

# **BOARD OF COMMISSIONERS**

## **AGENDA (*Revised 3-19-21*)**

**Monday, March 22, 2021**

### **VIA ZOOM and Streamed LIVE on YouTube**

Pledge of Allegiance

Notice of Executive Session held on March 11, 2021

#### 1. Public Participation

#### 2. Consent Agenda

- a) Disbursement Review & Approval
- b) Approval of minutes of the Board of Commissioner Meetings of March 8, 2021
- c) Chief's Monthly Report – March 2021
- d) Staff Traffic Committee Meeting Minutes – February 2021
- e) Resolution 2021-25 - Authorizing submission of an Application to the Delaware County Council for an Allocation of County Liquid Fuel Tax Funds for the Township's Annual Road Resurfacing Program in the amount of \$36,720
- f) Resolution 2021-33 - Authorizing the removal of dead and dying ash trees on the corner of S.R. 320 and Conestoga Road and replanting of the area in the amount of \$10,800.00, as recommended by the Shade Tree Commission.
- g) Motion to Authorize the Public Works Department to Receive Sealed Bids for the 2021 Superpave Project

#### 3. Committee Reports

- A. 231 Chamounix Road – Waiver of §245-22 of the Stormwater Management Ordinance
- B. 659 Church Road – Waiver of §245-22 of the Stormwater Management Ordinance
- C. 235 Pembroke Ave - Waiver of §245-22 of the Stormwater Management Ordinance
- D. 812/822 Glenbrook Avenue - CAUCUS: Final Land Development Plan
- E. Hamilton Estate Eagle Road - CAUCUS: Preliminary Land Development Plan
- ~~F. Eastern University – Zoning Map Amendment - Removed by Applicant 3/19/21~~
- ~~G. Eagle/Radnor Road Eastern University – CAUCUS: Preliminary/Final Land Development Plan (tentative) - Removed by Applicant 3/19/21~~
- H. Resolution 2021-36 - Authorizing the Payment of Change Order No. 2, Remediation of Unsuitable Soil at the Cornerstone HOA Segment of the Radnor TAP Trail, to Road-Con, Inc. in an Amount to be Negotiated
- I. Arbor Day Proclamation
- J. Resolution 2021-35 - Further Extending relaxed outdoor dining / retail through November 30, 2021
- K. Resolution 2021-37 - Approving a Lease Agreement with the Wayne Business Association for the Lease of a portion of the North Wayne Parking Lot to be used for tented outdoor dining and special events through November 30, 2021 (*Revised 3-19-21*)

#### 4. Reports of Standing Committees

#### 5. New Business

6. Old Business
7. Public Participation
8. Adjournment

**Meeting Notice**

There will be a Regular Board of Commissioners meeting held on Monday, March 22, 2021 beginning at 6:30 PM via Zoom and streamed live on the Radnor Township YouTube Channel at <https://www.youtube.com/channel/UCvh6jeMQTvo3ojCTh8wZkbA>. If you would like to participate in public comment, please register at [https://us02web.zoom.us/webinar/register/WN\\_5Ni5efV4Toee3ZDc\\_epXog](https://us02web.zoom.us/webinar/register/WN_5Ni5efV4Toee3ZDc_epXog) and the meeting link will be sent to you for participation.



# Public Participation

***RADNOR TOWNSHIP  
DISBURSEMENTS SUMMARY  
March 22, 2021***

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The table below summarizes the accounts payable disbursements made since the last public meeting held on March 8, 2021. As approved by the Board, the Administration is now making bi-weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code. Also, please visit the [Open Finance](#) program to view the Township's [Checkbook](#), where all vendor payments are available.

Link: <http://radnor.com/728/Disbursements-List>

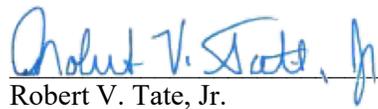
<b>Fund (Fund Number)</b>	<b>2021-3A March 12, 2021</b>	<b>Total</b>
General Fund (01)	\$301,162.55	\$301,162.55
Sewer Fund (02)	1,278,416.60	1,278,416.60
Liquid Fuels Fund (03)	71,653.13	71,653.13
Storm Sewer Management (04)	42,064.69	42,064.69
Capital Improvement Fund (05)	27,652.85	27,652.85
OPEB Fund (08)	28,925.30	28,925.30
Investigation Fund (12)	947.32	947.32
Comm. Shade Tree Fund (15)	300.00	300.00
The Willows Fund (23)	1,663.51	1,663.51
GOB19 Project Fund (502)	270,196.44	270,196.44
<b>Total Accounts Payable Disbursements</b>	<b>\$2,022,982.39</b>	<b>\$2,022,982.39</b>
<b>Grand Total</b>	<b>\$2,022,982.39</b>	<b>\$2,022,982.39</b>

In addition to the accounts payable checks, the Township also makes various electronic payments including payroll, debt service, credit card purchases and fees from time to time which are not reflected in the attached table.

The Administration has adopted various internal control and processing procedures to ensure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored daily by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

***Respectfully Submitted,***



Robert V. Tate, Jr.

*Finance Director*

**TOWNSHIP OF RADNOR**  
**Minutes of the Regular Board of Commissioners Meeting of March 8, 2021**

*The Radnor Township Board of Commissioners met via Zoom at approximately 6:32 pm*

**Commissioners Present**

<i>Jack Larkin, President</i>	<i>Moira Mulroney, Vice President</i>	<i>Lisa Borowski</i>
<i>Damien Enderle</i>	<i>Richard Booker</i>	<i>Jake Abel</i>
		<i>Sean Farhy</i>

**Also Present:** *William White, Township Manager, John Rice, Township Solicitor, Robert Tate, Finance Director, Amy Lacey, Assistant Finance Director, Christopher Flanagan, Chief of Police, Steve Norcini, PE, Township Engineer, Kevin Kochanski, Director of Community Development, Peggy Hagan, Executive Assistant to the Township Manager.*

*President Larkin called the meeting to order and led the assembly in the Pledge of Allegiance*

*1. Public Participation*

Dan Sherry – Spoke on John Nagel’s behavior during his time on the Board of Commissioners and is against John Nagel’s appointment to the Zoning Hearing Board

Barbara Kraus-Blackney – Stated she is concerned about stormwater issues in the Township and would like the Board to vote no on waivers.

Matt Marshall – He asked why the Eastern development was not brought before the Community Development Sub Committee.

*2. Consent Agenda*

- a) *Disbursement Review & Approval*
- b) *Approval of minutes of the Board of Commissioner Meetings of February 22, 2021*
- c) *HARB – 2021-03 – 301 Orchard Way – Second Story Addition Over Garage*
- d) *Motion to Authorize the Sale of Surplus Township Vehicles & Equipment, pursuant to Section §5-52 of the Township Code for equipment that has reached the end of its useful life and/or has been replaced*
- e) *Authorization for emergency repairs to the Township’s Volvo Loader, Front Differential and Wet Brake System, at a cost, not to exceed \$11,250*
- f) *Resolution #2021-30 - Authorizing the Purchase of Organic Fertilizer, Seed and Lime from Site One Landscape Supply*

Commissioner Larkin asked if any Commissioner(s) wanted to pull an item from the consent agenda. No items were pulled from the Consent Agenda. Commissioner Larkin moved to approve the Consent Agenda, seconded by Commissioner Mulroney. The motion passed 7-0.

*3. Committee Reports*

- A. *Resolution #2021-26 – Appointing a Member to the Radnor Township Zoning Hearing Board in Accordance with the Municipalities Planning Code – John Nagle – Alternate Position – Term ending 12/31/23*

Commissioner Larkin moved to approve #Resolution 2021-26, seconded by Commissioner Mulroney. There was discussion amongst the Commissioners. Sean Farhy abstained from the

vote. Commissioner Booker is against the nomination. Commissioner Mulrone spoke in support of John Nagle for the appointment. Commissioner Borowski also spoke in support of the appointment of John Nagle.

#### Public Participation

Daniel Sherry - He spoke against the appointment of John Nagle to the Zoning Hearing Board.

Commissioner Larkin called the vote, the motion passed 4-2 with Commissioner Farhy abstaining and Commissioners Booker and Abel against.

*B. Resolution #2021-32 – Adopting the Renewable Energy and Conservation Plan Dated February 2021 Prepared by Practical Energy Solutions and Assigning Implementation to the Township’s Green Team to Develop Priorities and Report Back to the Board of Commissioners.*

Commissioner Larkin moved to approve Resolution #2021-32, seconded by Commissioner Borowski.

Bill White, Township Manager, introduced Paul Spiegel from Practical Energy Solutions. Paul Spiegel spoke on the plan submitted to the Green Team for review and presented in a public webinar on Tuesday March 2, 2021. The presentation is posted on the Township website. There was discussion amongst Commissioners and Staff.

#### Public Participation

Sara Pilling – She is a member of the Green Team and noted that the movement is to be a collective action, Township, Board of Commissioners, and Residents, to take a look at how they use their energy and what steps can be taken.

Dan Sherry - He spoke on how the meeting was being conducted.

Rebecca Zajac – A Senior at Radnor High School, she asked the Board to Support the Resolution and suggests the Township partner with the School District to hire a sustainability manager.

Robin Mann – She is a member of the Green Team and is excited about the plan and the information included, for homeowners, to receive grant funding for retrofits.

Mark Muller – He spoke on the cost effectiveness of going green and asked the Board to vote yes for the Resolution.

Commissioner Larkin called the vote, the motion passed 4-2 with Commissioner Enderle off the dais and Commissioners Booker and Abel against.

*C. Resolution #2021-29 - Approval of the DELCORA Asset Transfer Act 537 Plan*

Commissioner Larkin moved to approve Resolution #2021-29, seconded by Commissioner Mulrone.

Steve Norcini, Township Engineer, and Charles Hurst, DELCORA, spoke on the Resolution. There was discussion amongst Commissioners and Staff. This step is a prerequisite to continue the plan.

Commissioner Larkin called the vote, the motion passed 7-0.

*D. Stormwater Management Waiver Request: 231 Chamounix Road, Grading Permit Application #202471*

Commissioner Farhy moved to approve the Waiver Request, seconded by Commissioner Mulrone. Steve Norcini, Township Engineer, noted that the applicant is unable to meet the stormwater requirements. Mark Padula, representative for the applicant, spoke on the request for waiver. There was discussion amongst Commissioners and Staff. The applicant will return with a solution to infiltration issues.

Commissioner Borowski moved to table the item, seconded by Commissioner Enderle. The motion to table passed 7-0.

*E. Continued from 2/22/21 - Motion to direct the Township Solicitor to enter an appearance on behalf of the Township and oppose the Zoning Application #3088, The Applicant, BDN 250 King of Prussia I, LP, property located at 250 King of Prussia Road and zoned PLO Planned Laboratory Office. The Applicant is seeking a variance from Section 280-64.C to permit (i) a setback of 43.39 feet (+/-) opposite King of Prussia Road to and (ii) a setback of 17.17 feet (+/-) opposite Radnor Chester Road; a variance from Section 280-64.B to allow a building/structure area of 42.4% (+/-); a variance from Section 280-64.B to allow a landscape area of 27.8%; and any other relief deemed necessary for the project.*

Commissioner Larkin moved to direct the Township Solicitor to enter an appearance on behalf of the Township and oppose Zoning Application #3088, seconded by Commissioner Farhy.

Commissioner Booker spoke on the project and its possible effect on the surrounding area and traffic flow. Commissioner Larkin called the vote, the motion passed 5-2 with Commissioners Larkin and Enderle against.

Public Comment

George Broseman – Attorney for the Applicant, stated the comments did not fairly characterize the application, the building is not being increased and traffic will not increase.

Joe Traynor – He spoke on the project noting that the applicant is looking to re-tenant the building and needs to renovate, modernize, and add parking to do so.

Alex Tweedie - He presented the project details and images.

Daniel Sherry – He commented on meeting proceedings.

*F. Discussion of Proposed Garrett Hill Overlay Zoning Revisions*

Commissioner Farhy had asked John Rice, Township Solicitor, to prepare memo with the proposed Garrett Hill Overlay Zoning Revisions. John Rice spoke on the three minor changes to the Garrett Hill Overlay Zoning. Building height in GHN, permit outdoor dining up to a max of 8 seats, and remove prohibition of outdoor dining in Garrett Hill. Motion would authorize John Rice to draft an Ordinance to amend the Zoning Ordinance and circulate to the Radnor Township Planning Commission and Delaware County Planning Commission.

Public Comment

Roberta Winters – She would like the motion tabled and asked the Commissioners to review the GHOD Zoning regarding affordable housing and diverse communities. She would like the Commissioners to explore the area on foot and observe the transitions occurring.

Angie Mitchell – Owner of Flip and Bailey’s and Garrett Hill Ale House, she spoke in favor of outdoor dining.

Sara Pilling – She stated that outdoor dining was not permitted because outdoor dining spaces would have to be placed in existing parking spaces and the sidewalks in Garrett Hill are 3 feet in width.

Commissioner Farhy moved to have the Township Solicitor prepare an Ordinance with the proposed Garrett Hill Overlay Zoning Revisions to send to the Radnor Township Planning Commission, seconded by Commissioner Larkin. The motion passed 6-1 with Commissioner Abel against.

*G. Motion to direct the Township Solicitor to enter an appearance on behalf of the Township in support of the Zoning Application filed or to-be filed by Concordia Group regarding the property located at the corner of Eagle and Radnor Street Roads.*

Commissioner Larkin moved to direct the Township Solicitor to enter an appearance on behalf of the Township in support of the Zoning Application filed or to-be filed by Concordia Group regarding the property located at the corner of Eagle and Radnor Street Roads, seconded by Commissioner Enderle. Commissioner Larkin spoke on the application and would like the application to come before the Board of Commissioners. If the motion is passed, John Rice, Township Solicitor, would communicate at the Zoning Hearing Board meeting that the Board of Commissioners is in support of the relief. There was discussion amongst Commissioners. Commissioner Booker would support the application with R1 Zoning instead of the R2 Zoning proposed.

Public Comment

Dave Falcone, Attorney for the Applicant, gave project details.

George Nagle – He is a neighbor of the property and noted that there is substantial opposition as presented with R2 Zoning and that there would be more support with R1 Zoning.

Matt Marshall – He spoke on the project and asked why it did not go before the Community Development Sub Committee.

Barbara Kraus Blackney – Supported Mr. Nagle’s and Mr. Marshall’s comments. She asked the Board to request documentation on the man-made slopes.

Commissioner Booker moved to table the motion, seconded by Commissioner Farhy. The motion failed for lack of majority.

Commissioner Larkin called the vote, the motion passed 5-2 with Commissioners Booker and Abel against.

H. Resolution #2021-31 – The Censure of Commissioner Jake Abel

Commissioner Larkin moved to approve Resolution 2021-31, seconded by Commissioner Enderle.

Commissioner Farhy would like to be unblocked, on Twitter, by Commissioner Abel. He feels it is inappropriate to block other Commissioner and Residents. Commissioner Abel was unaware that residents were being blocked from his account.

There was discussion amongst Commissioners.

Public Comment

Dan Sherry – He spoke on Censure.

Commissioner Larkin called the vote. The motion failed 4-2 with Commissioners Larkin, Borowski, Booker, and Mulronev against and Commissioner Abel abstaining.

4. Reports of Standing Committees of the Board

None

5. New Business

Commissioner Farhy asked about the Villanova Assaults.

6. Old Business

a. 2021 Real Estate Tax Discussion (from February 22, 2021 meeting)

Bill White, Township Manager, and Robert Tate, Finance Director, talked about the Public Service Announcements that have been prepared for the public to address how real estate taxes are calculated, the reassessment and revenue neutral, and an example of real estate calculation.

7. Public Participation

None

8. Adjournment of Regular Meeting

There being no further business, the regular meeting adjourned on a motion duly made and seconded.

*Respectfully submitted.*

*Peggy Hagan*

# **RADNOR TOWNSHIP POLICE DEPARTMENT**

## **Monthly Report**



**March 2021**

**Christopher B. Flanagan  
Police Superintendent**



Radnor Twp PD

DAILY INCIDENT COUNTS

02/01/2021 to 02/28/2021



Day of Month Responses	01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	Total
911 HANG UP	0	0	0	0	2	0	0	1	2	0	1	1	0	2	0	1	1	0	1	0	0	1	1	1	1	0	2	0	0	0	0	18
MV ACCIDENT (BRIDGE STRIKE)	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	
MV ACCIDENT (REPORTABLE)	0	2	2	0	1	1	2	0	0	0	1	1	0	0	0	0	1	1	2	0	0	2	0	0	1	0	0	0	0	0	16	
ADDED PATROL BUSINESS	6	1	1	4	8	3	4	4	1	4	3	7	5	3	7	4	6	3	2	3	3	6	6	5	4	5	6	0	0	120		
ADDED PATROL	7	8	8	9	9	11	7	9	11	4	4	12	13	11	14	6	6	7	2	10	6	9	13	8	10	10	9	17	0	0	251	
ADDED PATROL REQUEST	1	0	0	0	1	2	0	1	0	1	0	0	3	3	1	1	1	0	0	0	0	1	1	0	0	2	3	4	0	0	30	
ADDED PATROL SCHOOL	0	0	0	2	4	2	0	4	2	5	7	4	0	0	4	2	2	0	6	4	0	0	1	4	7	4	0	0	0	0	67	
ALARM (ALL TYPES)	5	5	5	2	1	4	5	2	4	5	9	0	8	8	3	3	4	3	3	3	1	5	2	1	3	3	5	1	0	0	100	
ANIMALS - BITES	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
ANIMAL COMPLAINTS	0	0	0	0	0	1	0	1	1	0	0	1	0	3	1	0	2	0	1	0	0	3	0	4	1	1	1	0	0	0	21	
ANIMALS - DEER	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	3	
ASSAULT	0	0	0	0	0	0	0	1	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	5	
ASSIST ANOTHER PD	0	1	1	2	1	1	0	0	0	2	0	1	0	1	0	0	0	0	0	1	0	0	1	0	1	0	0	0	0	0	12	
ASSIST AGENCY NON LAW	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	2	
ASSIST PUBLIC	0	2	2	0	1	2	0	0	1	0	0	0	0	1	1	1	0	0	0	3	0	0	0	4	4	0	1	1	0	0	22	
ASSIST VUPD	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	2	0	0	0	0	0	0	0	0	0	0	0	0	0	3	
BURGLARY RESIDENTIAL	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
CITIZEN COMPLAINT REPORT	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	
CIVIL DISPUTE	1	0	0	0	1	0	0	0	0	0	0	0	0	0	1	1	0	0	1	2	0	0	0	0	1	1	2	2	0	0	14	
CRIMINAL MISCHIEF / VANDALISM	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	0	0	0	0	0	0	0	0	0	2	
DISORDERLY CONDUCT	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	1	
DELCOM INFO ONLY	1	0	0	3	3	1	0	0	4	1	2	1	2	2	2	3	3	3	1	3	0	2	1	8	3	1	1	1	0	0	54	
NEIGHBOR DISPUTE	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	2	
DISTURBANCE NO CITATION	1	1	1	0	2	1	1	0	1	0	0	1	0	0	0	1	0	0	2	2	0	1	0	0	0	0	1	3	0	0	18	
DOMESTIC (NO ARREST)	0	0	0	1	0	0	1	0	1	1	0	0	0	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	5	
DRIVING UNDER THE INFLUENCE	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	0	2	0	0	0	0	0	0	0	0	0	0	0	0	4	



SUSPICIOUS VEHICLE	2	0	0	2	0	0	0	0	0	1	1	0	1	1	1	1	0	0	0	1	1	0	1	1	0	0	0	0	0	0	0	0	0	0	0	0	17
THEFT ALL OTHER	1	0	0	1	0	0	0	0	0	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	10	
THEFT PICKPOCKET	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1		
TERRORISTIC THREATS	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1		
VEHICLES - ABANDONED	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3		
VEHICLES - DISABLED	1	2	2	0	0	0	0	0	0	0	1	2	1	2	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	31		
VEHICLES - KLIV	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	7		
MOTOR VEHICLE VIOLATIONS	0	1	1	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	13		
VEHICLES - TOWED PRIVATE/REPO	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3		
WARRANT ARREST	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	3		
CHECK WELFARE	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	5		
<b>TOTAL RESPONSES FOR EACH DAY</b>	<b>35</b>	<b>32</b>	<b>32</b>	<b>52</b>	<b>66</b>	<b>46</b>	<b>30</b>	<b>48</b>	<b>58</b>	<b>46</b>	<b>41</b>	<b>62</b>	<b>48</b>	<b>51</b>	<b>47</b>	<b>39</b>	<b>43</b>	<b>37</b>	<b>38</b>	<b>43</b>	<b>27</b>	<b>58</b>	<b>49</b>	<b>52</b>	<b>60</b>	<b>50</b>	<b>48</b>	<b>56</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>1309</b>				



FEBRUARY 2021

<u>Description</u>	<u>Primary Count</u>
<b><u>Parking Tickets</u></b>	
Month of February 2021	40
January 1, 2021 – February 28, 2021	340
<b><u>Residential and Commercial False Alarm Violations</u></b>	
Month of February 2021	49
January 1, 2021 – February 28, 2021	104
<b><u>Moving Violations</u></b>	
Month of February 2021	95
January 1, 2021 – February 28, 2021	329
<b><u>Radnor Police Training – February 2021</u></b>	
No Police Training for the month of February	

## Crime Alerts February 2021

Sometime between Thursday, 1/28/2021 and Friday, 1/29/2021, the victim had their vehicle damaged while parked in the lot of 1030 E. Lancaster Av. The vehicle, a 2013 Hyundai Veloster, had its rear window smashed. Nothing was taken from inside of the car.

The victim, who resides in the 800 block of Meadowbrook Lane, reports that a pair of earrings were stolen out of a package that was placed in their mailbox. The victim observed a white male wearing a blue jacket and blue pants walking a black lab dog, looking inside of their mailbox. The victim believed the male was dropping off advertisements. When they checked their mailbox they saw a package was ripped open and a pair of earrings were missing.

\*\*\*\*\*UPDATE\*\*\*\*\* The white male in blue pants and a blue shirt walking his black lab has been identified and is NOT involved in the package theft.

On Thursday, 2/4/2021, between 2:50 PM and 4:24 PM the victim had their wallet removed from their bag while dining at the Panera Bread, located at 319 E. Lancaster Av. in Wayne. The victim knew they had their wallet when they entered the restaurant and at approximately 4:24 PM, while eating, they started to get alerts that there were fraudulent charges occurring on their credit card. Most of the fraudulent charges had occurred at the King of Prussia Mall.

Sometime between 4:40 PM on 2/15/2021 and 10:15 AM on 2/16/2021 several garage doors were damaged at 264 Iven Av. A panel on one of the garages appeared to have been kicked several times, and two other doors showed signs of recent pry marks. Entry was not gained into either garage and nothing is reported missing.

The Radnor Police have been notified about a sick raccoon which was last spotted in the area of Pine Tree Rd and Northwoods Rd in the Radnor section of the township, today 02/26/2021 at approximately 4:30 PM Residents are urged to keep an eye on small pets, and not to approach the animal. Please call 9-1-1 immediately if this animal is spotted.

***The Radnor Police respects citizens' privacy, civil rights, and civil liberties by emphasizing behavior, rather than appearance, in identifying suspicious activity. Factors such as race, ethnicity, and/or religious affiliation are not suspicious. The public should only report suspicious behavior and situations (e.g., an unattended backpack or package, or someone breaking into a vehicle or restricted area). Moreover, any physical descriptions are based on victim and witness statements provided to the Radnor Police at the time the incident was reported or developed through investigation.***

**RADNOR TOWNSHIP POLICE DEPARTMENT**

**THANK YOU LETTERS**

Dear Chief,

This is a heartfelt thank you to you and the other officers for the police escort for John Nelson's finale ride on Thursday March 4th. The family has much appreciation and gratitude for all that you did.

John was a wonderful soul, who would give the last \$5 bucks in his pocket to help a total stranger, he loved rock & roll and motorcycles, we know he would have really appreciated what you did.

So from the bottom of all our hearts thank you all.  
Stay safe

Much love & respect  
Bud Hiland and family

I hope you all are somewhere safe and warm. A sincere thank you shout out to all the dedicated staff and officers out plowing, salting, helping motorists, and just keeping us safe through yet another bout of winter weather. Is it spring yet?

With much appreciation,  
Lisa

*Lisa A. Borowski*  
Commissioner | 4th Ward | Radnor Township

Good morning, Officer Flanagan! I want to take a moment of your time to thank you for capturing the man who has been breaking into our poor boxes and collection bins, as well as those in several other local churches. I am grateful to you and your colleagues for your excellent police work as well as your great sensitivity to the situation with the thefts occurring in churches. I continue to be very impressed with the outstanding service that the Radnor police provide this community. Thanks! Msgr. Brouwers

--

Reverend Monsignor Hans A. L. Brouwers  
St. Katharine of Siena Rectory  
104 S. Aberdeen Avenue

Dear Supt Flanagan and Sgt Four,

On behalf of my family and especially my aunt, Patricia Carbine, I want to express our appreciation that the officers were able to lend support, including lights and sound, to my aunt's socially-distanced 90th Birthday celebration today. It really was a very nice touch to enliven our snowy day.

We hope and pray that during the current snow event, the officers and command of RPD, along with all first responders, stay safe.

Warm regards,  
Jeff

***Jeffrey Daily***

Hi Brady,

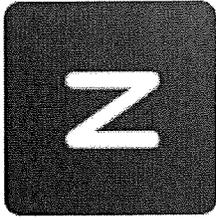
Please pass my thanks to Superintendent Flanagan, Lieutenant Pinto, and Mr. Myers; and, of course, thank you for today's outstanding meeting with Radnor High School's student government.

I was deeply moved by each of your personal stories of commitment to our community's welfare and your passion for your service. I totally understand and feel the same way about my work at the high school. We do what we love and grow with the challenges.

Several students told me how much they appreciated today's program. Please pencil us in again next year—same time, but hopefully back in the building in person!

It was a great day! Thank you again.

Stay safe,  
Kathy



Nicole christy

Ithan Mills · 1 day ago

## Thank you Radnor Police

Just wanted to say how grateful we are for Radnor police Dept. My husband let our garage door open to air out the smell of gasoline, I drove through at a gas station earlier that day. My car was parked in the drive way, which is usually parked inside the garage. So maybe Bc of the car out and the door open raised a flag. Two officers stopped by our home at 2:30am to make sure all was ok. What a great community we live in. ❤️❤️



A small note of gratitude for  
which, we know is part of your  
"job". But, we feel truly  
grateful for the services in  
which you all provide to our  
community every day

So thank you from The  
Christy family (667 Spruells  
villanova  
for making that late night stop  
to double check we were 'back'

Thank you to those officers,  
and All officers who put their  
lives on the line EVERY DAY!  
we have, will and, forever

Support our Police - XOXO →

Good morning Chris,

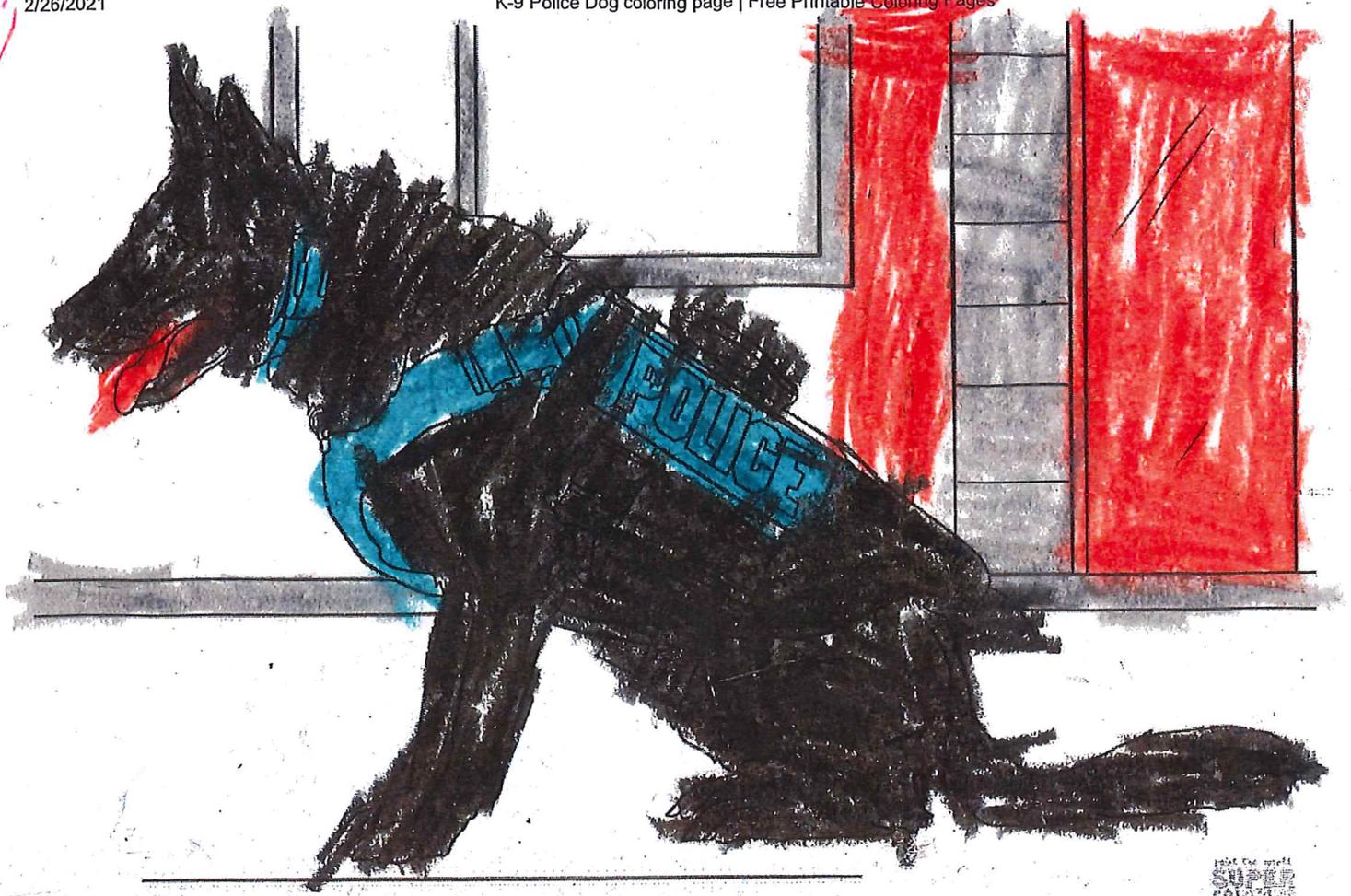
We'd like to thank you all the police and fire fighters that help make the community safe and secure.

As a thank you, we are offering you a 25% off on Tuesday, hopefully you enjoy the flavors.

Have a safe week!  
George

*George McLoughlin*

*Tasty Table*  
*10 Leopard Road*  
*Berwyn, PA 19312*



100% Recycled  
SUPER  
COLORING

Dear Officer Greaves and Onyx,

I thank you for  
talking to us about your  
K9 Onyx. He rocks!

To: Officer  
Greaves  
& Onyx

From: Mrs. Shim's  
class 😊

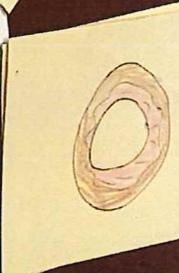
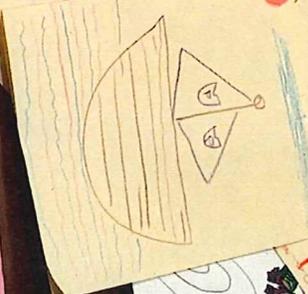
From,

Ryan

Thank You Radnor Police

Radnor

THANK YOU



Radnor Police

Address Service Requested

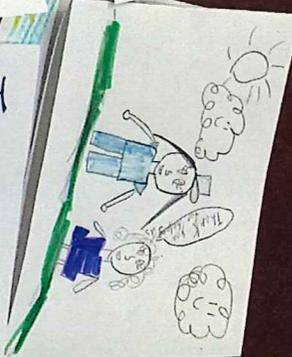
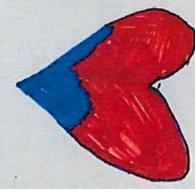
Thank You Police Department



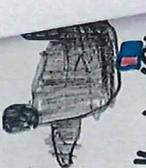
Radnor Police



Thank you!



Thank you!  
Radnor Police  
in Clare grades

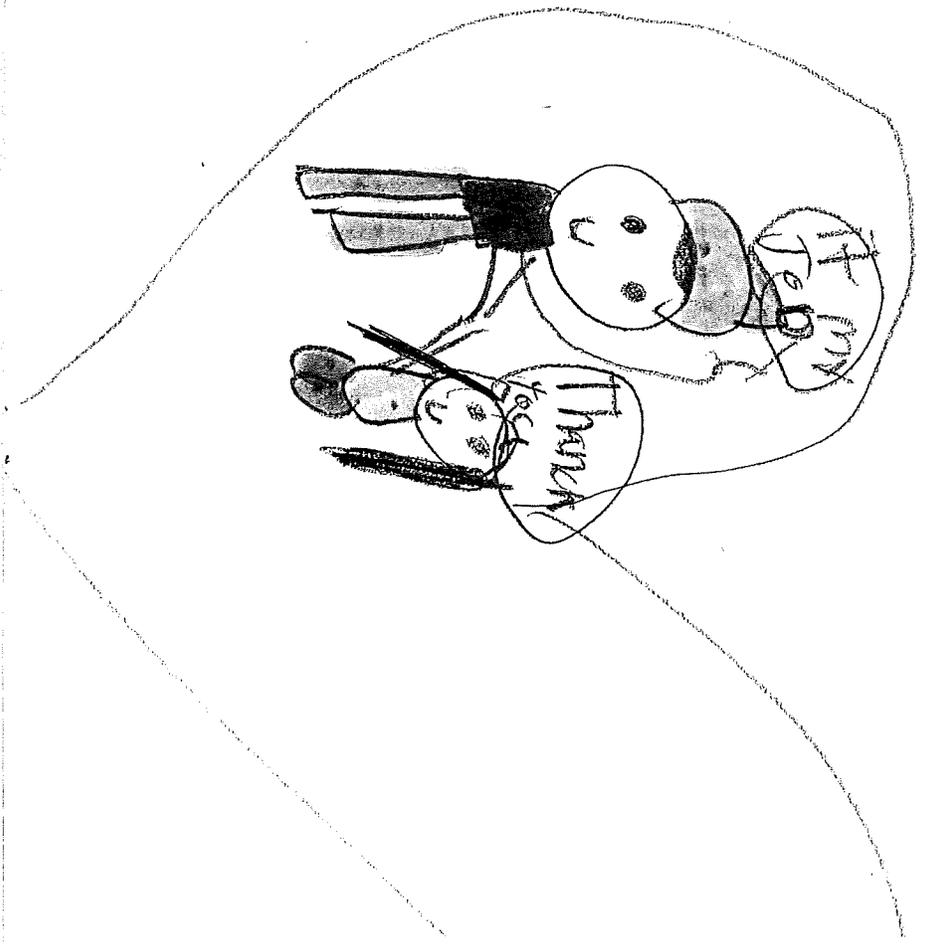


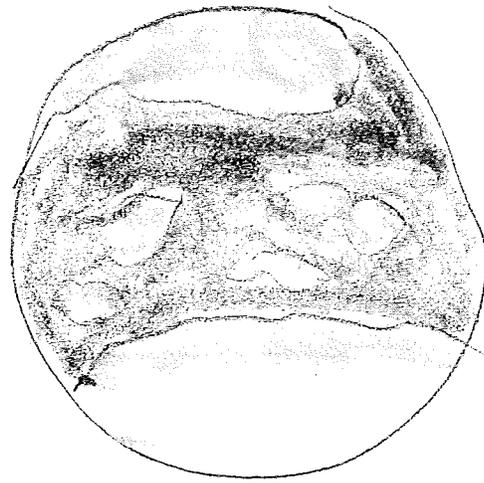
Love is a heart  
Rangan at

She !!



Thank You Radner  
Police for  
You work for keeping  
us safe. Thank you  
for that you are  
a hero. We appreciate  
17,

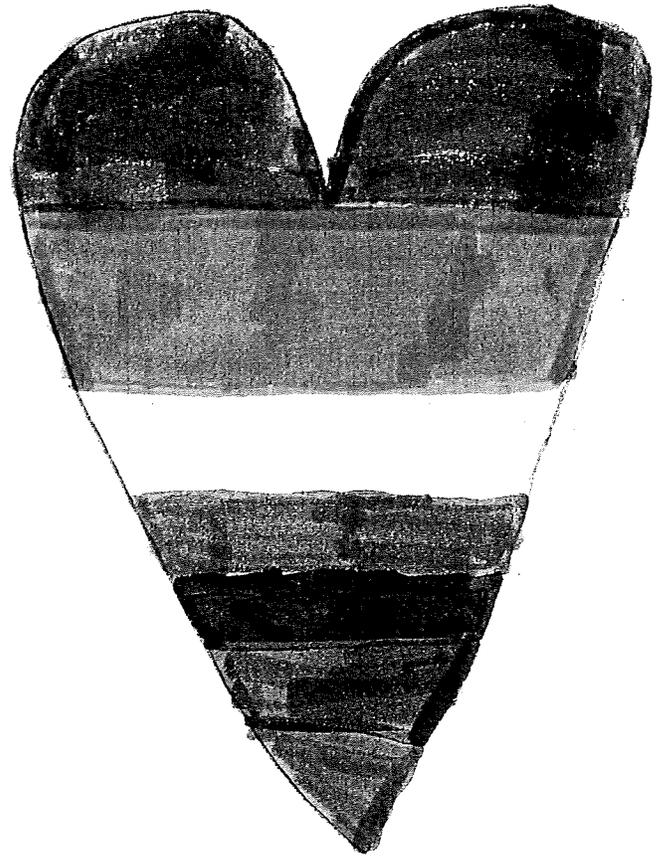




Dear Radnor Police

---

Thank you for  
your service. I am  
happy that you  
take care of SIA  
Hearts. Thank you for your  
hard work.



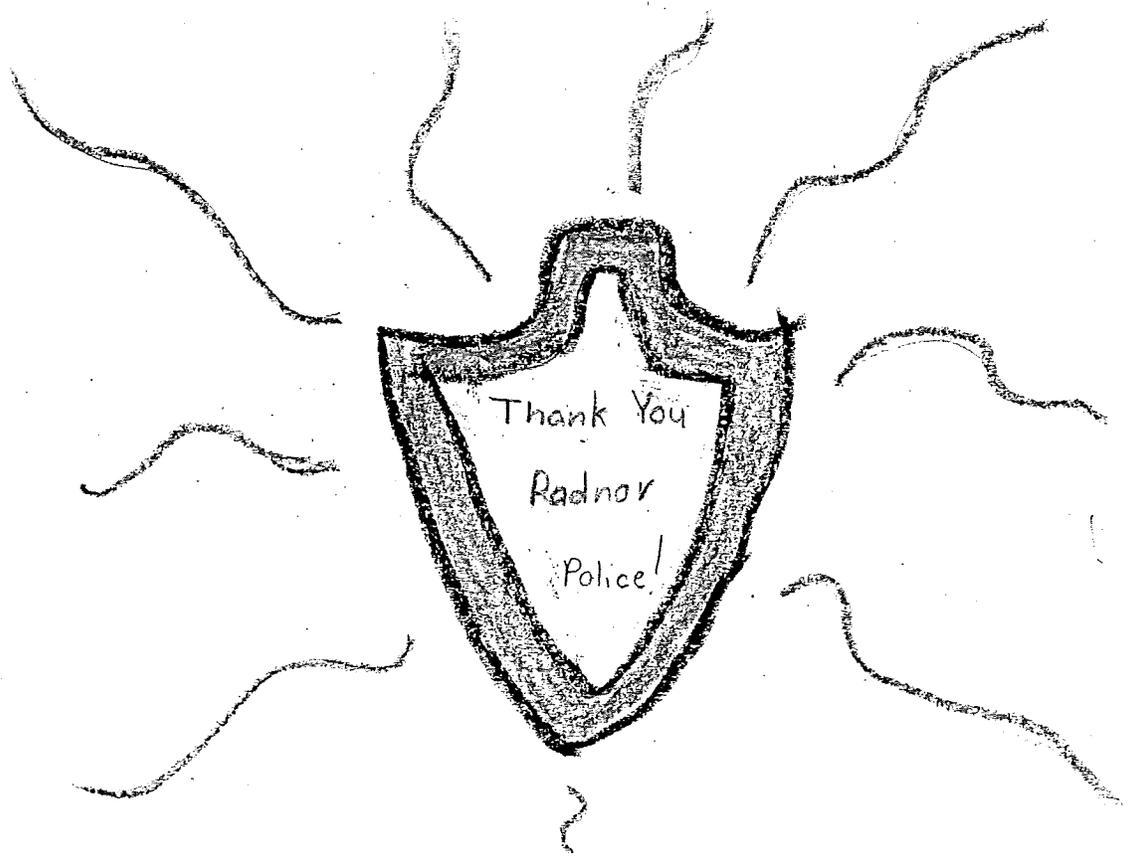
Dear Radnor

Police Officer,

Thank you for your  
service. I am happy  
that you take care  
of Sha. Thank you  
for your hard  
work

from a Sha

first grader

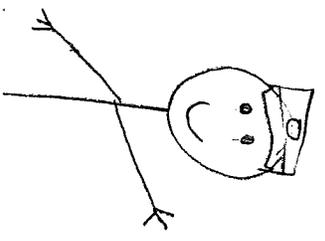
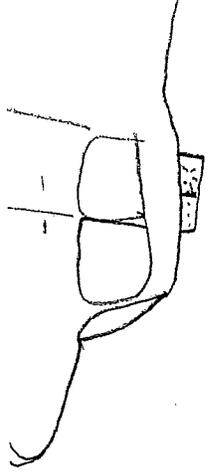


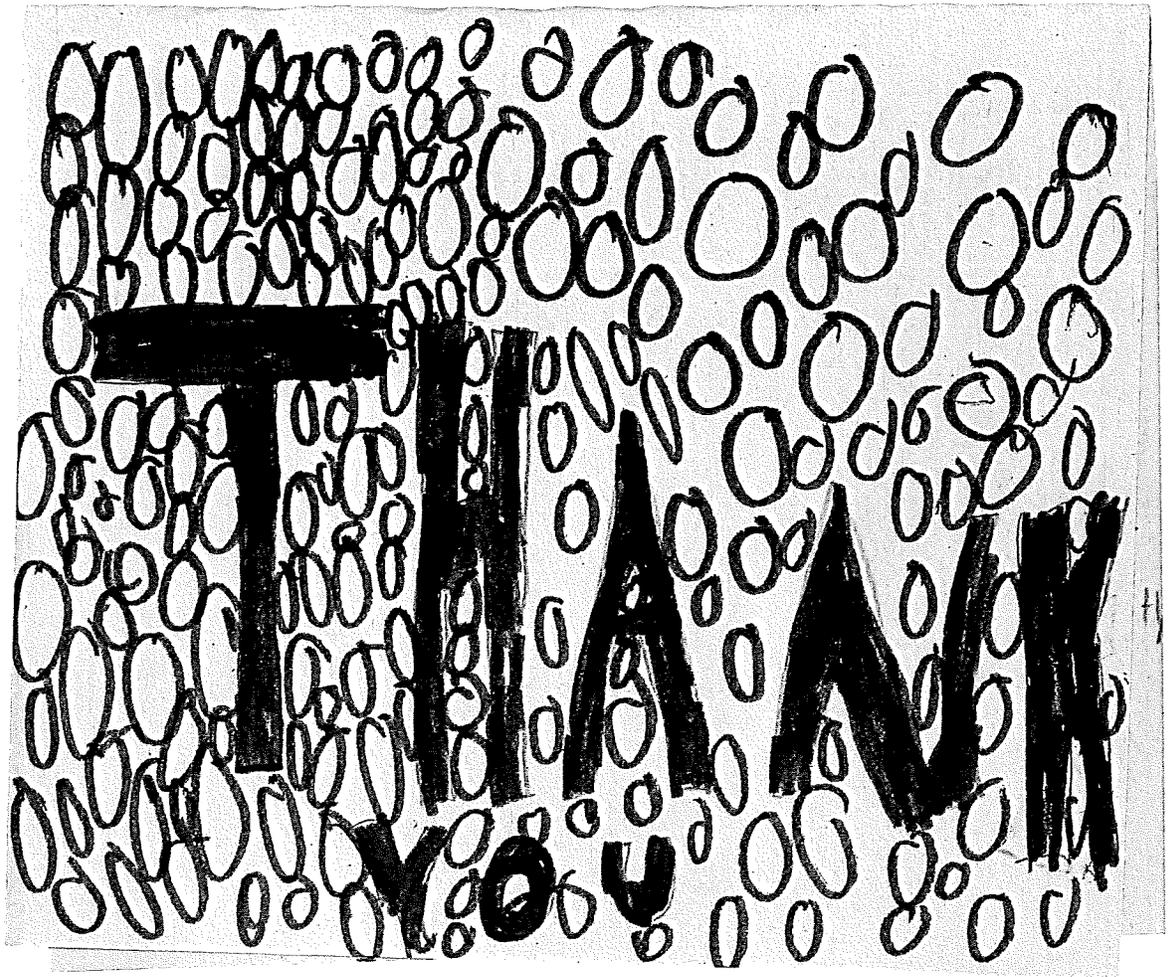
Thank You  
Radnor  
Police!

