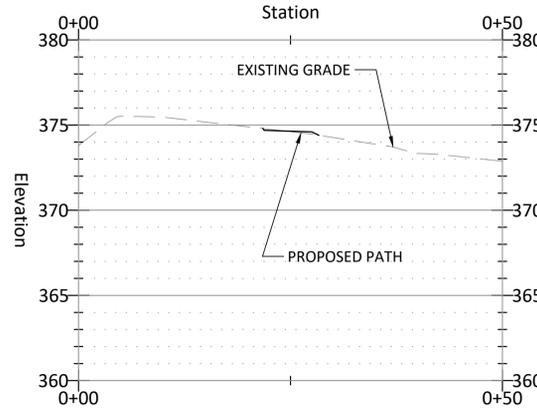
**SECTION 5 PROFILE**



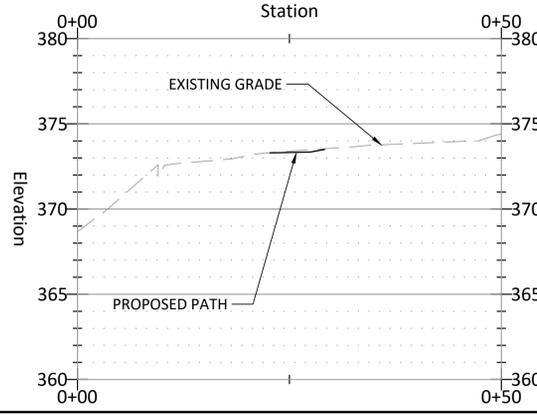
**SECTION 4 PROFILE**



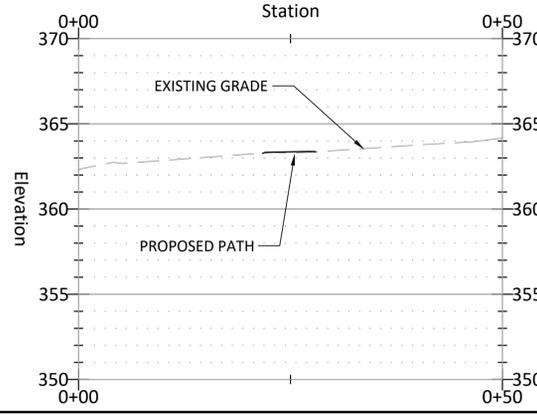
**SECTION 3 PROFILE**



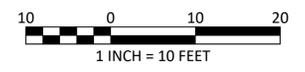
**SECTION 2 PROFILE**



**SECTION 1 PROFILE**



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REVISIONS:

DATE:	ISSUE:

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CIVIL ENGINEERING CONSULTANT



PROJECT TITLE:

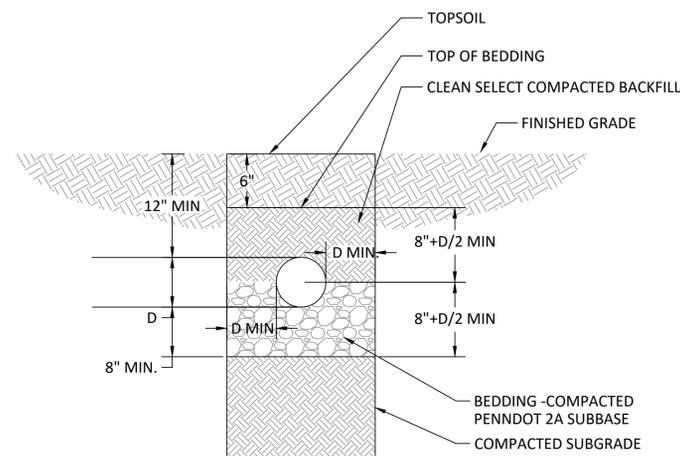
**HARFORD TRAIL**



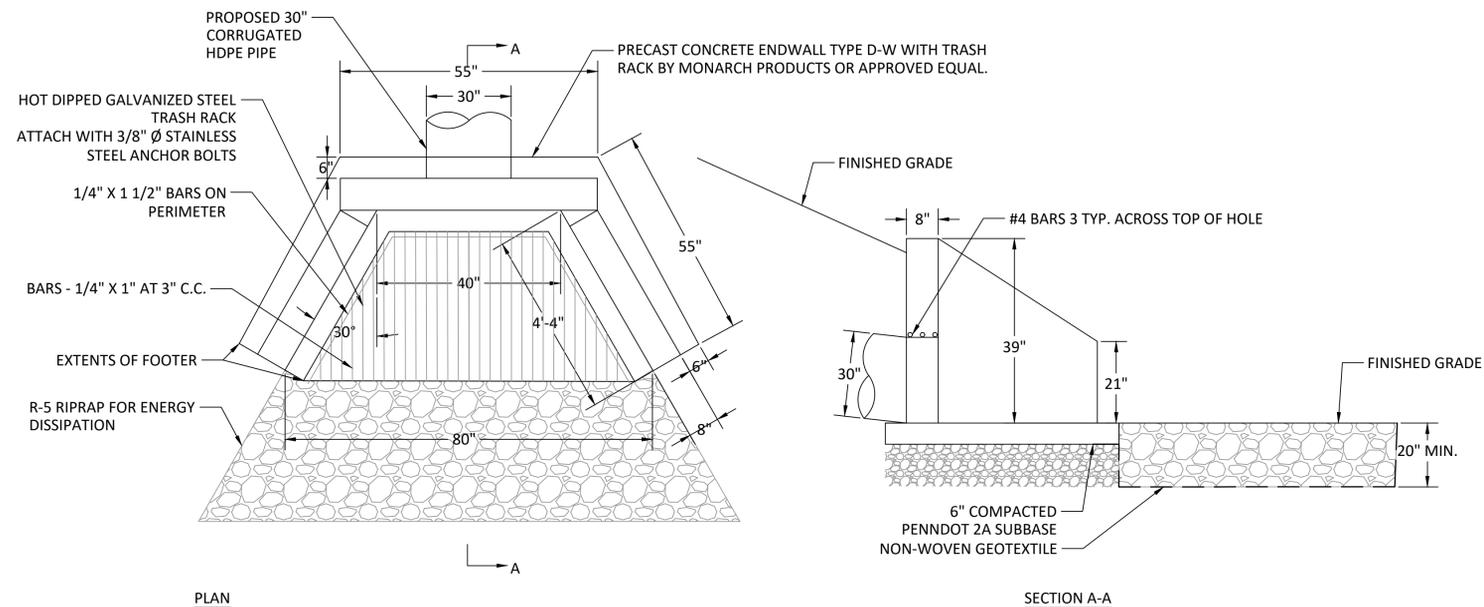
SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**GRADING SECTIONS**

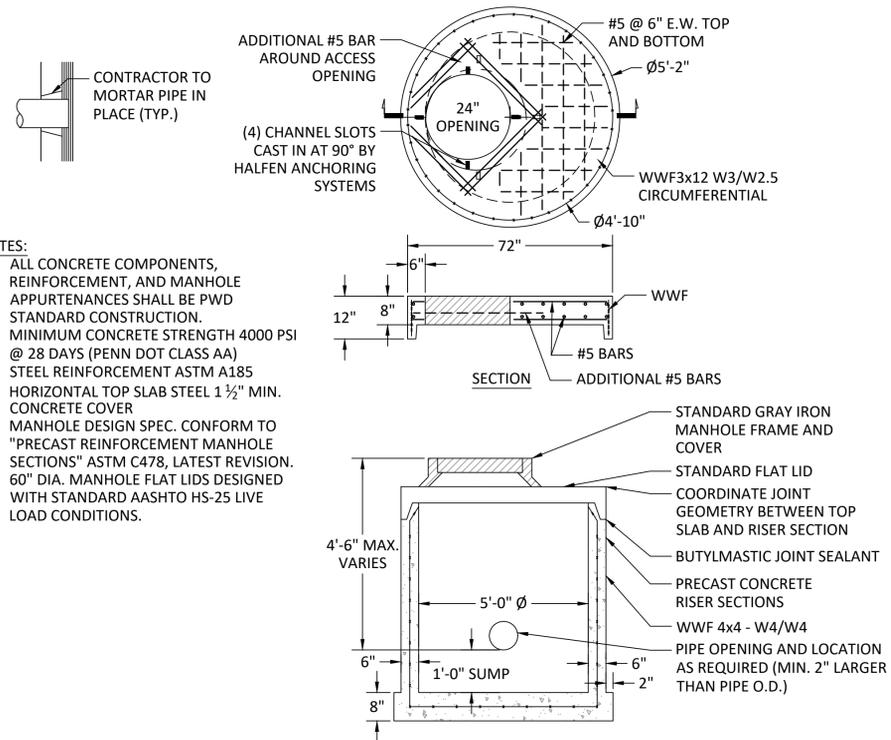
DATE: 11/11/19	DRAWING NO:
SCALE: AS NOTED	<b>C3.04</b>
DRAWN BY: MKT	
CHECKED BY: MBH	