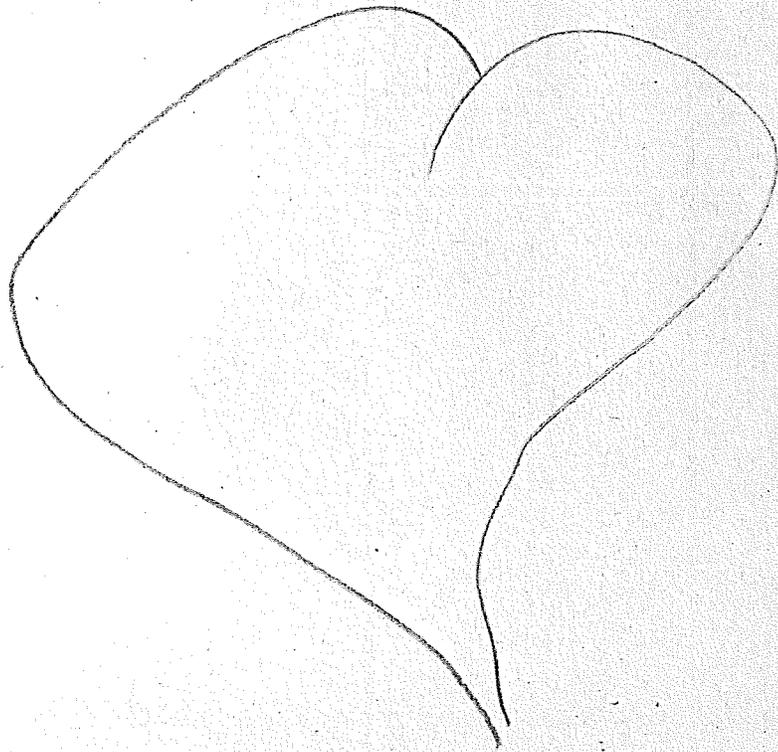
Dear Rothor Police,

Thank you for all you do to keep our community safe. We greatly appreciate you! Have a special week!

gratefully,  
Devon







Dear Radnor Police,  
Thank you so much  
for keeping us safe.

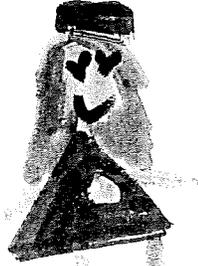
I am so grateful that  
you protect our community.

God bless you.  
happy valentines day.

Love,  
Savirse

3rd grade

thank you  
Radnor Police  
Department



**Radnor Police**

**Thank you for  
Keeping us safe**

**From Avison**

**RADNOR TOWNSHIP POLICE DEPARTMENT**  
**COMMUNITY EVENTS**

This morning Superintendent Flanagan hosted members of Radnor High School Student Government for a Q&A session over Zoom. To best prepare for the future of law enforcement, we must hear from our future leaders. Although COVID restrictions kept us from being in person, there were no limits when it came to the students questions! Thank you Principal Kevgas and faculty sponsor Kathy Pearsall for allowing us to continue the annual meeting.



BETHEL AME CHURCH OF ARDMORE

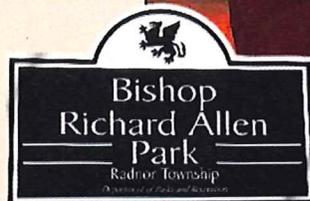
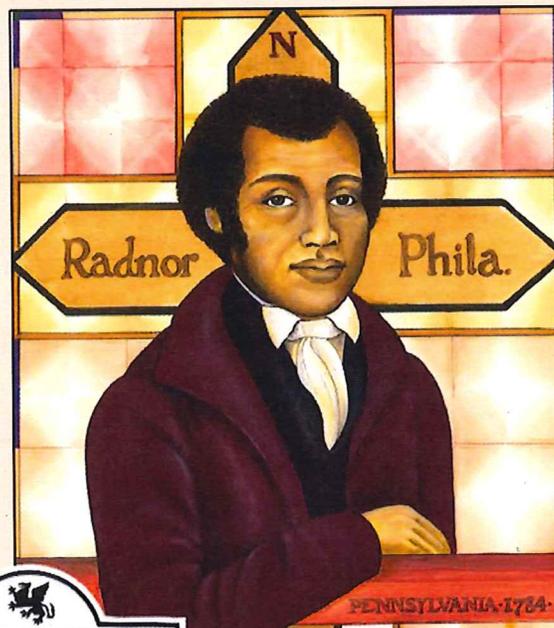
INVITES YOU TO

CELEBRATE THE 261<sup>ST</sup> BIRTHDAY OF  
**Bishop Richard Allen**

FOUNDER, AFRICAN METHODIST EPISCOPAL CHURCH

**SUNDAY, FEBRUARY 21, 2021**

**1:00 PM WREATH LAYING CEREMONY**



227 BROOK ST.  
BRYN MAWR, PA 19010

*Special tribute to Ceasar and Phebe Waters by Colin McCrossan*

ALL ATTENDEES MUST wear a mask and social distancing guidelines will be enforced.

Join members of the AME Community and Friends as we celebrate the life and legacy of Bishop Richard Allen. We will also commemorate his historic walk to Radnor in 1784.

For more information, please contact (610) 642-8966 or [bethelardmore@verizon.net](mailto:bethelardmore@verizon.net).

Also available via **FACEBOOK LIVE!**  
[www.Facebook.com/BethelArdmore](https://www.Facebook.com/BethelArdmore)

Co-Sponsored by:



# 2021 February RCPO Newsletter

Created by Chris Kelleher (Feb 10, 2021 08:31), last edited by Chris Kelleher (Mar 01, 2021 13:01)

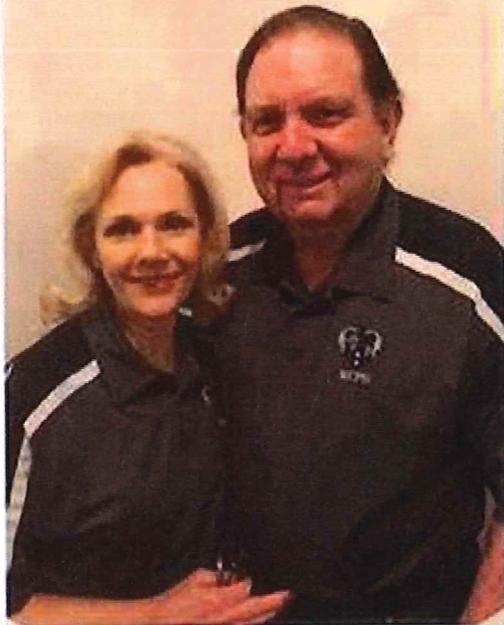
## Radnor Citizens Police Organization



February 2021 Newsletter

## RCPO Spotlight

## Fran and Joe



We first learned of the formation of a Radnor Citizens' Police Academy through a newsletter sent by our local Commissioner. We found out that we would be members of the inaugural class, 2015-01. We weren't sure what to expect, but after our first meeting, we were hooked. The professionalism and willingness of the Radnor Police Department to involve us in learning about police activities inspired us to become more involved with the safety of our community. Each week, for nine sessions, we watched and heard slide presentations given by various members of the township police community, from the Superintendent, down to new recruits. We witnessed a level of professionalism and dedication which inspired us to become more aware and engaged citizens.

In addition to slide programs, each week was dedicated to observing and discussing the most common aspects of police work, including such activities as a routine traffic stop, to a seemingly low-level domestic quarrel, which we learned could be some of the most dangerous situations for an officer. We also learned how to collect evidence and record it. Every week we looked forward to the class and we were sad when it ended and we graduated, but we were ready to do our part to help the police and the community.

After graduation, we were given the opportunity to volunteer for a number of police support activities. We and our classmates participated in many activities such as traffic control for township events, the Santa toy delivery and also crowd control for the visit of Pope Francis. No matter which activity we were asked to attend, we always came back to our favorite, Town Watch. We joked with our family and friends that it had become our go-to "date night".

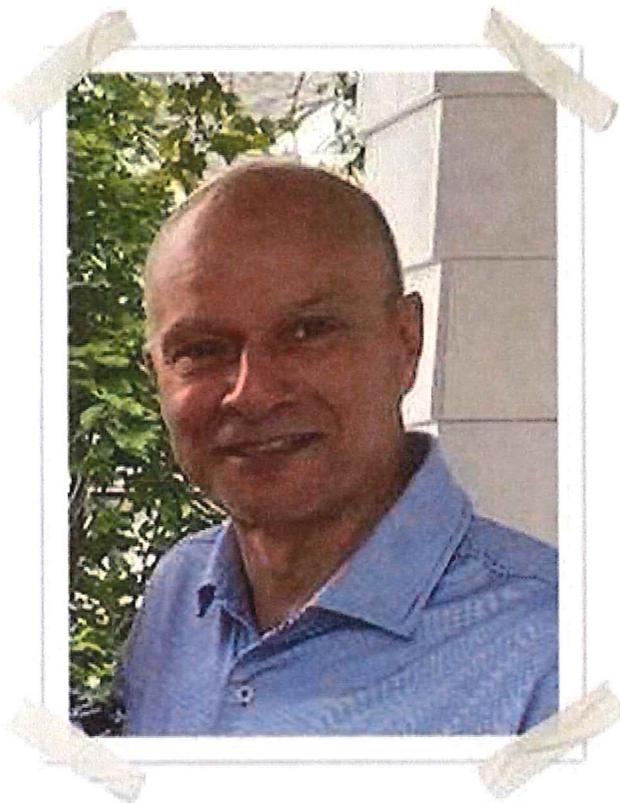
Health challenges as well as the Covid-19 pandemic have curtailed our direct participation in recent activities, but we still enjoy the feeling of camaraderie that exists within the RCPO. We strongly support the organization and encourage all Radnor citizens to become more involved.

We cannot overstate what a positive experience the RCPO has been for us, and we would like to thank all of the members and the entire police department for their support of the program.

Joe Ferroni, M.D.  
Fran Thompson, RNC

## **A Note from the President**

**John Talucci**



Moments and the simple things...

At last, a new year is upon us, bringing with it the expectation that this year must be better than last. We have been challenged by recent events, which have redefined how many of us live our lives. The challenges posed by the Corona virus and the Presidential Election have fundamentally transformed how many of us see the world and each other. In meeting these challenges and analyzing the behavioral changes brought about by them, I think its important for us to define ourselves, by how we choose to live these moments.

We can choose to live "in" the moment when playing with our grandkids or "be" in the moment, when listening to a favorite song. We can also "relish" the moments when we realize how important they have

become to us. String enough of these moments together in a lifetime and they become long lasting memories. Sometimes the best moments happen when we least expect them and when everything falls into place making them happen.

It is often said that being in the moment eliminates the troubles of the past and the anxieties of the future. Paolo Coelho states "there are moments when trouble enters our lives and we can do nothing to avoid them. But they are there for a reason. Only when we have overcome them will we understand why they were there." These moments can also define who we are when under pressure, duress or extended periods of anxiety. It's during these very moments, when we learn what we are made of, learn to make the best out of a bad situation, with tomorrow bringing in a brand-new day.

One of the ingredients common to moments is that they revolve around the simple things we cherish...quality time with family, dinner with a friend, a trip through the farmers market, an afternoon delight, home-cooked meals, good friends, or a walk on the trail, to name a few. The simple things in life are what moments are made of, memories made from, and looking back we realize these were the important things.

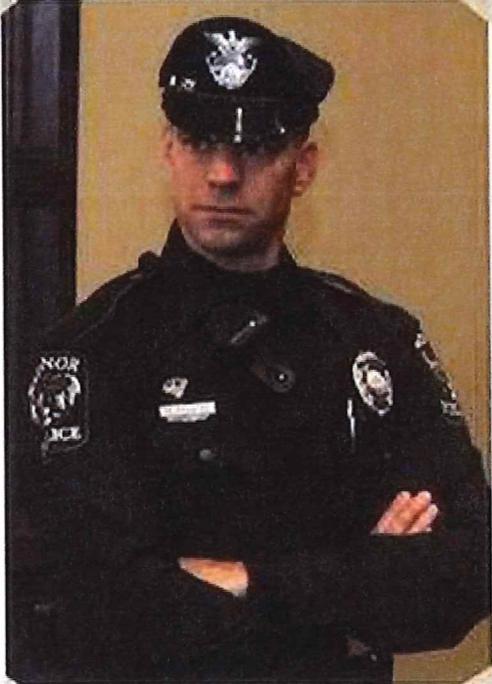
I hope all of you find your moments being a volunteer with RCPO, winters first snowfall, or a cup of tea by the fire. It is the simple things that make for memorable moments and the people we share them with.

Happy New Year.

John Talucci

## **Q&A with Radnor Police**

**Sgt. Mark Stiansen**



*"During days that schools are closed and there are no students in attendance (holidays, school breaks, times of virtual learning), are school zone speed limits still in effect for school zones, with or without lights that are on, and for those that do not have lights?"*

Good question.....the OFFICIAL answer is, if the amber lights are flashing then motorists must slow down to 15 MPH. We have a company we work with and we provide them the times the school zones are to be activated.

For example, we will tell them the Radnor Middle School needs to be activated M-F from 0815-0845 and again 1445-1515 hrs. When school is out for the summer, we tell them to turn the lights off. March 2020-present has been difficult because of the virtual and hybrid learning. Instead of having this company have to come out whenever a school switches from all virtual to hybrid to eventually all students in class we just had them stay on the same schedule they normally would. Additionally, the signs without the flashing lights are also enforceable, but those are generally on ancillary streets and not the main street. For example, you'll have the flashing lights on S. Wayne by the middle school and the signs without lights on Windermere.

This may have been a lengthier answer than you were looking for, but I want you to understand the reasoning behind the madness. To reiterate, if the lights are active, slow down to 15 MPH even if it appears that school is not in session.

## **Social Zoom with Radnor Citizens Police Organization**

Since we can't get together socially, we have decided to have a virtual get together / happy hour. The first one will be held on Wednesday, March 15th at 7:00p, and we hope to have more in the future as well. Please feel free to join us if you are available.

Topic: Social Zoom with Radnor Citizens Police Organization

Time: Mar 15, 2021 07:00 PM Eastern Time (US and Canada)

Join Zoom Meeting

<https://zoom.us/j/98118786730?pwd=RVdIU3JDZ2NjL2RHUFBPWWNCZGtTdz09>

Meeting ID: 981 1878 6730

Passcode: 821159

One tap mobile

+19292056099,,98118786730#,,,,\*821159# US

## Newsletter Feedback

Please [take a second and let us know](#) how often you'd like to see the RCPO newsletter and if you have any comments or suggestions. Thanks!

## Check Out Our Website and Follow Us!

	<a href="https://www.radnorcitizenspolice.org/">https://www.radnorcitizenspolice.org/</a>
	<a href="https://www.facebook.com/RadnorCPO/">https://www.facebook.com/RadnorCPO/</a>
	<a href="https://www.twitter.com/RadnorCPO/">https://www.twitter.com/RadnorCPO/</a>

The information in this email, and any attachments, may contain confidential information. Use and further disclosure must be consistent with applicable laws. However, if you believe you've received this email in error, delete it immediately and do not use, disclose or store the information it contains

**RADNOR TOWNSHIP POLICE DEPARTMENT**  
**301 Iven Avenue**  
**Wayne, Pennsylvania 19087-5297**  
**(610) 688-0503 ☐ Fax (610) 688-1238**

**Christopher B. Flanagan**  
**Police Superintendent**

**TO:** Radnor Township Commissioners; William M. White, Township Manager; Robert Tate, Director of Finance; Stephen F. Norcini, Township Engineer; Michael Simmons, Acting Public Works Director; Tammy Cohen, Director of Recreation and Community Programming; Kevin W. Kochanski, Director of Community Development; Bill Cassidy, Field Leader; Lt. Shawn Dietrich; Lt. Joseph Pinto; Sgt. Mark Stiansen, Officer Alex Janoski; Officer Pat Lacey, Officer Ken Piree, Highway Patrol Unit; William Gallagher, Supervisor of Parking; Damon Drummond, Senior Transportation Engineer for Gilmore and Associates; Vera DiMaio, Executive Assistant

**FR:** Christopher B. Flanagan

**RE: STAFF TRAFFIC COMMITTEE MEETING HELD IN THE POLICE ROLL CALL ROOM, WEDNESDAY, FEBRUARY 17, 2021 AT 10:00 AM.**

**NEW BUSINESS**

**No new items for this month's meeting**

(No Minutes to Report)

**See attached spreadsheet for pending issues and updates**

**OLD BUSINESS:**

**Traffic Light at Route 30/Route 320**

1. An audit was conducted of the traffic light at Route 30 and Route 320 in order to determine if corrections should be made.



**RADNOR TOWNSHIP POLICE DEPARTMENT**  
 301 Iven Ave., Wayne, PA 19087

**February 2021 Staff Traffic Status Report**

Project Name	Project Information	Status Update
<p>County Line Corridor Study (from Lancaster Avenue to Conestoga Road)</p>	<p>Radnor Township along with Lower Merion funded the County Line Corridor Study (posted on the Township's website). Both Townships agreed that the first project to be constructed from the study would be a traffic signal at County Line Road and Montrose Avenue.</p> <p>Pennoni Engineering Associates was awarded the design contractor for traffic signal.</p>	<p>The signal design has been designed and submitted to Penn DOT. Penn DOT comments have been received and reviewed with both Townships. A meeting is to be scheduled with Penn DOT, Radnor and Lower Merion Townships to discuss the review comments. A timetable for project bidding will be determined upon final Penn DOT approval.</p> <ul style="list-style-type: none"> <li>• On January 28, 2021, Pennoni reports they have not yet received approval from PennDot</li> <li>• They are still evaluating where the traffic light should be placed either Montrose Avenue or Roberts Road</li> <li>• Pennoni inquires whether anything be done on Conestoga Road</li> </ul>
<p>King of Prussia Rd &amp; Eagle Rd intersection improvements</p>	<p>Radnor Township, in partnership with Cabrini and Eastern Universities, received a DCED MTF grant to construct intersection improvements including turning lanes, storm sewer, and signal improvements. The project is in the design phase. Rd</p>	<p>The design engineer is revising the plans based on the second round of Penn DOT comments. The Township is still trying to acquire easements needed for the project. Upon easement acquisition and final approval from Penn DOT, a bidding schedule will be put forth.</p>

**RESOLUTION NO. 2021-25**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AUTHORIZING AN APPLICATION TO THE DELAWARE  
COUNTY COUNCIL FOR AN ALLOCATION OF COUNTY LIQUID FUEL TAX  
FUNDS IN 2021 FOR THE MUNICIPAL ROADWAY/STREET IMPROVEMENT  
PROGRAM OF 2021**

*WHEREAS*, the Township desires to take advantage of the Act approved June 1, 1945, P.P. 1242 and as provided in the Act approved May 18, 1945, P.L. 803 permitting Counties of the Commonwealth of Pennsylvania to appropriate and expend moneys for the improvements and maintenance of State Highways and State-Aid Highways or Public Highway in any County of the Commonwealth

*NOW, THEREFORE*, be it *RESOLVED*, that we, the Officials of Radnor Township, Delaware County, Pennsylvania, in regular session assembled on this 22nd day of March, 2021 do hereby make application to the County Council of Delaware County for an allocation of County Liquid Fuel Tax Funds in the amount of \$36,720.00 to be used toward the 2021 Roadway/Street Improvement Program

*SO RESOLVED* this 22nd day of March, A.D., 2021

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Manager/Secretary

**Radnor Township**  
**PROPOSED LEGISLATION**

DATE: March 22, 2021

TO: Radnor Township Board of Commissioners

FROM: Michael Simmons, Director of Public Works

CC: William M. White, Township Manager/Secretary

LEGISLATION: Resolution #2021-25: Authorizing submission of an Application to the Delaware County Council for an Allocation of County Liquid Fuel Tax Funds for the Township's Annual Road Resurfacing Program

---

LEGISLATIVE HISTORY: This Resolution is for the Township's annual application for County Aid, and must be submitted on the DOT Grants website.

PURPOSE AND EXPLANATION: The application for County Aid is offered to offset a portion of the cost of the annual resurfacing program.

IMPLEMENTATION SCHEDULE: 1.) Resolution approved to submit County Aid Application  
2.) Submit Application on the PennDOT Grant webpage  
3.) Receive Project Approval from Penn DOT  
4.) Complete Project in Calendar year 2021.

FISCAL IMPACT: The County Aid revenue is noted in the 2021 liquid fuels budget worksheet. Last year the Township received \$36,720 in County Aid.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners pass the attached Resolution 2021-25 requesting County Aid.

MOVEMENT OF LEGISLATION: It is being requested that the Board approve the legislation for this project to obtain County Aid funds.

**RESOLUTION NO. 2021-33**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AUTHORIZING THE REMOVAL OF 40 DEAD & DYING  
TREES ON THE CORNER OF S.R. 320 AND CONESTOGA ROAD AND  
REPLANTING OF THE AREA**

*WHEREAS*, the Township requested the evaluation of the Township owned parcel at the corner of S.R. 320 and Conestoga Road

*WHEREAS*, the Township's appointed arborist evaluated the trees

*WHEREAS*, the Arborist recommended that all of the dead and dying trees should be removed from the parcel which includes (25) ash and (15) elm trees

*WHEREAS*, the Shade Tree Commission approved the removal as well as the proposal by the Arborist to replant the area with approximately 30 whips with deer tubes

*WHEREAS*, Horgan Tree Experts submitted a proposal to execute said tree removal in the amount of \$9,800

*WHEREAS*, the Public Works Department will purchase trees and supplies for the replanting from Octoraro Wholesale Nursery in an amount not to exceed \$1,000

*WHEREAS*, the Parks Department of the Township will perform the planting of the area under the supervision of the Township Arborist

*NOW, THEREFORE*, be it **RESOLVED** the Board of Commissioners of Radnor Township does hereby award the tree removal at S.R. 320 and Conestoga Road, to Horgan Tree Experts, in the amount of \$9,800 and the purchase of replacement whips not to exceed \$1,000

**SO RESOLVED** this 22nd day of March, A.D., 2021

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: Jack Larkin

Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Township Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

**DATE:** March 22, 2021

**TO:** Radnor Township Board of Commissioners

**CC:** William M. White, Township Manager

**FROM:** Michael Simmons, Director of Public Works

**LEGISLATION:** Resolution 2021-33: Authorizing the removal of dead, and dying trees on the corner of S.R. 320 and Conestoga Road and replanting of the area

---

**LEGISLATIVE HISTORY:** This authorization to remove 40 trees at the Township owned parcel at the corner of Conestoga Road, and S.R. 320 has not been previously before the Board of Commissioners.

**PURPOSE AND EXPLANATION:** Township Arborist, John Rockwell Hosbach was asked to review the condition of the trees at the corner of Conestoga Road and S.R. 320. Mr. Hosbach's report indicated that 90% of the canopy at this location is dead and dying, and removal of all trees was recommended. The report and recommendation for removal was taken before the Shade Tree Commission in 2020, and they approved the removal along with the concept of replanting the property with small replacement (whip) trees. 25 Ash and 15 Elm Trees will be removed from the site. Several proposals were received for the removal of the trees. Horgan Tree Experts had the lowest price proposal for the work at \$9,800. The Township will purchase the replacement trees and supplies (deer tubes) from Octoraro Wholesale Nursery in an amount not to exceed \$1,000 and the planting will be performed by the Township Park's Department with supervision from the Township Arborist.

**IMPLEMENTATION SCHEDULE:** Pending Board approval, we will plan to move forward with the tree removal and replanting as soon as possible.

**FISCAL IMPACT:** The invoice of \$9,800 as well as the invoice for trees and supplies will be charged against account 01430403-44110.

**RECOMMENDED ACTION:** I respectfully request the Board of Commissioners to authorize the removal of the trees at the corner of Conestoga Road and S.R. 3200 to Horgan Tree Care, in the amount of \$9,800, and the purchase of trees and needed supplies for replanting not to exceed \$1,000 from Octoraro Nursery.

# Google Maps 626 Conestoga Rd



Image capture: Aug 2019 © 2021 Google

Villanova, Pennsylvania



Street View



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320 / CONESTOGA ROAD – OPEN SPACE

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**TO:** RICK FOSTER  
**FROM:** JOHN HOSBACH  
**SUBJECT:** DEAD ASH AT OPEN SPACE PLOT  
**DATE:** 5/23/2020

---

Dear Rick,

As per my review, there are approximately 25 subject ash trees that represent 90% of the canopy of this subject plot. Unfortunately, all of them are dead or declined beyond recovery. Emerald Ash Borer is the culprit. 16-18 of the trees are likely to strike the road or adjacent property. I would strongly recommend removing all the trees.

However, I would suggest we mitigate through some replanting. I would like to see at a minimum, 30 whips be planted with deer tubes. We can discuss this prior to the fall.

I will be happy to spearhead this planting.

The subject trees will require removal in the very near future as their integrity is compromised due to the EAB.



John Rockwell Hosbach Jr., Urban Forester

**ASCA** | **RCA**  
Registered Consulting Arborist®

610-731-7969 | [John@rockwellurbanforestry.com](mailto:John@rockwellurbanforestry.com)  
Consultants | Urban Foresters | Planners | Forensic Arborist

[rockwellurbanforestry.com](http://rockwellurbanforestry.com)

Horgan Tree Experts  
 741 Contention Lane  
 Berwyn, PA 19312  
 610-644-1663  
 horgantree@gmail.com

# ESTIMATE

<b>NAME / ADDRESS</b>
Radnor Township 301 Iven Avenue Wayne, PA 19087-5297

<b>DATE</b>
5/27/2020

<b>ESTIMATE #</b>
5164

<b>REP</b>
HTS

DESCRIPTION	COST	TOTAL
Remove 25 dead or dying ash trees and 15 elm trees on the corner of 320 and Conestoga Road. Remove all wood and debris.	9,800.00	9,800.00
We accept Visa and Mastercard	<b>TOTAL</b>	<b>\$9,800.00</b>

A 50% deposit is required to begin the job and the balance is due on completion of the work.

\_\_\_\_\_  
 SIGNATURE

Wholesale Only



Scientific Name	Common Name	Price	Height	Container	Qty	Ord	Total
Celtis occidentalis	hackberry <input type="checkbox"/>	10.25 <input type="checkbox"/>	2-3'	#2	<input type="text" value="10"/>	✓	\$102.50
Cornus florida	flowering dogwood <input type="checkbox"/>	11.25 <input type="checkbox"/>	18-24"	#2	<input type="text" value="7"/>	✓	\$78.75
Quercus alba	white oak <input type="checkbox"/>	41.95 <input type="checkbox"/>	4-6'	#7	<input type="text" value="10"/>	✓	\$419.50

**Total plants 27**

**Total price\* \$600.75**

\*Freight charges will be determined at time of delivery.

\*Pennsylvania sales taxes will be added where applicable.

**Radnor Township**  
**PROPOSED MOTION**

DATE: March 22, 2021

TO: Radnor Township Board of Commissioners

CC: William M. White, Township Manager/Secretary  
Robert Tate, Finance Director

FROM: Michael Simmons, Director of Public Works

MOTION: Authorizing the Public Works Department to Receive Sealed Bids for the 2021 Superpave Project

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LEGISLATIVE HISTORY: The Township annually solicits bids for the resurfacing program.

PURPOSE AND EXPLANATION: The project entails milling the existing surface of the street to maintain curb reveal and remove oxidized asphalt, repairing any areas that are deteriorated by base repair (if needed), leveling course (if needed), and the installation of 1.5" of compacted 9.5 mm Superpave wearing course. Also included is the replacement of existing speed humps, pavement markings, and loop detectors. Roads are chosen for consideration based on the following criteria: alligating, oxidation, rutting, deformation, utility cuts, general condition, and use.

IMPLEMENTATION SCHEDULE: If approved by the Board of Commissioners, the project will be bid as soon as possible, with a proposed completion date of September 30, 2021.

FISCAL IMPACT: Funding for this project is provided in the Liquid Fuels Account, #03-439-4880. The budgeted amount is \$1,000,000.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners authorize the Public Works Department to receive sealed bids for the 2021 Superpave Resurfacing Program.

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *Stephen F. Norcini*

CC: William M. White, Township Manager

Date: March 2, 2021

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**Re: 231 Chamounix Road: Waiver of §245-22. A of the Stormwater Management Ordinance, Grading Permit Application #202471**

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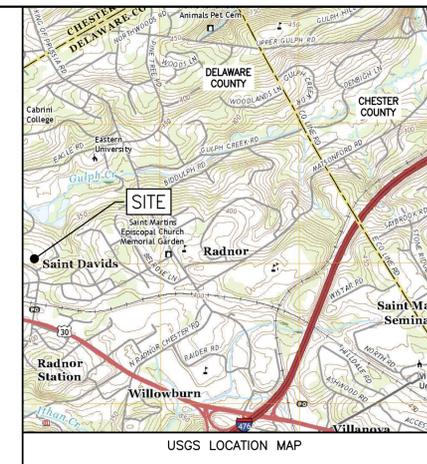
The applicant for this property, along with their engineer, appeared before the Commissioners at the regularly scheduled March 8<sup>th</sup>, 2021 Board of Commissioners meeting. The Commissioners tabled the waiver request and required the applicant to provide some form of stormwater runoff mitigation. The applicant's engineer is proposing an earthen berm with stone spillways (please see attached plan).

The applicant for this property is proposing to demolish the existing residence to its foundation, and construct a new dwelling from the original foundation. The proposed increase in impervious surface is as follows:

231 Chamounix Road	
Description	New Impervious (SF)
Driveway	184
Patio	305
Walkways	233
<b>Total New Imp.</b>	<b>722</b>

---

Due to a high water table, the infiltration testing had a permeability of 0"/hr., which does not meet the Ordinance requirement of 0.5"/hr. The applicant is required to request a waiver from §245-22. A of the Stormwater Management Ordinance.



USGS LOCATION MAP

- GENERAL NOTES:**
- REFERENCE PLAN**
    - "EXISTING FEATURES PLAN", PREPARED FOR VINCENT M. AND CARLEY D. BOYD, PREPARED BY BIEBER LAND SURVEYING COMPANY, LLC, DATED JULY 6, 2020, SHEET NO. 1 OF 1, PROJECT NO. 20056.
  - OWNER**  
VINCENT M. AND CARLEY D. BOYD  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087
  - SITE ADDRESS**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087
  - SOURCE OF TITLE**  
DEED REFERENCE: DB 5680, PG 1652  
PARCEL ID: 36-02-00888-01
  - SITE DATA**  
GROSS LOT AREA: 21,604 S.F. (0.496 ACRES)  
NET LOT AREA: 19,259 S.F. (0.442 ACRES)
  - LAND USE**  
EXISTING LAND USE: RESIDENTIAL
  - SURVEY NOTES FROM REFERENCE PLAN**
    - PHYSICAL FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY PERFORMED BY BIEBER LAND SURVEYING COMPANY, LLC, COMPLETED ON JUNE 12, 2020.
    - HORIZONTAL DATUM IS REFERENCED TO DEED BEARINGS. VERTICAL DATUM IS REFERENCED TO NAVD83.
    - THIS PLAN WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
    - THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BIEBER LAND SURVEYING COMPANY, LLC WAS CONTRACTED TO PERFORM, EXCEPT ANY UNRECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BIEBER LAND SURVEYING COMPANY, LLC.
    - THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION. BIEBER LAND SURVEYING COMPANY, LLC (BLS) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. BLS DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, BLS SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. BLS HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
    - THIS PLAN HAS BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THE CLIENT OF RECORD OF BIEBER LAND SURVEYING COMPANY, LLC. BIEBER LAND SURVEYING COMPANY, LLC ASSUMES NO LIABILITY FOR THE USE OR REUSE OF THESE PLANS BY ANY INDIVIDUAL OR ENTITY OTHER THAN THE CLIENT, OR THE USE OF THIS PLAN FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT HAS BEEN PREPARED.
    - ANY REVISION MADE TO THESE PLANS AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION DATE SHALL NOT BE THE RESPONSIBILITY OF BIEBER LAND SURVEYING COMPANY, LLC.
  - UTILITIES**  
SITE IS SERVICED BY PUBLIC WATER AND SEWER.  
COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
  - WETLANDS**  
THERE ARE NO KNOWN WETLANDS LOCATED ON SITE PER NATIONAL WETLAND INVENTORY MAPS.
  - FLOODPLAIN**  
THE PROJECT AREA IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA, MAP PANEL NO. 42045C0036F, EFFECTIVE DATE: 11/18/2009.
  - SOILS**  
SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.
  - RECEIVING STREAM**  
THE SITE IS LOCATED IN THE SCHUYLKILL RIVER WATERSHED AND DRAINS TO GULPH CREEK WHICH IS DESIGNATED AS WARM WATER FISHES (WFF) AND MIGRATORY FISHES (MF) BY PA CODE CHAPTER 93.
  - GEOLOGY**  
UNIT NO.: 191  
MAP SYMBOL: fgp  
NAME: FELSIC GNEISS  
AGE: PRECAMBRIAN  
LITHI: FELSIC GNEISS
  - PER THE REFERENCE PLAN IN NOTE 1, THERE ARE NO STEEP SLOPES ON THE SUBJECT PARCEL.

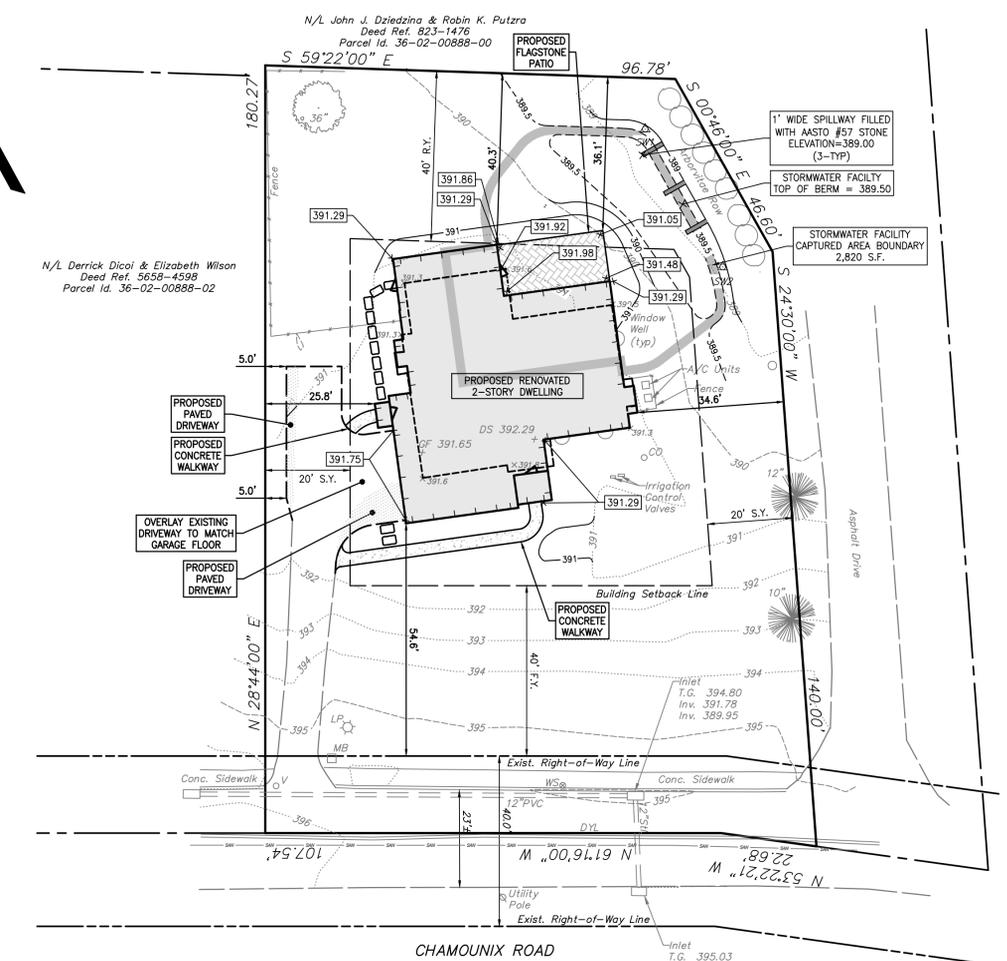
- REQUESTED WAIVER**
- FROM SECTION 245-22 GROUNDWATER RECHARGE.  
THE WAIVER IS REQUESTED DUE TO POOR SOIL CONDITIONS.

**REQUESTED WAIVER**

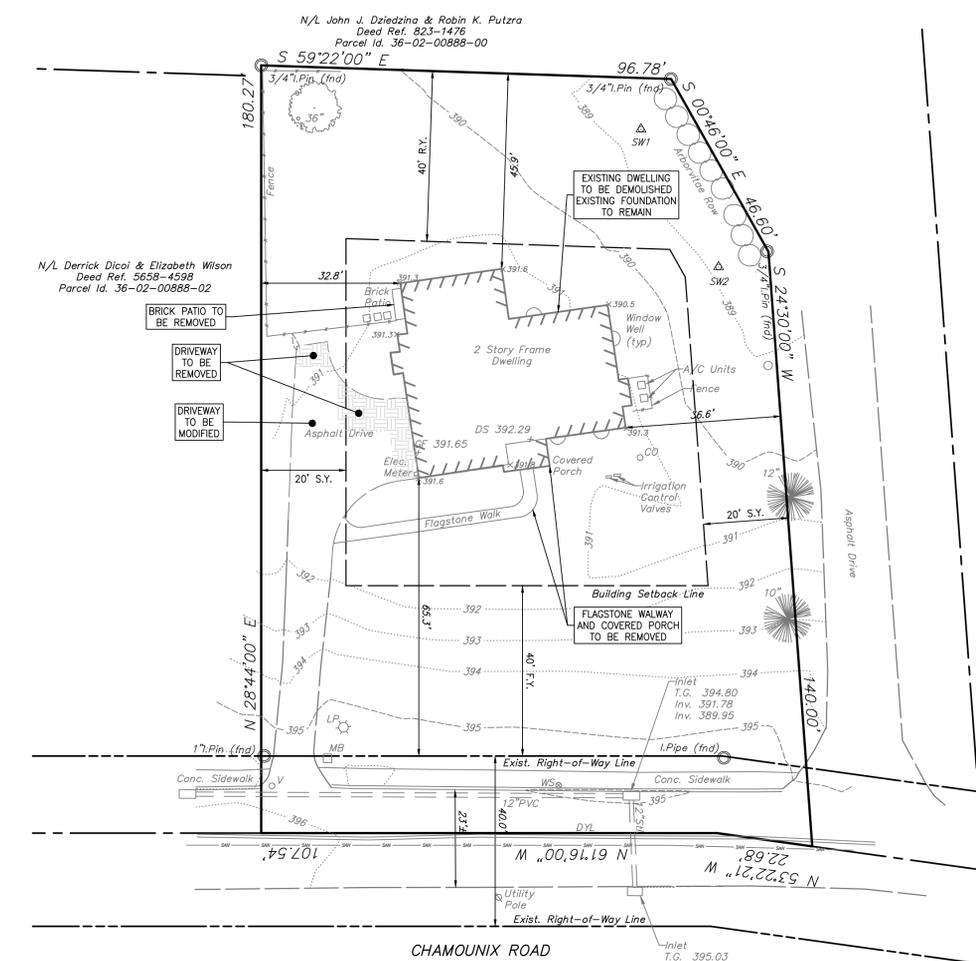
FROM SECTION 245-22 GROUNDWATER RECHARGE.  
THE WAIVER IS REQUESTED DUE TO POOR SOIL CONDITIONS.

PREPARED BY: **PADULA ENGINEERING**  
Land Use & Stormwater Management Experts  
PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

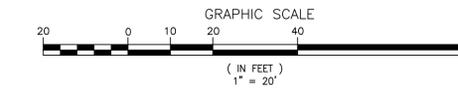
DATE: DECEMBER 29, 2020  
DRAWN: iii  
APPROVED: MJP  
PROJECT NUMBER: 200097  
1 OF 3



PERMIT PLAN



EXISTING FEATURES AND DEMOLITION PLAN



**LEGEND**

---	PROPERTY BOUNDARY
---	ADJOINING PROPERTY LINE
---	EXISTING RIGHT-OF-WAY LINE
---	EXISTING BUILDING SETBACK LINE
---	EXISTING CURB LINE
---	EXISTING EDGE OF DRIVEWAY
---	EXISTING FENCE LINE
---	EXISTING SANITARY SEWER LINE
---	EXISTING 1' CONTOUR W/ ELEVATION
---	EXISTING 5' CONTOUR W/ ELEVATION
---	EXISTING SPOT ELEVATION
---	EXISTING DOOR SILL ELEVATION
---	EXISTING IRON PIN / PIPE
---	EXISTING WATER SERVICE
---	EXISTING VENT
---	EXISTING CLEANOUT
---	EXISTING DECIDUOUS TREE
---	EXISTING EVERGREEN TREE
---	STEEP SLOPE 14-20%
---	STEEP SLOPE > 20%
---	PROPOSED BUILDING WALL
---	EXISTING BUILDING WALL
---	PROPOSED EDGE OF DRIVEWAY
---	PROPOSED DRIVEWAY AREA
---	SOIL TEST LOCATION

PARCEL ID# 36-02-00888-01

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES: 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STATE STOP CALL Pennsylvania One Call System, Inc

PENNSYLVANIA ACT 187 REQUIREMENTS: PADULA ENGINEERING COMPANY DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES PADULA ENGINEERING COMPANY GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

**LOT AREA**

GROSS LOT AREA	21,604 S.F.	0.496 ACRES
LESS 75% OF THE CALCULATED 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS 75% OF WETLANDS NOT WITHIN THE CALCULATED 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS 75% OF SLOPES EQUAL TO OR IN EXCESS OF 20% OF THE AREA NOT WITHIN THE 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS LAND AREA WITHIN AN EXISTING PUBLIC RIGHT-OF-WAY	2,345 S.F.	0.054 ACRES
NET LOT AREA	19,259 S.F.	0.442 ACRES

**IMPERVIOUS SURFACE SUMMARY**

	EXISTING	TO BE REMOVED	PROPOSED	TOTAL
BUILDING	1,936 S.F.	25 S.F.	774 S.F.	2,685 S.F.
DRIVEWAY	1,393 S.F.	252 S.F.	184 S.F.	1,325 S.F.
FLAGSTONE WALK	168 S.F.	168 S.F.	0 S.F.	0 S.F.
BRICK PATIO	16 S.F.	16 S.F.	0 S.F.	0 S.F.
FLAGSTONE PATIO			305 S.F.	305 S.F.
CONCRETE WALKS			175 S.F.	175 S.F.
FLAGSTONE WALKS			58 S.F.	58 S.F.
TOTAL	3,513 S.F.	461 S.F.	1,496 S.F.	4,548 S.F.

**ZONING DATA**

ZONING DISTRICT: R-2 RESIDENTIAL DISTRICT

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 S.F. (MIN.)	GROSS: 21,604 S.F. NET: 19,259 S.F.	GROSS: 21,604 S.F. NET: 19,259 S.F.
LOT WIDTH AT BUILDING LINE	100' (MIN.)	123.6'	123.6'
BUILDING SETBACKS			
FRONT YARD	40' (MIN.)	65.3'	54.6'
SIDE YARD	20' (MIN.)	32.8'	25.8'
SIDE YARD (AGGREGATE)	45' (MIN.)	69.4'	60.4'
REAR YARD	40' (MIN.)	43.9'	40.3'
BUILDING HEIGHT	35' (MAX.)	EXISTING	< 35'
BUILDING AREA	18% (MAX.)	9.0% (1,936 S.F.)	12.4% (2,685 S.F.)
LOT COVERAGE	30% (MAX.)	16.3% (3,513 S.F.)	21.1% (4,548 S.F.)

FOR COMPLETE ZONING INFORMATION REFER TO RADNOR TOWNSHIP ZONING ORDINANCE

**STORMWATER MANAGEMENT CALCULATIONS**

REQUIRED: 1" OF RUNOFF FROM PROPOSED IMPERVIOUS AREAS

PROPOSED IMPERVIOUS AREAS	1,496 S.F.
REQUIRED INFILTRATION VOLUME	125 C.F.
STORMWATER FACILITY STORAGE AREA	150 C.F.
CAPTURED VOLUME	353 S.F.