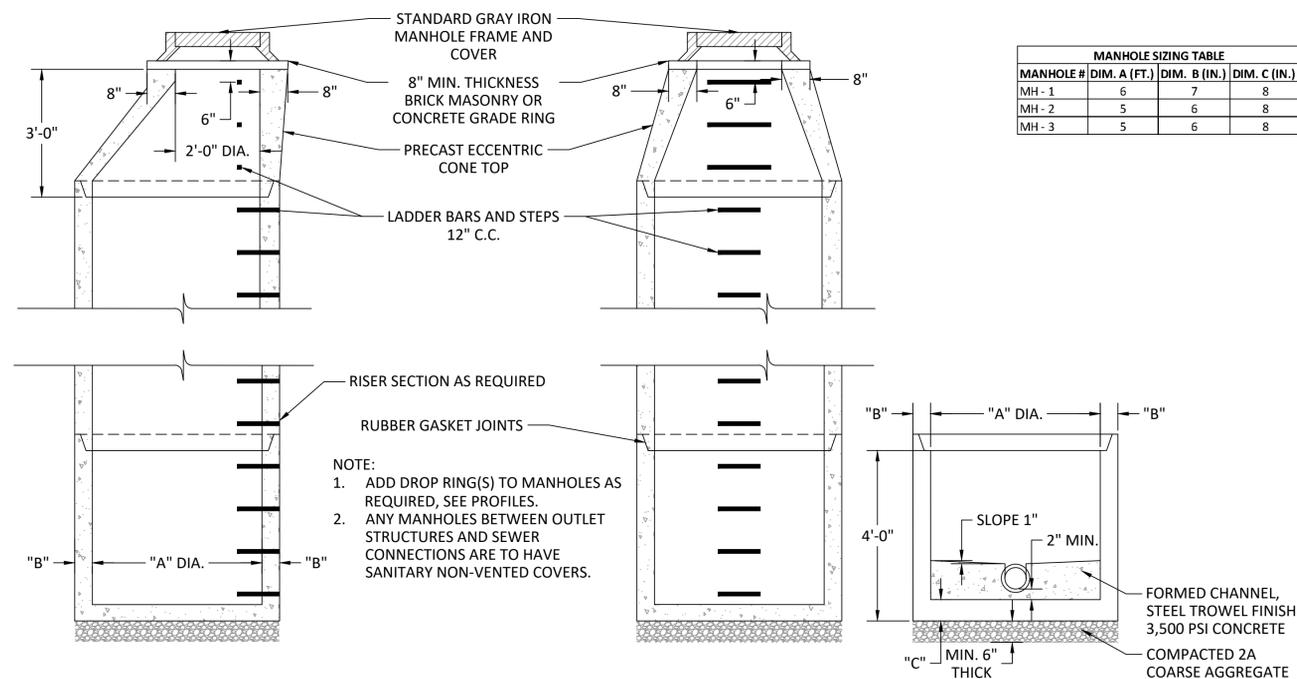
1 TYPICAL PIPE BEDDING  
C3.05 TYPICAL N.T.S.



2 PRECAST ENDWALL WITH TRASH RACK  
C3.05 TYPICAL N.T.S.



3 SHALLOW PRECAST MANHOLE (SHALLOW MH - 1)  
C3.05 TYPICAL N.T.S.



4 PRECAST MANHOLE  
C3.05 TYPICAL N.T.S.

MANHOLE #	DIM. A (FT.)	DIM. B (IN.)	DIM. C (IN.)
MH - 1	6	7	8
MH - 2	5	6	8
MH - 3	5	6	8

- NOTES:
1. ALL CONCRETE COMPONENTS, REINFORCEMENT, AND MANHOLE APPURTENANCES SHALL BE PWD STANDARD CONSTRUCTION.
  2. MINIMUM CONCRETE STRENGTH 4000 PSI @ 28 DAYS (PENN DOT CLASS AA) STEEL REINFORCEMENT ASTM A185 HORIZONTAL TOP SLAB STEEL 1 1/2" MIN. CONCRETE COVER
  3. MANHOLE DESIGN SPEC. CONFORM TO "PRECAST REINFORCEMENT MANHOLE SECTIONS" ASTM C478, LATEST REVISION. 60" DIA. MANHOLE FLAT LIDS DESIGNED WITH STANDARD AASHTO HS-25 LIVE LOAD CONDITIONS.

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REVISIONS:

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301 IVEN AVENUE  
WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



MELIORA DESIGN  
259 MORGAN STREET  
PHOENIXVILLE, PA 19460  
610.933.0123  
WWW.MELIORADESIGN.COM

PROJECT TITLE:

HARFORD TRAIL

SEAL:



SUBMISSION:

CONSTRUCTION DOCUMENTS

DRAWING TITLE:

STORMWATER DETAILS

DATE:

11/11/19

SCALE:

AS NOTED

DRAWN BY:

MKT

CHECKED BY:

MBH

DRAWING NO:

C3.05

**EXISTING CONDITIONS LEGEND**

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

**LEGEND**

---	LIMIT OF DISTURBANCE
---	PROJECT BOUNDARY/TEMPORARY EASEMENT
-x-	CONSTRUCTION FENCE (DETAIL 6/C2.2)
---	PROPOSED CONTOUR
▨	PROPOSED TRAIL
○	PROPOSED 2.5" TREE
○	PROPOSED FORESTRY GRADE WHIP

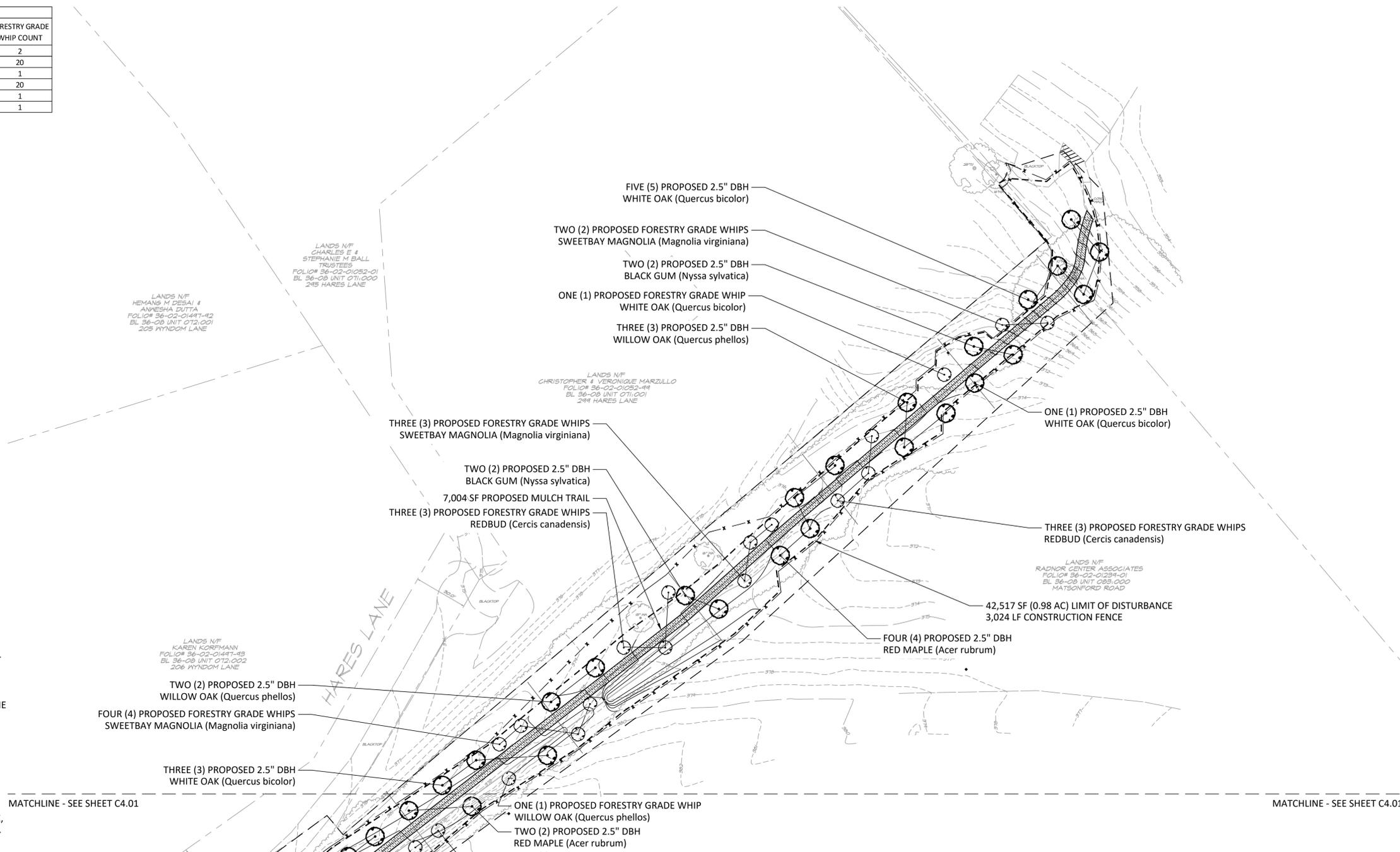
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**PROPOSED PLANTS**

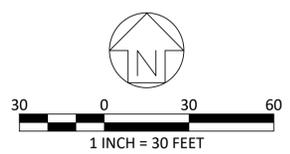
TREE SPECIES	2.5" DBH TREE COUNT	FORESTRY GRADE WHIP COUNT
BLACK GUM (Nyssa sylvatica)	18	2
REDBUD (Cercis canadensis)	0	20
RED MAPLE (Acer rubrum)	19	1
SWEETBAY MAGNOLIA (Magnolia virginiana)	0	20
WHITE OAK (Quercus bicolor)	19	1
WILLOW OAK (Quercus phellos)	19	1

**NOTES:**

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**REVISIONS:**

DATE:	ISSUE:

**OWNER:**  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

**CIVIL ENGINEERING CONSULTANT**

**meliora**

MELIORA DESIGN  
 259 MORGAN STREET  
 PHOENIXVILLE, PA 19460  
 610.933.0123  
 WWW.MELIORADESIGN.COM

**PROJECT TITLE:**

**HARFORD TRAIL**



**SUBMISSION:**

**CONSTRUCTION DOCUMENTS**

**DRAWING TITLE:**

**SITE PLAN - SHEET 1**

<b>DATE:</b> 11/11/19	<b>DRAWING NO.:</b> C4.00
<b>SCALE:</b> 1" = 30'	
<b>DRAWN BY:</b> MKT	
<b>CHECKED BY:</b> MBH	

**EXISTING CONDITIONS LEGEND**

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
--- EXISTING GAS MAIN	
--- EXISTING WATER MAIN / SERVICE	
--- EXISTING OVERHEAD UTILITY WIRES	
--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

**LEGEND**

--- LIMIT OF DISTURBANCE
--- PROJECT BOUNDARY/TEMPORARY EASEMENT
-x- CONSTRUCTION FENCE (DETAIL 6/C2.2)
--- PROPOSED CONTOUR
▨ PROPOSED TRAIL
○ PROPOSED 2.5" TREE
○ PROPOSED FORESTRY GRADE WHIP

**NOTE:**  
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**REVISIONS:**

DATE:	ISSUE:

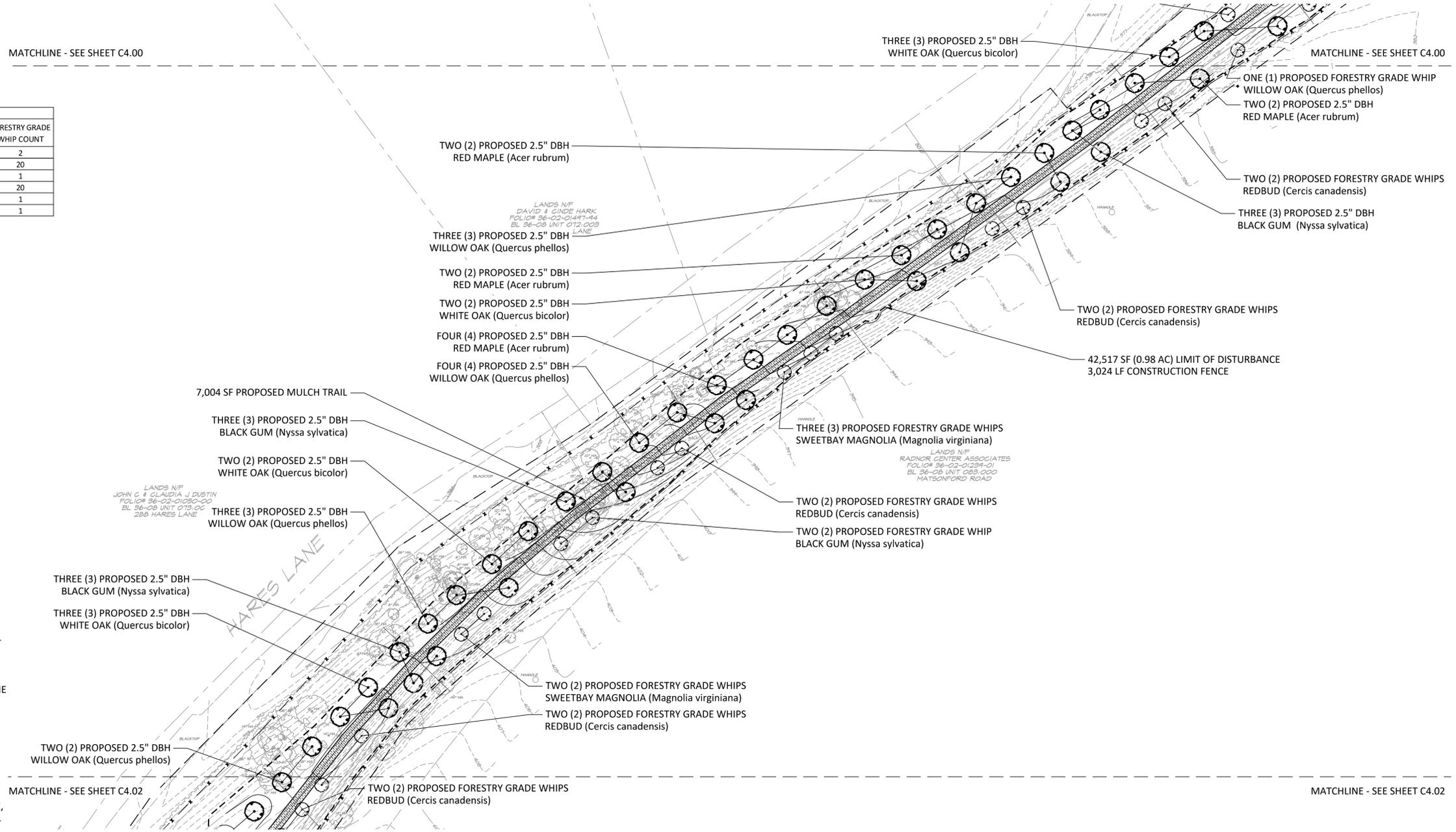
**OWNER:**  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT



**PROPOSED PLANTS**

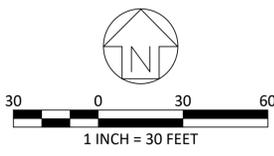
TREE SPECIES	2.5" DBH TREE COUNT	FORESTRY GRADE WHIP COUNT
BLACK GUM (Nyssa sylvatica)	18	2
REDBUD (Cercis canadensis)	0	20
RED MAPLE (Acer rubrum)	19	1
SWEETBAY MAGNOLIA (Magnolia virginiana)	0	20
WHITE OAK (Quercus bicolor)	19	1
WILLOW OAK (Quercus phellos)	19	1



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PROJECT TITLE:

**HARFORD TRAIL**



SUBMISSION:  
**CONSTRUCTION DOCUMENTS**

DRAWING TITLE:  
**SITE PLAN - SHEET 2**

DATE: 11/11/19	DRAWING NO: <b>C4.01</b>
SCALE: 1" = 30'	
DRAWN BY: MKT	
CHECKED BY: MBH	

**EXISTING CONDITIONS LEGEND**

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	--- EXISTING EDGE OF PAVEMENT
--- INDEX CONTOUR (5' INTERVAL)	-x- EXISTING FENCE LINE
--- EXISTING STORM SEWER PIPING	--- PROPERTY LINE
--- EXISTING SANITARY SEWER PIPING	--- BUILDING SETBACK LINE
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--- EXISTING UNDERGROUND TELEPHONE	
--- EXISTING SOIL SERIES LIMITS	
--- EXISTING EDGE OF WOODS	
--- EXISTING PLANTING BED	

**LEGEND**

--- LIMIT OF DISTURBANCE
--- PROJECT BOUNDARY/TEMPORARY EASEMENT
-x- CONSTRUCTION FENCE (DETAIL 6/C2.2)
--- PROPOSED CONTOUR
▨ PROPOSED TRAIL
○ PROPOSED 2.5" TREE
○ PROPOSED FORESTRY GRADE WHIP