**SOILS DESCRIPTIONS**

SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP
GeB	GLENELG CHANNERY LOAM, 3-8% SLOPES	56-98" TO PARALITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	B

**OWNER**

VINCENT M. AND CARLEY D. BOYD  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087

REVISIONS:

NUM.	DATE	REVISION
2	3/18/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW
1	2/8/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW COMMENTS RECEIVED ON 2/22/2021

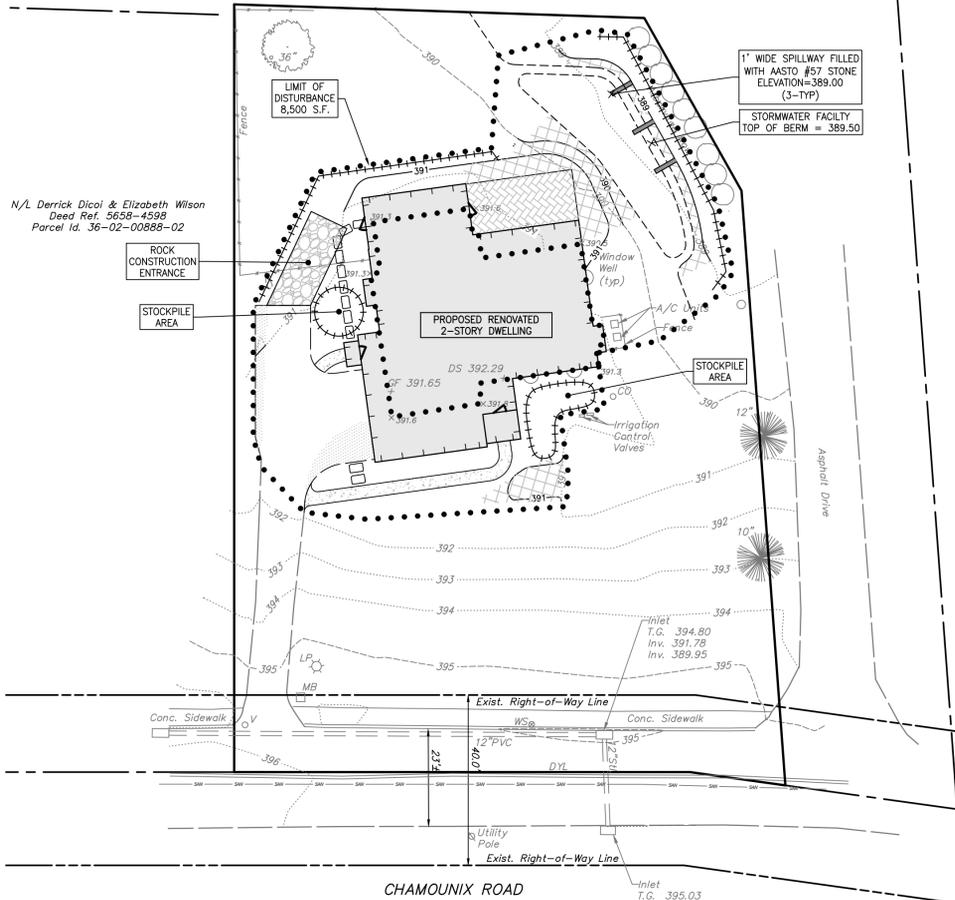
PREPARED FOR:  
**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**EXISTING FEATURES, DEMOLITION AND PERMIT PLAN**

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF PADULA ENGINEERING COMPANY

N/L John J. Dzedzina & Robin K. Putza  
Deed Ref. 823-1476  
Parcel Id. 36-02-00888-00

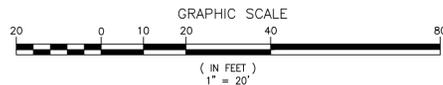
N/L Derrick Dical & Elizabeth Wilson  
Deed Ref. 5658-4598  
Parcel Id. 36-02-00888-02



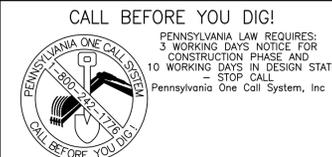
CHAMOUNIX ROAD

LEGEND

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CURB LINE
- EXISTING EDGE OF DRIVEWAY
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER LINE
- EXISTING 1' CONTOUR W/ ELEVATION
- EXISTING 5' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING DOOR SILL ELEVATION
- EXISTING IRON PIN / PIPE
- EXISTING WATER SERVICE
- EXISTING VENT
- EXISTING CLEANOUT
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- STEEP SLOPE 14-20%
- STEEP SLOPE > 20%
- PROPOSED BUILDING WALL
- EXISTING BUILDING WALL
- PROPOSED EDGE OF DRIVEWAY
- LIMIT OF DISTURBANCE
- 18" SILT FENCE
- EROSION CONTROL BLANKET



PARCEL ID# 36-02-00888-01



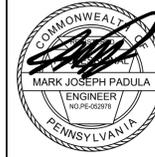
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SOILS DESCRIPTIONS

SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP
GeB	GLENELG CHANNERY LOAM, 3-8% SLOPES	56-98" TO PARALITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	B

OWNER

VINCENT M. AND CARLEY D. BOYD  
731 CHAMOUNIX ROAD  
WAYNE, PA 19087



PREPARED FOR:  
**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**EROSION AND SEDIMENTATION CONTROL PLAN AND NOTES**

EROSION CONTROL GENERAL NOTES

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT, THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND/OR FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT, THE REGIONAL OFFICE OF THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ON TO ANY ROAD.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES --- 6 TO 12 INCHES ON COMPACTED SOILS --- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUT SLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT, THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT OR THE APPROPRIATE REVIEWING AGENCY FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT OR THE APPROPRIATE REVIEWING AGENCY TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MIDDLE-MEJOR CRIMINAL PENALTIES FOR EACH VIOLATION.

ADDITIONAL MAINTENANCE NOTES (IF APPLICABLE)

- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- CHANNELS HAVING RIPRAP, RENO MATRESS, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER THE PROTECTIVE LINING.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS.

MAINTENANCE PROGRAM NOTES

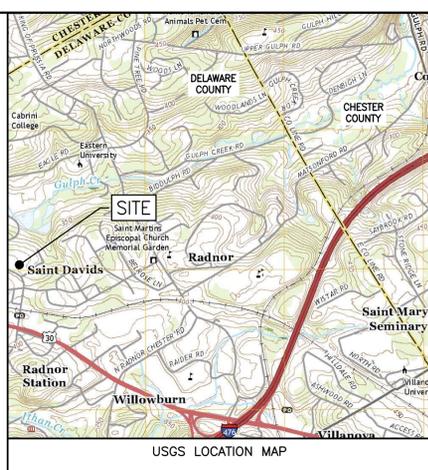
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE UPON REQUEST.
- THE PROPERTY OWNER IS REQUIRED TO REMEDY ANY DEFICIENCY IDENTIFIED DURING THE INSPECTION PROCESS IN A REASONABLE TIME FRAME. IF A REASONABLE TIME FRAME IS NOT SPECIFIED BY THE INSPECTOR TO REMEDY THE DEFICIENCY, THEN THE TIME FRAME SHALL BE 30 DAYS DEPENDENT UPON WEATHER CONDITIONS. BASED UPON THE DEFICIENCY IDENTIFIED, THE TIME FRAME CAN BE LONGER OR SHORTER THAN 30 DAYS.
- WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENTATION POLLUTION, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION:
  - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
  - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENT OF THE NON-COMPLIANCE.
  - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING WEATHER CONDITIONS, BASED UPON THE DEFICIENCY IDENTIFIED, THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- SEDIMENT SHALL BE REMOVED FROM STORMWATER BMPs WHEN IT HAS ACCUMULATED TO A DEPTH OF 6 INCHES. COLLECTED SEDIMENT SHALL BE SPREAD ELSEWHERE (IN AREAS UNDER CONSTRUCTION) DURING CONSTRUCTION AND STABILIZATION. SEEDING AND MULCHING OF SLOPES SHALL CONFORM TO THE RECOMMENDATIONS WITHIN OR APPROVED EQUAL. TOPSOIL (MINIMUM 6 INCHES) SHALL BE PLACED PRIOR TO SEEDING.
- VEGETATION SHALL BE MOWED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS WILL BE COMPLIED WITH.
- SEEDED AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDED. A BURLAP OR STRAW COVER WILL BE APPLIED AT A RATE OF 3 TONS/ACRE TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY. THIS PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT WEEKLY INTERVALS THEREAFTER, INSPECTION AND NECESSARY CLEANING WILL BE DONE. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE DONE IMMEDIATELY.
- ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AT COMPLETION OF THE PROJECT AFTER ALL EXPOSED SOIL SURFACES ARE FINISH-GRADED AND STABILIZED.
- PERMANENT EROSION CONTROL MAINTENANCE WILL CONSIST OF MAINTAINING THE STORMWATER MANAGEMENT BMPs IN ACCORDANCE WITH THE PCSM PLAN OPERATIONS AND MAINTENANCE NOTES. THE PERMANENT FACILITIES MAINTENANCE WILL BE THE RESPONSIBILITY OF THE LANDOWNER.
- INSPECTIONS SHALL BE LOGGED INTO DEP FORM 3150-FM-BW00083, DATED 2/2012 AND KEPT ON SITE AT ALL TIMES.

TEMPORARY STABILIZATION AND PERMANENT STABILIZATION

- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- HYDRO-MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1 TON PER ACRE.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

SEEDING AND MULCHING REQUIREMENTS

- IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE AND 100-200-200 (100 POUNDS OF N, 200 POUNDS OF PHOSPHORUS AND 200 POUNDS OF POTASSIUM).
- ALL ON-LOT DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT THE RATE OF 176 POUNDS PER ACRE: 50% KENTUCKY BLUEGRASS BARON MK, 25% RED FESCUE-PENNSYLVANIA, 20% CHAMPION PERENNIAL RYEGRASS, AND 5% ANNUAL SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 15 TO JUNE 15 AND/OR AUGUST 15 TO OCTOBER 15.
- AFTER SEEDING IS COMPLETE, MULCH THE SEEDED AREAS WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF THREE (3) TONS PER ACRE. (OTHER SEED MIXTURES MAY BE SUBSTITUTED IF APPROVED BY THE COUNTY CONSERVATION DISTRICT OR THE MUNICIPAL ENGINEER).
- IF THE ABOVE SEED MIXTURES DO NOT GERMINATE SATISFACTORILY IN AREAS OF THE SITE DUE TO WET SOIL CONDITIONS, THOSE AREAS SHALL BE RESEEDED WITH REED CANARY GRASS AT THE RATE OF 100 POUNDS PER ACRE.
- PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT THE RATE OF THREE (3) TONS PER ACRE. THE MULCH SHALL THEN BE REMOVED AND THE AREA SHALL BE DRESSED, SEEDED AND RE-MULCHED AS DESCRIBED ABOVE.
- DISTURBED AREAS ON WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 15 DAYS MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED AT GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE SEEDED AND MULCHED WITH A QUICK GROWING, TEMPORARY SEEDING MIXTURE (ANNUAL RYEGRASS, 40 POUNDS PER ACRE, OR SEE PENNSYLVANIA STATE UNIVERSITY AGRONOMY GUIDE FOR OTHER SEEDING RECOMMENDATIONS). APPLY 1 TON OF AGRICULTURAL LIMESTONE PER ACRE, PLUS FERTILIZER, AT THE RATE OF 50-50-200 PER ACRE. (50 LBS. OF N, 50 LBS OF P<sub>2</sub>O<sub>5</sub> AND 200 LBS. OF K<sub>2</sub>O).



ESTIMATED PROJECT TIME SCHEDULE

START: SPRING 2021  
COMPLETE: FALL 2021

SEQUENCE OF CONSTRUCTION

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- THE APPLICANT AND/OR CONTRACTOR SHALL CONTACT THE TOWNSHIP AND TOWNSHIP ENGINEER OR THEIR DESIGNEE AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE SITE CONTRACTOR TO CONFIRM THE PRESENCE OF THE TOWNSHIP AND TOWNSHIP ENGINEER OR THEIR DESIGNEE COULD RESULT IN THE REMOVAL OF WORK PERFORMED AND THE REINSTALLATION OF SAID WORK.
- E&S BMPs WILL BE INSPECTED ON A WEEKLY BASIS AND AFTER MEASURABLE STORM EVENTS (0.25 INCHES).
- CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.

SEQUENCE:

- CLEARLY MARK THE LIMITS OF DISTURBANCE. NO CONSTRUCTION ACTIVITY OR TRAFFIC SHOULD BE PERMITTED OUTSIDE OF THE LIMITS OF DISTURBANCE.
- INSTALL TEMPORARY SILT SOCK AS SHOWN ON THE PLAN AND IN THE DETAIL. CONTRACTOR SHALL MAKE SURE ANY MUD, DIRT, OR DEBRIS THAT REACHES THIS OR ANY ADJOINING ROAD AS A RESULT OF THIS CONSTRUCTION SHALL BE REMOVED IMMEDIATELY. SHOULD THIS BE INEFFECTIVE, A STABILIZED CONSTRUCTION ENTRANCE MAY BE NECESSARY.
- CLEAR AND GRUB THE AREA AS NECESSARY FOR THE PROPOSED SITE IMPROVEMENTS.
- STRIP TOPSOIL AND STOCKPILE THE TOPSOIL IN THE LOCATIONS SHOWN ON THE PLAN. SURROUND TOPSOIL STOCKPILES WITH SILT FENCE AS SHOWN ON THE PLAN AND IN THE DETAIL.
- ROUGH GRADE THE SITE AND DEMOLISH EXISTING HOUSE, EXISTING FOUNDATION SHALL REMAIN IN PLACE.
- EXCAVATE FOR AND CONSTRUCT THE PROPOSED HOUSE FOUNDATION.
- BEGIN AND COMPLETE HOUSE CONSTRUCTION.
- CONSTRUCT DRIVEWAY IMPROVEMENTS.
- FINE GRADE ALL DISTURBED AREAS AND REDISTRIBUTE TOPSOIL. SEED AND STABILIZE ALL DISTURBED AREAS.
- ONCE HOUSE CONSTRUCTION IS COMPLETE PLACE WEARING COURSE IN PORTION OF DRIVEWAY AS SHOWN ON THE PLANS.
- ONCE ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED REMOVE ANY REMAINING EROSION CONTROL MEASURES.

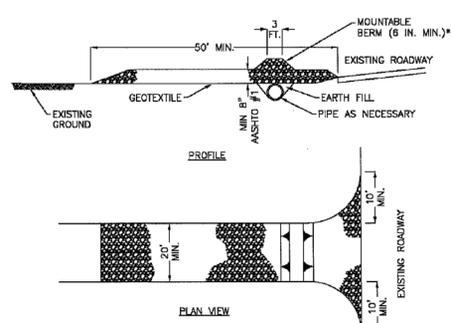
PREPARED BY:

Land Use & Stormwater Management Experts

PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

DATE: DECEMBER 29, 2020  
DRAWN: iii  
APPROVED: MJP  
PROJECT NUMBER: 200097  
2 OF 3

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF PADULA ENGINEERING COMPANY



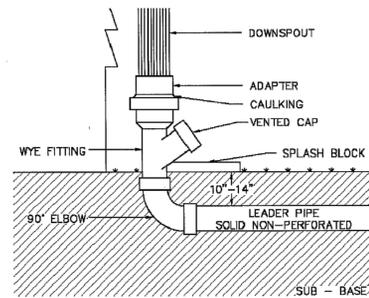
**NOTES:**

- \* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY. EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

**STANDARD CONSTRUCTION DETAIL  
ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE

RADNOR TOWNSHIP  
APRIL 2014

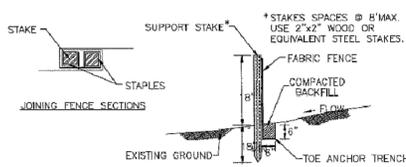
GANNETT FLEMING



**DOWNSPOUT DETAIL**  
N.T.S.

RADNOR TOWNSHIP  
APRIL 2014

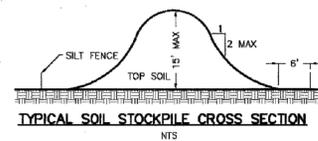
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**STANDARD SILT FENCE**  
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APRIL 2014

GANNETT FLEMING

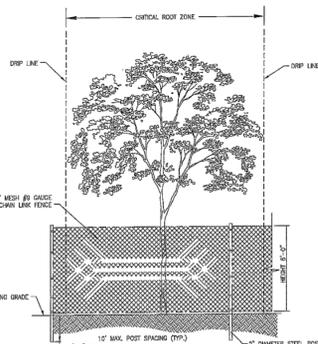


**TYPICAL SOIL STOCKPILE CROSS SECTION**  
N.T.S.

**NOTE:** SILT FENCE MUST COMPLETELY ENCLOSE STOCKPILES  
**NOTE:** TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL. TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY. THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

RADNOR TOWNSHIP  
APRIL 2014

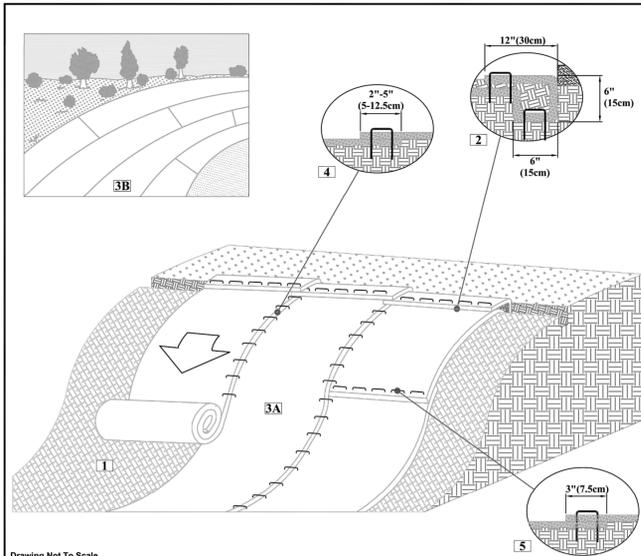
GANNETT FLEMING



**THE PROFESSIONAL SPECIFICATIONS**

- A 4" layer of coarse crushed rock or woodchips to be placed beneath the drip line of protected trees. The layering shall be placed within the drip line if adjacent to the existing ground but not closer than 2' from the trunk of any tree. Pavers shall be 2.5" in diameter and are to be placed 2' from the trunk. The distance between pavers shall not be more than 12". This endorsement is in the Tree Protection Zone (TPZ).
- Where necessary to protect the trunk of a tree, a 4" layer of coarse crushed rock or woodchips shall be placed around the trunk. The layering shall be placed within the drip line if adjacent to the existing ground but not closer than 2' from the trunk of any tree. Pavers shall be 2.5" in diameter and are to be placed 2' from the trunk. The distance between pavers shall not be more than 12". This endorsement is in the Tree Protection Zone (TPZ).
- Where the contractor shall be determined that tree protection fencing will interfere with the safety of work, the contractor shall use an alternative form of tree protection. Written notice of such shall be provided to the engineer at least 14 days prior to the start of work. A slope base or other plastic construction material is to be used and secured around the trunk of the tree. The plastic material shall be secured to the ground with stakes. The contractor shall be responsible for the removal and disposal of the plastic material. The contractor shall be responsible for the removal and disposal of the plastic material.
- Where the contractor shall be determined that tree protection fencing will interfere with the safety of work, the contractor shall use an alternative form of tree protection. Written notice of such shall be provided to the engineer at least 14 days prior to the start of work. A slope base or other plastic construction material is to be used and secured around the trunk of the tree. The plastic material shall be secured to the ground with stakes. The contractor shall be responsible for the removal and disposal of the plastic material. The contractor shall be responsible for the removal and disposal of the plastic material.

**ROCKWELL**  
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Consulting • Planning • Management  
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Phone (610) 733-7969  
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**SLOPE INSTALLATION DETAIL**

- Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
- Begin at the top of the slope by anchoring the RECPs in a 6"(15cm) deep X 6"(15cm) wide trench with approximately 12"(30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes approximately 12"(30cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to the compacted soil and fold the remaining 12"(30cm) portion of RECPs back over the seed and compacted soil. Secure RECPs over compacted soil with a row of staples/stakes spaced approximately 12"(30cm) apart across the width of the RECPs.
- Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes at appropriate locations as shown in the staple pattern guide.
- The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
- Consecutive RECPs spliced down the slope must be end over end (Staple side) with an approximate 37.5cm overlap. Staple through overlapped areas, approximately 12"(30cm) apart across entire RECPs width.

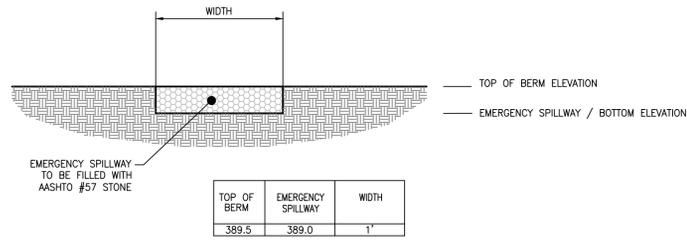
**NOTE:** In loose soil conditions, the use of staple or stake lengths greater than 6"(15cm) may be necessary to properly secure the RECPs.

**INFILTRATION AREA INSTALLATION NOTES**

- EXCAVATE AREA WITH TRACKED VEHICLES TO PREVENT SOIL COMPACTION.
- SCARIFY BOTTOM OF INFILTRATION AREA.
- SIDE SLOPES TO BE LINED WITH EROSION CONTROL BLANKET (NORTH AMERICAN GREEN S150 OR APPROVED)
- BASIN BOTTOM SEEDING RATE: 15 LBS. PER ACRE WITH A COVER CROP OF GRAM GRASS AT 30 LBS. PER ACRE
- CONTRACTOR SHALL PROVIDE 12" OF AMENDED SOILS BELOW THE BASIN BOTTOM OVER THE ENTIRE EXTENT OF THE BASIN BOTTOM SURFACE.
- THE BOTTOM OF THE PROPOSED INFILTRATION BMP SHALL BE LEVEL.

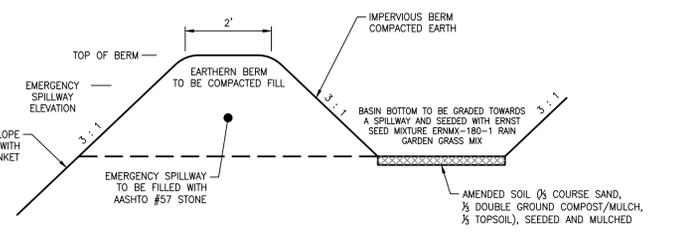
**INFILTRATION AREA MAINTENANCE NOTES**

- THE INFILTRATION AREA IS TO BE CHECKED REGULARLY FOR ANY SIGNS OF SETTLEMENT AND/OR EROSION AND TO ENSURE INFILTRATION.
- THE INFILTRATION AREA IS TO BE CLEARED OF ANY TRASH, DEBRIS, INVASIVE SPECIES AND/OR WOODY VEGETATION.
- THE INFILTRATION AREA IS TO BE FREE OF SILT AND HAVE PROPER VEGETATION.
- THE INFILTRATION AREA IS TO BE INSPECTED FOR SIGNS OF FLOW CHANNELIZATION.
- THE INFILTRATION AREA IS TO BE RESTORED TO A LEVEL GRADIENT IMMEDIATELY AFTER DEFICIENCIES ARE OBSERVED.



TOP OF BERM	EMERGENCY SPILLWAY	WIDTH
389.5	389.0	1'

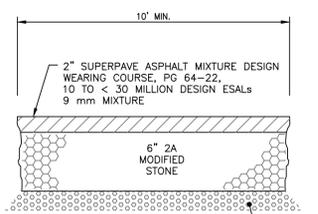
**STORMWATER FACILITY  
EMERGENCY SPILLWAY DETAIL**  
(NOT TO SCALE)



BOTTOM ELEVATION	EMERGENCY SPILLWAY	EMERGENCY SPILLWAY WIDTH (FT)	TOP OF BERM	AMENDED SOIL DEPTH (IN)
389.0	389.0	1	389.5	6"

**NOTE:** BERM TO BE MECHANICALLY COMPACTED IN 8" LIFTS TO A MAXIMUM DRY WEIGHT DENSITY OF 98% OF THE FULL MATERIAL.

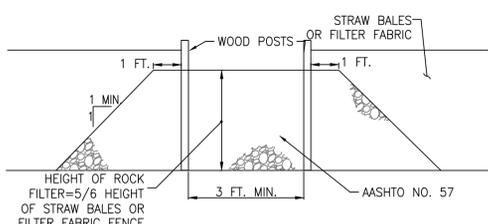
**STORMWATER FACILITY DETAIL**  
(NOT TO SCALE)



**NOTES:**

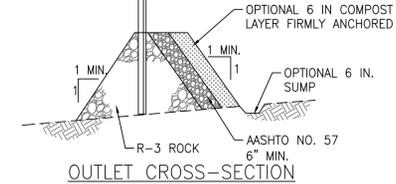
- PAVING TO BE INSTALLED WHERE NOTED ON PLAN.
- DRIVEWAY SHALL BE GRADED SO THE RUNOFF IS DIRECTED AS SHOWN ON THE PLANS.

**PAVED DRIVEWAY SECTION**  
(NOT TO SCALE)



**UP-SLOPE FACE**

**ROCK FILTER OUTLET**  
NOT TO SCALE



**OUTLET CROSS-SECTION**

**NOTES:**

- A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
- SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

NUM.	DATE	REVISION
2	3/18/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW
1	2/8/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW COMMENTS RECEIVED ON 2/2/2021

PREPARED FOR:  
**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**NOTES AND DETAILS**

PREPARED BY:  
**PADULA ENGINEERING**  
Land Use & Stormwater Management Experts  
PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

DATE:  
DECEMBER 29, 2020

DRAWN:  
iii

APPROVED:  
MJP

PROJECT NUMBER:  
200097

3 OF 3



*Excellence Delivered **As Promised***

**Date:** February 12, 2021

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**RE:** 231 Chamounix Road – Stormwater Waiver Request  
Grading Permit Application – GP App #202471

---

The applicant has submitted a grading permit for the construction of a 184 SF driveway expansion, 305 SF patio, and 233 SF walks. The applicant is also proposing the demolition of the existing dwelling and construction of a new dwelling. The foundation of the existing dwelling (1,911 SF) will be kept intact and the new dwelling (2,685 SF total) will be constructed overtop of it so that only 774 SF of new impervious area is proposed. The applicant is requesting a waiver from §245-22 Groundwater Recharge in accordance with §245-22.A(2)(c)[2] of the Township's Stormwater Management Ordinance. The minimum infiltration requirement of 0.50 inches cannot be achieved.

The applicant conducted two test pits on the site. Soil features exhibited redoximorphic features indicative of a high water table from 30" to 88" in test pit 1 and from 15" to 80" in test pit 2. Permeability testing was conducted at 42" in both test pits and both failed with a permeability rate of 0. The applicant is not proposing any stormwater management measures at this time.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned section of the Ordinance and the implementation of the above-mentioned stormwater system.

The applicant has addressed all other grading permit review comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in blue ink, appearing to read 'R. Phillips', enclosed in a blue circular scribble.

Roger A. Phillips, P.E.  
Senior Project Manager

Gannett Fleming, Inc.

# PADULA ENGINEERING

Land Use & Stormwater Management Experts

December 31, 2020

Radnor Township  
Attn: Ms. Patricia Sherwin, Township's Engineering Clerk  
301 Iven Avenue  
Wayne, PA 19087

RE: Grading Permit Application  
Vincent and Carley Boyd 231 Chamounix Road Wayne, PA 19087  
P.E.C. Project Number: 200097

Dear Ms. Sherwin:

231 Chamounix Road is an existing, single-family residence located in Radnor Township. The current owner is proposing to demolish the existing residence down to the foundation. The existing foundation and most of the driveway are to remain. A new residence with a flagstone patio is to be erected and the driveway is to be expanded. The total new impervious area is 1,498 sf with a net increase of 1,062 sf. Per Radnor Township ordinances, a groundwater recharge facility is required, however due to poor soil conditions, we are requesting the following waiver from the stormwater management ordinance:

#### Section 245-22. Groundwater Recharge

Infiltration tests were performed in two locations on the property (see attached infiltration test log by Willow Run Consulting dated November 25, 2020). Those tests showed little to no infiltration on the site in the only feasible locations for an infiltration trench.

If you have any questions, please contact me.

Yours sincerely,  
Padula Engineering Company



Mark J. Padula, P.E.

C: Vincent and Carley Boyd  
File

---

Padula Engineering Company  
780 East Market Street, Suite 275  
West Chester, PA 19382  
(610) 696-9900

## Impervious Surface

Complete the impervious surface table (required).

**Location:** 231 Chamounix Road, Wayne, PA

**Project Description:** Bldg additions, driveway expansion, new walkway

**Gross Lot Area** 21,604 Sq. Ft.

<b>To be Completed by Radnor Township</b>	
<b>Permit Number:</b>	_____
<b>Submission Date:</b>	_____
<b>Shade Tree Approval Date:</b>	_____
<b>Final Approval Date:</b>	_____
<b>Zoning Approval:</b>	_____
	Zoning Officer
<b>Grading Permit Approval:</b>	_____
	Township Engineer

Complete All Yellow Fields						
Cover Type	Existing Area (square feet)	Percentage of existing impervious surface area of your lot	Area of Impervious Removed (square feet)	Area of Added Impervious Cover (square feet)	Total Area (square feet)	Percentage of total impervious surface of your lot, as proposed
Building	1,936		25	774	2,685	
Walkway/sidewalk	168		168	233	233	
Patios, decks	16		16	305	305	
Driveway	1,393		252	184	1,325	
Other						
<b>Total</b>	<b>3,513</b>	<b>16.3 %</b>	<b>461</b>	<b>1,496</b>	<b>4,548</b>	<b>21.1 %</b>

Estimated Cubic Yards of Dirt Involved 35 Will this fill be taken off site \_\_\_ Yes  No

Number of trees to be removed (over 6" in diameter) 0 Is Property in Historical District \_\_\_ Yes  No

**Place a check in the box of the Zoning District applicable to your lot. (required)**

Zoning Table							
Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)
R-1	22		CO 2,3 stories	50		GH_CR	95
R-2	30	X	C1	60		GH-BC	50
R-3	35		C-2	70		GH-OS	15
R-4	40		C-3	65		WBOD	NA
R-5 Semi/2 family detached	40		PI	45		PB	55
R-5 Multi Dwelling	36		PA	50		PLO	55
R-6	70		GH-N	60		FC	NA
R-IA	30		GH-GA	80		PLU	45

# Willow Run Consulting, Inc.

## Soil Infiltration Test Results

231 Chamounix Road

Method: Double-Ring Infiltrometer

Township: Radnor

Weather: Partly Cloudy, Cool

Equipment: 8" diameter inner ring

County: Delaware

Completed By: Edward Beideman

Equipment: 12" diameter outer ring

Test Date: 11/25/20

Signature: 

Test Location	Testing Depth (inches)	Presoak 30 min	Presoak 30 min	1	2	3	4	Final Time Interval Min	Infiltration Rate (inch/hour)
1	42	0	0	0	0	0	0	30	0.00
2	42	1/8	0	0	0	0	0	30	0.00

166 Hemlock Drive Cochranville, PA 19330 Phone 610-345-1400

Residential/Commercial Septic Testing & Designs Stormwater Sewage Planning

# Willow Run Consulting, Inc.

## Soil Description for Test Pit Evaluation

231 Chamounix Road

Township, County: Radnor, Delaware

Test Pit Location: 1

Date: 11/25/2020

Weather: Partly Cloudy, Cool

Depth (inches)	Color	Texture	Structure		Consistence	Boundary Distinctness	% Coarse Fragment	Redoximorphic Features	
			Type	Grade				Quantity	Contrast
0 - 9	10 YR 4/4	Lo	Sbk	Wk	Fri	Abt 5m			
9 - 30	10 YR 5/4	Si Lo	Sbk	Mod	Fri	Cl 5m		Few	Faint
30 - 51	10 YR 5/6	Si Lo	Sbk	Mod	Fri	Cl 5m		Common	Distinct
51 - 88	Var Br	Si Lo	Sbk	Mod	Fri			Common	Distinct
Bottom of Pit @ 88"									

Evaluated By: Edward Beideman

Signature: 

Limiting Zone (if any): --

166 Hemlock Drive Cochranville, PA 19330 Phone 610-345-1400

Residential/Commercial Septic Testing & Designs Stormwater Sewage Planning

# Willow Run Consulting, Inc.

Soil Description for Test Pit Evaluation  
231 Chamounix Road

Township, County: Radnor, Delaware

Test Pit Location: 2

Date: 11/25/2020

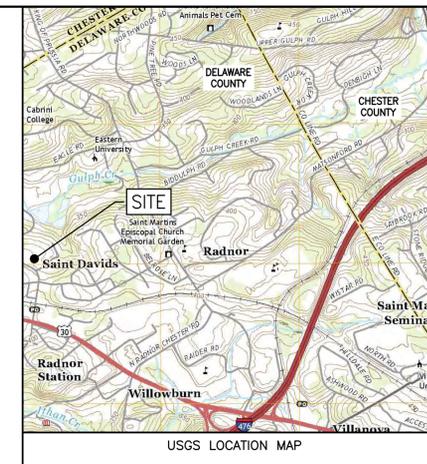
Weather: Partly Cloudy, Cool

Depth (inches)	Color	Texture	Structure		Consistence	Boundary Distinctness	% Coarse Fragment	Redoximorphic Features	
			Type	Grade				Quantity	Contrast
0 - 4	10 YR 4/4	Lo	Sbk	Wk	Fri	Abt Sm			
4 - 15	10 YR 5/4	Si Lo	Sbk	Mod	Fri	Cl Sm		Few	Faint
15 - 31	10 YR 5/6	Si Lo	Sbk	Mod	Fri	Cl Sm		Common	Distinct
31 - 80	Var Br	Si Lo	Sbk	Mod	Fri			Common	Distinct
Bottom of Pit @ 80"									

Evaluated By: Edward Beideman

Signature: 

Limiting Zone (if any): ---



USGS LOCATION MAP

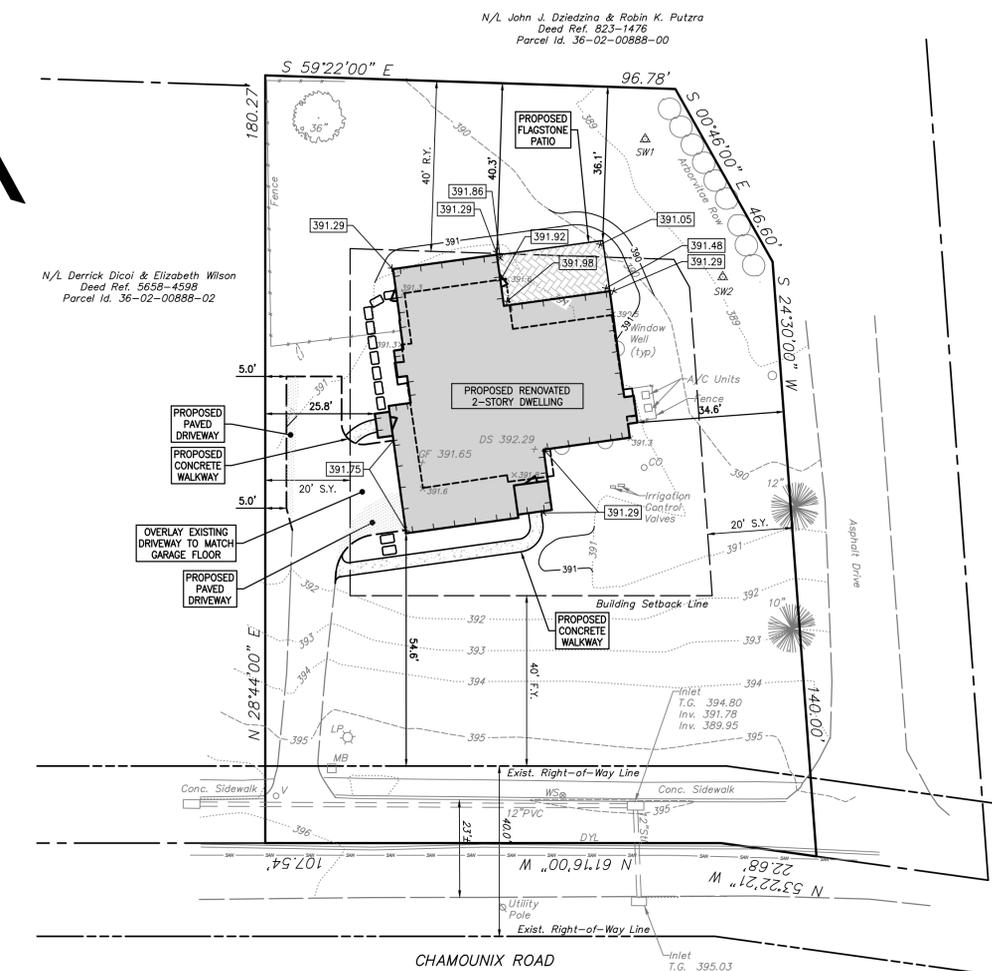
**GENERAL NOTES:**

- REFERENCE PLAN**
  - "EXISTING FEATURES PLAN", PREPARED FOR VINCENT M. AND CARLEY D. BOYD, PREPARED BY BIEBER LAND SURVEYING COMPANY, LLC, DATED JULY 6, 2020, SHEET NO. 1 OF 1, PROJECT NO. 20056.
- OWNER**  
VINCENT M. AND CARLEY D. BOYD  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087
- SITE ADDRESS**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087
- SOURCE OF TITLE**  
DEED REFERENCE: DB 5680, PG 1652  
PARCEL ID: 36-02-00888-01
- SITE DATA**  
GROSS LOT AREA: 21,604 S.F. (0.496 ACRES)  
NET LOT AREA: 19,259 S.F. (0.442 ACRES)
- LAND USE**  
EXISTING LAND USE: RESIDENTIAL
- SURVEY NOTES FROM REFERENCE PLAN**
  - PHYSICAL FEATURES SHOWN HEREON OBTAINED BY A FIELD SURVEY PERFORMED BY BIEBER LAND SURVEYING COMPANY, LLC, COMPLETED ON JUNE 12, 2020.
  - HORIZONTAL DATUM IS REFERENCED TO DEED BEARINGS. VERTICAL DATUM IS REFERENCED TO NAVD83.
  - THIS PLAN IS REPRESENTATIVE OF EXISTING CONDITIONS FOR WHICH BIEBER LAND SURVEYING COMPANY, LLC WAS CONTRACTED TO PERFORM, EXCEPT ANY UNRECORDED OR UNRECORDED EASEMENTS WHICH MAY NOT BE VISIBLE OR SUPPLIED TO BIEBER LAND SURVEYING COMPANY, LLC.
  - THE LOCATIONS OF UNDERGROUND UTILITIES HAVE BEEN SHOWN BASED ON FIELD SURVEY AND SURFACE OBSERVATION. BIEBER LAND SURVEYING COMPANY, LLC (BLS) MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. BLS DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION. THEREFORE, BLS SHALL NOT BE RESPONSIBLE OR HELD LIABLE FOR ANY UTILITY NOT SHOWN OR SHOWN ON THE DRAWINGS IN A LOCATION OTHER THAN WHERE IT IS ACTUALLY DISCOVERED UPON EXCAVATION. BLS HAS NOT PHYSICALLY EXCAVATED AND LOCATED ANY UNDERGROUND LINES.
  - THIS PLAN HAS BEEN PREPARED AS AN INSTRUMENT OF SERVICE FOR THE CLIENT OF RECORD OF BIEBER LAND SURVEYING COMPANY, LLC. BIEBER LAND SURVEYING COMPANY, LLC ASSUMES NO LIABILITY FOR THE USE OR REUSE OF THESE PLANS BY ANY INDIVIDUAL OR ENTITY OTHER THAN THE CLIENT, OR THE USE OF THIS PLAN FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT HAS BEEN PREPARED.
  - ANY REVISION MADE TO THESE PLANS AFTER THE DATE OF PLAN PREPARATION OR LATEST REVISION DATE SHALL NOT BE THE RESPONSIBILITY OF BIEBER LAND SURVEYING COMPANY, LLC.
- UTILITIES**  
SITE IS SERVICED BY PUBLIC WATER AND SEWER.  
  
COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND FACILITIES CANNOT BE GUARANTEED. THE CONTRACTOR MUST VERIFY THE LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND/OR FACILITIES PRIOR TO BEGINNING ANY EARTH-MOVING ACTIVITIES.
- WETLANDS**  
THERE ARE NO KNOWN WETLANDS LOCATED ON SITE PER NATIONAL WETLAND INVENTORY MAPS.
- FLOODPLAIN**  
THE PROJECT AREA IS LOCATED WITHIN ZONE X, AREA OF MINIMAL FLOOD HAZARD, PER FEMA, MAP PANEL NO. 42045C0036F, EFFECTIVE DATE: 11/18/2009.
- SOILS**  
SOILS INFORMATION TAKEN FROM UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCE CONSERVATION SERVICE, WEB SOIL SURVEY.
- RECEIVING STREAM**  
THE SITE IS LOCATED IN THE SCHUYLKILL RIVER WATERSHED AND DRAINS TO GULPH CREEK WHICH IS DESIGNATED AS WARM WATER FISHES (WFF) AND MIGRATORY FISHES (MF) BY PA CODE CHAPTER 93.
- GEOLOGY**  
UNIT NO.: 191  
MAP SYMBOL: fgp  
NAME: FELSIC GNEISS  
AGE: PRECAMBRIAN  
LITHI: FELSIC GNEISS
- PER THE REFERENCE PLAN IN NOTE 1, THERE ARE NO STEEP SLOPES ON THE SUBJECT PARCEL.

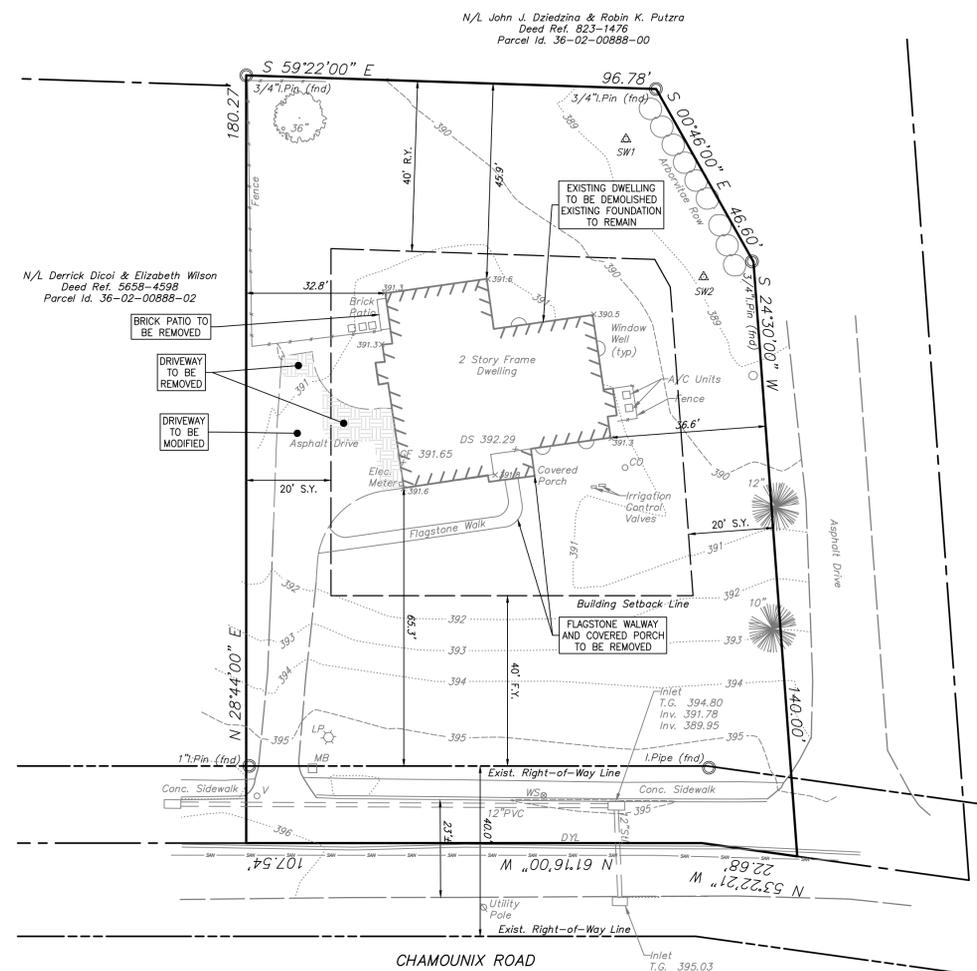
**REQUESTED WAIVER**  
FROM SECTION 245-22 GROUNDWATER RECHARGE.  
THE WAIVER IS REQUESTED DUE TO POOR SOIL CONDITIONS.

PREPARED BY: **PADULA ENGINEERING**  
Land Use & Stormwater Management Experts  
PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

DATE: DECEMBER 29, 2020  
DRAWN: iii  
APPROVED: MJP  
PROJECT NUMBER: 200097  
1 OF 3



**PERMIT PLAN**  
GRAPHIC SCALE  
1" = 20'



**EXISTING FEATURES AND DEMOLITION PLAN**  
GRAPHIC SCALE  
1" = 20'

**LEGEND**

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CURB LINE
- EXISTING EDGE OF DRIVEWAY
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER LINE
- EXISTING 1' CONTOUR W/ ELEVATION
- EXISTING 5' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING DOOR SILL ELEVATION
- EXISTING IRON PIN / PIPE
- EXISTING WATER SERVICE
- EXISTING VENT
- EXISTING CLEANOUT
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- STEEP SLOPE 14-20%
- STEEP SLOPE > 20%
- PROPOSED BUILDING WALL
- EXISTING BUILDING WALL
- PROPOSED EDGE OF DRIVEWAY
- PROPOSED DRIVEWAY AREA
- SOIL TEST LOCATION

PARCEL ID# 36-02-00888-01

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES: 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STATE. PENNSYLVANIA ONE CALL SYSTEM, INC.

PENNSYLVANIA ACT 187 REQUIREMENTS: PADULA ENGINEERING COMPANY DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES PADULA ENGINEERING COMPANY GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

**LOT AREA**

GROSS LOT AREA	21,604 S.F.	0.496 ACRES
LESS 75% OF THE CALCULATED 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS 75% OF WETLANDS NOT WITHIN THE CALCULATED 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS 75% OF SLOPES EQUAL TO OR IN EXCESS OF 20% OF THE AREA NOT WITHIN THE 100-YEAR FLOODPLAIN	0 S.F.	0.000 ACRES
LESS LAND AREA WITHIN AN EXISTING PUBLIC RIGHT-OF-WAY	2,345 S.F.	0.054 ACRES
<b>NET LOT AREA</b>	<b>19,259 S.F.</b>	<b>0.442 ACRES</b>

**ZONING DATA**  
ZONING DISTRICT: R-2 RESIDENTIAL DISTRICT

	REQUIRED	EXISTING	PROPOSED
LOT AREA	20,000 S.F. (MIN.)	GROSS: 21,604 S.F. NET: 19,259 S.F.	GROSS: 21,604 S.F. NET: 19,259 S.F.
LOT WIDTH AT BUILDING LINE	100' (MIN.)	123.6'	123.6'
BUILDING SETBACKS			
FRONT YARD	40' (MIN.)	65.3'	54.6'
SIDE YARD	20' (MIN.)	32.8'	25.8'
SIDE YARD (AGGREGATE)	45' (MIN.)	69.4'	60.4'
REAR YARD	40' (MIN.)	43.9'	40.3'
BUILDING HEIGHT	35' (MAX.)	EXISTING	< 35'
BUILDING AREA	18% (MAX.)	9.0% (1,936 S.F.)	12.4% (2,685 S.F.)
LOT COVERAGE	30% (MAX.)	16.3% (3,513 S.F.)	21.1% (4,548 S.F.)

FOR COMPLETE ZONING INFORMATION REFER TO RADNOR TOWNSHIP ZONING ORDINANCE

**IMPERVIOUS SURFACE SUMMARY**

	EXISTING	TO BE REMOVED	PROPOSED	TOTAL
BUILDING	1,936 S.F.	25 S.F.	774 S.F.	2,685 S.F.
DRIVEWAY	1,393 S.F.	252 S.F.	184 S.F.	1,325 S.F.
FLAGSTONE WALK	168 S.F.	168 S.F.		0 S.F.
BRICK PATIO	16 S.F.	16 S.F.		0 S.F.
FLAGSTONE PATIO			305 S.F.	305 S.F.
CONCRETE WALKS			175 S.F.	175 S.F.
FLAGSTONE WALKS			58 S.F.	58 S.F.
<b>TOTAL</b>	<b>3,513 S.F.</b>	<b>461 S.F.</b>	<b>1,496 S.F.</b>	<b>4,548 S.F.</b>

**SOILS DESCRIPTIONS**

SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP
GeB	GLENELG CHANNERY LOAM, 3-8% SLOPES	56-98" TO PARALITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	B

**OWNER**  
VINCENT M. AND CARLEY D. BOYD  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087

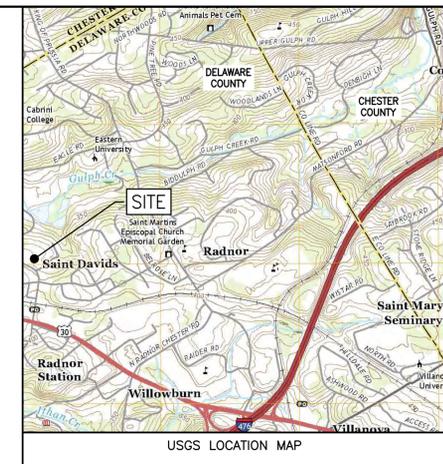
REVISIONS:

NUM.	DATE	REVISION
1	2/8/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW COMMENTS RECEIVED ON 2/2/2021

PREPARED FOR:  
**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**EXISTING FEATURES, DEMOLITION AND PERMIT PLAN**

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF PADULA ENGINEERING COMPANY



- ESTIMATED PROJECT TIME SCHEDULE**
- START: SPRING 2021  
COMPLETE: FALL 2021
- SEQUENCE OF CONSTRUCTION NOTES:**
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
  - THE APPLICANT AND/OR CONTRACTOR SHALL CONTACT THE TOWNSHIP AND TOWNSHIP ENGINEER OR THEIR DESIGNEE AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION. FAILURE OF THE SITE CONTRACTOR TO CONFIRM THE PRESENCE OF THE TOWNSHIP AND TOWNSHIP ENGINEER OR THEIR DESIGNEE COULD RESULT IN THE REMOVAL OF WORK PERFORMED AND THE REINSTALLATION OF SAID WORK.
  - E&S BMPs WILL BE INSPECTED ON A WEEKLY BASIS AND AFTER MEASURABLE STORM EVENTS (0.25 INCHES).
  - CESSATION OF ACTIVITY FOR 4 DAYS OR LONGER REQUIRES TEMPORARY STABILIZATION.
- SEQUENCE:**
- CLEARLY MARK THE LIMITS OF DISTURBANCE. NO CONSTRUCTION ACTIVITY OR TRAFFIC SHOULD BE PERMITTED OUTSIDE OF THE LIMITS OF DISTURBANCE.
  - INSTALL TEMPORARY SILT SOCK AS SHOWN ON THE PLAN AND IN THE DETAIL. CONTRACTOR SHALL MAKE SURE ANY MUD, DIRT, OR DEBRIS THAT REACHES THIS OR ANY ADJOINING ROAD AS A RESULT OF THIS CONSTRUCTION SHALL BE REMOVED IMMEDIATELY. SHOULD THIS BE INEFFECTIVE, A STABILIZED CONSTRUCTION ENTRANCE MAY BE NECESSARY.
  - CLEAR AND GRUB THE AREA AS NECESSARY FOR THE PROPOSED SITE IMPROVEMENTS.
  - STRIP TOPSOIL AND STOCKPILE THE TOPSOIL IN THE LOCATIONS SHOWN ON THE PLAN. SURROUND TOPSOIL STOCKPILES WITH SILT FENCE AS SHOWN ON THE PLAN AND IN THE DETAIL.
  - ROUGH GRADE THE SITE AND DEMOLISH EXISTING HOUSE, EXISTING FOUNDATION SHALL REMAIN IN PLACE.
  - EXCAVATE FOR AND CONSTRUCT THE PROPOSED HOUSE FOUNDATION.
  - BEGIN AND COMPLETE HOUSE CONSTRUCTION.
  - CONSTRUCT DRIVEWAY IMPROVEMENTS.
  - FINE GRADE ALL DISTURBED AREAS AND REDISTRIBUTE TOPSOIL. SEED AND STABILIZE ALL DISTURBED AREAS.
  - ONCE HOUSE CONSTRUCTION IS COMPLETE PLACE WEARING COURSE IN PORTION OF DRIVEWAY AS SHOWN ON THE PLANS.
  - ONCE ALL DISTURBED AREAS ARE PERMANENTLY STABILIZED REMOVE ANY REMAINING EROSION CONTROL MEASURES.

**EROSION CONTROL GENERAL NOTES**

- ALL EARTH DISTURBANCES, INCLUDING CLEARING AND GRUBBING AS WELL AS CUTS AND FILLS SHALL BE DONE IN ACCORDANCE WITH THE APPROVED E&S PLAN. A COPY OF THE APPROVED DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE REVIEWING AGENCY SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE REVIEWING AGENCY WILL REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE LOCAL CONSERVATION DISTRICT, THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY PRIOR TO IMPLEMENTATION.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E&S BMPs SPECIFIED BY THE BMP SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS E&S PLAN.
- AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND/OR FENCED OFF BEFORE CLEARING AND GRUBBING OPERATIONS BEGIN.
- TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN MAP(S) IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SLOPES SHALL BE 2H:1V OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION AND NOTIFY THE LOCAL CONSERVATION DISTRICT, THE REGIONAL OFFICE OF THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY.
- ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260.1 ET. SEQ., 271.1, AND 287.1 ET. SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E&S PLAN APPROVED BY THE LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT FULLY IMPLEMENTED PRIOR TO BEING ACTIVATED.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ON SITE IS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF WATER FROM ANY WORK AREA SHALL BE DONE ACCORDING TO THE PROCEDURE DESCRIBED IN THIS PLAN, OVER UNDISTURBED VEGETATED AREAS.
- VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ON TO ANY ROAD.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs SHALL BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RESEEDING, REGRADING, REMULCHING AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF THE E&S BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- A LOG SHOWING DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORKDAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEEPED INTO ANY ROADSIDE DITCH, STORM SEWER, OR SURFACE WATER.
- ALL SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS.
- AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES -- 6 TO 12 INCHES ON COMPACTED SOILS -- PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUT SLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED. SEEDING AREAS WITHIN 50 FEET OF A SURFACE WATER, OR AS OTHERWISE SHOWN ON THE PLAN DRAWINGS, SHALL BE BLANKETED ACCORDING TO THE STANDARDS OF THIS PLAN.
- IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON-GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS.
- PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM, PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES SHALL BE CAPABLE OF RESISTING FAILURE DUE TO SLUMPING, SLIDING, OR OTHER MOVEMENTS.

- E&S BMPs SHALL REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE LOCAL CONSERVATION DISTRICT, THE DEPARTMENT OR THE APPROPRIATE REVIEWING AGENCY.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT OR THE APPROPRIATE REVIEWING AGENCY FOR AN INSPECTION PRIOR TO REMOVAL/CONVERSION OF THE E&S BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPs. AREAS DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPs SHALL BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH REMOVAL/CONVERSIONS ARE TO BE DONE ONLY DURING THE GERMINATING SEASON.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATOR SHALL CONTACT THE LOCAL CONSERVATION DISTRICT OR THE APPROPRIATE REVIEWING AGENCY TO SCHEDULE A FINAL INSPECTION.
- FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING THE CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MIDDLE-MEJOR CRIMINAL PENALTIES FOR EACH VIOLATION.

**ADDITIONAL MAINTENANCE NOTES (IF APPLICABLE)**

- CONCRETE WASH WATER SHALL BE HANDLED IN THE MANNER DESCRIBED ON THE PLAN DRAWINGS. IN NO CASE SHALL IT BE ALLOWED TO ENTER ANY SURFACE WATERS OR GROUNDWATER SYSTEMS.
- ALL CHANNELS SHALL BE KEPT FREE OF OBSTRUCTIONS INCLUDING BUT NOT LIMITED TO FILL, ROCKS, LEAVES, WOODY DEBRIS, ACCUMULATED SEDIMENT, EXCESS VEGETATION, AND CONSTRUCTION MATERIALS/WASTES.
- UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK AREA IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- CHANNELS HAVING RIPRAP, RENO MATRESS, OR GABION LININGS MUST BE SUFFICIENTLY OVER-EXCAVATED SO THAT THE DESIGN DIMENSIONS WILL BE PROVIDED AFTER THE PROTECTIVE LINING.
- SEDIMENT BASINS AND/OR TRAPS SHALL BE KEPT FREE OF ALL CONSTRUCTION WASTE, WASH WATER, AND OTHER DEBRIS HAVING POTENTIAL TO CLOG THE BASIN/TRAP OUTLET STRUCTURES AND/OR POLLUTE THE SURFACE WATERS.
- SEDIMENT BASINS SHALL BE PROTECTED FROM UNAUTHORIZED ACTS BY THIRD PARTIES.
- ANY DAMAGE THAT OCCURS IN WHOLE OR IN PART AS A RESULT OF BASIN OR TRAP DISCHARGE SHALL BE IMMEDIATELY REPAIRED BY THE PERMITTEE IN A PERMANENT MANNER SATISFACTORY TO THE MUNICIPALITY, LOCAL CONSERVATION DISTRICT, AND THE OWNER OF THE DAMAGED PROPERTY.
- UPON REQUEST, THE APPLICANT OR HIS CONTRACTOR SHALL PROVIDE AN AS-BUILT (RECORD DRAWING) FOR ANY SEDIMENT BASIN OR TRAP TO THE MUNICIPAL INSPECTOR, LOCAL CONSERVATION DISTRICT OR THE DEPARTMENT.
- EROSION CONTROL BLANKETING SHALL BE INSTALLED ON ALL SLOPES 3H:1V OR STEEPER WITHIN 50 FEET OF A SURFACE WATER AND ON ALL OTHER DISTURBED AREAS SPECIFIED ON THE PLAN MAPS AND/OR DETAIL SHEETS.
- FILL MATERIAL FOR EMBANKMENTS SHALL BE FREE OF ROOTS, OR OTHER WOODY VEGETATION, ORGANIC MATERIAL, LARGE STONES, AND OTHER OBJECTIONABLE MATERIALS.

**MAINTENANCE PROGRAM NOTES**

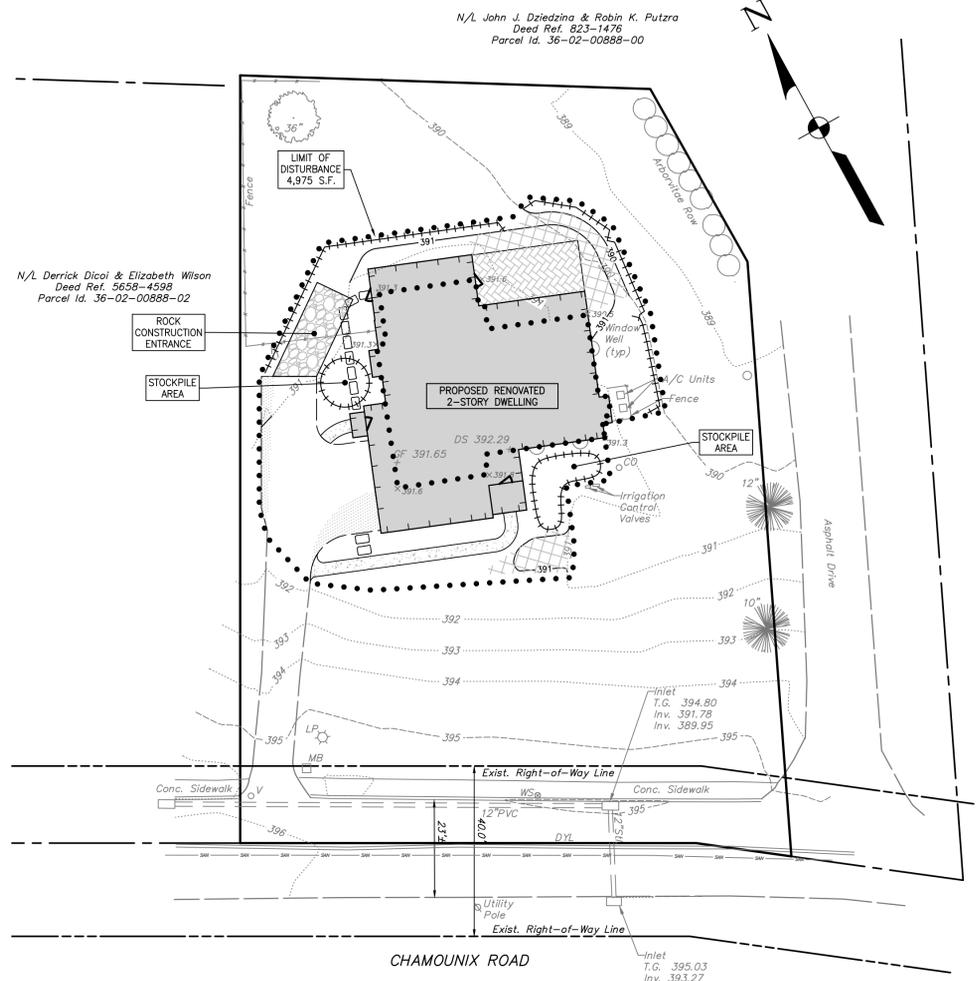
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION MUST BE NOTED. THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE UPON REQUEST.
- THE PROPERTY OWNER IS REQUIRED TO REMEDY ANY DEFICIENCY IDENTIFIED DURING THE INSPECTION PROCESS IN A REASONABLE TIME FRAME. IF A REASONABLE TIME FRAME IS NOT SPECIFIED BY THE INSPECTOR TO REMEDY THE DEFICIENCY, THEN THE TIME FRAME SHALL BE 30 DAYS DEPENDENT UPON WEATHER CONDITIONS. BASED UPON THE DEFICIENCY IDENTIFIED, THE TIME FRAME CAN BE LONGER OR SHORTER THAN 30 DAYS.
- WHERE BMPs ARE FOUND TO FAIL TO ALLEVIATE EROSION AND SEDIMENTATION POLLUTION, THE CONTRACTOR SHALL INCLUDE THE FOLLOWING INFORMATION:
  - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
  - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE RECURRENT OF THE NON-COMPLIANCE.
  - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EXACT DATES WHEN THE ACTIVITY WILL RETURN TO COMPLIANCE.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENTATION BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE NEEDED.
- SEDIMENT SHALL BE REMOVED FROM STORMWATER BMPs WHEN IT HAS ACCUMULATED TO A DEPTH OF 6 INCHES. COLLECTED SEDIMENT SHALL BE SPREAD ELSEWHERE (IN AREAS UNDER CONSTRUCTION) DURING CONSTRUCTION AND STABILIZATION. SEEDING AND MULCHING OF SLOPES SHALL CONFORM TO THE RECOMMENDATIONS WITHIN OR APPROVED EQUAL. TOPSOIL (MINIMUM 6 INCHES) SHALL BE PLACED PRIOR TO SEEDING.
- VEGETATION SHALL BE MOWED WHENEVER NECESSARY TO MAINTAIN A PLEASING APPEARANCE AND DISCOURAGE WEED GROWTH. ALL LOCAL REGULATIONS WILL BE COMPLIED WITH.
- SEEDING AREAS THAT HAVE WASHED AWAY SHALL BE FILLED AND GRADED AS NECESSARY AND THEN RESEEDED. A BURLAP OR STRAW COVER WILL BE APPLIED AT A RATE OF 3 TONS/ACRE TO RETAIN THE SEED UNTIL IT HAS A CHANCE TO ROOT PROPERLY. THIS PROCEDURE SHALL BE REPEATED AFTER EACH SIZEABLE STORM UNTIL NO MORE SIGNS OF EROSION ARE EVIDENT. AT WEEKLY INTERVALS THEREAFTER, INSPECTION AND NECESSARY CLEANING WILL BE DONE. PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RENETTING MUST BE DONE IMMEDIATELY.
- ALL ACCUMULATED SEDIMENT SHALL BE REMOVED AT COMPLETION OF THE PROJECT AFTER ALL EXPOSED SOIL SURFACES ARE FINISH-GRADED AND STABILIZED.
- PERMANENT EROSION CONTROL MAINTENANCE WILL CONSIST OF MAINTAINING THE STORMWATER MANAGEMENT BMPs IN ACCORDANCE WITH THE PCSM PLAN OPERATIONS AND MAINTENANCE NOTES. THE PERMANENT FACILITIES MAINTENANCE WILL BE THE RESPONSIBILITY OF THE LANDOWNER.
- INSPECTIONS SHALL BE LOGGED INTO DEP FORM 3150-FM-BW00083, DATED 2/2012 AND KEPT ON SITE AT ALL TIMES.

**TEMPORARY STABILIZATION AND PERMANENT STABILIZATION**

- HAY OR STRAW MULCH MUST BE APPLIED AT 3.0 TONS PER ACRE.
- HYDRO-MULCH SHALL BE APPLIED AT A MINIMUM RATE OF 1 TON PER ACRE.
- MULCH WITH MULCH CONTROL NETTING OR EROSION CONTROL BLANKETS MUST BE INSTALLED ON ALL SLOPES 3:1 AND STEEPER.
- STRAW MULCH SHALL BE APPLIED IN LONG STRANDS, NOT CHOPPED OR FINELY BROKEN.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
- SEDIMENT REMOVED FROM BMPs SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.

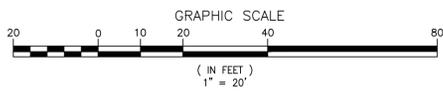
**SEEDING AND MULCHING REQUIREMENTS**

- IF SOIL TEST RESULTS ARE NOT AVAILABLE, APPLY AT LEAST SIX (6) TONS OF AGRICULTURAL GRADE LIMESTONE AND 100-200-200 (100 POUNDS OF N, 200 POUNDS OF PHOSPHORUS AND 200 POUNDS OF POTASSIUM).
- ALL ON-LOT DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT THE RATE OF 176 POUNDS PER ACRE: 50% KENTUCKY BLUEGRASS BARON MK, 25% RED FESCUE-PENNSYLVANIAN, 20% CHAMPION PERENNIAL RYEGRASS, AND 5% ANNUAL SEEDING DATES FOR THIS MIXTURE SHALL BE MARCH 15 TO JUNE 15 AND/OR AUGUST 15 TO OCTOBER 15.
- AFTER SEEDING IS COMPLETE, MULCH THE SEEDING AREAS WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT A RATE OF THREE (3) TONS PER ACRE. (OTHER SEED MIXTURES MAY BE SUBSTITUTED IF APPROVED BY THE COUNTY CONSERVATION DISTRICT OR THE MUNICIPAL ENGINEER).
- IF THE ABOVE SEED MIXTURES DO NOT GERMINATE SATISFACTORILY IN AREAS OF THE SITE DUE TO WET SOIL CONDITIONS, THOSE AREAS SHALL BE RESEEDED WITH REED CANARY GRASS AT THE RATE OF 100 POUNDS PER ACRE.
- PERMANENT SEEDING SHALL ONLY OCCUR DURING THE DATES LISTED ABOVE. IF AREAS ARE PREPARED FOR SEEDING AT OTHER TIMES, THEN THE PREPARED SEEDBED SHALL BE HEAVILY MULCHED WITH CLEAN UN-ROTTED SMALL GRAIN STRAW OR SALT HAY AT THE RATE OF THREE (3) TONS PER ACRE. THE MULCH SHALL THEN BE REMOVED AND THE AREA SHALL BE DRESSED, SEEDING AND RE-MULCHED AS DESCRIBED ABOVE.
- DISTURBED AREAS ON WHICH ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 15 DAYS MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT FINISHED AT GRADE AND WHICH WILL BE RE-DISTURBED WITHIN ONE YEAR MAY BE SEEDING AND MULCHED WITH A QUICK GROWING, TEMPORARY SEEDING MIXTURE (ANNUAL RYEGRASS, 40 POUNDS PER ACRE, OR SEE PENNSYLVANIA STATE UNIVERSITY AGRONOMY GUIDE FOR OTHER SEEDING RECOMMENDATIONS). APPLY 1 TON OF AGRICULTURAL LIMESTONE PER ACRE, PLUS FERTILIZER, AT THE RATE OF 50-50-200 PER ACRE. (50 LBS. OF N, 50 LBS OF P<sub>2</sub>O<sub>5</sub> AND 200 LBS. OF K<sub>2</sub>O).



**LEGEND**

- PROPERTY BOUNDARY
- ADJOINING PROPERTY LINE
- EXISTING RIGHT-OF-WAY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CURB LINE
- EXISTING EDGE OF DRIVEWAY
- EXISTING FENCE LINE
- EXISTING SANITARY SEWER LINE
- EXISTING 1' CONTOUR W/ ELEVATION
- EXISTING 5' CONTOUR W/ ELEVATION
- EXISTING SPOT ELEVATION
- EXISTING DOOR SILL ELEVATION
- EXISTING IRON PIN / PIPE
- EXISTING WATER SERVICE
- EXISTING VENT
- EXISTING CLEANOUT
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- STEEP SLOPE 14-20%
- STEEP SLOPE > 20%
- PROPOSED BUILDING WALL
- EXISTING BUILDING WALL
- PROPOSED EDGE OF DRIVEWAY
- LIMIT OF DISTURBANCE
- 18" SILT FENCE
- EROSION CONTROL BLANKET



PARCEL ID# 36-02-00888-01

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES: 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STATE STOP CALL

Pennsylvania One Call System, Inc

PENNSYLVANIA ACT 187 REQUIREMENTS: PADULA ENGINEERING COMPANY DOES NOT GUARANTEE THE ACCURACY OF THE LOCATIONS FOR EXISTING SUBSURFACE UTILITY STRUCTURES SHOWN ON THE PLANS, NOR DOES PADULA ENGINEERING COMPANY GUARANTEE THAT ALL SUBSURFACE STRUCTURES ARE SHOWN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.

SOILS DESCRIPTIONS					
SYMBOL	DESCRIPTION	DEPTH TO RESTRICTIVE FEATURE	NATURAL DRAINAGE CLASS	DEPTH TO WATER TABLE	HYDROLOGIC SOIL GROUP
GeB	GLENELG CHANNERY LOAM, 3-8% SLOPES	56-98" TO PARALITHIC BEDROCK	WELL DRAINED	MORE THAN 80"	B

**OWNER**

VINCENT M. AND CARLEY D. BOYD  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087



PREPARED FOR:

**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087

RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**EROSION AND SEDIMENTATION CONTROL PLAN AND NOTES**

NUM.	DATE	REVISION
1	2/8/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW COMMENTS RECEIVED ON 2/2/2021

PREPARED BY:

Land Use & Stormwater Management Experts

PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

DATE: DECEMBER 29, 2020

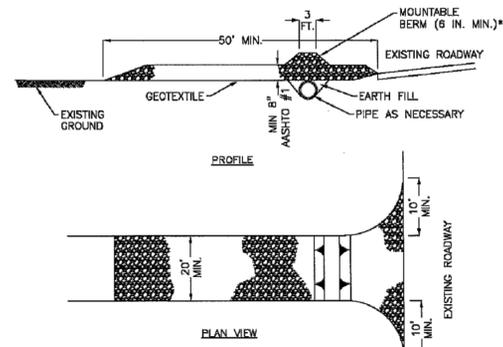
DRAWN: iii

APPROVED: MJP

PROJECT NUMBER: 200097

2 OF 3

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF PADULA ENGINEERING COMPANY.

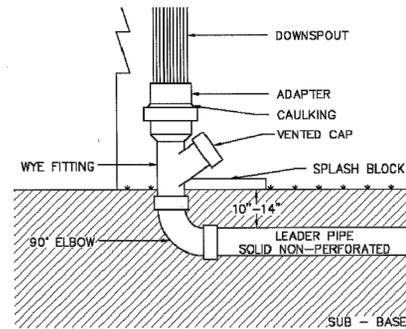


**NOTES:**

- \* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE
- REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
- RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.
- MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.
- MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

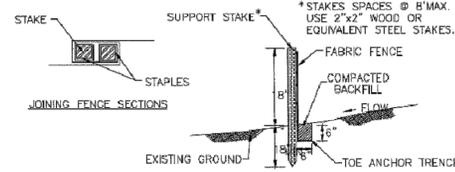
**STANDARD CONSTRUCTION DETAIL  
ROCK CONSTRUCTION ENTRANCE**  
NOT TO SCALE

RADNOR TOWNSHIP GANNETT FLEMING  
APRIL 2014



**DOWNSPOUT DETAIL**  
N.T.S.

RADNOR TOWNSHIP GANNETT FLEMING  
APRIL 2014

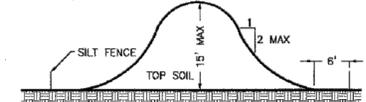


**SILT FENCE NOTES:**

1. FILTER FABRIC FENCE MUST BE PLACED AT LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 6' UP SLOPE AT 45° TO THE MAIN BARRIER ALIGNMENT.
2. ANY SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY. SEE ROCK FILTER OUTLET DETAIL.
3. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT THE FENCE.

**STANDARD SILT FENCE**  
N.T.S.

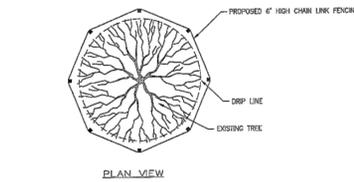
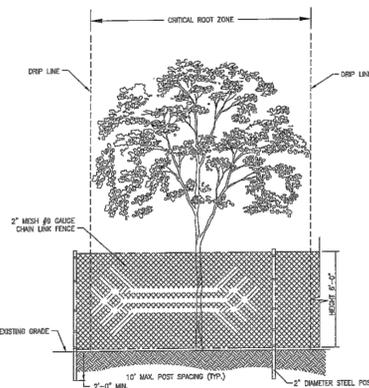
RADNOR TOWNSHIP GANNETT FLEMING  
APRIL 2014



**TYPICAL SOIL STOCKPILE CROSS SECTION**  
N.T.S.

**NOTE:** SILT FENCE MUST COMPLETELY ENCLOSE STOCKPILES. TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL. TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY. TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

RADNOR TOWNSHIP GANNETT FLEMING  
APRIL 2014

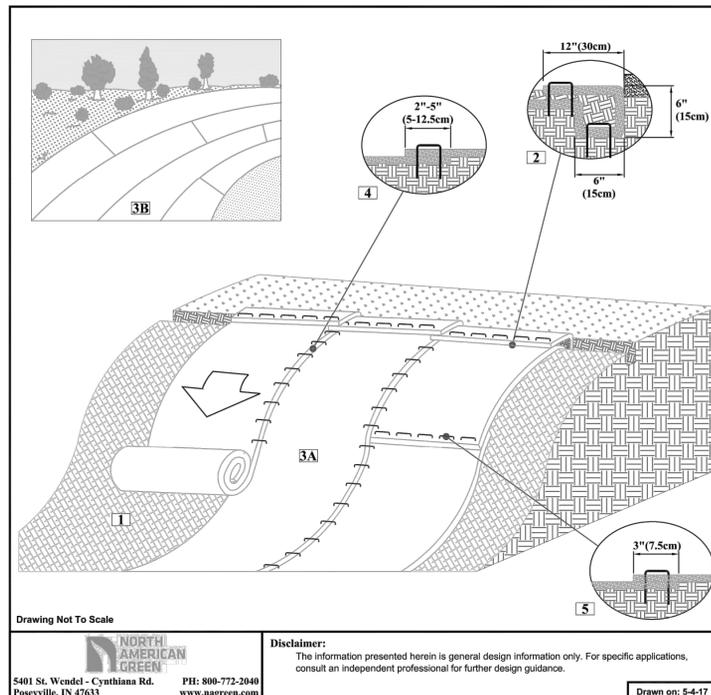


**TREE PROTECTION SPECIFICATIONS**

1. A 6" high chain link fence shall be installed around the drip line of protected trees. Posts shall be spaced 10' apart.
2. A 2" mesh barrier of 6" chain link fencing shall be installed around the drip line of protected trees. The fencing can be moved within the drip line if authorized by the Consulting Arborist but not closer than 2' from the trunk of any tree. Posts shall be 2 1/2" in diameter and set to be driven 2' into the ground. The distance between posts shall not be more than 10'. This standard also applies to the Tree Protection Zone (TPZ).
3. Multiple barriers of single link fencing, covered to prevent blocks can be substituted for "flex" fencing if the Consulting Arborist agrees that the fencing will have to be moved to accommodate certain phases of construction. The holder may not move the fence without authorization from the Consulting Arborist.
4. Where the Consulting Arborist has determined that tree protection fencing will interfere with the safety of work areas, this fence may be used as an alternative form of tree protection. However, the fence shall be removed or relocated to allow for safe work. A single layer of 2" mesh chain link fence shall be used to protect trees. A single layer of 2" mesh chain link fence shall be used to protect trees. A single layer of 2" mesh chain link fence shall be used to protect trees. A single layer of 2" mesh chain link fence shall be used to protect trees.

**ROCKWELL ASSOCIATES, LLC**  
Arboriculture • Urban Forestry • Horticulture  
Consulting • Planning • Management

P.O. Box 542, Ridley Park, PA 19078  
Phone (610) 731-7909  
Fax (610) 521-0108  
jltrees@verizon.net  
www.rockwellconsultants.com



**SLOPE INSTALLATION DETAIL**

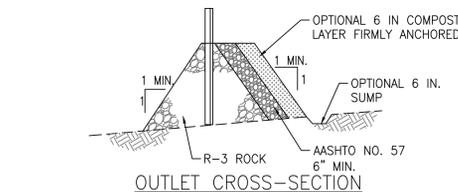
1. Prepare soil before installing rolled erosion control products (RECPs), including any necessary application of lime, fertilizer, and seed.
2. Begin at the top of the slope by anchoring the RECPs in a 6" (15cm) deep x 6" (15cm) wide trench with approximately 12" (30cm) of RECPs extended beyond the up-slope portion of the trench. Anchor the RECPs with a row of staples/stakes with a row of staples/stakes spaced approximately 12" (30cm) apart across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
3. Roll the RECPs (A) down or (B) horizontally across the slope. RECPs will unroll with appropriate side against the soil surface. All RECPs must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide.
4. The edges of parallel RECPs must be stapled with approximately 2" - 5" (5-12.5cm) overlap depending on the RECPs type.
5. Consecutive RECPs applied down the slope must be end over end (Shingle style) with an approximate 3" (7.5cm) overlap. Staple through overlapped area, approximately 12" (30cm) apart across entire RECPs width.

**NOTE:**  
In loose soil conditions, the use of staple or stake lengths greater than 6" (15cm) may be necessary to properly secure the RECPs.

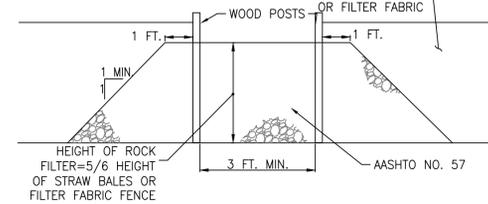
**NORTH AMERICAN GREEN**  
5401 St. Wendel - Cynthiana Rd. POSEYVILLE, IN 47633  
PH: 800-772-2440  
www.nagreen.com

**Disclaimer:**  
The information presented herein is general design information only. For specific applications, consult an independent professional for further design guidance.

Drawn on: 5-4-17



**OUTLET CROSS-SECTION**

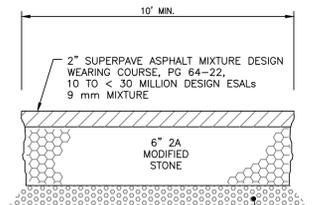


**UP-SLOPE FACE**

**NOTES:**

1. A ROCK FILTER OUTLET SHALL BE INSTALLED WHERE FAILURE OF A SILT FENCE OR STRAW BALE BARRIER HAS OCCURRED DUE TO CONCENTRATED FLOW. ANCHORED COMPOST LAYER SHALL BE USED ON UPSLOPE FACE IN HQ AND EV WATERSHEDS.
2. SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLET.

**ROCK FILTER OUTLET**  
NOT TO SCALE



**NOTES:**

1. PAVING TO BE INSTALLED WHERE NOTED ON PLAN.
2. DRIVEWAY SHALL BE GRADED SO THE RUNOFF IS DIRECTED AS SHOWN ON THE PLANS.

**PAVED DRIVEWAY SECTION**  
(NOT TO SCALE)

NUM.	DATE	REVISION
1	2/8/2021	REVISED PER TOWNSHIP ENGINEER'S REVIEW COMMENTS RECEIVED ON 2/22/2021

PREPARED FOR:  
**VINCENT M. AND CARLEY D. BOYD**  
231 CHAMOUNIX ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP • DELAWARE COUNTY • PENNSYLVANIA

PLAN TITLE:  
**NOTES AND DETAILS**

PREPARED BY:  
**PADULA ENGINEERING**  
Land Use & Stormwater Management Experts  
PADULA ENGINEERING COMPANY  
780 EAST MARKET STREET, SUITE 275  
WEST CHESTER, PA 19382  
PADULAENGINEERING.COM  
(610) 696-9900

DATE:  
DECEMBER 29, 2020

DRAWN:  
iii

APPROVED:  
MJP

PROJECT NUMBER:  
200097

3 OF 3

THESE DRAWINGS SHALL NOT BE UTILIZED BY ANY PERSON, FIRM OR CORPORATION WITHOUT THE SPECIFIC WRITTEN PERMISSION OF PADULA ENGINEERING COMPANY

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *Stephen F. Norcini*

CC: William M. White, Township Manager

Date: March 17, 2021

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**Re: 659 Church Road: Waiver of §245-22. A of the Stormwater Management Ordinance, Grading Permit Application #202737**

---

The applicant is proposing to construct a building addition and associated driveway expansion and walks, totaling 3,442 square feet of new impervious. Due to a high water table, the infiltration testing had a permeability of 0"/hr., which does not meet the Ordinance requirement of 0.5"/hr. The applicant is required to request a waiver from §245-22. A of the Stormwater Management Ordinance.

The applicants engineer is proposing to compensate for the inability to infiltrate as quoted from the waiver request letter:

*"To compensate for the zero-infiltration rate, the stormwater management design proposes a sub-surface detention basin to manage the post development runoff peaks and provide water quality benefits. To control the added impervious area, the detention basin will capture the proposed roof area as well as the existing roof area via downspouts. The basin will slowly discharge through a 4" orifice to a 6" pipe which will connect to the existing inlet located in Church Road. Water quality benefits are provided by the retention volume that is stored before being released."*



# **Gannett Fleming**

*Excellence Delivered **As Promised***

**Date:** March 10, 2021

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**RE:** 659 Church Road – Stormwater Waiver Request  
Grading Permit Application – GP App #202737

---

The applicant has submitted a grading permit for the construction of a 2,975 SF building addition, 475 SF driveway expansion, and 1,090 SF walks and patio. The applicant is requesting a waiver from §245-22 Groundwater Recharge in accordance with §245-22.A(2)(c)[2] of the Township's Stormwater Management Ordinance. The minimum infiltration requirement of 0.50 inches cannot be achieved.

The applicant conducted two test pits on the site. Soil features exhibited redoximorphic features indicative of a high water table from 29" to 97" in test pit 1. Permeability testing was conducted at 18" and failed with a permeability of 0. Soil features exhibited redoximorphic features indicative of a high water table from 28" to 58" in test pit 2. Permeability testing was conducted at 18" and 72" and both failed with a permeability rate of 0. Permeability testing was also conducted at 96" and had a permeability rate of 0.11 inches/hour, which would exceed the ordinance-required maximum dewatering time. The applicant is proposing a subsurface detention basin to manage peak rates and provide water quality benefits.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned section of the Ordinance and the implementation of the above-mentioned stormwater system.

In addition to the waiver request, the applicant must address the following item(s) prior to the issuance of the Grading Permit:

1. The applicant must address the remaining grading permit review comments per the Gannett Fleming email dated March 5, 2021.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

Roger A. Phillips, P.E.  
Senior Project Manager

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

[www.gannettfleming.com](http://www.gannettfleming.com)

# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

---

February 1, 2021

Board of Commissioners Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

Re: Section 245-22, Groundwater Recharge Waiver  
569 Church Road  
Wayne, PA 19087

Dear Members of the Board:

The owners, Alexander Stuart & Debbie Douglas, respectfully requests a waiver from Section 245-22 of the Township Code requiring groundwater recharge for projects adding new or replacement impervious coverage greater than 500 square feet. As detailed in this request letter, the minimum infiltration requirement of 0.50 inches cannot be achieved and a waiver is sought from the Township in accordance with Section 245-22.A(2)(c)[2].

The owners propose to construct a building addition, driveway addition, and patio. The proposed impervious coverage is 3,442 square feet; therefore stormwater infiltration and rate control is required.

A soil investigation was conducted by Mr. Kevin Sech, P.G., P.E., of HILBEC Engineering as required by Section 245-22. Mr. Sech's evaluation concluded that the soils on site did not achieve the required minimum infiltration requirement of 0.50 inches per hour. See the attached report dated December 3, 2020.

To compensate for the zero-infiltration rate, the stormwater management design proposes a sub-surface detention basin to manage the post development runoff peaks and provide water quality benefits. To control the added impervious area, the detention basin will capture the proposed roof area as well as the existing roof area via downspouts. The basin will slowly discharge through a 4" orifice to a 6" pipe which will connect to the existing inlet located in Church Road. Water quality benefits are provided by the retention volume that is stored before being released.

Please refer to the attached engineering plan for the Grading Permit Application.

Should the township have any questions or require additional information, please contact me at [rlambert@site-engineers.com](mailto:rlambert@site-engineers.com) or 610-240-0450.

Sincerely,

Robert M. Lambert, P.E.

## Impervious Surface

Complete the impervious surface table (required).

**Location:** 659 Church Road

**Project Description:** Building, driveway, patio addition

**Gross Lot Area** 39,620 **Sq. Ft.**

<b>To be Completed by Radnor Township</b>	
<b>Permit Number:</b>	_____
<b>Submission Date:</b>	_____
<b>Shade Tree Approval Date:</b>	_____
<b>Final Approval Date:</b>	_____
<b>Zoning Approval:</b>	_____
	<b>Zoning Officer</b>
<b>Grading Permit Approval:</b>	_____
	<b>Township Engineer</b>

Complete All Yellow Fields						
Cover Type	Existing Area (square feet)	Percentage of existing impervious surface area of your lot	Area of Impervious Removed (square feet)	Area of Added Impervious Cover (square feet)	Total Area (square feet)	Percentage of total impervious surface of your lot, as proposed
Building	2,038		-755	2,975	4,258	
Walkway/sidewalk	1,754		-1,046	1,090	1,798	
Patios, decks	0		0	0	0	
Driveway	1,654		-181	475	1,948	
Other	714		-106		608	
<b>Total</b>	<b>6,160</b>	<b>16 %</b>	<b>-2,088</b>	<b>4,540</b>	<b>8,612</b>	<b>22 %</b>

Estimated Cubic Yards of Dirt Involved 50 Will this fill be taken off site  Yes  No

Number of trees to be removed (over 6" in diameter) \_\_\_\_\_ Is Property in Historical District  Yes  No

**Place a check in the box of the Zoning District applicable to your lot. (required)**

Zoning Table							
Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)
R-1	22		CO 2,3 stories	50		GH_CR	95
R-2	30	X	C1	60		GH-BC	50
R-3	35		C-2	70		GH-OS	15
R-4	40		C-3	65		WBOD	NA
R-5 Semi/2 family detached	40		PI	45		PB	55
R-5 Multi Dwelling	36		PA	50		PLO	55
R-6	70		GH-N	60		FC	NA
R-IA	30		GH-GA	80		PLU	45

TO BE COMPLETED BY APPLICANT

Property Owner(s) Alexander Stuart & Debbie Douglas

Address of Property 659 Church Road, Wayne, PA 19087

Phone Number \_\_\_\_\_ Email \_\_\_\_\_

Engineer/Surveyor SITE Engineering Concepts, LLC

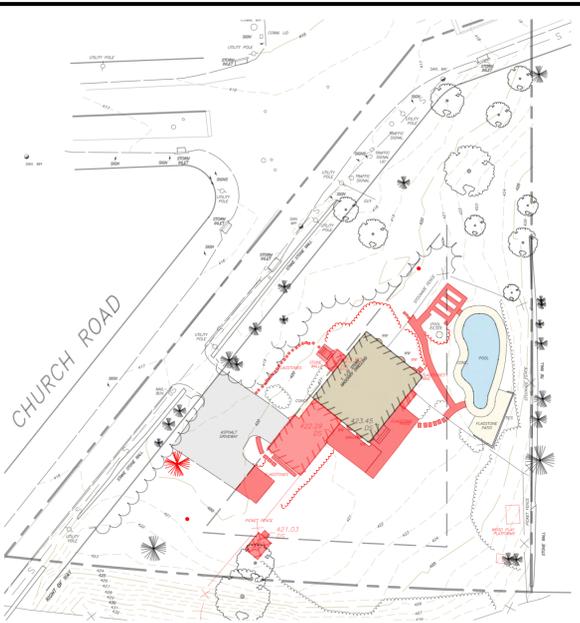
Phone Number 610-240-0450 Email rlambert@site-engineers.com

*The undersigned hereby makes application for a Permit under Chapter 175 and any amendments there of:*

Signature of Applicant \_\_\_\_\_

**Please note the following requirements:**

1. Submit five (5) copies of the plan set with your application
2. Plans are to be no larger than 24" x 36", and shall be folded
3. Shade Tree Commission: If your project meets any of the following requirements, you will be required to attend the Shade Tree Commission Meeting, as well as submit an additional 2 (two) sets of plans and 1(one) flashdrive:
  - a. Any clearing activity which proposes the removal of six (6) or more trees with a Diameter at Breast Height (DBH) of 6" or greater
  - b. Grading in excess of 200 cubic yards, excavation in excess of 60 cubic yards
  - c. Grading for parking lots of 5 or more cars
  - d. Removal of a Heritage Tree (30" DBH or greater) in a non-emergency situation.
  - e. Forestry management and practices
  - f. Swimming pool permits
  - g. The Shade Tree Commission shall review, if directed by the Township Engineer, applications submitted to the Township for the following: Demolition permits on any building lot whereby the proposed work may impact or cause the removal of trees; and Commercial tree removal.
4. Stormwater Calculations:
  - a. Replacement of impervious surface is considered "new" impervious
  - b. There is no credit for the removal of impervious surface
  - c. Stormwater calculations are to be based on the total of all added impervious (not the net impervious surface)



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20171212408



**CONSTRUCTION STAGING**

CONTRACTOR MUST NOTIFY TOWNSHIP 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION TO SCHEDULE ANY REQUIRED TOWNSHIP INSPECTIONS.

STAGE 1. INSTALL SILT FENCE. THE LIMIT OF DISTURBANCE IS TO BE FIELD DELINEATED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER PRIOR TO THE START OF ANY EARTH DISTURBANCE.

STAGE 2. INSTALL ROCK CONSTRUCTION ENTRANCE IF CLEANING OF TIRES ON EXISTING DRIVEWAY IS INEFFECTIVE.

STAGE 3. FIELD LOCATE ALL UTILITIES AND COORDINATE WITH UTILITIES FOR SHUTOFF/REMOVAL/CONSTRUCTION AS NECESSARY. IMMEDIATELY STABILIZE ANY DISTURBED AREAS.

STAGE 4. CONSTRUCT DETENTION BASIN. PROTECT AREA DURING CONSTRUCTION FROM TRAFFIC AND LAYDOWN.

STAGE 5. BEGIN CONSTRUCTION.