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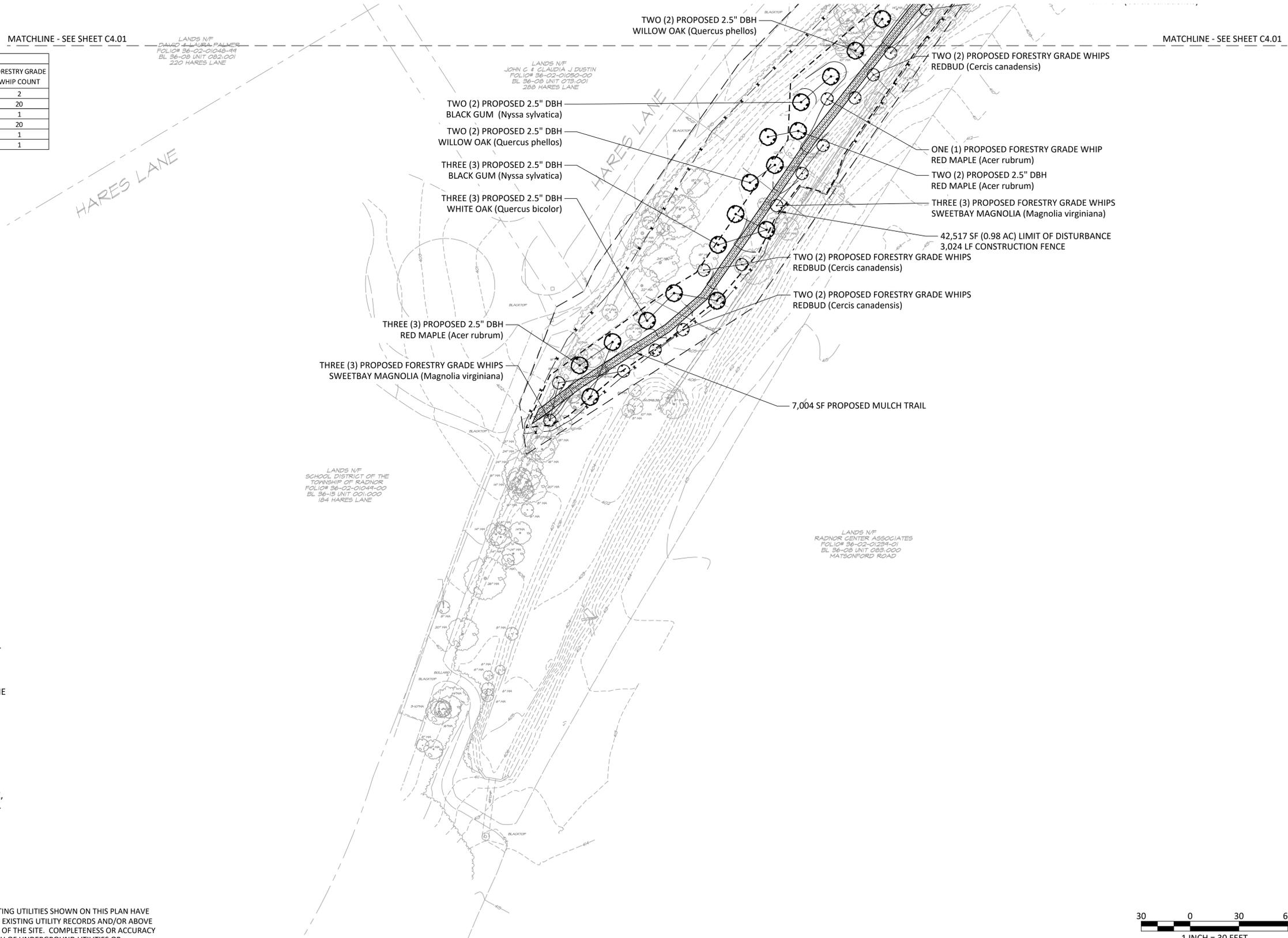


MATCHLINE - SEE SHEET C4.01

MATCHLINE - SEE SHEET C4.01

**PROPOSED PLANTS**

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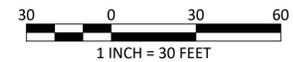


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**REVISIONS:**

DATE:	ISSUE:

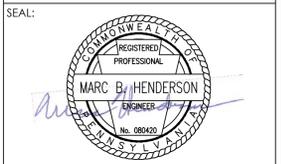
**OWNER:**  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

**CIVIL ENGINEERING CONSULTANT**



**PROJECT TITLE:**

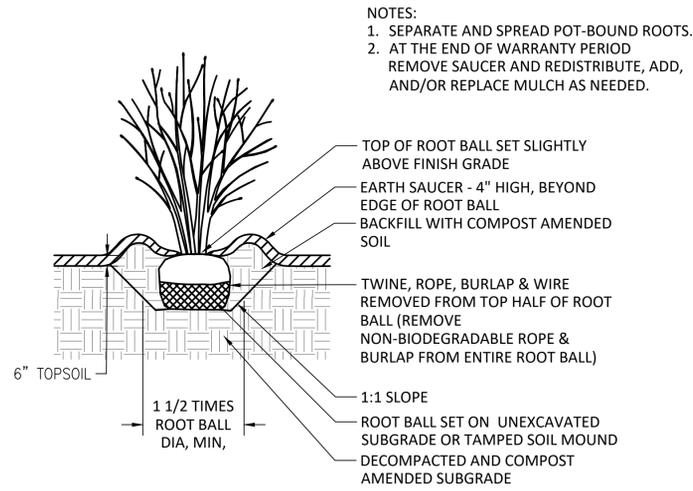
**HARFORD TRAIL**



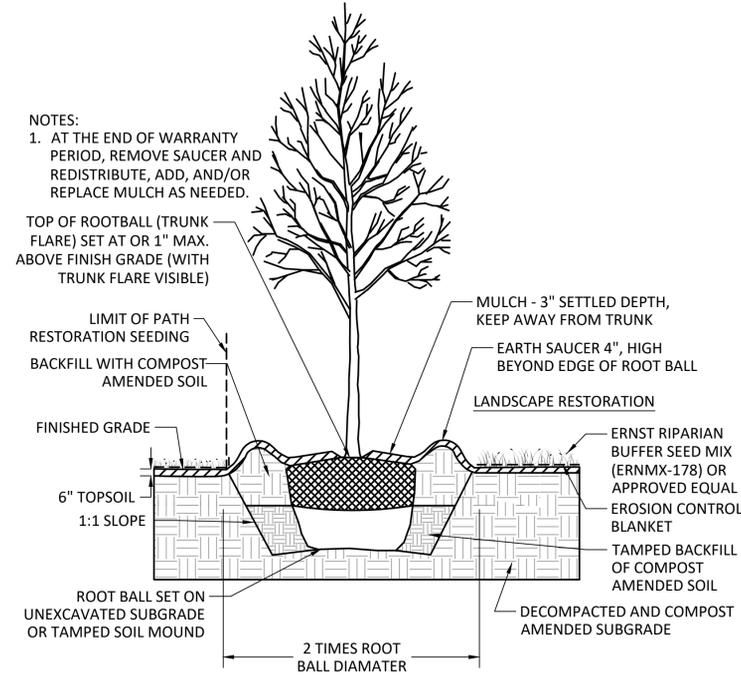
**SUBMISSION:**  
**CONSTRUCTION DOCUMENTS**