STAGE 6. REMOVE EXISTING STRUCTURES AS NOTED ON PLAN. IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH TEMPORARY/PERMANENT SEED MIX AND MULCHING, EROSION CONTROL BLANKET, OR STONE, AS APPROPRIATE. MULCH AT 3 TONS PER ACRE, AND LIME AS PRESCRIBED. AREAS TO BE COVERED WITH IMPERVIOUS SURFACES MUST BE BROUGHT UP TO STONE SUBBASE AS SOON AS PRACTICAL OR OTHERWISE BE SEEDED AND MULCHED WITH TEMPORARY SEED MIX.

STAGE 7. COMPLETE CONSTRUCTION. PROPOSED DRIVEWAY SHALL BE IMMEDIATELY STABILIZED WITH STONE AFTER IT IS GRADED. IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE APPROPRIATE SEED MIXTURE.

STAGE 8. ONCE SITE IS STABILIZED WITH 70% COVERAGE, CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION CONTROLS. AREAS DISTURBED DURING REMOVAL MUST BE STABILIZED IMMEDIATELY.

START: MARCH 2021  
END: SEPTEMBER 2021

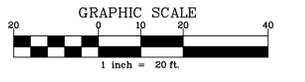
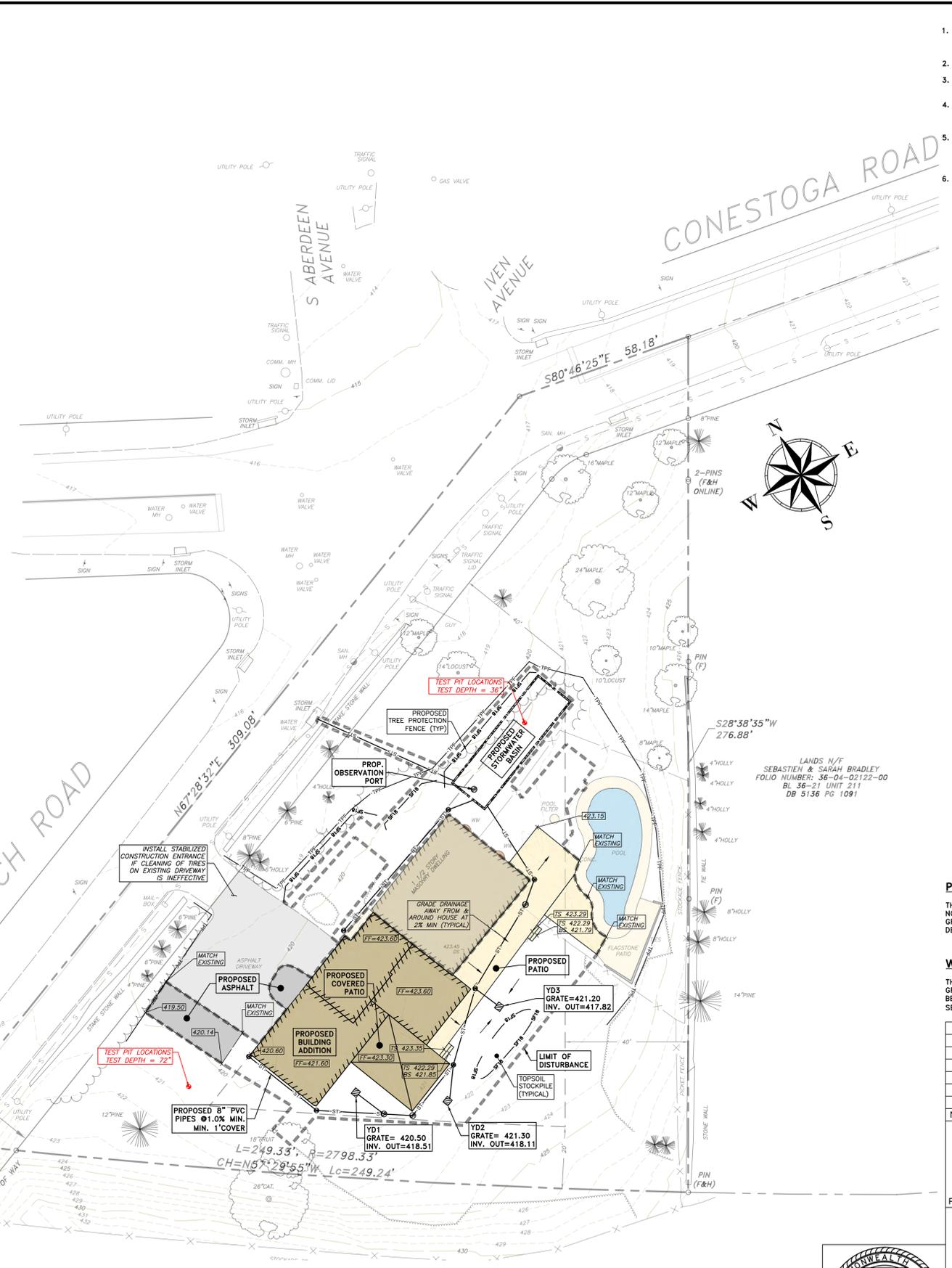
**PLAN LEGEND**

RED LINES: TO BE REMOVED (TBR)  
BOLD LINES: PROPOSED  
FADED LINES: EXISTING

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)  
--- INDEX CONTOUR (5' INTERVAL)  
--- EXISTING STORM SEWER PIPING  
--- EXISTING SANITARY SEWER PIPING  
--- EXISTING GAS MAIN  
--- EXISTING WATER MAIN / SERVICE  
--- EXISTING UNDERGROUND TELEPHONE  
--- EXISTING EDGE OF WOODS  
--- EXISTING EDGE OF PAVEMENT  
--- EXISTING FENCE LINE  
--- PROPERTY LINE  
--- BUILDING SETBACK LINE

EXISTING BUILDINGS  
EXISTING WALKS & PADS

--- 18" SILT FENCE  
--- LIMIT OF DISTURBANCE  
--- TREE PROTECTION FENCING



PROPOSED PLAN

**GENERAL NOTES**

1. PARCEL INFORMATION:  
FOLIO NUMBER: 36-04-02119-00 BLOCK 36-21 UNIT 212  
DEED BOOK 3608 PAGE 700
2. GROSS LOT AREA: 39,620 Sq. Ft.
3. CONTOURS PLOTTED FROM FIELD RUN SURVEY. APPROXIMATE ELEVATION BENCHMARK IS BASED ON WGS84 DATUM.
4. THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
5. THERE IS NO IDENTIFIABLE FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428-0019F OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
6. EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.

**ZONING SUMMARY**

R-2 - RESIDENTIAL DISTRICT			
ORDINANCE ITEM	REQUIREMENT	EXISTING	PROPOSED
MIN. LOT AREA	20,000 SF	39,620 SF	39,620 SF
MIN. LOT WIDTH @ BLDG	100 FT	185 FT	185 FT
MIN. SETBACKS			
FRONT	40 FT	36 FT*	40 FT
SIDE (INDIVIDUAL/AGGREGATE)	20 FT / 45 FT	50 FT	23 FT
REAR	40 FT	51 FT	51 FT
MAX. BUILDING HEIGHT	35 FT	<35 FT	<35 FT
MAX. BUILDING COVERAGE	18%	5%	10%
MAX. IMPERVIOUS COVERAGE	30%	16%	22%

\*DENOTES EXISTING NON-CONFORMITY

**IMPERVIOUS COVERAGE SUMMARY**

GROSS LOT AREA	39,620 SQ. FT.			
	EXISTING	REMOVE	ADD	PROPOSED
BUILDINGS	2,038	-755	2,475	3,758
COVERED PORCH	0	0	500	500
SHEDS	78	-78	0	0
ASPHALT	1,654	-181	475	1,948
WALKS, POOL DECK & CONCRETE	1,754	-1,046	1,090	1,798
WALLS	20	-20	0	0
WINDOW WELLS	14	-8	0	6
POOL SURFACE	567	0	0	567
CURB/ EDGE	35	0	0	35
TOTAL BUILDING COVERAGE	2,038			4,258
TOTAL SITE IMPERVIOUS COVERAGE	6,160	-2,088	4,540	8,612

**PROJECT NARRATIVE**

THE APPLICANT PROPOSES TO CONSTRUCT A BUILDING ADDITION AND PATIO. THE SITE DID NOT INFILTRATE DURING FIELD TESTING. A WAIVER IS REQUESTED FOR SECTION 245-22. GROUNDWATER RECHARGE. IN LIEU OF INFILTRATION THE APPLICANT IS PROPOSING A DETENTION BASIN.

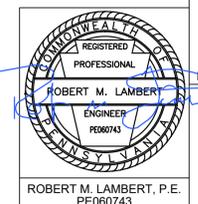
**WAIVER REQUESTED**

THE APPLICANT RESPECTFULLY REQUESTS A WAIVER OF SECTION 255-22 REGARDING GROUNDWATER RECHARGE. THE MINIMUM INFILTRATION REQUIREMENT OF 0.50 INCHES CANNOT BE ACHIEVED AND A WAIVER IS SOUGHT FROM THE TOWNSHIP IN ACCORDANCE WITH SECTION 245-22.A(2)(C)(2).

NUM.	DATE	REVISION

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**ALEXANDER STUART & DEBBIE DOUGLAS**  
659 CHURCH ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA



PERMIT PLAN

SHEET 1 of 2  
SCALE: AS SHOWN

JANUARY 27, 2021



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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *Stephen F. Norcini*

CC: William M. White, Township Manager

Date: March 17, 2021

---

**Re: 235 Pembroke Avenue: Waiver of §245-22. A and 245-23 of the Stormwater Management Ordinance, Grading Permit Application #202548**

The applicant is proposing the construction of a dwelling and associated walks, paths, and driveway extension, totaling 3,495 square feet of new impervious.

Due to a high water table, the infiltration testing had a permeability of 0"/hr., which does not meet the Ordinance requirement of 0.5"/hr. The applicant is required to request a waiver from §245-22. A of the Stormwater Management Ordinance. The applicant is also requesting a waiver from the Water Quality requirement.



*Excellence Delivered **As Promised***

**Date:** March 12, 2021

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**RE:** 235 Pembroke Ave – Stormwater Waiver Request  
Grading Permit Application – GP App #202548

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The applicant has submitted a grading permit for the construction of a 2,186 SF dwelling, 980 SF driveway expansion, 268 SF walks and a 323 SF patio. The applicant is requesting a waiver from §245-22 Groundwater Recharge in accordance with §245-22.A(2)(c)[2] of the Township's Stormwater Management Ordinance. The minimum infiltration requirement of 0.50 inches cannot be achieved. The applicant is also requesting a waiver from §245-23 Water Quality.

The applicant conducted one test pit on the site. Permeability testing was conducted at 12", 24", 36", and 48" and all failed with a permeability of 0. The applicant is proposing a rain garden to manage peak rates.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned sections of the Ordinance and the implementation of the above-mentioned stormwater system.

In addition to the waiver request, the applicant must address the following item(s) prior to the issuance of the Grading Permit:

1. The applicant must address all other outstanding grading permit review comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in blue ink, appearing to read "R. Phillips", enclosed in a blue circular scribble.

Roger A. Phillips, P.E.  
Senior Project Manager

Gannett Fleming, Inc.



Feb. 10, 2021

Mr. Steve Norcini  
Radnor Township  
301 Iven Ave.  
Wayne, PA 19087

Re: 235 Pembroke Ave.  
Stormwater infiltration  
Waiver request

Dear Mr. Norcini,

I am writing on behalf of Pembroke Holdings LLC concerning the proposed construction of a new single-family home at 235 Pembroke Ave. Infiltration tests conducted by Delaware Valley Septics, Inc. for the proposed stormwater system revealed soil conditions that are unsuitable for recharge. Tests on the property yielded an infiltration rate of 0 in./hr. Possible locations for the basin are limited. The applicant is requesting waivers from the provisions of Section 245-22(A)(2)(c)[2] requiring a minimum of 0.50 inches of infiltration, and section 245-23(D) requiring treatment of a volume of water for water quality. The applicant proposes the installation of a rain garden to meet the requirements of rate control.

Attached are the plans, stormwater calculations and test results.

Please call or email if you have any questions.

Sincerely,

Robert K. Wager, P.E.

**Impervious Surface**

Complete the impervious surface table (required).

Location: 235 PEMBROKE AVE.

Project Description: NEW HOUSE

Gross Lot Area 18,215 Sq. Ft.

**To be Completed by Radnor Township**

Permit Number: \_\_\_\_\_

Submission Date: \_\_\_\_\_

Shade Tree Approval Date: \_\_\_\_\_

Final Approval Date: \_\_\_\_\_

Zoning Approval: \_\_\_\_\_

Zoning Officer  
\_\_\_\_\_

Grading Permit Approval: \_\_\_\_\_

Township Engineer  
\_\_\_\_\_

Complete All Yellow Fields

Cover Type	Existing Area (square feet)	Percentage of existing impervious surface area of your lot	Area of Impervious Removed (square feet)	Area of Added Impervious Cover (square feet)	Total Area (square feet)	Percentage of total impervious surface of your lot, as proposed
Building	743		743	2186	2186	
Walkway/sidewalk	152		152	268	268	
Patios, decks				323	323	
Driveway	2042		1780	718	980	
Other	23		23	—		
<b>Total</b>	<b>2960</b>		<b>16.25 %</b>	<b>2698</b>	<b>3495</b>	

Estimated Cubic Yards of Dirt Involved 700 Will this fill be taken off site  Yes  No

Number of trees to be removed (over 6" in diameter) 5 Is Property in Historical District  Yes  No

**Place a check in the box of the Zoning District applicable to your lot. (required)**

Zoning Table

Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)	
R-1	22	<input type="checkbox"/>	CO 2,3 stories	50	<input type="checkbox"/>	GH_CR	95	<input type="checkbox"/>
R-2	30	<input checked="" type="checkbox"/>	C1	60	<input type="checkbox"/>	GH-BC	50	<input type="checkbox"/>
R-3	35	<input type="checkbox"/>	C-2	70	<input type="checkbox"/>	GH-OS	15	<input type="checkbox"/>
R-4	40	<input type="checkbox"/>	C-3	65	<input type="checkbox"/>	WBOD	NA	<input type="checkbox"/>
R-5 Semi/2 family detached	40	<input type="checkbox"/>	PI	45	<input type="checkbox"/>	PB	55	<input type="checkbox"/>
R-5 Multi Dwelling	36	<input type="checkbox"/>	PA	50	<input type="checkbox"/>	PLO	55	<input type="checkbox"/>
R-6	70	<input type="checkbox"/>	GH-N	60	<input type="checkbox"/>	FC	NA	<input type="checkbox"/>
R-IA	30	<input type="checkbox"/>	GH-GA	80	<input type="checkbox"/>	PLU	45	<input type="checkbox"/>

TO BE COMPLETED BY APPLICANT

Property Owner(s) \_\_\_\_\_

Address of Property 235 PEMBROKE AVE.

Phone Number \_\_\_\_\_ Email \_\_\_\_\_

Engineer/Surveyor ROBERT K. WAGER

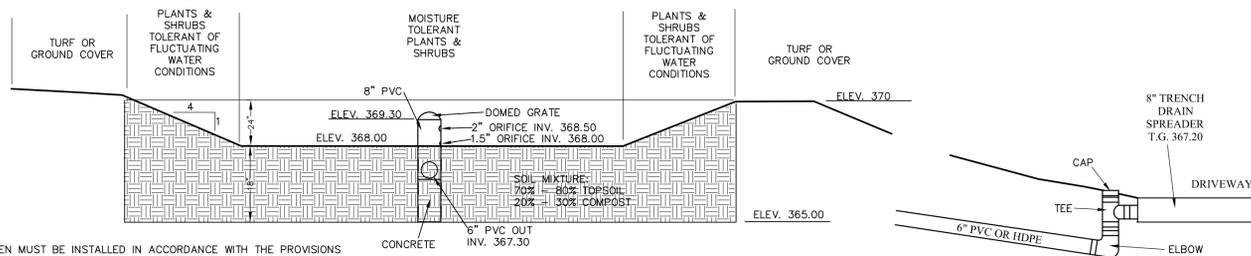
Phone Number 610 642-0961 Email rkwengineer@yahoo.com

*The undersigned hereby makes application for a Permit under Chapter 175 and any amendments there of:*

Signature of Applicant \_\_\_\_\_

**Please note the following requirements:**

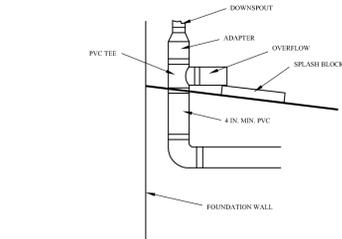
1. Submit five (5) copies of the plan set with your application
2. Plans are to be no larger than 24" x 36", and shall be folded
3. Shade Tree Commission: If your project meets any of the following requirements, you will be required to attend the Shade Tree Commission Meeting, as well as submit an additional 8 (eight) sets of plans:
  - a. Any clearing activity which proposes the removal of six (6) or more trees with a Diameter at Breast Height (DBH) of 6" or greater
  - b. Grading in excess of 200 cubic yards, excavation in excess of 60 cubic yards
  - c. Grading for parking lots of 5 or more cars
  - d. Removal of a Heritage Tree (30" DBH or greater) in a non-emergency situation.
  - e. Forestry management and practices
  - f. Swimming pool permits
  - g. The Shade Tree Commission shall review, if directed by the Township Engineer, applications submitted to the Township for the following: Demolition permits on any building lot whereby the proposed work may impact or cause the removal of trees; and Commercial tree removal.
4. Stormwater Calculations:
  - a. Replacement of impervious surface is considered "new" impervious
  - b. There is no credit for the removal of impervious surface
  - c. Stormwater calculations are to be based on the total of all added impervious (not the net impervious surface)
  - d. **Minor Grading Permit** (< 500 SF added impervious) – installation of a stormwater BMP is encouraged.
  - e. **Grading Permit** (500 SF – 1,499 SF of added impervious) – groundwater recharge is required.



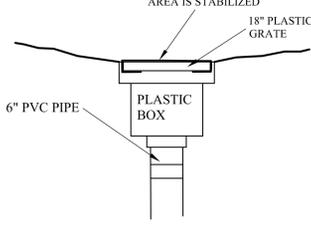
NOTE: THE RAIN GARDEN MUST BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL RESOURCES (DEP) BMP MANUAL, CHAPTER 6, SECTION 6.4.5 "RAIN GARDEN/BIORETENTION". PLANT MATERIALS SHALL BE SELECTED AS DIRECTED BY A LANDSCAPE DESIGNER OR LANDSCAPE ARCHITECT.

RAIN GARDEN SECTION  
NO SCALE

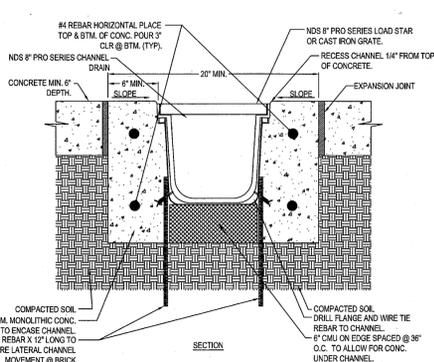
WRAP GRATE IN FILTER FABRIC UNTIL DISTURBED AREA IS STABILIZED



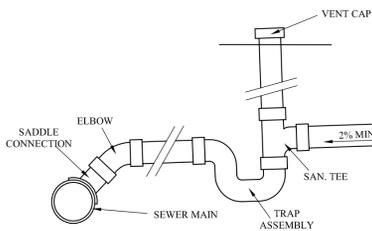
DOWNSPOUT DETAIL  
NO SCALE



18\"/>



NOTES:  
1. CHANNELS TO BE INSTALLED WITH GRATE. GRATE TO BE PROTECTED FROM CONCRETE POUR  
2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
3. DO NOT SCALE DRAWING.  
4. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY.  
5. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.



**CONSTRUCTION STAGING**

EROSION AND SEDIMENT CONTROLS MUST BE CONSTRUCTED, STABILIZED AND FUNCTIONAL BEFORE GENERAL SITE DISTURBANCE MAY BEGIN. ONLY LIMITED DISTURBANCE WILL BE PERMITTED FOR THE CONSTRUCTION OF THE SEDIMENT CONTROL FACILITIES. CONSTRUCTION PROCEDURES AND STAGING MUST BE ADHERED TO CAREFULLY TO MINIMIZE THE TIME THAT SOIL IS EXPOSED TO EROSION. CONSTRUCTION IS TO BE STAGED AS FOLLOWS:

1. PLACE SEDIMENT CONTROL BARRIERS IMMEDIATELY DOWNHILL OF EARTHMOVING ACTIVITIES.
2. CLEAR AND GRUB CONSTRUCTION AREA, REMOVING THE MINIMUM AMOUNT OF VEGETATION NECESSARY FOR CONSTRUCTION.
3. STRIP AND STOCKPILE TOPSOIL FROM CONSTRUCTION AREA.
4. THE TOPSOIL STOCKPILE SHALL BE TEMPORARILY SEEDED WITH ANNUAL RYE GRASS AT A RATE OF 4 LBS. PER 1000 SQ. FT.
5. DE-ACTIVATE EXISTING UTILITIES.
6. DEMOLISH EXISTING BUILDINGS AND A PORTION OF DRIVE. REMOVE DEBRIS FROM SITE.
7. EXCAVATE FOR FOUNDATION.
8. CONSTRUCT BUILDING.
9. INSTALL PIPING AND UTILITIES. WRAP INLET GRATE IN FILTER FABRIC.
10. GRADE AND STONE NEW PORTION OF DRIVEWAY.
11. PAVE NEW DRIVEWAY AND RESURFACE REMAINING PORTION OF EXISTING DRIVE.
12. CONSTRUCT RAIN GARDEN.
13. SPREAD TOPSOIL AND FINISH GRADE.
14. REMOVE EXISTING DRIVEWAY.
15. SEED AND MULCH DISTURBED AREAS IN ACCORDANCE WITH PADOT FORMULA B.
16. REMOVE EROSION AND SEDIMENTATION CONTROLS AND STABILIZE ANY REMAINING DISTURBED AREAS.

**GENERAL NOTES**

1. THE CONTRACTOR SHALL COMPLY WITH ALL LEGAL AND SAFETY REQUIREMENTS GOVERNING THE WORK SHOWN.
2. THE CONTRACTOR MUST VERIFY THE LOCATIONS AND DEPTHS OF ALL UNDERGROUND FACILITIES BEFORE THE START OF WORK.
3. GEOTEXTILE FILTER FABRIC SEDIMENT CONTROL BARRIERS SHALL BE PLACED AS DIRECTED BY THE ENGINEER.
4. DISTURBED AREAS THAT WILL REMAIN EXPOSED FOR MORE THAN 20 DAYS SHALL BE MULCHED AND SEEDED.
5. ALL ROOF DRAINS ARE TO BE TIED TO BASIN.
6. ALL TREES WITHIN 10 FEET OF THE PROPERTY LINE HAVE BEEN LOCATED.
7. ALL TREE ROOTS DISTURBED DURING CONSTRUCTION ACTIVITIES SHALL BE CUT CLEANLY.
8. NO TIRE CLEANER IS PROPOSED. THE EXISTING DRIVEWAY WILL BE USED AS THE CONSTRUCTION ENTRANCE. THE TIRES OF CONSTRUCTION VEHICLES WILL BE WASHED BEFORE ENTERING PUBLIC ROADS. IF THE EXISTING DRIVEWAY IS INSUFFICIENT IN PREVENTING SEDIMENT FROM LEAVING THE SITE, THEN IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL A CONSTRUCTION ENTRANCE.

**SEEDING SPECIFICATIONS**

PERMANENT SEEDING	
60% KENTUCKY BLUEGRASS	
30% RED FESCUE	
10% PERENNIAL RYE GRASS	260 LB./AC.
FERTILIZER	
10-20-20	1000 LB./AC.
LIME	2 TONS/AC.
MULCH	
HAY OR STRAW	3 TONS/AC.
TEMPORARY SEEDING	
ANNUAL RYEGRASS	40 LB./AC.
FERTILIZER	
5-5-5	1000 LB./AC.
MULCH	
HAY OR STRAW	3 TONS/AC.

**LEGEND**

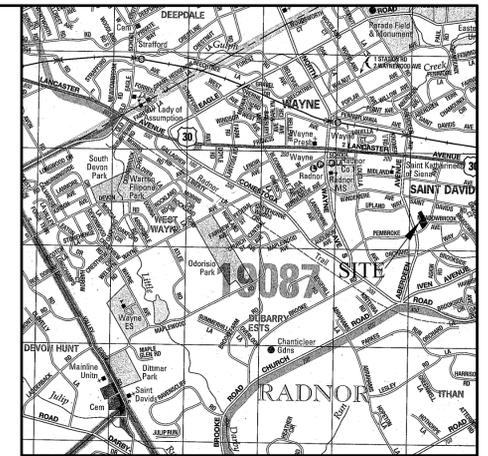
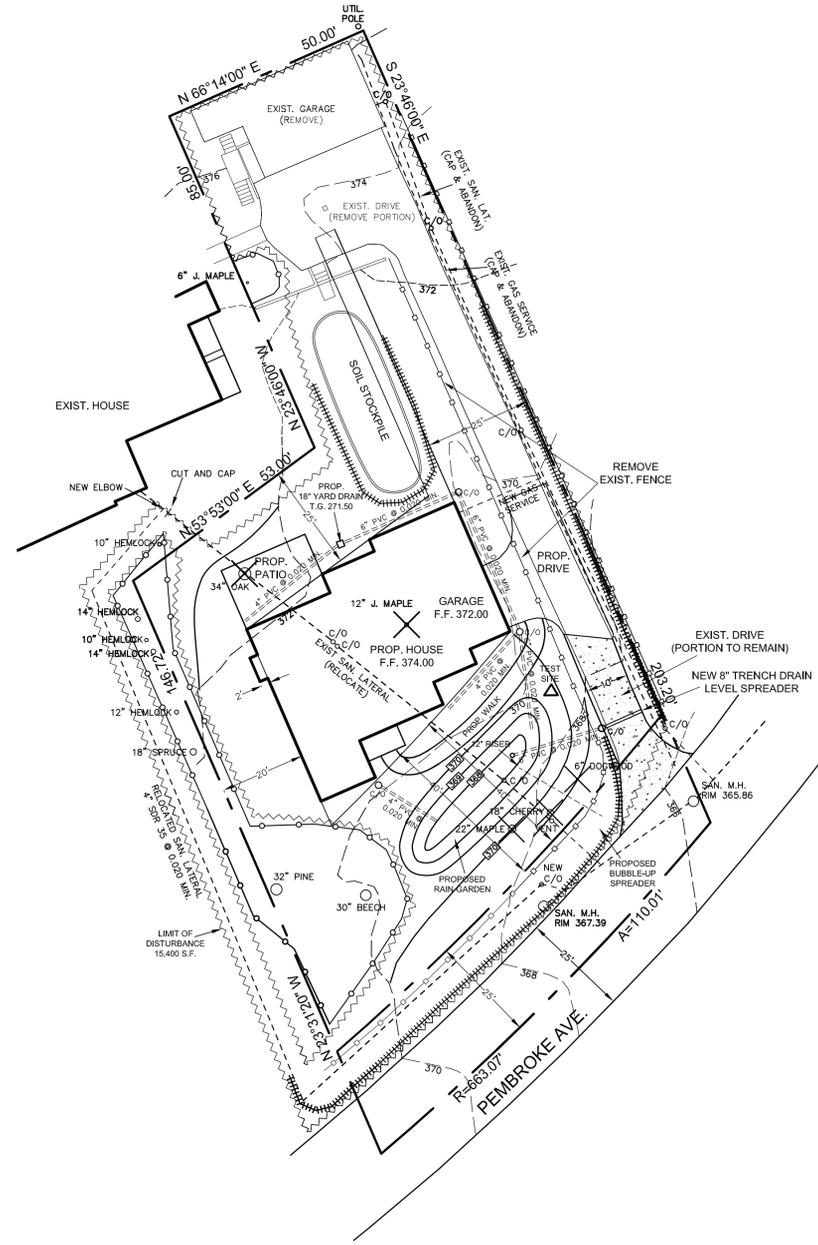
EXIST. CONTOUR	
PROP. CONTOUR	
EXIST. TREE TO BE REMOVED	
SILT FENCE	
TREE PROTECTION FENCE	
UTILITIES	
PROP. STORM DRAINS	
CONSTRUCTION ENTRANCE TIRE CLEANER	
PROPERTY LINES	
STEEP SLOPES 14% TO 20%	
STEEP SLOPES OVER 20%	
LIMIT OF DISTURBANCE	

I, \_\_\_\_\_, THE APPLICANT, DO HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE RADNOR TOWNSHIP.

DATE \_\_\_\_\_

I, ROBERT K. WAGER, P.E., ON THIS DATE, HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

*Robert K. Wager* DATE 1/11/21



LOCATION MAP  
1" = 2000'

LOT AREA: 18,215 S.F.

**ZONING REGULATIONS**

R-2 ZONING DISTRICT	
LOT AREA	20,000 S.F. MIN.
LOT FRONTAGE	100 FT. MIN.
BLDG. AREA	18% MAX.
FRONT YARD	40 FT. MIN.
SIDE YARD	20 FT. MIN., 45 FT. AGG.
REAR YARD	40 FT. MIN.
IMPERVIOUS COVER	30% MAX.
BLDG. HEIGHT	35 FT. MAX.

**IMPERVIOUS COVER**

<b>EXISTING</b>	
GARAGE	743 S.F.
DRIVE	2042 S.F.
WALKS	152 S.F.
WALLS	23 S.F.
TOTAL IMPERVIOUS	2960 S.F. (16.25%)
TOTAL BLDG. AREA	743 S.F. (4.08%)

**IMPERVIOUS COVER**

<b>PROPOSED</b>	
HOUSE	2186 S.F.
DRIVE	980 S.F.
PATIO	323 S.F.
WALK	268 S.F.
TOTAL IMPERVIOUS COVER:	3757 S.F. (20.62%)
TOTAL BLDG. COVERAGE:	2186 S.F. (12.00%)

NOTE: THE RAINGARDEN WAS DESIGNED FOR 800 S.F. OF FUTURE IMPERVIOUS. ALL FUTURE IMPERVIOUS COVER SHALL HAVE RUNOFF PIPED DIRECTLY TO THE RAIN GARDEN AND WILL REQUIRE A GRADING PERMIT.

**SOILS:**

M4 - MADE LAND, GABBRO AND DIABASE MATERIALS  
HYDROLOGIC GROUP C

**NOTE:**

5 TREES ARE TO BE REMOVED

**OWNER:**

PEMBROKE HOLDINGS LLC  
623 CONESTOGA RD.  
VILLANOVA, PA 19085

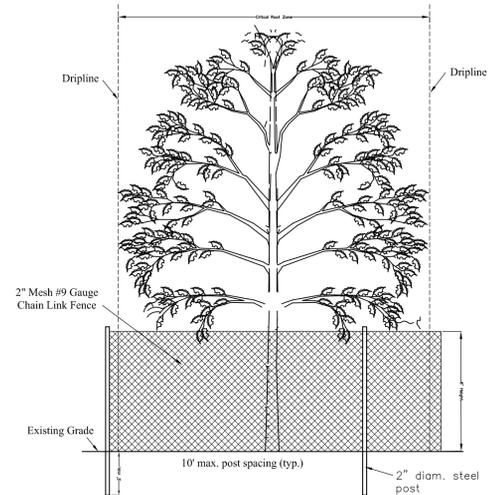
**NOTES:**

PHYSICAL FEATURES FROM FIELD SURVEY BY RWK ENGINEERING SERVICES, INC., JAN., 2021.

**SCALE**

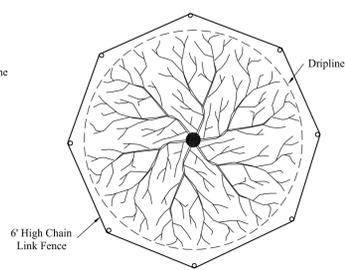


REVISIONS	REVISED AS PER REVIEW OF 2-05-21	3-02-21
<b>ROBERT K. WAGER, P.E.</b>		
1610 PELHAM AVENUE		
HAVERTOWN, PA 19083		
(610) 642-0961		
<b>GRADING PLAN</b>		
235 PEMBROKE AVENUE RADNOR TOWNSHIP		
DELAWARE COUNTY	PENNSYLVANIA	
DATE: 1/11/21	SCALE: 1"=20'-0"	DRAWN BY: RWK
		PROJ. NO.: 20076



DO NOT:  
 A. Allow runoff of spillage of damaging materials into the area below any tree canopy.  
 B. Store materials, stockpile soil, or park or drive vehicles within the TPZ.  
 C. Cut, break skin or bruise roots, branches or trunks without first obtaining authorization from the Consulting Arborist.  
 D. Allow fires under and adjacent to trees.  
 E. Discharge exhaust into foliage.  
 F. Secure cable, chain or rope to trees or shrubs.  
 G. Trench, dig, or otherwise excavate within the dripline or TPZ of the tree(s) without first obtaining authorization from the Consulting Arborist.  
 H. Apply soil sterilants under pavement near existing trees.

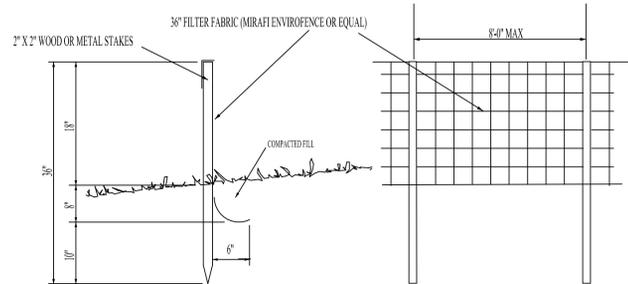
TREE PROTECTION DETAIL  
 N.T.S.



PLAN VIEW

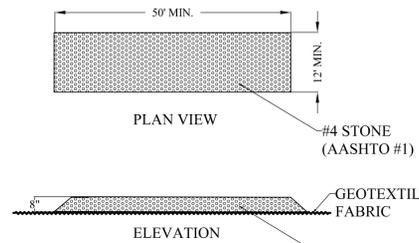
TREE PROTECTION SPECIFICATIONS

- I. A 4" layer of coarse mulch or woodchips is to be placed beneath the dripline of the protected trees. Mulch is to be kept 12" from the trunk.
- II. A protective barrier of 6" chain link fencing shall be installed around the dripline of protected tree(s). The fencing can be moved within the dripline if authorized by the Consulting Arborist, but not closer than 2' from the trunk of any tree. Fence posts shall be 2" in diameter and are to be driven 2' into the ground. The distance between posts shall not be more than 10'. This enclosed area is the Tree Protection Zone (TPZ).
- III. Movable barriers of chain link fencing secured to cement blocks can be substituted for fixed fencing if the Consulting Arborist agrees that the the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Consulting Arborist.
- IV. Where the Consulting Arborist has determined that tree protection fencing will interfere with the safety of work crews, tree wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the Consulting Arborist. Straw waddle may also be used as trunk wrap by coiling waddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.



- 1) SILT FENCE MUST BE INSTALLED PARALLEL TO CONTOURS OR CONSTRUCTED LEVEL.
- 2) SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 OF THE ABOVE GROUND HEIGHT OF THE SILT FENCE.
- 3) ANY SILT FENCE THAT HAS BEEN TOPPLED OR UNDERMINED MUST BE REPLACED WITH A ROCK FILTER OUTLET IMMEDIATELY.
- 4) ACCUMULATED SEDIMENT WILL BE REMOVED, SPREAD AND STABILIZED ON SITE.

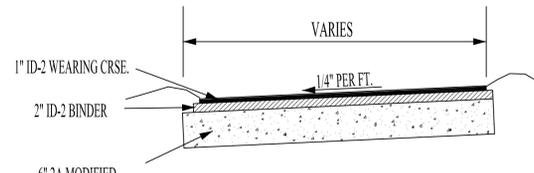
SILT FENCE DETAIL  
 NO SCALE



PLAN VIEW

ELEVATION

TIRE CLEANER DETAIL  
 N.T.S.

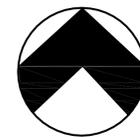
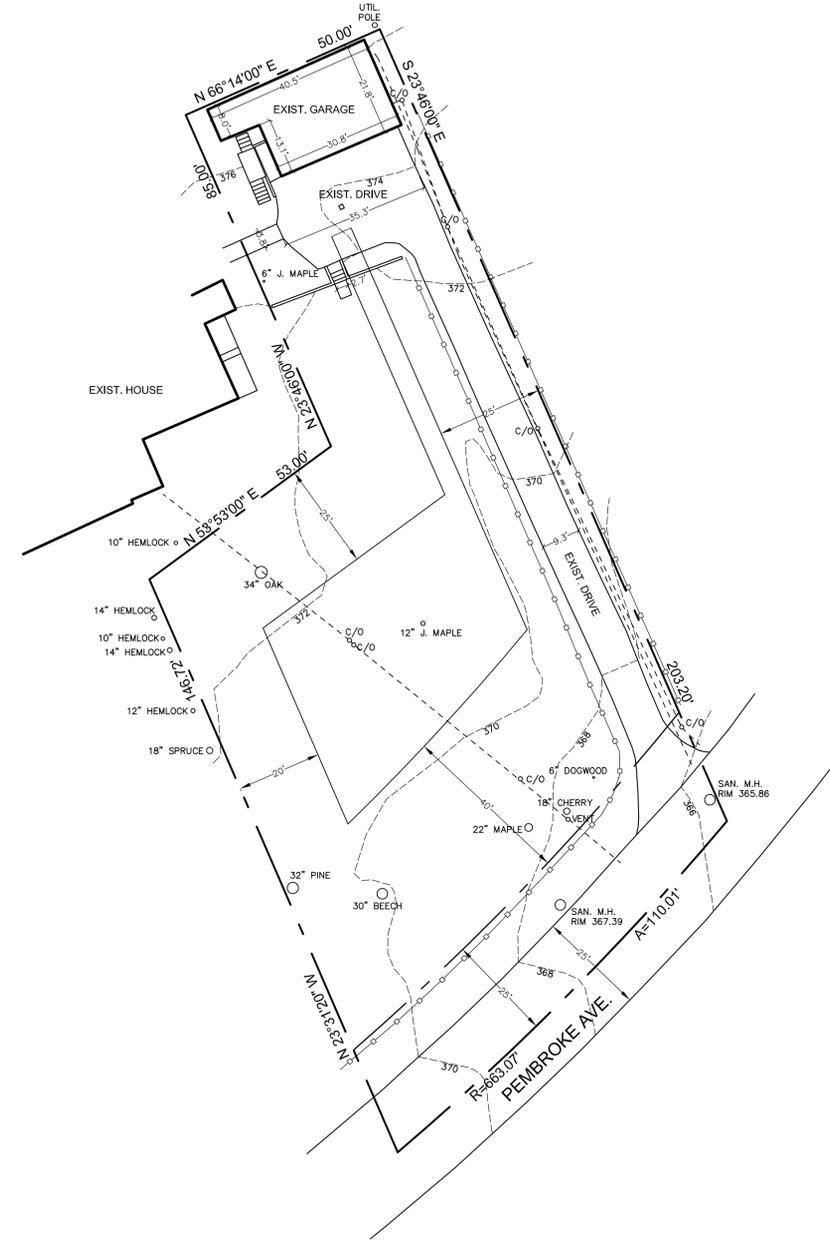


DRIVEWAY PAVEMENT SECTION  
 NO SCALE

STANDARD EROSION AND SEDIMENT CONTROL PLAN NOTES

1. Vehicles and equipment may not enter public roads without having the tires cleaned or washed.
2. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter.
3. The operator shall assure that the approved erosion and sediment control plan is properly and completely implemented.
4. Until the site achieves final stabilization, the operator shall assure that the best management practices are implemented, operated, and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities. The operator shall maintain and make available to local Conservation District complete, written inspection logs of all those inspections. All maintenance work, including cleaning, repair, replacement, regrading, and restabilization shall be performed immediately.
5. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
6. Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the local Conservation District.
7. The operator shall assure that an erosion and sediment control plan has been prepared, approved by the local Conservation District, and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
8. All pumping of sediment laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
9. The operator is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
10. A copy of the approved erosion and sediment control plan must be available at the project site at all times.
11. The E&S control plan mapping must display a PA ONE CALL SYSTEM INCORPORATED symbol including the site identification number. (This is a numbered symbol not a note.)
12. Erosion and sediment BMP's must be constructed, stabilized, and functional before site disturbance begins within the tributary areas of those BMP's.
13. After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.

14. At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, and the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System Incorporated at 1-800-242-1776 for buried utilities locations.
  15. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
  16. Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
  17. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
- Temporary Stabilization & Permanent Stabilization**
18. Hay or straw mulch must be applied at 3.0 tons per acre.
  19. Mulch with mulch control netting or erosion control blankets must be installed on all slopes 3:1 and steeper.
  20. Straw mulch shall be applied in long strands, not chopped or finely broken.
  21. Until the site is stabilized, all erosion and sediment BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, mulching, and renetting, must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.
  22. Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
  23. The operator shall remove from the site, recycle, or dispose of all building materials and waste in accordance with the Department's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump, or discharge any building material or wastes at the site.



EXISTING SITE PLAN



REVISIONS		REVISED AS PER REVIEW OF 2-05-21	3-02-21
		ROBERT K. WAGER, P.E.	
		1610 PELHAM AVENUE HAVERTOWN, PA 19083 (610) 642-0961	
DETAILS - E&S NOTES			
235 PEMBROKE AVENUE RADNOR TOWNSHIP			
DELAVARE COUNTY	PENNSYLVANIA		
DATE: 1/11/21	SCALE: 1"=20'-0"	DRAWN BY: RKW	PROJ. NO.: 20076

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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *Stephen F. Norcini*

CC: William M. White, Township Manager

Date: March 17, 2021

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**Re: 812/822 Glenbrook Avenue – CAUCUS: Final Land Development Plan**

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The Land Development application for 812/822 Glenbrook Avenue is before the Commissioners for CAUCUS, for final approval. There is no action required by the Commissioners at this meeting, the purpose of CAUCUS is informational only. At the next Board of Commissioners meeting, the applicant will be seeking FINAL approval for the project.

The applicant is proposing to “re-construct” a building that currently contains two residential units to a new building with three residential units and a day care center.

The only waiver being requested is that of the SALDO mapping requirement.

The detailed review letter, Zoning Hearing Board decision, and plan set are attached.



*Excellence Delivered **As Promised***

**Date:** March 10, 2021

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 812-822 Glenbrook Avenue - Final Land Development Plan  
Tim Rubin– Applicant

Date Accepted: February 1, 2021

90 Day Review: May 2, 2021

---

Gannett Fleming, Inc. has completed a review of the Final Land Development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to re-construct an existing mixed-use building with 2 residential units and a day care to a new building with 3 residential units. This project is located in the C-1 district of the Township.

The applicant was before the Zoning Hearing Board on October 17, 2019. We have attached a copy of the Zoning Hearing Board decision. The Zoning Hearing Board order is as follows:

1. This application involves the premises located at 812-814 Glenbrook Avenue and zoned CI Commercial ("Premises").
2. Testimony and evidence on this application was presented at the properly noticed hearing held on October 17, 2019.
3. Applicant's Exhibits A-1 through A-12 were entered into the record at the October 17, 2019 hearing. (October 17, 2019 Hearing Transcript, 50:8-14).

The applicant has indicated on the plans, that the following waiver which was approved during the preliminary plan process, is being requested:

1. §250-21.B(1)(n) – For features within 500 feet of the site aerial map shown on the plan with features.

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com

812-822 Glenbrook Ave – Land Development Plan

Plans Prepared By: Schock Group LLC

Dated: 01/21/2021

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant has indicated they have requested capacity certifications from the downstream conveyance facilities.

Subdivision and Land Development

1. §250-21.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has added part of the information to the vicinity plan. The applicant has requested a waiver from this requirement.

General

1. The applicant must record a copy of the consolidated deed that was prepared for the lot consolidate plan in 2016.

The applicant appeared before the Planning Commission on March 1, 2021. The Planning Commission recommended approval of the plan and requested waiver contingent upon addressing all staff comments and receiving planning module approval.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



*Excellence Delivered **As Promised***

**Date:** February 12, 2021

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** 812-822 Glenbrook Avenue - Final Land Development Plan  
Tim Rubin– Applicant

Date Accepted: February 1, 2021

90 Day Review: May 2, 2021

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Gannett Fleming, Inc. has completed a review of the Final Land Development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to re-construct an existing mixed-use building with 2 residential units and a day care to a new building with 3 residential units. This project is located in the C-1 district of the Township.

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The applicant has indicated on the plans that the following waiver, which was approved during the preliminary plan process, is being requested:

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812-822 Glenbrook Ave – Land Development Plan

Plans Prepared By: Schock Group LLC

Dated: 01/21/2021

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1. §250-21.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has added part of the information to the vicinity plan. The applicant has requested a waiver from this requirement.

General

1. The applicant must record a copy of the consolidated deed that was prepared for the lot consolidation plan in 2016.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**RADNOR TOWNSHIP ZONING HEARING BOARD**

**APPEAL NO. 3046**

APPEAL OF Glenbrook Avenue Investors, LLC, premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“C1”).

**DECISION OF THE ZONING HEARING BOARD**

**Relief Requested**

1. Applicant seeks permission to add an additional apartment to its previously approved two-unit apartment building.
2. Applicant intends to raze the existing building and reconstruct it in its same location and dimensions.
3. Applicant requests a special exception under Section 280-101(A)(1) or 280-101(A)(2) of the Zoning Code to expand an existing nonconforming use, a modification of previously granted relief, or a variance pursuant to Section 280-47 of the Code.
4. Applicant also requests such other relief as required in accordance with the Plans and Exhibits presented to the Zoning Hearing Board.

**Findings of Fact**

1. This application involves the premises located at 812-814 Glenbrook Avenue and zoned C1 Commercial (“Premises”).
2. Testimony and evidence on this application was presented at the properly noticed hearing held on October 17, 2019.
3. Applicant’s Exhibits A-1 through A-12 were entered into the record at the October 17, 2019 hearing. (October 17, 2019 Hearing Transcript, 50:8-14).
4. The applicant’s testimony and exhibits establish that during the previous owners’ possession, the existing wood building was damaged by water infiltration and is now structurally unsound. (*Id.*, 12:13 – 13:15, and 14:16 – 15:14, Exh. A-9).
5. The Premises is located adjacent to public rail transportation. (*Id.*, 11:1 – 11:7).
6. The rental market at this location is more conducive to the existing building being used as a three-unit building as opposed to a two-unit building. (*Id.*, 13:16).
7. The granting of this application will further the public’s interest by providing more moderate-priced housing in the Township. (*Id.*, 51:21 – 52:5).

**Conclusions of Law**

1. The Premises is nonconforming in its front and side yard setbacks.
2. The granting of relief, subject to the conditions set forth below, will not alter the essential character of the neighborhood nor substantially or permanently impair the appropriate use of adjacent properties, nor be a detriment to the public welfare. This is evidenced by the lack of any public or Township objection to the requested relief, subject to the conditions set forth below.
3. The granting of relief, subject to the conditions set forth below, represents the minimum relief that will afford the Applicant's request.
4. The conditions set forth below to the Board's grant of a special exception are necessary to implement the purposes of the Municipal Planning Code and the Zoning Ordinance.

**Order**

Based on the record before the Board, the applicant is hereby **GRANTED** the following special exception:

1. A special exception is **GRANTED**, pursuant to Code Sections 280-101(A)(1) and 280-101(A)(2), to permit the expansion of the nonconforming use of the existing building (Premises C depicted on Applicant's Exhibit "A-12") from a two-unit building to its use as a three-unit building, consistent with the testimony presented, with the following limitations:
  - a. The proposed new structure replacing the existing building shall be on the same footprint as the existing building; and
  - b. The square footage of the new building, including parking, shall be no greater than the existing building.
2. Relief is granted only with respect to Zoning Code Sections 280-101(A)(1) and 280-101(A)(2).
3. No relief is granted with respect to any other provisions of the Zoning Code.

**BY ORDER OF THE ZONING HEARING BOARD**

/s/ **JOHN REILLY, CHAIRMAN**

/s/ **WILLIAM F. MARTIN**

/s/ **SCOTT SIMON**

/s/ **RICHARD J. WEITZMAN**

**Vice Chairman George F. Nagle is opposed to this Decision.**

**Alternate Board Member Jamie Forman was present but did not vote on this Application. Board Member Bradley Delizia was absent during this hearing.**

DATED: October 17, 2019

MAILED: November 25, 2019

THIS DECISION WILL EXPIRE IF THE APPLICANTS FAIL TO OBTAIN A BUILDING PERMIT WITHIN SIX MONTHS OF THIS DATE: November 25, 2019.



**MEMORANDUM**

---

**Date:** February 18, 2021

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE  
Senior Transportation Engineer

**cc:** Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

**Reference:** 812-822 Glenbrook Avenue  
Final Land Development Plan Review 1  
Radnor Township, Delaware County, PA  
G&A 20-01170

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Gilmore and Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

**A. BACKGROUND**

The subject parcel located at 812-822 Glenbrook Avenue is situated in the C-1 Local Commercial Zoning District and takes access to Bryn Mawr Avenue (S.R. 1032), west of County Line Road (S.R. 1001) in Radnor Township, Delaware County. The applicant intends on redeveloping 812-822 Glenbrook Avenue in order to construct a residential apartment building with three (3) units and two (2) proposed parking spaces under the building.

**B. DOCUMENTS REVIEWED**

1. Final Land Development Plans for 812-822 Glenbrook Avenue, prepared by Schock Group, LLC, prepared for Tim Rubin, consisting of 4 sheets, dated January 21, 2021.
2. Response Letter prepared by Schock Group, LLC, dated January 21, 2021.
3. Plan of Consolidation, prepared by Chester Valley Engineers for TGR LLC, dated February 4, 2016.

**C. SUBDIVISION AND LAND DEVELOPMENT COMMENTS**

1. §255-20.B(1)(o)(6) – Show any existing or proposed easements including an access or parking easement for the shared access/parking area to Bryn Mawr Avenue. The Applicant has included the previous plan of consolidation for the three buildings shown on the property; however, the driveway access run the through the 806 Glenbrook Avenue and 0 Bryn Maw Ave properties. Therefore, a shared access easement should be provided between all parties.

2. The maximum algebraic change in grade between the driveway and the roadway shall not exceed 8 percent. Revise the plans to indicate the longitudinal slope in front of the proposed driveway access. The Applicant added the cross slope in front of the driveway and not the longitudinal slope and therefore we cannot confirm the maximum 8 percent algebraic change in grade.

If you have any questions regarding the above, please contact this office.



January 21, 2021

Mr. Steve F. Norcini, P.E.  
Township Engineer  
Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Land Development Plan Review - Final Land Development Plan  
812-814 Glenbrook Avenue (Folio # 36-05-03031-00)  
Township of Radnor, Delaware County, PA  
G&A 20-01170

Dear Mr. Norcini,

Schock Group LLC, on behalf of Glenbrook Avenue Investors LLC, has reviewed the Gannett Fleming, Inc project review letter, dated February 18, 2020, for the above-mentioned project. Please see our responses below in red.

Zoning:

1. The zoning information for the proposed project must be shown in the zoning table. The applicant has indicated that this will be added to the next plan submittal.  
**The proposed project zoning table has been added to sheet #2 of 4 on the plans.**
2. The square footage of the existing building to be demolished is 3,666 square feet. The square footage of the proposed building must be shown on the plans. The applicant has indicated that this will be added to the next submittal.  
**The square footage of the proposed building has been added to sheet #2 of 4 on the plans.**

Subdivision and Land Development:

1. §255-20.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip, sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads, and other significant man-made features within 500 feet of and within the site (this includes properties across the street) must be shown on the plans. The applicant has added part of the information to the vicinity plan. If all information is not provided, a waiver must be requested from this requirement.  
**A waiver has been requested for the information and added to sheet #3 of 4 on the plans.**

2. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of right-of-way to conform with the required standards.

The street right-of-way has been discussed with the review engineer. The applicant is accepting to any Township recommendations or requests per dedication or reservation of right-of-way.

General:

1. The applicant must provide a copy of the consolidated deed that was to be recorded with the lot consolidate plan in 2016. The applicant has indicated that they would re-record the consolidated deed.

The property deed is provided with the Final Land Development Plan submittal.

2. Right-of-way information must be provided regarding the area along Glenbrook Avenue where the proposed driveway will be located. Please confirm the ownership of this portion of the project.

The right-of-way information has been verified per PennDOT intersection plan “County Line Road (S.R. 1001)/Haverford Road (S.R. 1001) & Bryn Mawr Avenue (S.R. 1032 &1038)”, dated 5/18/94, with Permit #63-0472 and File #0472. The mentioned plan is included with the Final Land Development Plan submittal.

If you have any questions or require additional information, please contact Schock Group LLC at (610)590-7326 or wdaggett@schockgroup.com.

Sincerely,



William Daggett  
Project Manager  
Schock Group LLC

cc: Roger Phillips, P.E. (Gannett Fleming Senior Project Manager)  
Kevin W. Kochanski, RLA, CZO (Township Director of Community Development)  
John Rice, Esq. (Grim, Biehn, and Thatcher)  
Damon Drummond, P.E., PTOE (Gilmore & Associates Senior Transportation Engineer)  
Patricia Sherwin (Township Engineering Department)

January 21, 2021

Mr. Steve F. Norcini, P.E.  
Township Engineer  
Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Land Development Plan Review 2 - Final Land Development Plan  
812-814 Glenbrook Avenue (Folio # 36-05-03031-00)  
Township of Radnor, Delaware County, PA  
G&A 20-01170

Dear Mr. Norcini,

Schock Group LLC, on behalf of Glenbrook Avenue Investors LLC, has reviewed the Gilmore & Associates, Inc project review letter, dated February 17, 2020, for the above-mentioned project. Please see our responses below in red.

Subdivision and Land Development Comments:

1. §255-20.B(1)(o)(6) – Show any existing or proposed easements including an access or parking easement for the shared access/parking area to Bryn Mawr Avenue.  
The extinguished 15-foot access easement can be seen on the included plan of consolidation, “Plan of Minor Subdivision, Lot Consolidation for TGR LLC” by Chester Valley Engineers, dated 2/4/2016 and recorded 6/28/2016. No existing access easement exists.
2. Clearly identify the entrances to the proposed building. An ADA accessible path to the building must be provided. Based on the single entrance shown on the east side of the building, it appears that a set of stairs is on the path, thus this is not an ADA accessible path.  
The proposed building entrances have been more clearly defined on the plan. The building is ADA accessible through the side entrance door. The set of stairs is to be removed and replaced in kind with an accessible walk.

3. The maximum algebraic change in grade between the driveway and the roadway shall not exceed 8 percent. Revise the plans to indicate the longitudinal slope in front of the proposed driveway access. In addition, provide the top and bottom of curb elevations along the driveway apron. Refer to PennDOT Publication RC-64M for the permitted curb reveal at driveways and Publication RC-67M for Type 1A driveway apron design.

The plans have been revised to indicate the longitudinal slope in the front of the proposed driveway access. Top and bottom curb elevations along the driveway apron have also been provided. PennDOT Publications RC-64M and RC-67M were used for design updates and are referenced on the plan.

If you have any questions or require additional information, please contact Schock Group LLC at (610)590-7326 or wdaggett@schockgroup.com.

Sincerely,



William Daggett  
Project Manager  
Schock Group LLC

cc: Damon Drummond, P.E., PTOE (Gilmore & Associates Senior Transportation Engineer)  
Roger Phillips, P.E. (Gannett Fleming Senior Project Manager)  
Leslie Salisbury, P.E. (Gilmore & Associates)



Schock Group LLC  
1958 Butler Pike, Suite 200  
Conshohocken, PA 19428  
610-590-7373  
SchockGroup.com

January 21, 2021

Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087-5297

Attn: Mr. Steve F. Norcini, P.E.  
Radnor Township Engineer

RE: Letter of Transmittal - Final Land Development Plan  
812-814 Glenbrook Avenue (Folio # 36-05-03031-00)  
Township of Radnor, Delaware County, PA

Dear Mr. Norcini,

Schock Group LLC, on behalf of Glenbrook Avenue Investors LLC, is submitting the Final Land Development Plan and associated documents for the above-mentioned land development project. This is the third (3<sup>rd</sup>) land development plan submittal for approval. The Final Land Development Plan submittal includes the following:

- Twelve (12) copies of the Final Land Development Plan, dated 01/21/2021,
- One (1) copy of the Radnor Township Subdivision and Land Development application,
- One (1) copy of the Delaware County Planning Commission application for Act 247 Review,
- Three (3) copies of the Gannett Fleming, Inc Preliminary Land Development Plan review response letter, dated 01/21/2021,
- Three (3) copies of the Gilmore & Associates, Inc Preliminary Land Development Plan review response letter, dated 01/21/2021,
- Three (3) copies of the DEP Sanitary Sewer Planning Module exemption eligibility,
- Three (3) copies of the property recorded deed and record plan,
- Three (3) copies of the PennDOT intersection plan "County Line Road (S.R. 1001)/Haverford Road (S.R. 1001) & Bryn Mawr Avenue (S.R. 1032 & 1038)", dated 5/18/94, with Permit #63-0472 and File #0472,
- One (1) USB flash drive containing the complete Final Land Development Plan submittal.

If you have any questions or require additional information, please contact Schock Group LLC at (610)590-7373 or [wdaggett@schockgroup.com](mailto:wdaggett@schockgroup.com).

Sincerely,

A handwritten signature in black ink that reads "William Daggett". The signature is written in a cursive style with a large, prominent 'W' and 'D'.

William Daggett  
Project Manager  
Schock Group LLC

cc: Patricia Sherwin, Engineering Department

**RADNOR TOWNSHIP**  
**301 IVEN AVE**  
**WAYNE PA 19087**  
**P) 610 688-5600**  
**F) 610 971-0450**  
WWW.RADNOR.COM

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 812-814 Glenbrook Avenue (Folio # 36-0503031-00)

Zoning District C-1 Application No. \_\_\_\_\_  
(Twp. Use)

Fee \_\_\_\_\_ Ward No. 5 Is property in HARB District No

Applicant: (Choose one) Owner X Equitable Owner \_\_\_\_\_

Name Timothy Rubin, Managing Member of Glenbrook Avenue Investors LLC

Address 931 Haverford Road, Bryn Mawr, PA 1901

Telephone (215)341-7518 Fax N/A Cell N/A

Email trubin1206@gmail.com

Designer: (Choose one) Engineer X Surveyor \_\_\_\_\_

Name Schock Group LLC

Address 1958 Butler Pike, Suite 200, Conshohocken, PA 19428

Telephone (610)590-7326 Fax N/A

Email wdaggett@schockgroup.com

Area of property 27,983 square-feet Area of disturbance Reconstruct in kind

Number of proposed buildings 1 Proposed use of property Residential

Number of proposed lots 1

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary \_\_\_\_\_ Final X Revised \_\_\_\_\_  
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

A waiver has been requested for §255-21.B(1)(n) for all features within 500 feet of the property. Most of features have been shown and an aerial map is provided on the Vicinity Plan showing the remainder of the features.

Are there any infringements of Chapter 280 (Zoning), and if so what and why?

The lot is existing non-conforming per setback requirements. The project development will be constructed in place by using the existing building foundation. The Zoning Hearing Board has approved the project under Appeal No. 3046, dated October 17, 2019.

Individual/Corporation/Partnership Name

Glenbrook Avenue Investors, LLC

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature

William Daggett

Print Name

William Daggett

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

**DELAWARE COUNTY PLANNING COMMISSION**

**APPLICATION FOR ACT 247 REVIEW**

**Incomplete applications will be returned and will not be considered “received” until all required information is provided.**

Please type or print legibly

**DEVELOPER/APPLICANT**

Name Timothy Rubin E-mail trubin1206@gmail.com

Address 931 Haverford Road, Bryn Mawr, PA 19010 Phone (215)341-7518

Name of Development 812-814 Glenbrook Avenue

Municipality Radnor Township

**ARCHITECT, ENGINEER, OR SURVEYOR**

Name of Firm Schock Group LLC Phone (610)590-7326

Address 1958 Butler Pike, Suite 200, Conshohocken, PA 19428

Contact William Daggett E-mail wdaggett@schockgroup.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District C-1

Tax Map # 36 / 41 / 099

Tax Folio # 36 / 05 / 03031 / 00

**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The existing property contains three multi-family residential buildings on the lot.

The proposed property intends to reconstruct one of the buildings and add a third residential unit.

The construction will be completed in place by using the existing building foundation.

Total Site Area	<u>0.6424</u>	Acres
Size of All Existing Buildings	<u>5,871</u>	Square Feet
Size of All Proposed Buildings	<u>5,871</u>	Square Feet
Size of Buildings to be Demolished	<u>1,771</u>	Square Feet

Timothy Rubin  
Print Developer's Name

Timothy Rubin  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting \_\_\_\_\_

Local Governing Body Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title of Designated Municipal Official

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Official's Signature

\_\_\_\_\_  
Date

**FOR DCPD USE ONLY**

Review Fee: Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**

## William Daggett

---

**From:** Rittenhouse, Stefanie <sterittenh@pa.gov>  
**Sent:** Thursday, November 19, 2020 3:41 PM  
**To:** Kaufman, Patricia L.  
**Cc:** Norcini Steve; Phillips, Roger A.; William White; William Daggett  
**Subject:** RE: [External] 812-814 Glenbrook

Good Afternoon,

DEP has determined that sewage facilities planning must be completed for the 3<sup>rd</sup> apartment building which was to contain 3 apartments. Per the information previously submitted, this project is not tributary to RHM and DCJA and is therefore eligible for an exemption from planning. Certifications of capacity from Haverford and the City of Philadelphia must be included in the planning exemption package. If this project is tributary to any sewers owned by Upper Darby, certification of capacity from Upper Darby must also be included.

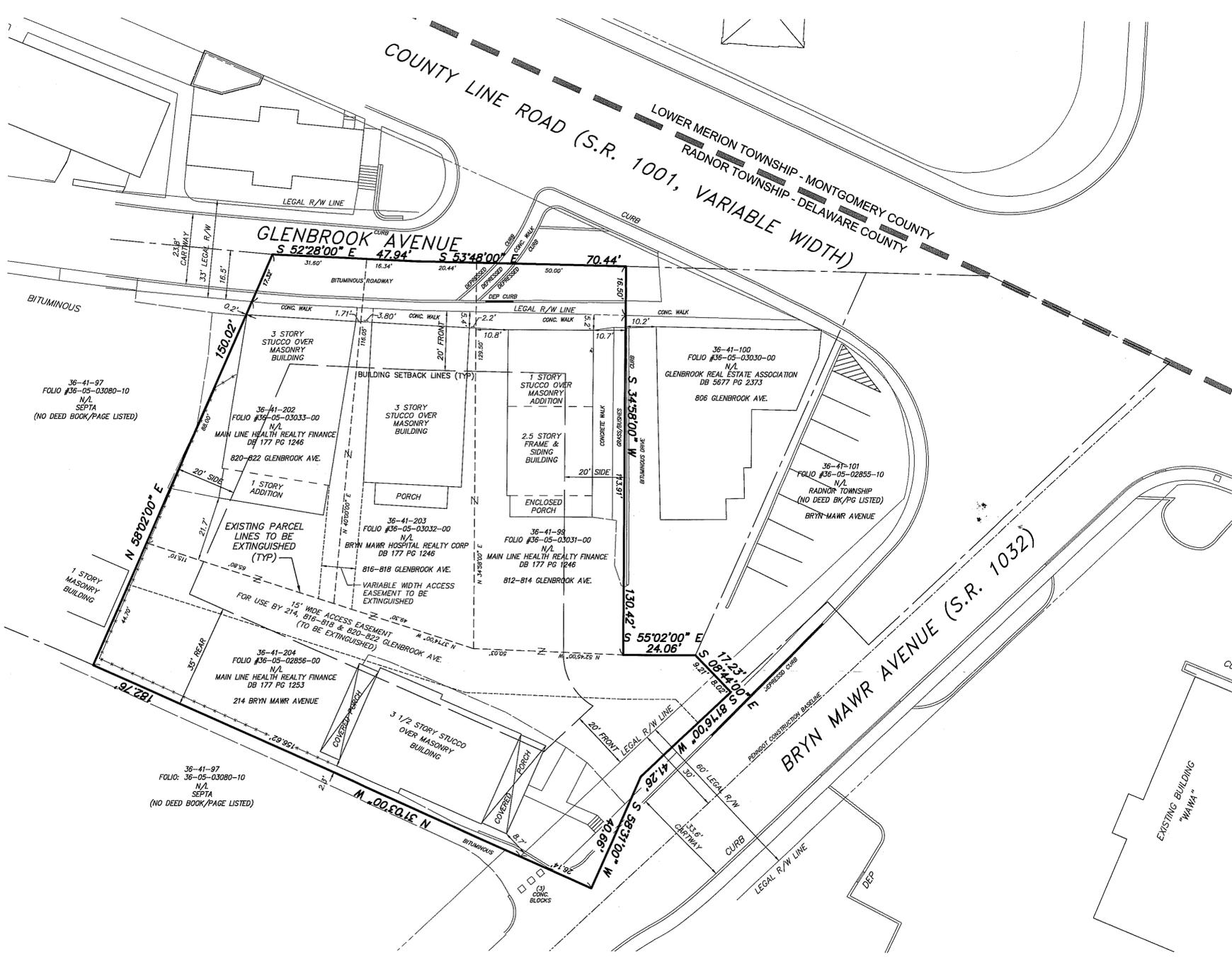
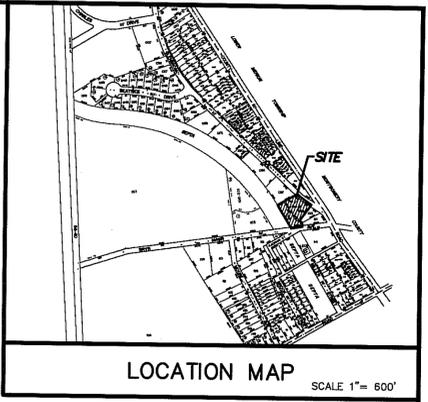
When the exemption is ready to be submitted to DEP, please submit 1 hard copy and 1 electronic copy.

Thank you,  
Stefanie

**Stefanie Rittenhouse** | Sewage Planning Specialist 2  
Department of Environmental Protection | Southeast Regional Office  
2 East Main Street | Norristown, Pa 19401  
Phone: 484.250.5186 | Fax: 484.250.5971  
[www.dep.pa.gov](http://www.dep.pa.gov)

*In order to prevent the further spread of COVID-19, all Commonwealth offices will remain closed until further notice. In the meantime, I will be working remotely to continue the mission of the Pennsylvania Department of Environmental Protection and frequently retrieving emails. Thank you for your patience.*

For more information on COVID-19, please visit the [PA Department of Health page](#).



**NOTES:**

- 1- BEING: 812-814 GLENBROOK AVENUE, TAX MAP/PARCEL 36-41-99, FOLIO #36-05-03031-00  
816-818 GLENBROOK AVENUE, TAX MAP/PARCEL 36-41-203, FOLIO #36-05-03032-00  
820-822 GLENBROOK AVENUE, TAX MAP/PARCEL 36-41-202, FOLIO #36-05-03033-00  
214 BRYN MAWR AVENUE, TAX MAP/PARCEL 36-41-204, FOLIO #36-05-02856-00
- 2- BOUNDARY AND EXISTING FEATURES FROM BOUNDARY RETRACEMENT SURVEY 806-822 GLENBROOK AVENUE 214 BRYN MAWR AVENUE, PREPARED FOR MAIN LINE HEALTH, DATED 4/9/2013, PREPARED BY ROBERT E. BLUE CONSULTING ENGINEERS, P.C.
- 3- ACCORDING TO SURVEY PLAN REFERENCED ABOVE, LEGAL RIGHT OF WAY LINES OF BRYN MAWR AVENUE SHOWN IN ACCORDANCE WITH RIGHT OF WAY AND CONSTRUCTION DRAWINGS BY THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF HIGHWAYS, LEGISLATIVE ROUTE 23035, SECTION 3, SHEET 5 OF 6, LAST REVISED JUNE 27, 1968.
- 4- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE THE FOUR EXISTING PARCELS TO FORM ONE SINGLE, CONTIGUOUS, UNDIVIDED PARCEL. THIS PLAN IS BEING PREPARED FOR LOT CONSOLIDATION ONLY AND NO DEMOLITION, GRADING OR CONSTRUCTION IS PROPOSED.
- 5- IT SHALL BE THE RESPONSIBILITY OF THE OWNER TO FULLY COMPLY WITH APPLICABLE RADNOR TOWNSHIP ZONING, SUBDIVISION, BUILDING AND ENVIRONMENTAL ORDINANCES AS WELL AS COUNTY HEALTH DEPARTMENT, PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND PADOT REGULATIONS IN EFFECT AT THE TIME OF ANY FUTURE DEVELOPMENT APPLICATIONS.
- 6- EXISTING 15 FEET WIDE ACCESS EASEMENT TO BE EXTINGUISHED BY VIRTUE OF PARCEL CONSOLIDATION. EASEMENT SHOWN PER DEED BOOK 177 PAGE 1253.
- 7- EXISTING VARIABLE WIDTH ACCESS EASEMENT TO BE EXTINGUISHED BY VIRTUE OF PARCEL CONSOLIDATION. EASEMENT SHOWN PER MAP OF PROPERTY OF HARRISON BROTHERS, DATED JUNE 8, 1949, PREPARED BY MILTON R. YERKES, C.E.
- 8- ACCORDING TO USDA/NRCS SOIL SURVEY THE ENTIRE SITE IS COMPRISED OF SOIL TYPE UuqB: URBAN LAND-UDORTRENTS, SCHIST AND GNEISS COMPLEX, 0 TO 8 PERCENT SLOPES.
- 9- THERE ARE NO STEEP OR VERY STEEP SLOPES EXISTING ON THE PREMISES.
- 10- THERE ARE NO WETLANDS ON OR ADJACENT TO THE PREMISES.
- 11- SIDE AND REAR SETBACK LINES ARE SHOWN FOR INFORMATION ONLY AND ARE SUBJECT TO INTERPRETATION BY THE RADNOR TOWNSHIP ZONING OFFICER.
- 12- BY GRAPHIC PLOTTING ONLY, THE PREMISES SHOWN HEREON DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD (SFHA). THE PREMISES LIES WITHIN AN AREA DESIGNATED "ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD" AS SHOWN ON FLOOD INSURANCE RATE MAP (FIRM) 42045C00039F, MAP REVISED NOVEMBER 18, 2009, ISSUED BY FEMA.

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF CHESTER SS:  
On the 28th day of APRIL A.D. 2016  
before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in 83 CHESTNUT ROAD PAOLI, PA, personally appeared TIMOTHY R. RUBIN who acknowledged himself to be the MANAGING MEMBER of TGR LLC a Pennsylvania Limited Liability Company, and that as such to do so, he executed the foregoing plan by signing the name of said Limited Liability Company by himself as the designated Owner of the designated land, that all necessary approval of the plan has been obtained and is endorsed thereon and that the said Limited Liability Company desires that the foregoing plan may be duly recorded.

Notary Public: Patrick Teedy  
My Commission Expires: 8/23/17  
Equitable Owner: [Signature]

RECORDED THIS DAY OF APRIL 2016  
IN THE RECORDER OF DEEDS OFFICE IN MEDIA, DELAWARE COUNTY, PENNSYLVANIA IN DEED BOOK NO.        PAGE NO.         
RECORDER:       

I HEREBY CERTIFY THAT THESE PLANS ARE IN CONFORMITY WITH ENGINEERING, ZONING, SUBDIVISION, BUILDINGS, SANITATION AND OTHER APPLICABLE TOWNSHIP ORDINANCES AND REGULATIONS AND COMPLY WITH P.L. 913, NO. 387.

[Signature] 4/28/16  
PROFESSIONAL LAND SURVEYOR  
SU055025E

**C-1 LOCAL COMMERCIAL ZONING DISTRICT**

- MIN. LOT AREA 15,000 SQ. FT.
- MIN. LOT WIDTH 100 FT. (AT BLDG LINE)
- MIN. YARD SETBACKS:
  - FRONT 20 FT.
  - SIDE 20 FT.
  - REAR GREATER OF 35 FT. OR 35% OF LOT DEPTH
- MAX. BUILDING COVERAGE 25%
- MAX. IMPERVIOUS COVERAGE 60%
- MAX. BUILDING HEIGHT 35 FT.
- RIPARIAN BUFFER SETBACK 35 FT.

REVIEWED BY THE DELAWARE COUNTY PLANNING COMMISSION  
DATE: 3/17/16  
ATTEST: [Signature] (DIRECTOR)  
DCPD NO. 34-7145-16  
6/28/16

**RADNOR TOWNSHIP**  
Delaware, Co., Penna. 2016-507  
SUBDIVISION PLAN No. 2016-507  
Received 2/15/16 Fire [initials]  
Roads [initials] Surface Drain [initials]  
Sewers [initials] Zoning [initials]  
Conformity Checked By [Signature] Eng.  
APPROVED CONDITIONALLY 3/28/16  
APPROVED 6-23-16  
Attest: [Signature] President  
Recorded        Deed Bk. No.        Pg.       

**WAIVERS REQUEST**

DUE TO THE NON-BUILDING NATURE OF THIS LOT CONSOLIDATION, APPLICANT HEREBY REQUESTS WAIVERS FROM THE FOLLOWING SUBDIVISION AND LAND DEVELOPMENT ORDINANCE SECTIONS:  
§255-22.B.(1)(k) FEATURES WITHIN 500 FEET OF THE SITE  
§255-22.B.(1)(p) CONTOUR LINES  
§255-22.B.(1)(q) DATUM OF CONTOUR LINES  
§255-22.B.(1)(r) LARGE TREES OVER 6" IN CALIPER

**LOT AREA AND COVERAGE TABLE**  
(AREAS IN SQ. FT.)

PARCEL	GROSS AREA	R/W AREA	NET AREA	BLDG AREA	BLDG % OF NET LOT AREA	OTHER IMPERVIOUS	TOTAL IMPERVIOUS	IMPERV % OF NET LOT AREA
36-41-99	6,496	825	5,671*	1,783	31.44%*	3,577	5,360	94.52%*
36-41-202	5,282	566	4,716*	2,313	49.05%*	1,894	4,207	89.21%*
36-41-203	5,166	619	4,547*	1,930	42.45%*	2,617	4,547	100.00%*
36-41-204	11,039	1,061	9,978*	2,300	23.05%*	6,945	9,245	92.65%*
CONSOLIDATED SITE TOTAL	27,983	3,071	24,912	8,326	33.42%*	15,033	23,359	93.77%*

**EQUITABLE OWNER/APPLICANT**

TGR LLC  
C/O TIMOTHY R. RUBIN  
744 PROVIDENCE ROAD  
MALVERN, PA 19355  
(215) 341-7518

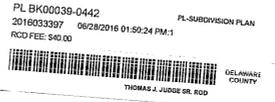
**NOTE TO USER OF THESE PLANS:**  
CHESTER VALLEY ENGINEERS, INC., CIVIL ENGINEERS & SURVEYORS, EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND ALL OTHER PROPRIETARY RIGHTS IN THESE PLANS. ALL DIMENSIONS, SPECIFICATIONS AND NOTES THEREON ARE AND SHALL REMAIN THE PROPERTY OF CHESTER VALLEY ENGINEERS, INC. THEY ARE TO BE USED ONLY IN CONNECTION WITH THE PROJECT AND ARE NOT TO BE USED ON ANY OTHER PROJECT, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT FIRST OBTAINING THE WRITTEN PERMISSION AND CONSENT OF CHESTER VALLEY ENGINEERS, INC. ANY RE-USE WITHOUT WRITTEN PERMISSION, VERIFICATION AND CONSENT OF CHESTER VALLEY ENGINEERS, INC. FOR THE SPECIFIC PURPOSE INTENDED, WILL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO CHESTER VALLEY ENGINEERS, INC. THE THIRD PARTY SHALL FURNISH NECESSARY AND NECESSARY PROPERTY OR FINANCIAL LOSS OR DAMAGES OF ANY KIND RESULTING FROM THE USE OF THIS DOCUMENT WITHOUT OBTAINING FULL VERIFICATION AND EXPENSES ARISING THEREOUT OR RESULTING THEREFROM.

**PENNSYLVANIA ACT 187 REQUIREMENTS:**  
UNDEVELOPED UTILITIES SHALL NOT BE SHOWN ON THESE PLANS UNLESS THEY ARE SHOWN FOR VERIFICATION OF ANY APPLICANT'S DISCREPANCY BEFORE PROCEEDING OR BEING UPON THESE PLANS FOR ANY PURPOSE. NO CONSTRUCTION OR INSTALLATION OF IMPROVEMENTS SHOULD OCCUR UNLESS ALL DISCREPANCIES HAVE BEEN RESOLVED WITH CHESTER VALLEY ENGINEERS, INC. CHESTER VALLEY ENGINEERS, INC. EMPLOYEES AND REPRESENTATIVES SHALL NOT BE LIABLE FOR DAMAGES OF ANY KIND RESULTING FROM THE USER'S FAILURE TO OBTAIN CURRENT VERIFICATION AND VALIDATION OF THE INFORMATION CONTAINED ON THIS FILE TO THE USER AND WITHOUT LIABILITY OR LEGAL EXPOSURE TO CHESTER VALLEY ENGINEERS, INC. THE USER ASSUMES ANY RISK OF ANY AND ALL PROPERTY OR FINANCIAL LOSS OR DAMAGES OF ANY KIND RESULTING FROM THE USE OF THIS DOCUMENT WITHOUT OBTAINING FULL VERIFICATION AND EXPENSES ARISING THEREOUT OR RESULTING THEREFROM.

**SEE SHEET \_\_\_\_\_ FOR FACILITY OWNER'S DESIGNATED OFFICE ADDRESS AND TELEPHONE NUMBER.**

PENNSYLVANIA ONE CALL SYSTEM, INC.  
CALL 3 WORKING DAYS BEFORE YOU DIG  
1-800-242-1776  
POCS SERIAL NUMBER: \_\_\_\_\_

\*EXISTING NON-COMFORMITY



PL BK00036-0442  
201603397 06/28/2016 01:50:24 PM:1  
RCD FEE: \$40.00

PL-SUBDIVISION PLAN  
THOMAS J. JOSEPH DR. ROD

DELAWARE COUNTY

NO. DATE REVISION

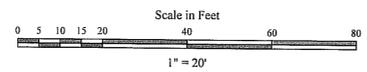
**PLAN OF MINOR SUBDIVISION LOT CONSOLIDATION**  
FOR  
**TGR LLC**  
RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA

Chester Valley Engineers  
civil engineers & land surveyors

Chester Valley Engineers, Inc.  
Main Office: 85 Chestnut Road  
P.O. Box 447, Paoli, PA 19380  
(610) 644-4623  
(610) 648-1443 Fax  
cve@cheester.com  
http://www.cheester.com

PROJECT NO. **20325**  
F.B.       

SCALE: 1"=20' DATE: 2/4/2016 DRAWN BY: JDS CHECKED BY: JDS DRAWING:       



RD BK05798-0515

DT-DEED

2016019978 04/22/2016 01:06:25 PM:1

RCD FEE: \$108.50 POL SUB TAX: \$12,000.00 ST TAX: \$8,000.00



DELAWARE COUNTY

36-RADNOR \$12,000.00

THOMAS J. JUDGE SR. ROD

Prepared by and Return to:

Brandywine Abstract Company, LP  
615 Old Lancaster Road  
Bryn Mawr, PA 19010  
610-519-9300

File No. BAC15-0091

FOLIO # 36-05-02856-00 (A), 36-05-03031-00 (B),  
36-05-03032-00 (C) and 36-05-03033-00 (D)

①

**This Indenture**, made the 18<sup>th</sup> day of April, 2016,

**Between**

**MAIN LINE REALTY CORPORATION, A PENNSYLVANIA NON-PROFIT CORPORATION, FORMERLY KNOWN AS BMH REALTY CORPORATION**

(hereinafter called the Grantor), of the one part, and

**GLENBROOK AVENUE INVESTORS LLC, A PENNSYLVANIA LIMITED LIABILITY COMPANY**

(hereinafter called the Grantee), of the other part,

**Witnesseth**, that the said Grantor for and in consideration of the sum of **Eight Hundred Thousand And 00/100 Dollars (\$800,000.00)** lawful money of the United States of America, unto it well and truly paid by the said Grantee, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and sell, release and confirm unto the said Grantee

PREMISES A: Parcel 1

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan thereof made by M.R. and J. B. Yerkes, made May 2, 1945 as follows, to wit:

BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle of Haverford Road. Thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 40.62 feet to a point; thence partly crossing Bryn Mawr Avenue South 58 degrees, 31 minutes West 41.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Philadelphia and Western Railway the two following courses and distance, (1) North 31 degrees, 03 minutes West 182.76 feet to a point; (2) North 58 degrees, 2 minutes East 44.70 feet to a stone; thence along the Northeast side of a right of way 15.0 feet wide by other land of Anne Vauclain and others the four following courses

and distances (1) South 37 degrees, 14 minutes East 115.10 feet to a stone (2) 52 degrees 45 minutes East 50.05 feet to a stone, (3) South 55 degrees, 02 minutes East 24.06 feet to a stone; (4) thence by land of Bryn Mawr Hospital, South 8 degrees 44 minutes East 17.23 feet to the place of beginning.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 feet North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue, South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 to a point; (3) North 52 degrees, 45 minutes West 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances: (1) South 52 degrees, 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees 44 minutes East 17.23 feet to the place of beginning.

BEING known as 214 Bryn Mawr Avenue.

Premises A: Parcel 2

ALL THAT CERTAIN Lot or piece of land with the tenement thereon erected, SITUATE in the Township of Radnor , County of Delaware and State of Pennsylvania, bounded and described according to a survey thereof made on June 6, 1899 by Samuel M. Garrigues, C.E., Bryn Mawr , Pennsylvania, as follows, to wit:

BEGINNING at a stake on the North side of Bryn Mawr Avenue in line of land now or late of Sophia Newlin; thence along the North side line of Bryn Mawr Avenue South eighty-one degrees, sixteen minutes West sixty-nine and ninety-two one-hundredths feet; thence by other land of which this was a part North eight degrees, forty-four minutes West six and three tenths feet; thence by land now or late of the Estate of J.T. McBride, North fifty-eight degrees, thirty-one minutes East seventy-five and eighty-nine one-hundredths feet; thence by land now or late of Sophia Newlin South eight degrees, forty-four minutes East thirty-six feet to the place of beginning.

PREMISES B:

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, SITUATE in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Survey and Plan thereof made by Milton R. Yerkes, Civil Engineer, as of July 8, 1925, as follows, to wit:

BEGINNING at a point in the middle of Glenbrook Avenue, a corner of this and land now or late of Frank Pietropaola at the distance of one hundred eighty-seven and eight-tenths feet Northwestwardly from the middle line of Bryn Mawr Avenue; thence by land now or late of Frank Pietropaola, South thirty-four degrees, fifty-eight minutes West, one hundred thirty and forty-two one-hundredths feet; thence by land now or late of Philip Harrison, et al, North fifty-two degrees, forty-five minutes West, fifty feet and five one-hundredths of a foot; thence North thirty-four degrees, fifty-eight minutes East, one hundred twenty-nine and fifty-two one-hundredths feet to the middle of Glenbrook Avenue; thence along the middle line of said Avenue, South fifty-three degrees, forty-eight minutes East, fifty feet to the place of beginning.

BEING KNOWN as No. 812-814 Glenbrook Avenue.

PREMISES C:

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M. R. and J. B. Yerkes, made May 2, 1945 as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue, now known as Railroad Avenue, said point is at the distance of 171.55 feet measured Northwesterly along the middle line of Glenbrook Avenue from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by land of Joseph Meth South 34 degrees, 58 minutes 129.50 feet to a stone in line of other land of Anne Vauclain; thence by said other land of Anne Vauclain the two following courses and distances (1) North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more fully described 49.3 feet to a stone; (2) North 40 degrees no minutes East 115.80 feet to a point in the middle of Glenbrook Avenue thence along the middle line of Glenbrook Avenue the two following courses and distances, (1) South 52 degrees 28 minutes East 16.06 feet to a point , (2) South 53 degrees 48 minutes East 20.44 feet to the place of beginning.

BEING known as 816-18 Glenbrook Avenue.

PREMISES D:

ALL THAT CERTAIN Lot or piece of ground with the buildings and improvements thereon erected, SITUATE in Radnor Township, Delaware County, Pennsylvania, described according to a survey and Plan hereof made by M.R. and J. B. Yerkes, made May 2, 1945, as follows, to wit:

BEGINNING at a point in the middle line of Glenbrook Avenue now known as Railroad, said point is at the distance of 208.05 feet measured Northwesterly along the middle line of Glenbrook Avenue, from its intersection with the middle line of Haverford Road, said point of intersection being at the distance of 66.25 feet measured North 29 degrees 48 minutes West from the middle line of Bryn Mawr Avenue, thence leaving Glenbrook Avenue by other land of Anne Vauclain the two following courses and distances, (1) South 40 degrees no minutes West 115.80 feet to a stone; (2) thence North 37 degrees 14 minutes West along the Northeast side of a 15.0 feet wide right of way hereinafter more

fully described 65.8 feet to a stone in line of land of the Philadelphia and Western Railway Company; thence by same North 58 degrees 02 minutes East 105.10 feet to a point in the middle of Glenbrook Avenue; thence along the same South 52 degrees 28 minutes East 31.79 feet to the place of beginning.

BEING Known as 820-22 Glenbrook Avenue.

TOGETHER with the free and uninterrupted use, right, liberty and privilege of a right-of way (15.0 feet wide) to be used by 214 Bryn Mawr Avenue, 816, 818, 820, 822 Glenbrook Avenue and described as follows, BEGINNING at a point on the North side of Bryn Mawr Avenue (40.0 feet wide) at the distance of 20.0 North 8 degrees, 44 minutes West from a point in the middle of Bryn Mawr Avenue, said point is at the distance of 182.33 feet measured South 81 degrees, 16 minutes West from its intersection with the middle line of Haverford Road, thence from the beginning point along the North side of Bryn Mawr Avenue South 81 degrees, 16 minutes West 15.0 feet to a point; thence leaving Bryn Mawr Avenue by land of Anne Vauclain the four following courses and distances (1) North 8 degrees, 44 minutes West 10.82 feet to a point; (2) North 55 degrees, 02 minutes West 18.25 feet to a point; (3) North 52 degrees, 45 minutes 52.69 feet to a point; (4) North 37 degrees, 14 minutes West 118.52 feet to a point in line of land of Philadelphia and Western Railway Company, thence by same North 58 degrees, 02 minutes East 15.06 feet to a point, thence by land of Anne Vauclain South 37 degrees, 14 minutes East 115.10 feet to a point; thence by land of others to whom no rights to said right of way have been granted, the three following courses and distances, (1) South 52 degrees 45 minutes East 50.05 feet to a point; (2) South 55 degrees, 02 minutes East 24.06 feet to a point; (3) South 8 degrees, 44 minutes East 17.23 feet to the place of beginning.

As to Premises A

Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1253 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.

As to Premises B, C and D

Being the same premises which The Bryn Mawr Hospital, a Pennsylvania non-profit corporation by Deed in Confirmation dated 1-18-1984 and recorded 8-7-1984 in Delaware County in Volume 177 Page 1246 conveyed unto BMH Realty Corporation, a Pennsylvania non-profit corporation, in fee.

And the said BMH Realty Corporation, a Pennsylvania non-profit corporation, is now known as Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation.

UNDER AND SUBJECT to all covenants, conditions, restrictions, easements, rights of way and reservations of record, to the effect valid, subsisting and enforceable,

FURTHER UNDER AND SUBJECT to the following restrictions, covenants, and conditions, which shall run with the land:

For so long as Main Line Hospitals, Inc. or any of its affiliates or any of their respective successors or assigns owns or operates any of the land or properties known as the Bryn Mawr Hospital and its surrounding and adjacent campus, including without limitation, the hospital buildings, the Gerhard building, the Founder's Building, 825 Old Lancaster Road, or the North Medical Office Building, neither all nor any portion of the premises conveyed pursuant to this Deed shall be owned, leased, licensed or otherwise used by or for any Competing Business. For purposes hereof, "Competing Business" means any person or entity which engages in any of the following uses: hospitals, medical clinics, medical offices (including physician practices, physician groups, osteopathic, and podiatric offices and services), ambulatory care services, ambulatory surgery services, in-patient or out-patient or clinical services, physical therapy, work hardening, occupational therapy services, rehabilitation services, home health services, diagnostic imaging and other diagnostic or therapeutic services, clinical/reference laboratory services, health and welfare services, and academic medical centers, or any other business or practice providing health care services.;

**Together with** all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said grantor, as well at law as in equity, of, in and to the same.

**To have and to hold** the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behoof of the said Grantee, its successors and assigns, forever.

**Under and Subject**, as aforesaid.

**And** the said Grantor, for itself, its successors and assigns, does, by these presents, covenant, grant and agree, to and with the said Grantee, its successors and assigns, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor, and its successors and assigns, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantor but not otherwise.

In Witness Whereof, the party of the first part has hereunto set its hand and seal. Dated the day and year first above written.

**MAIN LINE REALTY CORPORATION, A  
PENNSYLVANIA NON-PROFIT  
CORPORATION, FORMERLY KNOWN AS  
BMH REALTY CORPORATION, A  
PENNSYLVANIA NON-PROFIT  
CORPORATION**

By: [Signature]  
Name: John J. Lynch  
Title: President

Commonwealth of Pennsylvania }  
County of ~~Delaware~~ Montgomery } ss

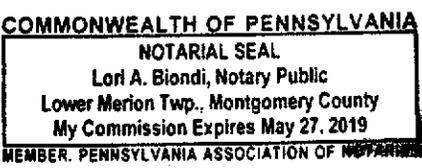
AND NOW, this 18 day of April, 2016 before me, the undersigned Notary Public, appeared John J. Lynch, who acknowledged himself/herself to be the President (title) of Main Line Realty Corporation, a Pennsylvania Non-Profit Corporation formerly known as BMH Realty Corporation, and he/she, as such President (title) being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as President (title).

IN WITNESS WHEREOF, I hereunder set my hand and official seal.