**DRAWING TITLE:**  
**SITE PLAN - SHEET 3**

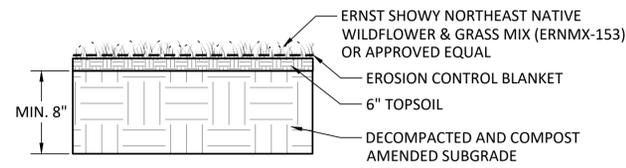
<b>DATE:</b> 11/11/19	<b>DRAWING NO.:</b> C4.02
<b>SCALE:</b> 1" = 30'	
<b>DRAWN BY:</b> MKT	
<b>CHECKED BY:</b> MBH	



1 PATH PLANTING RESTORATION  
 C4.03 FOR SMALLER TREES NTS

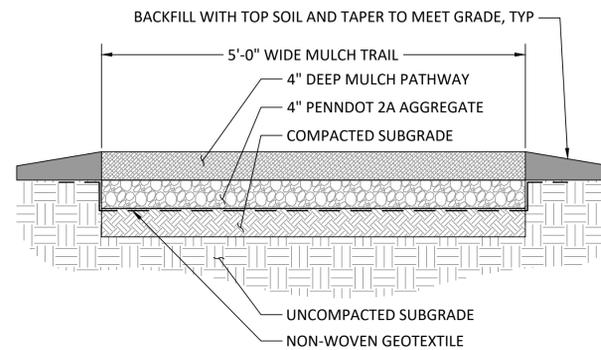


2 PATH PLANTING RESTORATION  
 C4.03 FOR LARGER TREES NTS



- NOTES:  
 (SEE SHEET C2.3 FOR CONSTRUCTION SEQUENCE)
1. PREPARE THE SITE FOR SEEDING BY REMOVING WEEDS, INVASIVE SPECIES AND OTHER UNDESIRED VEGETATION.
  2. RESTORE AND DECOMPACT SOILS TO BE SEED. ROTOTILL, OR RIP THE SUBGRADE, REMOVE ROCKS, DISTRIBUTE COMPOST, SPREAD THE COMPOST TO A LAYER OF 6 INCHES THICK AND ROTOTILL AGAIN TO A DEPTH OF 8 INCHES.
  3. COMPOST SHOULD BE ADDED AT A RATE OF 2:1 (SOIL:COMPOST) BY VOLUME.
  4. SEED MIX SHALL BE ERNST SHOWY NORTHEAST NATIVE WILDFLOWER & GRASS MIX (ERNMX-153) OR APPROVED EQUAL. SEEDING RATE SHOULD BE 20 LB PER ACRE, OR 1/2 LB PER 1,000 SQ. FT.
  5. RAKE SEED LIGHTLY INTO TOP 1/8 INCH OF SOIL, ROLL LIGHTLY, AND WATER WITH FINE SPRAY.

3 LANDSCAPE RESTORATION  
 C4.03 NTS



4 MULCH PATH DETAIL  
 C4.03 NTS

OWNER:  
 RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 WAYNE, PA 19087-5297

CIVIL ENGINEERING CONSULTANT

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PROJECT TITLE:

HARFORD TRAIL

SEAL:



SUBMISSION:

CONSTRUCTION DOCUMENTS

DRAWING TITLE:

SITE DETAILS

DATE:

11/11/19

SCALE:

AS NOTED

DRAWN BY:

MKT

CHECKED BY:

MBH

DRAWING NO:

C4.03

# Reports of Standing Committees of the Board

# New Business

## Old Business

Discussion and Update of Security  
Cameras (*Requested by Commissioner  
Abel*)

Motion to send the Solicitor to oppose  
the proposed Penn Medicine signage  
(*requested by Commissioner Booker*)

Discussion of services provided by  
Penn Medicine in it's ambulatory  
surgical center (*Requested by  
Commissioner Booker*)

# Public Participation

Adjournment