Lori A. Biondi  
Notary Public  
My commission expires May 27, 2019

Mail tax bills and  
The precise residence and the complete post office address of the above-named Grantee is:

931 Haverford Rd  
Bryn Mawr, PA 19010  
On behalf of the Grantee MLL



# Deed

FOLIO # 36-05-02856-00 (A),  
36-05-03031-00 (B), 36-05-03032-00 (C)  
and 36-05-03033-00 (D)

Main Line Realty Corporation, a  
Pennsylvania Non-Profit Corporation  
formerly known as BMH Realty  
Corporation,  
TO

Glenbrook Avenue Investors LLC, a  
Pennsylvania Limited Liability Company

## PREMISES:

214 Bryn Mawr Avenue (A), 812-814  
Glenbrook Ave. (B), 816-818 Glenbrook  
Ave. (C), 820-822 Glenbrook Ave. (D),  
Bryn Mawr, PA 19010

Brandywine Abstract Company, LP  
615 Old Lancaster Road  
Bryn Mawr, PA 19010  
Telephone: 610-519-9300 Fax: 610-519-9301

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *Stephen F. Norcini*

CC: William M. White, Township Manager

Date: March 17, 2021

---

**Re: Hamilton Estate Eagle Road - CAUCUS: Preliminary Land Development Plan**

---

Before the Commissioners is the Hamilton Estate proposed nine lot subdivision on Eagle Road. They are before the Board for **CAUCUS for Preliminary Approval**. The approval process is as follows:

1. **CAUCUS – Preliminary Approval** – No action required by the Commissioners, this is an informational session (March 17<sup>th</sup>, 2021)
2. **Preliminary Land Development Approval** – the applicant will be seeking Preliminary Approval of the Land Development plan. If Preliminary Plan approval is received by the applicant, the plan is supposedly substantially complete. There should be only “cleanup” and outside agency approvals required for Final Plan Approval. (date TBD)
3. **CAUCUS – Final Approval** - No action required by the Commissioners, this is an informational session, moving towards Final Land Development approval. (date TBD)
4. **FINAL Land Development Approval** – the Solicitor will prepare a Resolution with Developer’s Agreement, noting all requirements for plan approval. Once the Board approves Final Land Development, and all requirements are met by the applicant, the plan can be recorded. After recording, the project can then move forward. (Date TBD)

The detailed review letters and plans are attached.



*Excellence Delivered **As Promised***

**Date:** March 15, 2021

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, PE – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** Hamilton Eagle Road Subdivision – Preliminary Land Development

Date Accepted: 10/06/2020

90 Day Review: 01/04/2021 extended to 04/16/2021

---

Gannett Fleming, Inc. has completed a review of the Preliminary Land Development Plans for compliance with the Radnor Township Code. The Plans were also reviewed for conformance with Subdivision and Land Development, Zoning and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the property into nine lots and construct nine single-family homes. This project is located within the R-4 zoning district of the Township.

#### Eagle Road Subdivision

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 08/27/2020 and revised 11/20/2020

#### Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval or a Planning Exemption notification is received from the PA DEP.

#### Zoning

1. A breakdown of how the building coverage and impervious coverages were calculated in the zoning table must be provided. The impervious coverage in the zoning summary and impervious summary are inconsistent for Lot 2. This must be revised.
2. §280-105.E. – All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional or residential district, and in every district all such lighting shall be arranged as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be

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equipped with some type of glare shielding device approved by the Township Engineer. The applicant has indicated that this will be revised in the final plan submission.

Subdivision and Land Development

1. §255-20-B(1)(e)[5] – The site plan must show the size of the units (in bedrooms), if known. This information will be provided prior to final plan approval.
2. §255-20-B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has indicated that this will be provided on the final plan submission.
3. §255.27.C(4) – When a subdivision abuts or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Eagle Road is a Major Collector. The right-of-way requirement is by code is 80 feet and the cartway width is 48 feet. The applicant has indicated on the plans that they are providing an additional 10 feet of right of way on their frontage which would be the equivalent of a 60 foot right of way.
4. §255.27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. This must be shown on the plans.
5. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience.
6. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
7. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

Stormwater

1. The stormwater report narrative claims 19 subsurface infiltration beds are proposed but the plans indicate 18. Please revise this inconsistency. The applicant has indicated that this will be addressed prior to final plan approval.
2. The plans propose infiltration beds of various sizes but the Infiltration Bed Volumes-POI A table in the stormwater report appears to indicate a standard infiltration bed size for each front lot and rear lot system. Please provide dimensional data for each infiltration bed that is consistent with the plans.
  - a. Please update the infiltration volumes provided in the 2 Year Storm Volume Calculation-POI A, as necessary.The applicant has indicated that this will be addressed prior to final plan approval.
3. Please revise the hydrograph report to include the summaries of the proposed infiltration beds so the dimensional and elevation data used in the stormwater design can be reviewed. The applicant has indicated that this will be addressed prior to final plan approval.
4. The post-developed flow rates found in the Rate Table-POI A are inconsistent with those found in the hydrographs. Please revise the calculations to correct these inconsistencies. The post-developed flow should be modeled by routing the design storms through the stormwater systems. The applicant has indicated that this will be addressed prior to final plan approval.
5. The drainage areas used in the hydrograph report are inconsistent with those found on the Post-Developed Drainage Area Plan. The hydrograph report appears to utilize 2 post-developed drainage areas but the drainage area plans delineate 18 drainage areas of varying sizes. Please revise these inconsistencies. The stormwater calculations should reflect what is proposed. The applicant has indicated that this will be addressed prior to final plan approval.
6. Please revise the drainage area maps in the stormwater report to include scales. The applicant has indicated that this will be addressed prior to final plan approval.
7. It appears that some of the proposed drainage areas indicate runoff to be captured that will actually bypass a given system. Please revise the Post-Developed Drainage Area Plan to accurately reflect the runoff that will be collected by each proposed stormwater BMP. The applicant has indicated that this will be addressed prior to final plan approval.
8. Please update the plans to show dimensional data for each proposed infiltration bed including bottom of bed elevations and outlet invert elevations. The applicant has indicated that this will be addressed prior to final plan approval.

9. It appears that infiltration beds 1B and 2B are proposed in locations that had failed infiltration tests. Please revise the design so infiltration is not proposed in locations of failed infiltration tests. The applicant has indicated that this will be addressed prior to final plan approval.
10. §245-22.A(1)(c) – Please provide calculations to show that all stormwater BMPs proposing infiltration can fully infiltrate the retention volume in 96 hours. The applicant has indicated that this will be addressed prior to final plan approval.
11. Please provide calculations to show how the §245-23 Water Quality requirements are met. The applicant has indicated that this will be addressed prior to final plan approval.
12. Please provide calculations to show how the §245-27.F requirements are met. The applicant has indicated that this will be addressed prior to final plan approval.
13. Please provide stormwater piping profiles including all crossing utilities. The applicant has indicated that this will be addressed prior to final plan approval.
14. Please provide an overflow outlet structure for the proposed stormwater systems. The applicant has indicated that this will be addressed prior to final plan approval.
15. Please revise the stormwater report to include a soil inventory report of the project site that details the soil types and boundaries. The applicant has indicated that this will be addressed prior to final plan approval.
16. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at this time.

Sanitary Sewer

1. The sanitary sewer easement for the existing sewer must be shown on the drawings. The applicant is verifying this information and will provide prior to final plan approval.
2. There shall be no plantings in the existing or proposed sanitary sewer easements. The applicant has indicated that this will be revised prior to final plan approval.
3. All utilities crossing the sanitary sewer must be shown on the profile.
4. A minimum 10-foot horizontal and 18-inch vertical separation must be maintained between the sanitary sewer and the water and storm sewer lines

5. Depressed curbing is required where the sewer line leaves the street to provide access to the easement for the sanitary sewer line.
6. If the road is not to be dedicated to the Township, a sanitary sewer easement for Road A must be provided.
7. The Sewer casting detail provided on the plan is acceptable for watertight manholes. The attached detail must be added to the plans for standard manholes.

General

1. It must be noted who the owner of the cul-de-sac will be (Public or Private). It also must be noted who the owner of the open space along the easterly side of the cul-de-sac will be.
2. The applicant must appear before the Shade Tree Commission and gain approval prior to this plan being presented to the Board or Commissioners.

The applicant appeared before the Planning Commission on February 1, 2021. The Planning Commission recommended approval of the preliminary plan contingent upon addressing all staff comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



*Excellence Delivered **As Promised***

**Date:** November 30, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, PE – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** Hamilton Eagle Road Subdivision – Preliminary Land Development

Date Accepted: 10/06/2020  
90 Day Review: 01/04/2021 extended to 01/31/2021

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Gannett Fleming, Inc. has completed a review of the Preliminary Land Development Plans for compliance with the Radnor Township Code. The Plans were also reviewed for conformance with Subdivision and Land Development, Zoning and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the property into nine lots and construct nine single-family homes. This project is located within the R-4 zoning district of the Township.

Eagle Road Subdivision

Plans Prepared By: Site Engineering Concepts, LLC  
Dated: 08/27/2020 and revised 11/20/2020

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval or a Planning Exemption notification is received from the PA DEP.

Zoning

1. A breakdown of how the building coverage and impervious coverages were calculated in the zoning table must be provided. The impervious coverage in the zoning summary and impervious summary are inconsistent for Lot 2. This must be revised.

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2. §280-105.E. – All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional or residential district, and in every district all such lighting shall be arranged as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The applicant has indicated that this will be revised in the final plan submission.

Subdivision and Land Development

1. §255-20-B(1)(e)[5] – The site plan must show the size of the units (in bedrooms), if known. This information will be provided prior to final plan approval.
2. §255-20-B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has indicated that this will be provided on the final plan submission.
3. §255.27.C(4) – When a subdivision abuts or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Eagle Road is a Major Collector. The right-of-way requirement is by code is 80 feet and the cartway width is 48 feet. The applicant has indicated on the plans that they are providing an additional 10 feet of right of way on their frontage which would be the equivalent of a 60 foot right of way.
4. §255.27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. This must be shown on the plans.
5. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience.
6. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
7. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification

of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

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1. The stormwater report narrative claims 19 subsurface infiltration beds are proposed but the plans indicate 18. Please revise this inconsistency. The applicant has indicated that this will be addressed prior to final plan approval.
2. The plans propose infiltration beds of various sizes but the Infiltration Bed Volumes-POI A table in the stormwater report appears to indicate a standard infiltration bed size for each front lot and rear lot system. Please provide dimensional data for each infiltration bed that is consistent with the plans.
  - a. Please update the infiltration volumes provided in the 2 Year Storm Volume Calculation-POI A, as necessary.  
The applicant has indicated that this will be addressed prior to final plan approval.
3. Please revise the hydrograph report to include the summaries of the proposed infiltration beds so the dimensional and elevation data used in the stormwater design can be reviewed. The applicant has indicated that this will be addressed prior to final plan approval.
4. The post-developed flow rates found in the Rate Table-POI A are inconsistent with those found in the hydrographs. Please revise the calculations to correct these inconsistencies. The post-developed flow should be modeled by routing the design storms through the stormwater systems. The applicant has indicated that this will be addressed prior to final plan approval.
5. The drainage areas used in the hydrograph report are inconsistent with those found on the Post-Developed Drainage Area Plan. The hydrograph report appears to utilize 2 post-developed drainage areas but the drainage area plans delineate 18 drainage areas of varying sizes. Please revise these inconsistencies. The stormwater calculations should reflect what is proposed. The applicant has indicated that this will be addressed prior to final plan approval.
6. Please revise the drainage area maps in the stormwater report to include scales. The applicant has indicated that this will be addressed prior to final plan approval.
7. It appears that some of the proposed drainage areas indicate runoff to be captured that will actually bypass a given system. Please revise the Post-Developed Drainage Area Plan to

accurately reflect the runoff that will be collected by each proposed stormwater BMP. The applicant has indicated that this will be addressed prior to final plan approval.

8. Please update the plans to show dimensional data for each proposed infiltration bed including bottom of bed elevations and outlet invert elevations. The applicant has indicated that this will be addressed prior to final plan approval.
9. It appears that infiltration beds 1B and 2B are proposed in locations that had failed infiltration tests. Please revise the design so infiltration is not proposed in locations of failed infiltration tests. The applicant has indicated that this will be addressed prior to final plan approval.
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11. Please provide calculations to show how the §245-23 Water Quality requirements are met. The applicant has indicated that this will be addressed prior to final plan approval.
12. Please provide calculations to show how the §245-27.F requirements are met. The applicant has indicated that this will be addressed prior to final plan approval.
13. Please provide stormwater piping profiles including all crossing utilities. The applicant has indicated that this will be addressed prior to final plan approval.
14. Please provide an overflow outlet structure for the proposed stormwater systems. The applicant has indicated that this will be addressed prior to final plan approval.
15. Please revise the stormwater report to include a soil inventory report of the project site that details the soil types and boundaries. The applicant has indicated that this will be addressed prior to final plan approval.
16. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at this time.

Sanitary Sewer

1. The sanitary sewer easement for the existing sewer must be shown on the drawings. The applicant is verifying this information and will provide prior to final plan approval.
2. There shall be no plantings in the existing or proposed sanitary sewer easements. The applicant has indicated that this will be revised prior to final plan approval.
3. All utilities crossing the sanitary sewer must be shown on the profile.
4. A minimum 10-foot horizontal and 18-inch vertical separation must be maintained between the sanitary sewer and the water and storm sewer lines
5. Depressed curbing is required where the sewer line leaves the street to provide access to the easement for the sanitary sewer line.
6. If the road is not to be dedicated to the Township, a sanitary sewer easement for Road A must be provided.

General

1. It must be noted who the owner of the cul-de-sac will be (Public or Private). Who will be the owner of the property along the easterly side of the cul-de-sac? It also must be noted who the owner of the open space along the easterly side of the cul-de-sac will be.
2. The applicant must appear before the Shade Tree Commission and gain approval prior to this plan being presented to the Board or Commissioners.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

---

**Date:** November 30, 2020

**To:** Steve Norcini, P.E.

**From:** Damon Drummond, P.E., PTOE

**cc:** Leslie Salsbury, P.E.  
Roger Phillips, P.E.

**Reference:** Hamilton Properties  
Preliminary Land Development  
Radnor Township, Delaware County  
Transportation Review 2

G&A #20-10016

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Our transportation department has completed a review for the Preliminary Subdivision and Land Development plans prepared for Hamilton Properties. We offer the following comments for your consideration:

**A. PROJECT DESCRIPTION**

The Applicant, Hamilton Properties, is proposing to subdivide the property into 9 building lots and construct a single-family detached dwelling and related improvements on each lot.

**B. DOCUMENTS REVIEWED**

1. Preliminary/Final Subdivision and Land Development Plans prepared by Site Engineering Concepts, LLC, prepared for Hamilton Properties, consisting of 15 sheets, dated August 27, 2020 and last revised November 23, 2020.
2. Response Letter prepared by Site Engineering Concepts. LLC , dated November 23, 2020.

**C. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS**

1. §255-27.C(2) – Eagle Road is classified as a major collector with a required 48 foot cartway width. The existing cartway width along the site frontage is 18 feet. A 24-foot half-width cartway is required along the site frontage in accordance with §255-27.C(1). Additional cartway widths may be required by the Board of Commissioners.
2. §255-27.G – As previously stated, Revise the Road A profile to include the following:
  - i. Existing and proposed grades (i.e. 3%)

- ii. Label centerline of Eagle Road
- iii. Label existing and proposed edge of cartway
- 3. §255-27.H(3) – As previously stated, in all districts, no structure, no fence, planting or other structure shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Provide 30-foot clear sight triangles on the landscaping plan per §255, Attachment 255a (Page 1:1).
- 4. §255-28.B – Provide intersection sight distance in accordance with this section. If the applicant is providing sight distance in accordance with other industry and engineering standards, justification is to be provided.
- 5. §255-37.B – The minimum width of all sidewalks and pedestrian paths shall be four feet. We recommend five-foot sidewalks be provided, where possible, in accordance with the latest ADA sidewalk preferred widths. If four-foot sidewalks are provided, 5'x5' passing areas must be provided in accordance with the latest ADA standards.
- 6. §255-37.D –Curb ramps shall be provided at the Road A intersection in accordance with ADA standards. Provide 5-scale details including dimensions, spot elevations and grades in order to verify constructability.
- 7. 255-37.F – As previously stated, provide a detail indicating continuous grade for sidewalk across driveways and a maximum cross slope of 2%. Revise the driveway detail accordingly.

**D. GENERAL TRANSPORTATION COMMENTS:**

- 1. As previously stated, a crosswalk detail is provided but a proposed crosswalk is not shown. Remove the detail if no crosswalk is proposed.
- 2. As previously stated, provide top and bottom of curb elevations along Road A.
- 3. As previously stated, provide a R1-1 STOP sign and W14-2 No Outlet sign at the intersection of Road A and Eagle Road.
- 4. As previously stated, a detail for a porous pavement road section is provided on Sheet 7. Note that the porous pavement should not be used for Road A. Clarify where the porous pavement is proposed (possibly driveways?) and update the label accordingly. Additionally, provide a detail for the pavement section proposed for Road A
- 5. As previously stated, on Sheet 9, revise the concrete pavement detail to refer to **Radnor** Township standards.
- 6. Provide a connection with the sidewalk to south of the site within the existing right-of-way.
- 7. Provide a letter indicating how each comment was addressed.

**From:** [George W. Broseman](#)  
**To:** [Phillips, Roger A.](#); [Kaufman, Patricia L.](#)  
**Cc:** [Stephen F. Norcini P.E. \(snorcini@radnor.org\)](#); [Deborah L. Arbuckle](#); [Robert Lambert P. E. \(rlambert@site-engineers.com\)](#); [Sanders, Dave](#); [Daniel P. Rowley](#)  
**Subject:** Further extension of time thru 4/16/2021 for decision on Eagle Rd preliminary subdivision plan [KS-IMAN\_BB.FID869569]  
**Date:** Monday, March 1, 2021 4:36:33 PM

---

Roger

-  
Following up on our email exchanges regarding the pending 9-lot preliminary subdivision application/plan (collectively "Eagle Rd Preliminary Plan") for the Hamilton Eagle Road property.

We have a recommendation of approval for the preliminary plans from the Township Planning Commission and would like to proceed to the Radnor Board of Commissioners for caucus and a decision. You have indicated a potential schedule could be 3/22/21 for caucus review and a decision on 4/12/2021. In light of the potential schedule you had requested a further extension of time for Radnor Township to render a decision on the Eagle Rd Preliminary Plan.

Please allow this email to confirm that on behalf of the Applicant I hereby grant to Radnor Township a further extension of time to render a decision on the Eagle Rd Preliminary Plan through 4/16/2021.

It may be necessary to provide further extensions on this application as we proceed depending on the issues raised, scheduling, etc., but this seems like a reasonable timeline to work toward at this point.

Please let us know if you need any further information at this time.

Thanks

George Broseman

**George W. Broseman, Esquire**  
**Zoning, Land Use & Development**  
**Real Estate**  
[See My Mobile Business Card](#)

[gbroseman@kaplaw.com](mailto:gbroseman@kaplaw.com)  
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**K/S Main** 610.260.6000  
**Assistant-Sandy Lagan -**  
610.941.2511  
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**Kaplin Stewart**  
**Union Meeting Corporate Center**  
**910 Harvest Drive**  
**P.O. Box 3037**  
**Blue Bell, PA 19422-0765**

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**From:** George W. Broseman <gbroseman@kaplaw.com>

**Sent:** Tuesday, January 5, 2021 12:04 PM

**To:** Steve Norcini <snorcini@radnor.org>; Robert Lambert <rlambert@site-engineers.com>

**Cc:** Phillips, Roger A. <rphillips@GFNET.com>; Kaufman, Patricia L. <pkaufman@gfnet.com>; Patricia Sherwin <psherwin@radnor.org>; Deborah L. Arbuckle <DArbuckle@kaplaw.com>; Daniel P. Rowley <DRowley@kaplaw.com>; D. Charles Houder (dch@haverfordproperties.com) <dch@haverfordproperties.com>

**Subject:** Extension of time thru 3/09/2021 for decision on Eagle Rd preliminary subdivision plan [KS-IMAN\_BB.FID869569]

Steve

-

In light of the Township's cancellation of the 01/05/2021 Radnor Twp Planning Commission meeting where the Eagle Road preliminary subdivision plan was to be reviewed you had requested a further extension of time for Radnor Township to render a decision on the pending 9-lot preliminary subdivision application/plan (collectively "Eagle Rd Preliminary Plan").

It seems reasonable to think that we could get to the Planning Commission in January or on Feb 1<sup>st</sup>. This would allow time for two Bd of Commissioner mtgs in February following the PC mtg. There is another Bd of Commissioners mtg on 3/08/21. Accordingly, please allow this email to confirm that on behalf of the Applicant I hereby grant to Radnor Township a further extension of time to render a decision on the Eagle Rd Preliminary Plan through 3/09/2021.

It may be necessary to provide further extensions on this application as we proceed depending on the issues raised, scheduling, etc., but this seems like a reasonable timeline to work toward at this point.

Please let us know the new Planning Commission date. If another round of notices have to be sent out for any reason I would ask that a new mailing list be prepared just for the Eagle Rd Preliminary Plan rather than conglomerating the mailing list with the Strafford Avenue Conditional Use application, which involves a different property and a different set of applications.

Please let us know if you need any further information at this time.

Thanks

George Broseman

**George W. Broseman, Esquire**  
**Zoning, Land Use & Development**  
**Real Estate**

[See My Mobile Business Card](#)

[gbroseman@kaplaw.com](mailto:gbroseman@kaplaw.com)

direct dial 610.941.2459

mobile 215.565.6448

K/S Main 610.260.6000

Assistant-Sandy Lagan -

610.941.2511

[slagan@kaplaw.com](mailto:slagan@kaplaw.com)

**Kaplin Stewart**  
**Union Meeting Corporate Center**  
**910 Harvest Drive**  
**P.O. Box 3037**  
**Blue Bell, PA 19422-0765**

Please visit our new website at [www.kaplaw.com](http://www.kaplaw.com)

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**From:** Steve Norcini <[snorcini@radnor.org](mailto:snorcini@radnor.org)>

**Sent:** Monday, January 4, 2021 8:27 PM

**To:** Robert Lambert <[rlambert@site-engineers.com](mailto:rlambert@site-engineers.com)>; George W. Broseman <[gbroseman@kaplaw.com](mailto:gbroseman@kaplaw.com)>

**Cc:** Phillips, Roger A. <[rphillips@GFNET.com](mailto:rphillips@GFNET.com)>; Kaufman, Patricia L. <[pkaufman@gfnet.com](mailto:pkaufman@gfnet.com)>; Patricia Sherwin <[psherwin@radnor.org](mailto:psherwin@radnor.org)>

**Subject:** RE: 1/5 PC meeting cancelled

Hello Rob & George,

It seems you extended us to 1/31/2021. We will need a further extension. Depending on how PC goes (date TBD), there is only one BOC meeting left in January for caucus. If the project hits all the marks, we will need until at late April (PC for preliminary, 2 BOC meetings for preliminary, PC for final, 2 BOC meetings for final).

Please provide an extension to that effect.

Thank you

Stephen F. Norcini, PE  
Township Engineer  
Radnor Township  
610-688-5600 X130

---

**From:** Lambert, Rob <[rlambert@site-engineers.com](mailto:rlambert@site-engineers.com)>

**Sent:** Monday, January 4, 2021 8:18 PM

**To:** Steve Norcini <[snorcini@radnor.org](mailto:snorcini@radnor.org)>

**Subject:** Re: 1/5 PC meeting cancelled

Thanks Steve

Rob Lambert

On Mon, Jan 4, 2021, 8:15 PM Steve Norcini <[snorcini@radnor.org](mailto:snorcini@radnor.org)> wrote:

Good evening,

Due to internet outages in the Township, the Commissioners adjourned their meeting and will reconvene tomorrow night. We will be rescheduling the PC meeting. Once a date is determined, we will reach out to you. Depending on the new date, we may be requesting an extension letter.

Thank you

Stephen F. Norcini, PE  
Township Engineer  
Radnor Township  
610-688-5600 X130

The information in this email, and any attachments, may contain confidential information. Use and further disclosure must be consistent with applicable laws. However, if you believe you've received this email in error, delete it immediately and do not use, disclose or store the information it contains

# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

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November 23, 2020

Roger Phillips, PE  
Radnor Township Engineer  
Gannett Fleming  
Valley Forge Corporate Center  
1010 Adams Avenue  
Audubon, PA 19403-2402

**Re: Eagle Road Subdivision-Hamilton  
Preliminary Plan Review  
Township Engineer comments**

Dear Mr. Philips:

Per our conference call please find attached pdf copies of the plan set for the above referenced Land Development. We have revised the plans to address your letter dated November 5, 2020: (*Comment*, response):

*Sevage Facilities Planning*

- 1. Final plan approval will not be granted until Planning Approval or a Planning Exemption notification is received from the PA DEP.*

Acknowledged. Application for Planning Modules was submitted to PA DEP.

*Zoning*

- 1. A breakdown of how the building coverage and impervious coverages were calculated in the zoning table must be provided. A maximum square footage should also be provided. Additionally, an impervious breakdown for the entire site must be provided.*

An additional impervious coverage chart was added including a breakdown per lot and maximum allowed.

- 2. The applicant should confirm the minimum lot width at the building setback lines for Lot 1 and Lot 2.*

The lot width for Lot 1 and 2 are updated.

3. *§280-105.E. – All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional or residential district, and in every district all such lighting shall be arranged as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The lighting plans must be revised to include the glare shielding device.*

Acknowledged. The Lighting Plans will be revised at Final Plan.

4. *§280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.*

Steep Slopes are now shown on sheet 2.

#### Subdivision and Land Development

1. *§255-20-A(3) – Each sheet shall be numbered and shall show its relationship to the total number of sheets. The Landscape Plans must be revised to be incorporated into the plan set.*

The Landscape plans re updated to include sheet numbers.

2. *§255-20-B(1)(e)[5] – The site plan must show the size of the units (in bedrooms), if known.*

Acknowledged. The applicant does not know at this time. Information will be provided prior to Final Plan.

3. *§255-20-B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. This must be shown or a waiver requested.*

Acknowledged. This will be provided prior to Final Plan.

4. *§255-20-B(1)(o)[9] – All fire hydrants must be shown on the site plan.*

Fire hydrants are now shown on the plans.

5. *§255.27.C(4) – When a subdivision abuts or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Eagle Road is a Major Collector. The right-of-way requirement is by code is 80 feet and the cartway width is 48 feet. The applicant has indicated on the plans that they are providing an additional 10 feet of right of way on their frontage which would be the equivalent of a 60 foot right of way.*

The additional 10 feet of right of way is added to the frontage along Eagle Road.

6. *§255.27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. This must be shown on the plans.*

The radii at the proposed street intersection is increased 25' and listed on the plan.

7. *§255.27.I(3) – Private driveways where provided shall be located not less than 40 feet from the intersection and shall provide access to the street of lower classification when a corner lot is bound by streets of two different classifications. The driveway for Lot #9 does not conform to this requirement.*

The private driveway on lot #9 is revised to be not less than 40' to the intersection.

8. *§255.37.B – The minimum width of all sidewalks and pedestrian paths shall be four feet. This must be dimensioned on the plans.*

The sidewalks are labeled on the plan.

9. *§255.37.K – Sidewalks shall be required in developments where lot areas are 20,000 square feet or less. The applicant should consider extending the sidewalk easterly along the culs- de-sac towards Eagle Road.*

At this time the applicant is not proposing sidewalk on the eastern side since there are no proposed lots on that side.

10. *§255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience.*

Acknowledged.

11. *§255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/ land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).*

Acknowledged.

12. *§255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.*

Acknowledged.

Stormwater

1. *§245-13.B(22) – Please revise the plans to include a statement, signed by the applicant, acknowledging that any revision to the approved drainage plan must be approved by the municipality, and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.*

Statement added to Sheet 4.

2. *§245-13.B(23) – Please revise the plans to include the following signature block for the design engineer:*

*"I, (Design Engineer), on this date (date of signature), hereby certify that the drainage plan meets all design standards and criteria of the Radnor Township Stormwater Management Ordinance."*

Statement added to Sheet 4.

3. *§245-32.B(4) – Please revise the plans to include a statement, signed by the landowner, acknowledging that the stormwater controls and BMPs are fixtures that can be altered or removed only after approval by the municipality.*

Statement added to Sheet 4.

4. *The stormwater report narrative claims 19 subsurface infiltration beds are proposed but the plans indicate 18. Please revise this inconsistency.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

5. *The plans propose infiltration beds of various sizes but the Infiltration Bed Volumes-POI A table in the stormwater report appears to indicate a standard infiltration bed size for each front lot and rear lot system. Please provide dimensional data for each infiltration bed that is consistent with the plans.*
  - a. *Please update the infiltration volumes provided in the 2 Year Storm Volume Calculation-POI A, as necessary.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 6. Please revise the hydrograph report to include the summaries of the proposed infiltration beds so the dimensional and elevation data used in the stormwater design can be reviewed.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 7. The post-developed flow rates found in the Rate Table-POI A are inconsistent with those found in the hydrographs. Please revise the calculations to correct these inconsistencies. The post-developed flow should be modeled by routing the design storms through the stormwater systems.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 8. The drainage areas used in the hydrograph report are inconsistent with those found on the Post-Developed Drainage Area Plan. The hydrograph report appears to utilize 2 post-developed drainage areas but the drainage area plans delineate 18 drainage areas of varying sizes. Please revise these inconsistencies. The stormwater calculations should reflect what is proposed.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 9. Please revise the drainage area maps in the stormwater report to include scales.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 10. It appears that some of the proposed drainage areas indicate runoff to be captured that will actually bypass a given system. Please revise the Post-Developed Drainage Area Plan to accurately reflect the runoff that will be collected by each proposed stormwater BMP.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 11. Please update the plans to show dimensional data for each proposed infiltration bed including bottom of bed elevations and outlet invert elevations.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

- 12. It appears that infiltration beds 1B and 2B are proposed in locations that had failed infiltration tests. Please revise the design so infiltration is not proposed in locations of failed infiltration tests.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

13. *§245-22.A(1)(c) – Please provide calculations to show that all stormwater BMPs proposing infiltration can fully infiltrate the retention volume in 96 hours.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

14. *Please provide calculations to show how the §245-23 Water Quality requirements are met.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

15. *Please provide calculations to show how the §245-27.F requirements are met.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

16. *Please provide stormwater piping profiles including all crossing utilities.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

17. *Please provide an overflow outlet structure for the proposed stormwater systems.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

18. *Please revise the stormwater report to include a soil inventory report of the project site that details the soil types and boundaries.*

Acknowledged, detailed stormwater management comments will be addressed prior to Final Approval.

19. *Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at this time.*

Acknowledged.

#### Sanitary Sewer

1. *The sanitary sewer easement for the existing sewer must be shown on the drawings.*

The Title report received for the property did not list an easement for the sanitary sewer. The applicant will verify this information prior to Final approval.

Roger Phillips, PE  
Radnor Township  
Eagle Road Subdivision  
November 23, 2020  
Page 7 of 7

2. *There shall be no plantings in the existing or proposed sanitary sewer easements.*

Acknowledged, the Landscape plans will be revised prior to final approval.

3. *The foundations for the houses on Lot #1 and Lot #2 appear to be less than 10 feet from the existing sanitary sewer main. The applicant must consider relocating the existing sanitary sewer main.*

The existing sanitary sewer line that is located in Lots 1 and 2 is now relocated to be in the proposed road.

4. *The Radnor Township frame and cover detail must be added to the plan. We have attached a copy for your use.*

The detail is added to sheet 9

General

5. *It must be noted who the owner of the cul-de-sac will be (Public or Private). Who will be the owner of the property along the easterly side of the cul-de-sac? It must be noted who the owner of the*

Acknowledged, the applicant will discuss with the township and make a decision prior to Final approval.

6. *The applicant must appear before the Shade Tree Commission and gain approval prior to this plan being presented to the Board or Commissioners.*

Acknowledged.

7. *The attached tree protection detail from Rockwell and Associates must be added to the plan.*

The tree protection detail is updated on sheet 9.

I believe these comments satisfactorily address the requirements. Should you have any questions and/or comments, please feel free to contact me.

Sincerely,



David J. Sanders, P.E.



## DELAWARE COUNTY PLANNING DEPARTMENT

1055 E. Baltimore Pike – Suite 100  
Media, PA 19063

Phone: (610) 891-5200

Email: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

### COUNCIL

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DR. MONICA TAYLOR  
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ELAINE PAUL SCHAEFER  
CHRISTINE A. REUTHER

November 20, 2020

LINDA F. HILL  
DIRECTOR

Mr. William White  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Name of Dev't: Hamilton Trust - Eagle Road  
DCPD File No.: 34-5152-01-20  
Developer: Trustees of the Dorrance Hamilton Trust  
Location: North side of Eagle Road, approximately  
300' east of Strafford Avenue  
Recv'd in DCPD: October 14, 2020

Dear Mr. White:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on November 19, 2020, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

A handwritten signature in blue ink that reads "Linda F. Hill" with a stylized flourish at the end.

Linda F. Hill  
Director

cc: Trustees of the Dorrance Hamilton Trust  
SITE Engineering Concepts, LLC



1055 E. Baltimore Pike  
Media, PA 19063  
Phone: (610) 891-5200  
Email: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

Date: November 19, 2020  
File No.: 34-5152-01-20

PLAN TITLE: Hamilton Trust - Eagle Road

DATE OF PLAN: August 27, 2020

OWNER OR AGENT: Trustees of the Dorrance Hamilton Trust

LOCATION: North side of Eagle Road, approximately 300' east of Strafford Avenue

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Preliminary subdivision and land development

ZONING DISTRICT: R-4

SUBDIVISION ORDINANCE: Local

PROPOSAL: Subdivision: Subdivide 3.750 acres into nine lots  
  
Land development: Develop nine single-family detached dwellings and a cul-de-sac street

UTILITIES: Public

RECOMMENDATIONS: Subdivision: Proceed to final plan submission, contingent on addressing staff comments  
  
Land development: Proceed to final plan submission, contingent on addressing staff comments



Date: November 19, 2020  
File No.: 34-5152-01-20

STAFF REVIEW BY: Michael A. Leventry

REMARKS:

**PREVIOUS ACTION**

A plan for the site was last reviewed by the Delaware County Planning Commission at its meeting on September 20, 2001, as a subdivision. The applicant proposed to consolidate two parcels as well as convey a portion of property to a neighboring residence. The Planning Commission recommended approval.

**CURRENT PROPOSAL**

The applicant proposes to subdivide one parcel into nine for development of nine single-family detached dwellings. Said dwellings are proposed to have access via a new cul-de-sac street.

**SITE CHARACTERISTICS**

The site is bounded by neighborhoods comprised of single-family detached dwellings. The proposed cul-de-sac street will tie to Eagle Road, a major collector.

**APPLICABLE ZONING**

The proposal is located within the R-4 district and is subject to applicable regulations set forth by the Municipal zoning code.

**COMPLIANCE**

The proposal appears to comply with the R-4 district provisions.

Date: November 19, 2020  
File No.: 34-5152-01-20

REMARKS (continued):

**STREET OWNERSHIP, RIGHT-OF-WAY, STORMWATER SYSTEM**

The applicant should specify if the cul-de-sac street shown is to be privately owned/maintained or if it is to be dedicated to the Township. In the event dedication is proposed, a developer agreement should be drafted prior to final plan approval and it is suggested that said agreement warrant the street from defects for a minimum of one year.

The strip of right-of-way shown on the western side of the street is wider than the standard requirement. The Township should consider who will maintain this extra width of right-of-way in the event the street is dedicated. Consideration should be given to installing 5 parallel overflow parking spaces on the east side of the street within the wider portion of right-of-way.

The stormwater management system shown serving the street has infiltration beds located within the front yards of the proposed lots. The maintenance responsibility of these stormwater management features is not clear and must be clarified.

If any portion of infrastructure is to be maintained by a homeowner's association, the applicant should provide the related association by-law documentation for review by the Township to ensure long-term maintenance viability.

A clear site triangle should be shown on the plan where the cul-de-sac is proposed to enter onto Eagle Road.

**HIGHWAY OCCUPANCY PERMIT**

In accordance with Section 508(6) of the Pennsylvania Municipalities Planning Code, the plan will need a highway occupancy permit for access onto Eagle Road (S.R. 1042).

Date: November 19, 2020  
File No.: 34-5152-01-20

REMARKS (continued):

**LOT 9 DRIVEWAY**

Per Section 255-27.I(3), Lot 9's driveway cannot be located within 40' of the Road A/Eagle Road intersection.

**LOT DESIGN**

Proposed Lot 5 is long and irregular with a 272' appendage that is awkward and will very likely pose long-term maintenance issues for the landowner. It is highly recommended that the applicant consider conveying said appendage to one (or portions to both) of the abutting landowners on Strafford Avenue.

**SIDEWALK SYSTEM**

The proposed sidewalk will not connect to the existing system to the south. A small gap of less than 10' is shown on the neighboring property. It is recommended that the applicant, Township, and neighboring landowner find a solution to close said gap.

**SEWAGE FACILITIES**

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Municipality should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

**STORMWATER MANAGEMENT**

The Municipal Engineer must verify the adequacy of all proposed stormwater management facilities.

Date: November 19, 2020  
File No.: 34-5152-01-20

REMARKS (continued):

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



DELAWARE COUNTY PLANNING DEPARTMENT

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CHRISTINE A. REUTHER

LINDA F. HILL  
DIRECTOR

October 29, 2020

Mr. William White  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

**RE: Title:** Hamilton Trust - Eagle Road  
**Applicant(s):** Trustees of the Dorrance Hamilton Trust  
**File Number:** 34-5152-01-20  
**Meeting Date:** 11/19/2020  
**Municipality:** Radnor Township  
**Location:** North side of Eagle Road, approximately 300' east of Stafford Avenue  
**Received:** 10/14/2020

Dear Mr. White,

This is to acknowledge receipt of the above referenced application for review and report. The Commission has tentatively scheduled consideration of the application for its public meeting on the date shown above at 4:00 p.m. This meeting will be held online and available for public and applicant participation. For instructions to access the meeting, email [giftp@co.delaware.pa.us](mailto:giftp@co.delaware.pa.us) Participation is not required but is welcomed.

NOTE: In order to avoid processing delays, the DCPD file number shown above MUST be provided in any transactions with the county regarding this or future applications related to this location.

Very truly yours,

Michael A. Leventry  
Manager, Plan and Ordinance Review

cc: Trustees of the Dorrance Hamilton Trust  
SITE Engineering Concepts, LLC





*Excellence Delivered **As Promised***

**Date:** November 5, 2020

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Mary Eberle, Esq. – Grim, Biehn, and Thatcher  
Damon Drummond, PE – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department

**RE:** Eagle Road Subdivision – Preliminary Land Development

Date Accepted: 10/06/2020

90 Day Review: 01/04/2021

---

Gannett Fleming, Inc. has completed a review of the Preliminary Land Development Plans for compliance with the Radnor Township Code. The Plans were also reviewed for conformance with Subdivision and Land Development, Zoning and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the property into nine lots and construct nine single-family homes. This project is located within the R-4 zoning district of the Township.

Eagle Road Subdivision

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 08/27/2020

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval or a Planning Exemption notification is received from the PA DEP.

Zoning

1. A breakdown of how the building coverage and impervious coverages were calculated in the zoning table must be provided. A maximum square footage should also be provided. Additionally, an impervious breakdown for the entire site must be provided.

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com

2. The applicant should confirm the minimum lot width at the building setback lines for Lot 1 and Lot 2.
3. §280-105.E. – All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional or residential district, and in every district all such lighting shall be arranged as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The lighting plans must be revised to include the glare shielding device.
4. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.

#### Subdivision and Land Development

1. §255-20-A(3) – Each sheet shall be numbered and shall show its relationship to the total number of sheets. The Landscape Plans must be revised to be incorporated into the plan set.
2. §255-20-B(1)(e)[5] – The site plan must show the size of the units (in bedrooms), if known.
3. §255-20-B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. This must be shown or a waiver requested.
4. §255-20-B(1)(o)[9] – All fire hydrants must be shown on the site plan.
5. §255.27.C(4) – When a subdivision abuts or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Eagle Road is a Major Collector. The right-of-way requirement is by code is 80 feet and the cartway width is 48 feet. The applicant has indicated on the plans that they are providing an additional 10 feet of right of way on their frontage which would be the equivalent of a 60 foot right of way.

6. §255.27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. This must be shown on the plans.
7. §255.27.I(3) – Private driveways where provided shall be located not less than 40 feet from the intersection and shall provide access to the street of lower classification when a corner lot is bound by streets of two different classifications. The driveway for Lot #9 does not conform to this requirement.
8. §255.37.B – The minimum width of all sidewalks and pedestrian paths shall be four feet. This must be dimensioned on the plans.
9. §255.37.K – Sidewalks shall be required in developments where lot areas are 20,000 square feet or less. The applicant should consider extending the sidewalk easterly along the cul-de-sac towards Eagle Road.
10. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience.
11. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet of suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
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Stormwater

1. §245-13.B(22) – Please revise the plans to include a statement, signed by the applicant, acknowledging that any revision to the approved drainage plan must be approved by the municipality, and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.
2. §245-13.B(23) – Please revise the plans to include the following signature block for the design engineer:

"I, (Design Engineer), on this date (date of signature), hereby certify that the drainage plan meets all design standards and criteria of the Radnor Township Stormwater Management Ordinance."

3. §245-32.B(4) – Please revise the plans to include a statement, signed by the landowner, acknowledging that the stormwater controls and BMPs are fixtures that can be altered or removed only after approval by the municipality.
4. The stormwater report narrative claims 19 subsurface infiltration beds are proposed but the plans indicate 18. Please revise this inconsistency.
5. The plans propose infiltration beds of various sizes but the Infiltration Bed Volumes-POI A table in the stormwater report appears to indicate a standard infiltration bed size for each front lot and rear lot system. Please provide dimensional data for each infiltration bed that is consistent with the plans.
  - a. Please update the infiltration volumes provided in the 2 Year Storm Volume Calculation-POI A, as necessary.
6. Please revise the hydrograph report to include the summaries of the proposed infiltration beds so the dimensional and elevation data used in the stormwater design can be reviewed.
7. The post-developed flow rates found in the Rate Table-POI A are inconsistent with those found in the hydrographs. Please revise the calculations to correct these inconsistencies. The post-developed flow should be modeled by routing the design storms through the stormwater systems.
8. The drainage areas used in the hydrograph report are inconsistent with those found on the Post-Developed Drainage Area Plan. The hydrograph report appears to utilize 2 post-developed drainage areas but the drainage area plans delineate 18 drainage areas of varying sizes. Please revise these inconsistencies. The stormwater calculations should reflect what is proposed.
9. Please revise the drainage area maps in the stormwater report to include scales.
10. It appears that some of the proposed drainage areas indicate runoff to be captured that will actually bypass a given system. Please revise the Post-Developed Drainage Area Plan to accurately reflect the runoff that will be collected by each proposed stormwater BMP.
11. Please update the plans to show dimensional data for each proposed infiltration bed including bottom of bed elevations and outlet invert elevations.

12. It appears that infiltration beds 1B and 2B are proposed in locations that had failed infiltration tests. Please revise the design so infiltration is not proposed in locations of failed infiltration tests.
13. §245-22.A(1)(c) – Please provide calculations to show that all stormwater BMPs proposing infiltration can fully infiltrate the retention volume in 96 hours.
14. Please provide calculations to show how the §245-23 Water Quality requirements are met.
15. Please provide calculations to show how the §245-27.F requirements are met.
16. Please provide stormwater piping profiles including all crossing utilities.
17. Please provide an overflow outlet structure for the proposed stormwater systems.
18. Please revise the stormwater report to include a soil inventory report of the project site that details the soil types and boundaries.
19. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at this time.

#### Sanitary Sewer

1. The sanitary sewer easement for the existing sewer must be shown on the drawings.
2. There shall be no plantings in the existing or proposed sanitary sewer easements.
3. The foundations for the houses on Lot #1 and Lot #2 appear to be less than 10 feet from the existing sanitary sewer main. The applicant must consider relocating the existing sanitary sewer main.
4. The Radnor Township frame and cover detail must be added to the plan. We have attached a copy for your use.

General

5. It must be noted who the owner of the cul-de-sac will be (Public or Private). Who will be the owner of the property along the easterly side of the cul-de-sac? It must be noted who the owner of the
6. The applicant must appear before the Shade Tree Commission and gain approval prior to this plan being presented to the Board or Commissioners.
7. The attached tree protection detail from Rockwell and Associates must be added to the plan.

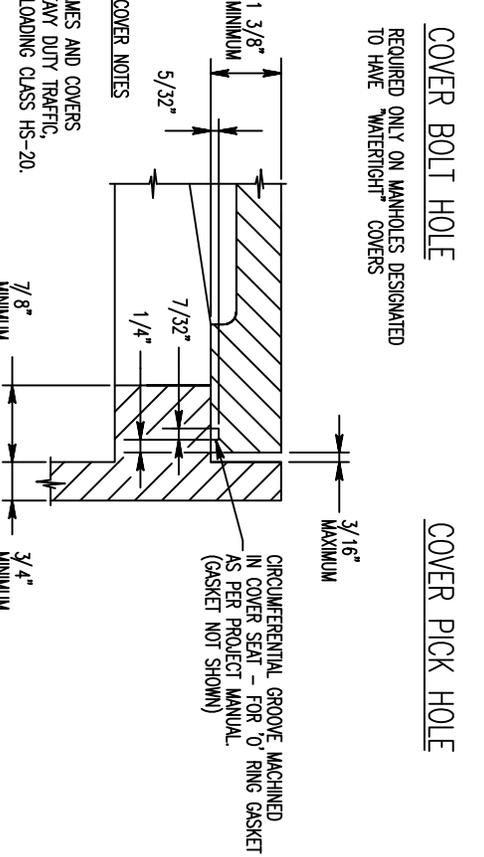
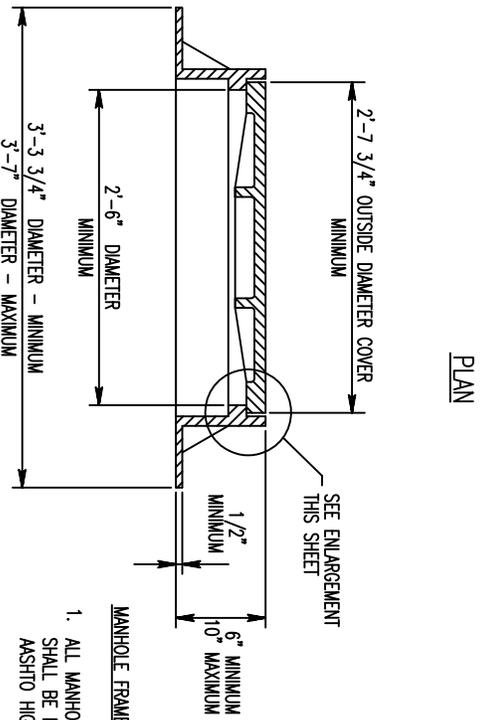
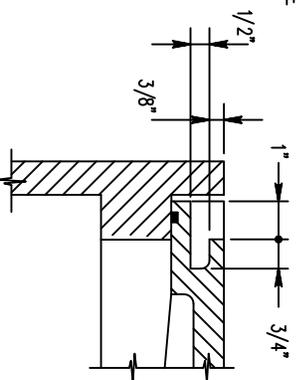
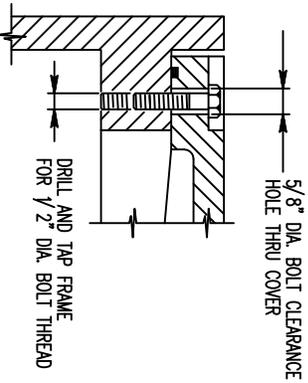
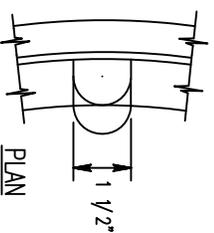
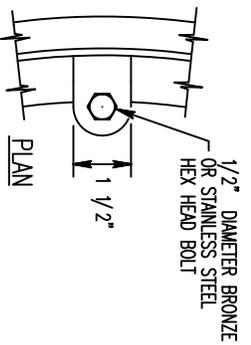
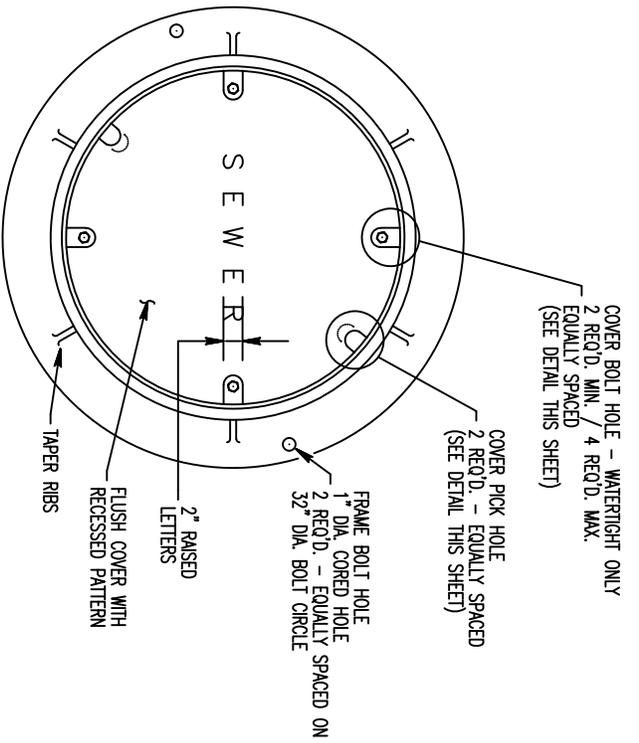
If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in blue ink, appearing to be 'R. Phillips', with a large, stylized initial 'R' and a horizontal line extending to the right.

Roger A. Phillips, P.E.  
Senior Project Manager

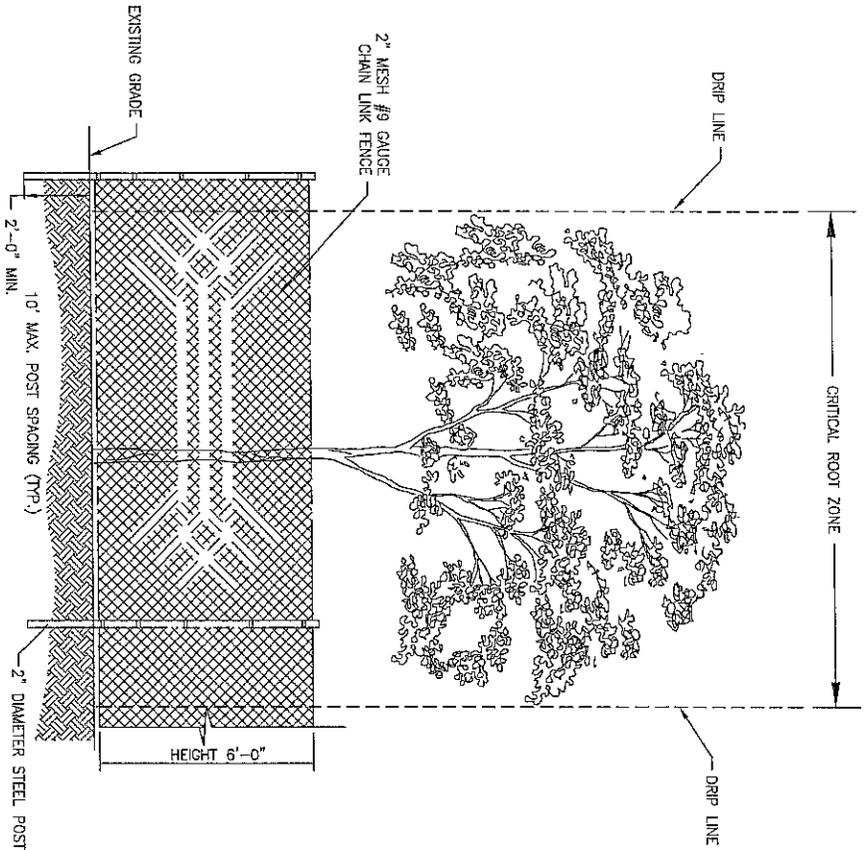


SECTIONAL ELEVATION

STANDARD AND WATERTIGHT

MANHOLE FRAME AND COVER



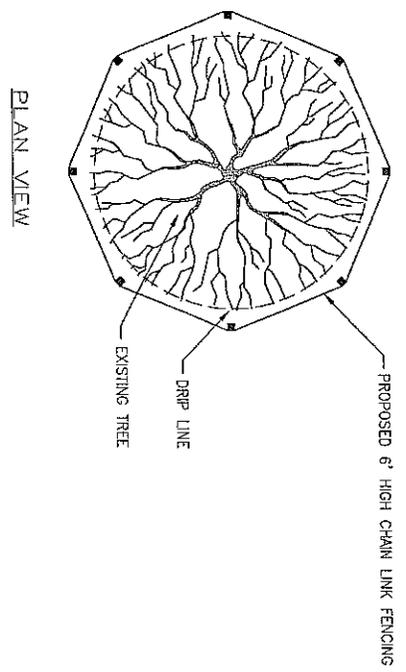


- DO NOT:
- A. Allow run off of spillage of damaging materials into the area below any tree canopy;
  - B. Store materials, stockpile soil, or park, or drive vehicles within the TPZ;
  - C. Cut, break, skin, or bruise roots, branches, or trunks without first obtaining authorization from the Consulting Arborist;
  - D. Allow fires under and adjacent to trees;
  - E. Discharge exhaust into foliage;
  - F. Secure cables, chains, or rope to trees or shrubs;
  - G. Trench, dig, or otherwise excavate within the drip line or TPZ of the tree(s) without first obtaining authorization from the Consulting Arborist;
  - H. Apply soil sterilants under pavement near existing trees.

**TREE PROTECTION DETAIL**  
NO SCALE

**TREE PROTECTION SPECIFICATIONS**

- I. A 4" layer of coarse mulch or woodchips is to be placed beneath the drip line of the protected trees. Mulch is to be kept 12" from the trunk.
- II. A protective barrier of 6" chain link fencing shall be installed around the drip line of protected tree(s). The fencing can be moved within the drip line if authorized by the Consulting Arborist but not closer than 2" from the trunk of any tree. Fence posts shall be 20" in diameter and are to be driven 2" into the ground. The distance between posts shall not be more than 10'. This enclosed area is the Tree Protection Zone (TPZ).
- III. Movable barriers of chain link fencing secured to cement blocks can be substituted for "fixed" fencing if the Consulting Arborist agrees that the fencing will have to be moved to accommodate certain phases of construction. The builder may not move the fence without authorization from the Consulting Arborist.
- IV. Where the Consulting Arborist has determined that tree protection fencing will interfere with the safety of work crews, Tree Wrap may be used as an alternative form of tree protection. Wooden slats at least one inch thick are to be bound securely, edge to edge, around the trunk. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the outside of the wooden slats. Major scaffold limbs may require protection as determined by the Consulting Arborist. Straw waddle may also be used as a trunk wrap by calling the waddle around the trunk up to a minimum height of six feet from grade. A single layer or more of orange plastic construction fencing is to be wrapped and secured around the straw waddle.



**ROCKWELL**  
ASSOCIATES, LLC  
Arboriculture ♦ Urban Forestry ♦ Horticulture  
Consulting ♦ Planning ♦ Management

P.O. Box 542, Ridley Park, PA 19078  
Phone (610) 731-7969  
Fax (610) 521-0108  
lhtrees@verizon.net  
www.rockwellconsultants.com



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

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**Date:** October 23, 2020  
**To:** Steve Norcini, P.E.  
**From:** Damon Drummond, P.E., PTOE  
**cc:** Leslie Salsbury, P.E.  
**Reference:** Hamilton Properties  
Preliminary Land Development  
Radnor Township, Delaware County  
Transportation Review 1  
  
G&A #20-10016

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Our transportation department has completed a review for the Preliminary Subdivision and Land Development plans prepared for Hamilton Properties. We offer the following comments for your consideration:

**A. PROJECT DESCRIPTION**

The Applicant, Hamilton Properties, is proposing to subdivide the property into 9 building lots and construct a single-family detached dwelling and related improvements on each lot.

**B. DOCUMENTS REVIEWED**

1. Preliminary/Final Subdivision and Land Development Plans prepared by Site Engineering Concepts, LLC, prepared for Hamilton Properties, consisting of 14 sheets and dated August 27, 2020.
2. Traffic Impact Assessment prepared by F. Tavani and Associates, Inc., dated August 25, 2020.
3. Cover Letter prepared for Radnor Township, prepared by Kaplin Stewart Meloff Reiter & Stein, PC, dated September 24, 2020.
4. Subdivision and Land Development Application.

**C. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS**

1. §255-27.B(3)(c) & 255-27.C(1) – Eagle Road is classified as a major collector with a required right-of-way of 80 feet and a 48 foot cartway width. The existing cartway width along the site frontage is 18 feet with a 40-foot right-of-way width. The Applicant is

- proposing a 30-foot right-of-way half-width. A 40-foot half-width right-of-way and a 24-foot half-width cartway is required along the site frontage.
2. §255-27.G – Revise the Road A profile to include the following:
    - i. Existing and proposed grades
    - ii. Label centerline of Eagle Road
    - iii. Label existing and proposed edge of cartway
  3. §255-27.H(3) – In all districts, no fence, planting or other structure shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Provide 30-foot clear sight triangle on the landscaping plan per §255, Attachment 255a (Page 1:1).
  4. §255.27.H(6) – The minimum curb radii at street intersections shall be 25 feet for local streets. Revise the plans to comply with this section and to clearly label the proposed curb radii.
  5. §255-28.B – Provide the available and required sight distance on the plan.
  6. §255-37.B – The minimum width of all sidewalks and pedestrian paths shall be four feet. We recommend five-foot sidewalks be provided, where possible. Revise the plans to clearly label the width of the proposed sidewalks.
  7. §255-37.F – Provide a detail indicating continuous grade for sidewalk across driveways and a maximum cross slope of 2%. Revise the driveway detail accordingly.
  8. 255-96.D – Curb ramps shall be provided at the Road A intersection in accordance with ADA standards. Provide 5-scale details including dimensions, spot elevations and grades in order to verify constructability.

**D. TRAFFIC IMPACT ASSESSMENT COMMENTS:**

1. The Traffic Impact Study was conducted following acceptable standards. There are very minor technical analysis input discrepancies which will not impact the overall conclusions. We find the Traffic Impact study acceptable.

**E. GENERAL TRANSPORTATION COMMENTS:**

1. A crosswalk detail is provided but a proposed crosswalk is not shown. Remove the detail if no crosswalk is proposed.
2. Provide top and bottom of curb elevations along Road A.
3. Provide a R1-1 STOP sign and W14-2 No Outlet sign at the intersection of Road A and Eagle Road.
4. A detail for a porous pavement road section is provided on Sheet 7. Note that the porous pavement should not be used for Road A. Clarify where the porous pavement is proposed (possibly driveways?) and update the label accordingly. Additionally, provide a detail for the pavement section proposed for Road A
5. On Sheet 8, revise the concrete pavement detail to refer to **Radnor** Township standards.

**George W. Broseman**  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: [gbroseman@kaplaw.com](mailto:gbroseman@kaplaw.com)  
[www.kaplaw.com](http://www.kaplaw.com)

September 24, 2020

**VIA FIRST CLASS MAIL AND EMAIL**

Stephen Norcini  
Township Engineer  
Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087

**RE: Dorrance Hamilton Estate – Eagle Road Subdivision – Radnor Township  
Preliminary Subdivision & Land Development Application  
Our Reference: 15709.1**

Dear Mr. Norcini:

I represent the Trustees of the Dorrance Hamilton 3/15/1996 Revocable Agreement of Trust (“**Applicant**”), the owner of the property at Folio No. 36-01-00541-01 located along Eagle Road in Radnor Township (“**Property**”). The Applicant is proposing to subdivide the Property into nine (9) building lots and construct a single-family detached dwelling and related improvements on each lot as generally shown on the plans included with this letter (“**Project**”). On behalf of the Applicant, I am filing electronic copies of the following:

1. Eighteen (18) copies of the Preliminary Land Development application;
2. Eighteen (18) copies of the Delaware County Planning Commission review application;
3. Eighteen (18) copies of the plan set entitled “Eagle Road Subdivision Preliminary Subdivision and Land Development Plan Set,” prepared by SITE Engineering Concepts, LLC, dated August 27, 2020;
4. Six (6) copies of a stormwater management report titled “Post Construction Stormwater Management Analysis,” prepared by SITE Engineering Concepts, LLC, dated August 27, 2020;

5. Eighteen (18) copies of a title report that includes the Property known as Folio #36-01-00541-01, together with attachments. It is noted that the title report also pertains to other lands owned by Applicant that are not part of this Application. The Property is identified as "Premises C" in the title report. The title report contains the deed for the Property;
6. Eighteen (18) copies of the narrative for the sewer planning module for the Project, dated August 24, 2020, prepared by HILBEC Engineering & Geosciences, LLC;
7. Eighteen (18) copies of a traffic impact study prepared by F. Tavani & Associates, dated August 25, 2020;
8. Eighteen (18) copies of a copy of a letter from Aqua Pennsylvania, Inc. to SITE Engineering Concepts, LLC, dated March 25, 2020, regarding the availability of public water for the Project;
9. An electronic copy of all submitted materials;
10. Two (2) hardcopy checks to be mailed to the Township and an electronic photo of the following:
  - a. A \$50.00 check made payable to the Township of Radnor, the applicable Preliminary Land Development application fee;
  - b. A \$16,950.00 check made payable to the Township of Radnor, the applicable Professional Services Account fee.

Please submit the applications and plans to the appropriate Township staff, consultants and bodies for review, and public meetings. Please provide us with copies of all reviews, communications, notices and other documentation relating to these applications, or related to the Property, as soon as they are generated and/or received.

If you have any questions or require any further information, please contact me. Thank you for your attention to this matter.

Sincerely,



George W. Broseman

GWB:DPR

Stephen Norcini  
September 24, 2020  
Page 3

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Enclosures

cc via email: Haverford Properties, Inc.  
SITE Engineering Concepts, LLC

RADNOR TOWNSHIP  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property Eagle Road - Parcel ID #36-01-00541-01

Zoning District R-4 Residential District Application No. \_\_\_\_\_  
(Twp. Use)

Fee \$5,025.00 Ward No. 1 Is property in HARB District No

Applicant: (Choose one) Owner X Equitable Owner \_\_\_\_\_

Name Trustees of the Dorrance H. Hamilton 3/15/96 Revocable Agreement of Trust

Address c/o George W. Broseman, Esq., 910 Harvest Dr., P.O. Box 3037,  
Blue Bell, PA 19422

Telephone 610-941-2459 Fax 610-684-2005 Cell N/A

Email gbroseman@kaplaw.com

Designer: (Choose one) Engineer X Surveyor \_\_\_\_\_

Name SITE Engineering Concepts, LLC

Address P.O. Box 1992, Southeastern, PA 19399

Telephone 610-240-0450 Fax 610-240-0451

Email rlambert@site-engineers.com

Area of property 3.75 acres (+/-) Area of disturbance 3 acres (+/-)

Number of proposed buildings 9 Proposed use of property Single-Family Residential

Number of proposed lots 9

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary X Final \_\_\_\_\_ Revised \_\_\_\_\_

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

N/A

Are there any infringements of Chapter 280 (Zoning), and if so what and why?

N/A

Individual/Corporation/Partnership Name

Trustees of Dorrance H. Hamilton 3/15/96 Revocable Agreement of Trust

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature

George W. Broseman

Print Name George W. Broseman - Attorney for Applicant

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Trustees of the Dorrance Hamilton

Name 3/15/96 Revocable Agreement of Trust E-mail gbroseman@kaplaw.com

c/o George W. Broseman, Esquire, 910 Harvest Drive,

Address P.O. Box 3037, Blue Bell, PA 19422 Phone 610-941-2459

Name of Development Hamilton Trust Property/Eagle Road

Municipality Radnor Township

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm SITE Engineering Concepts, LLC Phone 610-240-0450

Address P.O. Box 1992, Southeastern, PA 19399

Contact Robert Lambert, P.E. E-mail rlambert@site-engineers.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input checked="" type="checkbox"/> Subdivision	<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District R-4 Residence District

Tax Map # 36/ 11/ 349

Tax Folio # 36/ 01/ 00541 / 01

**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

The Applicant proposes to subdivide the property into nine lots and construct one single-family detached dwelling on each lot, and other related improvements.

Total Site Area	<u>3.75</u>	Acres
Size of All Existing Buildings	<u>0</u>	Square Feet
Size of All Proposed Buildings	<u>14,400</u>	Square Feet
Size of Buildings to be Demolished	<u>0</u>	Square Feet

George W. Broseman

George W. Broseman

Print Developer's Name  
Attorney for Applicant



Developer's Signature  
Attorney for Applicant, Trustees of the Dorrance Hamilton 3/15/96 Revocable Agreement of Trust

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission      Regular Meeting \_\_\_\_\_

Local Governing Body            Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title of Designated Municipal Official

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Official's Signature

\_\_\_\_\_  
Date

**FOR DCPD USE ONLY**

Review Fee:                      Check # \_\_\_\_\_      Amount \$ \_\_\_\_\_      Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**

Part of 36-01-00541-00  
D309031ED-A-004ED  
Commonwealth Land Title Insurance Co  
2 Logan Square - Suite 500  
18th and Arch Streets  
Philadelphia, PA 19103

4

### DEED OF CONFIRMATION

THIS INDENTURE is made this 8<sup>th</sup> day of November, 2001, by DORRANCE H. HAMILTON, MARGARET H. DUPREY, N. PETER HAMILTON, S. MATTHEWS V. HAMILTON, JR., AND BARBARA R. COBB, TRUSTEES UNDER AGREEMENT DATED MARCH 15, 1996 AS AMENDED (hereinafter collectively called the "Grantors"), and DORRANCE H. HAMILTON, MARGARET H. DUPREY, N. PETER HAMILTON, S. MATTHEWS V. HAMILTON, JR., AND BARBARA R. COBB, TRUSTEES UNDER AGREEMENT DATED MARCH 15, 1996, AS AMENDED (hereinafter collectively called the "Grantees").

WITNESSETH, that the Grantors, for and in consideration of the sum of [REDACTED] lawful money of the United States of America, unto it well and truly paid by the Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, aliened, enfeoffed, released and confirmed, and by these presents does grant, bargain and sell, alien, enfeoff, release and confirm unto the premises described as follows:

ALL THAT CERTAIN lot or piece of ground located at 205 Strafford Avenue, Lot 2, situate in the Township of Radnor, County of Delaware, Pennsylvania, and more particularly described in Exhibit "A" attached hereto and forming a part hereof.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the Grantors, as well at law as in equity, or otherwise howsoever, of, in, and to the same and every part thereof.

UNDER AND SUBJECT to all matters of record, to the extent valid and enforceable.

TO HAVE AND TO HOLD the said lot or piece of ground above described together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the Grantees and their heirs and assigns, to and for the only proper use and behoof of the Grantees and their heirs and assigns forever, UNDER AND SUBJECT as aforesaid.

AND the Grantors, for themselves, and their respective successors, do covenant promise and agree to and with the Grantees, and their respective heirs and assigns, by these presents, that they, the said Grantors, for themselves and their respective successors, have not done, committed or knowingly or willingly suffered to be done or committed, any act, matter or thing whatsoever whereby the premises hereby granted, or any part thereof, is, are, shall or may be impeached, charged or encumbered in title, charge, estate or otherwise howsoever, UNDER AND SUBJECT,

1-PH/1508011.1

*Transfer from Grantors To themselves Therefore TAX EXEMPT.*

DELAWARE COUNTY



DT-0880

RD BK02302-0410  
2001636027 11/20/2001 02:26:01 PM 4  
RCD FCC \$67.00

**EXHIBIT "A"**

205 STRAFFORD AVENUE  
LOT 2  
RADNOR TOWNSHIP, DELAWARE COUNTY  
PENNSYLVANIA

All that certain piece or parcel of land situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, being known as "Lot 2" and being bound and described according to a plan entitled "205 Strafford Avenue & 321 Eagle Road, Lot Line Change Plan, Prepared For Mrs. S. M. V. Hamilton" dated July 20, 2001 and last revised October 15, 2001 as prepared by Yerkes Associates, Inc., Rosemont, PA and being more particularly described as follows:

BEGINNING at a point in the center of Strafford Avenue (40 feet wide), said point being measured North 24 degrees 55 minutes 00 seconds West, in the center of said Strafford Avenue, 383.09 feet from a point formed by the intersection of the center of said Strafford Avenue and the center of Eagle Road (40 feet wide), thence extending from said point of BEGINNING, in the center of Strafford Avenue North 24 degrees 55 minutes 00 seconds West, 40.00 feet to a point; thence crossing the northeasterly right-of-way line of Strafford Avenue and extending along the southeasterly property line of lands now or formerly of Joseph & Joann Marcos North 64 degrees 58 minutes 00 seconds East, 272.15 to a point, a marble monument; thence extending along the northeasterly property line of lands now or formerly of said Marcos, lands now or formerly of John & Kathryn Brooks, lands now or formerly of Guy & Deborah Vanderlaag and lands now or formerly of Janet Wiley North 24 degrees 55 minutes 00 seconds West, 422.22 feet to a point, an iron pin set, on the southeasterly property line of lands now or formerly of Frederick & Cynthia Hansen; thence extending along said southeasterly property line of lands of said Hansen North 65 degrees 05 minutes 00 seconds East, 165.00 feet to a point on the southwesterly property line of lands now or formerly of Ann Clothier; thence extending along said southwesterly property line of lands of said Clothier and lands now or formerly of Edward & Kathleen Kerpius South 24 degrees 55 minutes 00 seconds East, 422.22 feet to a point, an iron pin; thence extending along the southwesterly property line of lands now or formerly of Gwendolyn Brown, lands now or formerly of Marie Rolleri, lands now or formerly of Honor Chapin Maxfield, lands now or formerly of Christine Carey and lands now or formerly of Vahe Torunian & Mary Beth Fischer South 36 degrees 17 minutes 00 seconds East, 257.67 feet to a point, an iron pin; thence extending along the northwesterly property line of Lot 3 (as shown on said plan) South 64 degrees 58 minutes 00 seconds West, 12.00 feet to a point; thence extending along the southwesterly property line of said Lot 3 South 25 degrees 02 minutes 00 seconds East, crossing the northwesterly right-of-way line of Eagle Road, 170.00 feet to a point in the center of said Eagle Road; thence extending in the center of Eagle Road South 64 degrees 58 minutes 00 seconds West, 204.13 feet to a point; thence crossing over a marble monument on the northwesterly right-of-way line of Eagle Road and extending along the northeasterly property line of Lot 1 (as shown on said plan) North 24 degrees 55 minutes 00 seconds West, 383.06 feet to a point; thence extending along the northwesterly property line of the aforementioned Lot 1 South 64 degrees 58 minutes 00 seconds West, recrossing the aforementioned northeasterly right-of-

way line of Strafford Avenue, 272.15 feet to the first mentioned point and place of BEGINNING.

Containing: Three and Seven Hundred Fifty One-Thousandths (3.750 Acres) parts of an acre,  
be the same more or less.

BEING part of the same premises which Richard C. Foster, Timothy Foster and Benjamin R. Foster, Co-Executors of the Estate of Richard W. Foster, granted and conveyed unto Dorrance H. Hamilton, Trustee under Agreement dated March 15, 1996, by deed dated March 22, 2000 and recorded March 30, 2000 in Delaware County, Pennsylvania in Deed Book 281. 1996 page 1918.

THE PURPOSE OF THIS DEED OF CONFIRMATION IS TO CLARIFY THE LEGAL DESCRIPTION AS TO THE REMAINING PORTION OF THE PROPERTY OWNED BY GRANTOR/GRANTEE.

IN WITNESS WHEREOF the Grantors have caused this Deed to be duly executed the day and year first above written.

*Cynthia Smith*

*Dorrance H. Hamilton* (Seal)  
DORRANCE H. HAMILTON,  
Trustee under Agreement  
dated March 15, 1996, as amended

*Margaret H. Duprey* (Seal)  
MARGARET H. DUPREY,  
Trustee under Agreement  
dated March 15, 1996, as amended

*N. Peter Hamilton* (Seal)  
N. PETER HAMILTON,  
Trustee under Agreement  
dated March 15, 1996, as amended

*S. Matthews V. Hamilton, Jr.* (Seal)  
S. MATTHEWS V. HAMILTON, JR.,  
Trustee under Agreement  
dated March 15, 1996, as amended

*Barbara R. Cobb* (Seal)  
BARBARA R. COBB,  
Trustee under Agreement  
dated March 15, 1996, as amended

COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF Delaware :

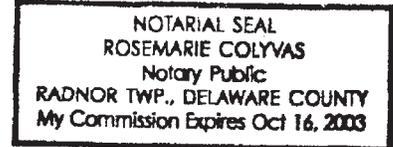
On this 8<sup>th</sup> day of November, 2001, before me, a notary public, the undersigned officer, personally appeared Dorrance H. Hamilton, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that she executed the same in the capacity stated therein for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(NOTARIAL SEAL)

Rosemarie Colyvas  
Notary Public

My Commission Expires:



COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF Delaware :

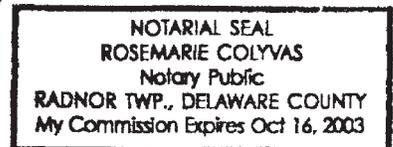
On this 8<sup>th</sup> day of November, 2001, before me, a notary public, the undersigned officer, personally appeared Margaret H. Duprey, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that she executed the same in the capacity stated therein for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(NOTARIAL SEAL)

Rosemarie Colyvas  
Notary Public

My Commission Expires:



COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF Delaware :

On this 8<sup>th</sup> day of November, 2001, before me, a notary public, the undersigned officer, personally appeared N. Peter Hamilton, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same in the capacity stated therein for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(NOTARIAL SEAL)

  
Rosemarie Colyvas  
Notary Public

My Commission Expires:

NOTARIAL SEAL  
ROSEMARIE COLYVAS  
Notary Public  
RADNOR TWP., DELAWARE COUNTY  
My Commission Expires Oct 16, 2003

COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF Delaware :

On this 8<sup>th</sup> day of November, 2001, before me, a notary public, the undersigned officer, personally appeared S. Matthews V. Hamilton, Jr., known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same in the capacity stated therein for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(NOTARIAL SEAL)

  
Rosemarie Colyvas  
Notary Public

My Commission Expires:

NOTARIAL SEAL  
ROSEMARIE COLYVAS  
Notary Public  
RADNOR TWP., DELAWARE COUNTY  
My Commission Expires Oct 16, 2003

COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF Delaware :

On this 8<sup>th</sup> day of November, 2001, before me, a notary public, the undersigned officer, personally appeared Barbara R. Cobb, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that she executed the same in the capacity stated therein for the purposes therein contained.

In witness whereof, I hereunto set my hand and official seal.

(NOTARIAL SEAL)



*Rosemarie Colyvas*  
Notary Public

My Commission Expires:

NOTARIAL SEAL  
ROSEMARIE COLYVAS  
Notary Public  
RADNOR TWP., DELAWARE COUNTY  
My Commission Expires Oct 16, 2003

*Book of 3601 0000  
175*

RETURN TO:  
COMMONWEALTH TRUSTING CO.  
2200 MARKET STREET, SUITE 1000  
PHILADELPHIA, PA 19103  
ATTN: RECORDS DEPARTMENT

**DEED OF CONFIRMATION**

**DORRANCE H. HAMILTON, MARGARET H. DUPREY, N. PETER HAMILTON,  
S. MATTHEWS V. HAMILTON, JR., AND BARBARA R. COBB, TRUSTEES UNDER AGREEMENT  
DATED MARCH 15, 1996, AS AMENDED**

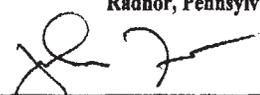
to

**DORRANCE H. HAMILTON, MARGARET H. DUPREY, N. PETER HAMILTON,  
S. MATTHEWS V. HAMILTON, JR., AND BARBARA R. COBB, TRUSTEES UNDER AGREEMENT  
DATED MARCH 15, 1996, AS AMENDED**

Premises: 205 Strafford Avenue  
Lot 2  
Radnor Township, Delaware County, PA

Return recorded document  
to: George W. Moore, Esquire  
Morgan, Lewis & Bockius LLP  
1701 Market Street  
Philadelphia, PA 19382

I hereby certify that  
the correct address of the  
Grantee is: 205 Strafford Avenue  
Radnor, Pennsylvania

By:   
For Grantee

6  
RETURN TO:  
Chicago Title Insurance Co  
1601 Market Street, Ste. #2550  
Philadelphia, PA 19103  
8103-00452 (36)

**This Indenture** Made this 17<sup>th</sup> day of October, 2003

**Between** James W. Lament and Elizabeth A. Ashdale-Lament  
(hereinafter called the Grantors)

AND

Trustees Under Agreement of Trust dated March 15, 1996 as Amended,  
Dorrance H. Hamilton, Settlor  
(hereinafter called the Grantees)

**Witnesseth** That the said Grantor for and in consideration of the sum of [REDACTED] lawful money of the United States of America, unto them well and truly paid by the said Grantees at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, released and confirmed and by these presents does grant, bargain and sell, release and confirm unto the said Grantees, their successors and assigns.

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and described according to a Map or Property of Edwin I. Myskowski, et ux, made by Yerkes Engineering Co., Surveyors, Bryn Mawr, PA, dated 1/3/1969 as follows, to wit:

BEGINNING at a point on the middle line of Forrest Lane of variable widths at the distance of 674.37 feet measured Southeastwardly along said middle line of Forrest Lane from the center line of Old Eagle School Road; thence extending from said point of beginning North 65 degrees 07 minutes 00 seconds East, along the Strafford Realty Company Subdivision Plan 129.79 feet to a point; thence extending South 23 degrees 47 minutes 00 seconds East along land now or late of J. B. Parker, 79.06 feet to a point; thence extending South 65 degrees 07 minutes 00 seconds West along Lot No. 2 on said plan 123 feet to a point on the middle line of Forrest Lane, aforesaid; thence extending along the same, the two following courses and distances: (1) North 23 degrees 47 minutes 00 seconds West 43.46 feet to a point; and (2) North 34 degrees 37 minutes 00 seconds West 36.11 feet to the first mentioned point and place of beginning.

BEING Lot No. 1 on said Plan.

BEING Folio Number 36-01-00236-02

RD BK02991-1480  
2003144115 10/28/2003 10:52:44 AM  
RECEIVED \$54.00 PA. STATE TAX \$4.500.00 STATE TAX \$3.200.00  
DELAWARE COUNTY  
THOMAS J. JUDGE SR. REC.

Power-Deed



COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
BUREAU OF INDIVIDUAL TAXES  
DEPT 280003  
HARRISBURG, PA 17126-0003

# REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

State Tax Value	\$ 3,300.00
Book Number	2971
Page Number	1470
Date Recorded	10/17/03

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) when the deed is without consideration, or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on: (1) family relationship or (2) public utility easement. If more space is needed, attach additional sheet(s)

## A - CORRESPONDENT - All inquiries may be directed to the following person:

Name	Chicago Title Insurance Company	Telephone Number	
Street Address	1601 Market Street	Area Code	215 568-4800
City	Philadelphia	State	PA
		Zip Code	19103

## B - TRANSFER DATA

Grantor(s)/Lessor(s)	James W. Lament & Elizabeth Lament	Date of Acceptance of Document	
Street Address	18 Forrest Road	Grantee(s)/Lessee(s) Trustee	under Agreement of Trust dated 3/15/96 as amended
City	Wayne	State	PA
Zip Code	19087	City	Wayne
		State	PA
		Zip Code	19087

## C - PROPERTY LOCATION

Street Address	18 Forrest Road	City, Township, Borough	Radnor
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County	Delaware	School District	Radnor	Tax Parcel Number	36-01-00236-02
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## D - VALUATION DATA

1. Actual Cash Consideration		2. Other Consideration		3. Total Consideration	
		+		=	
4. County Assessed Value		5. Common Level Ratio Factor		6. Fair Market Value	
		X		=	

## E - EXEMPTION DATA

1a. Amount of Exemption Claimed		1b. Percentage of Interest Conveyed	
---------------------------------	--	-------------------------------------	--

2. Check Appropriate Box Below for Exemption Claimed
- Will or intestate succession (Name of Decedent) \_\_\_\_\_ (Estate File Number) \_\_\_\_\_
  - Transfer to Industrial Development Agency
  - Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
  - Transfer between principal and agent. (Attach complete copy of agency/straw party agreement.)
  - Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
  - Transfer from mortgagor to a holder of a mortgage in default. Mortgage Book Number \_\_\_\_\_, Page Number \_\_\_\_\_
  - Corrective or confirmatory deed. (Attach complete copy of the prior deed being corrected or confirmed.)
  - Statutory corporate consolidation, merger or division. (Attach copy of articles.)
  - Other (Please explain exemption claimed, if other than listed above.) \_\_\_\_\_

Under penalties of law, I declare that I have examined this Statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party	Date
<i>[Signature]</i>	10/17/03

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH APPLICABLE DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.

BEING the same premises which Madeline L. Fisher, by Indenture bearing date April 29, 2003 and recorded MAY 5, 2003 in the Office of the Recorder of Deeds, in and for the County of Delaware in Volume 2761 page 2189 etc., granted and conveyed unto James W. Lament and Elizabeth A. Ashdale-Lament, Husband and Wife, in fee

(Remainder of page intentionally left blank)

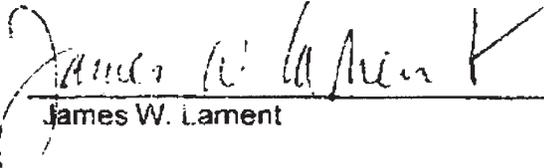
**Together** with all and singular the improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate right, title, interest, property, claim and demand whatsoever of the said Grantors, as well at law as in equity, of, in, and to the same.

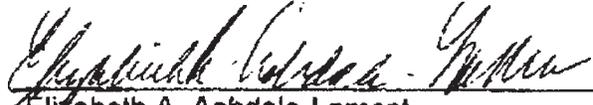
**To have and to hold** the said lot or piece of ground above described with the buildings and improvements thereon erected; with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their successors and assigns to and for the only proper use and behoof of the said Grantees, their successors and assigns, forever

**And** the said Grantors, for themselves, their heirs, executors, administrators do by these presents, covenant, grant and agree, to and with the said Grantees, their successors, and assigns, that they the said Grantors, their heirs, all and singular the Hereditaments and premises herein above described and granted, or mentioned and intended so to be with the Appurtenances unto the said Grantees, their successors and assigns, against them the said Grantors, their heirs and against all and every Person or Persons whomsoever lawfully claiming or to claim the same or any part thereof, by from, or under him, her, them or any of them shall and will WARRANT and forever DEFEND.

**In Witness Whereof**, the said Grantors have caused these presents to be duly executed dated the day and year first above written.

**Sealed and Delivered**  
IN THE PRESENCE OF US

  
\_\_\_\_\_  
James W. Lament (SEAL)

  
\_\_\_\_\_  
Elizabeth A. Ashdale-Lament (SEAL)



# DEED

Grantor: James W. Lament and Elizabeth A. Ashdale-Lament

## TO

Grantee: Trustees Under Agreement of Trust dated March 15,  
1996, as Amended, Dorrance H. Hamilton, Settlor

PREMISES: 18 Forrest Lane  
Folio Number 36-01-00236-02  
Radnor Township  
Delaware County

The address of the above named Grantees is.

Suite 316  
200 Eagle Road  
Wayne, PA 19987

Certified by: Gilbert N. [Signature]

PREPARED BY AND RETURN TO:

Chicago Title Insurance Company  
Suite 1325  
1515 Market Street  
Philadelphia, PA 19102  
8109-25100(9)

RD BK04569-0060

DT-DEED

2009038189 06/23/2009 01:57:53 PM:1

RCD FEE: \$100.00



DELAWARE  
COUNTY

36-RADNOR \$0.00

THOMAS J. JUDGE SR. ROD

**This Indenture** Made this 24th day of April, 2009

Between DORRANCE H. HAMILTON, a/k/a DORRANCE HILL HAMILTON,  
of Boca Grande, Florida  
(hereinafter called the Grantor)

AND

DORRANCE H. HAMILTON, MARGARET H. DUPREY, NATHANIEL PETER  
HAMILTON, JR., S. MATTHEWS V. HAMILTON, JR., and BARBARA R. COBB,  
TRUSTEES of the DORRANCE H. HAMILTON MARCH 15, 1996 REVOCABLE  
AGREEMENT OF TRUST  
(hereinafter called the Grantees)

**Witnesseth** that the said Grantor for and in consideration of the sum of  
[REDACTED] lawful money of the United States of America, unto her well and  
truly paid by the said Grantees at or before the sealing and delivery hereof, the receipt  
whereof is hereby acknowledged, has granted, bargained and sold, aliened, enfeoffed  
released and confirmed, and by these presents does grant, bargain and sell, alien,  
enfeoff, release and confirm unto the said Grantees, their successors and assigns;

**PREMISES "A"**

**ALL THAT CERTAIN** lot or tract of land with the buildings and improvements thereon  
erected, Situate in the Township of Radnor, County of Delaware, Commonwealth of  
Pennsylvania, described according to a survey thereof, made by John F. Kauffman,  
Civil Engineer on September 22, 1886, as follows, to wit:

**BEGINNING** at a point in the center line of a public road leading from the Philadelphia and Lancaster Turnpike to the Gulf Road and known as the Eagle Road, where the center line of a new Avenue leaving to Eagle Station meets the said center line of the said Eagle Road; thence along the center line of the said new Avenue North twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet; thence by a line parallel with the said Eagle Road and along the line of land conveyed by Henry D. Hughes and wife to Richard T. McCarter, Jr., South sixty four degrees, fifty eight minutes West two hundred seventy two and fifteen one-hundredths feet to a point in line of land conveyed by William Robb to the said Clara T. Shaw; thence along the said last mentioned land by a line parallel with the aforesaid avenue South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the aforesaid center line of said Eagle Road; thence along the center line of said Eagle Road North sixty four degrees, fifty eight minutes East two hundred seventy two and fifteen one-hundredths feet to the first mentioned point and place of beginning.

**ALSO ALL THAT CERTAIN** tract of land, situate in the Township and County aforesaid,

**BEGINNING** at a stone in the center line of a public road called the Eagle Road the distance of two hundred thirty eight feet and one tenths of a foot measured along the center line of the said road Northeastwardly from the corner of land now or late of John B. Thayer; thence along the said center line of the said Road North sixty four degrees, fifty eight minutes East two hundred five and seven tenths feet to a stone set for a corner in the center line of an Avenue thirty three feet wide (lately vacated); thence along the center line of the said vacated Avenue being also a line of land conveyed by Harry C. Banks and wife to the said Clara T. Shaw North twenty five degrees, two minutes West three hundred twenty and twelve one-hundredths feet to a corner of land conveyed by William Robb to Richard T. McCarter Jr.; thence along the said land of the said Richard T. McCarter Jr., South sixty four degrees, fifty eight minutes West two hundred five and seven tenths feet to a point in the middle of land of Ellwood Wilson; thence along the said land South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the first mentioned point and place of beginning.

**BEING** known as 204 Strafford Avenue.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00538-00.

**PREMISES "B"**

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware, State of Pennsylvania, described according to a survey thereof made by Wilson R. and John B. Yerkes, Civil Engineers and Surveyors of Byrn Mawr, Pennsylvania, dated June 6, 1962, as follows:

**BEGINNING** at a point in the middle of Strafford Avenue (50 feet wide) said point is at the distance of three Hundred twenty and forty-five one hundredths feet (320.45') measured North twenty-five degrees two minutes West (N 25°02' W.) along the middle of Strafford Avenue from its intersection with the middle of Eagle Road; thence leaving Strafford Avenue by land of L. Weinrich South sixty-four degrees fifty-eight minutes West (S. 64°58' W.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to an iron pin in line of land of Lecian Von Bermuth; thence partly by the same and partly by land of various owners North twenty-five degrees two minutes West (N. 25°02' W.) four hundred twenty-one and fifty one hundredths feet (481.50') to a stone; thence by land of Elisabeth J. Grant North sixty-five degrees five minutes East (N. 65°05' E.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to a point in the middle of Strafford Avenue aforesaid; thence along the middle of same South twenty-five degrees two minutes East (S. 25°02' E.) four hundred twenty and forty-five one hundredths feet (420.45') to the place of beginning.

**BEING** known as 228 Strafford Avenue.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00539-00 and 36-01-00540-00.

**PREMISES "C"**

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Map of Property of Wallace and Warner Corporation, made by M.R. and J.B. Yerkes, Civil Engineers, Bryn Mawr, Pennsylvania, dated October 24, 1946 and revised November 8, 1946, (new lot numbers) September 25, 1947, as follows, to wit:

N/A

**BEGINNING** at a spike marking the intersection of the middle lines of Fairfield Lane and Forrest Lane (both forty feet wide); thence along the middle of Forrest Lane, the two following courses and distances: (1) South thirty four degrees, thirty seven minutes East, nine and eighty four one-hundredths feet to a point; and (2) South twenty three degrees, forty seven minutes East, one hundred three feet to a point; thence leaving Forrest Lane, South sixty five degrees, seven minutes West, one hundred thirty four and eighty four one-hundredths feet to a stone; thence by other land of Wallace and Warner of which this is a part, North twenty four degrees West, one hundred seventeen and twenty nine one-hundredths feet to a point in the middle of Fairfield Lane; thence along the middle of same, North sixty seven degrees, two minutes East, one hundred thirty three and forty two one-hundredths feet to the place of beginning.

**BEING** Lot No. 12 on the above mentioned Plan.

**BEING** known as 142 Fairfield Lane.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00200-00.

**PREMISES "D"**

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon to be erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania and described according to a Map of Property of Edwin T. Myskowski, et ux made by Yerkee Engineering Co., Surveyors, Bryn Mawr, Pennsylvania dated January 3, 1969 and last revised February 3, 1969 as follows:

**BEGINNING** at a point in the middle line of Forrest Lane (proposed to be opened to the width of 30 feet), which said point is measured, the two following courses and distances along said middle line from its intersection with the extended middle line of Fairfield Lane (forty feet wide): (1) from said point of intersection South thirty four degrees, thirty seven minutes East, nine and eighty four one hundredths feet and (2) South twenty three degrees, forty seven minutes East, forty three and forty six one-hundredths feet to the point and place of beginning; thence extending from said beginning point leaving Forest Lane by other land of Edwin T. Myskowski of which this was a part, North sixty five degrees seven minutes East, one hundred twenty three feet to a point in line of land now or late of J.B. Parker; thence extending along said land South twenty three degrees, forty seven minutes East, fifty nine and fifty four one-hundredths feet to a point a corner of land now or late of Lecian Von Bermuth; thence extending along said land South sixty five degrees, seven minutes West, one hundred twenty three feet to a point in the middle line of Forest Lane aforesaid; thence extending along the middle line of same North twenty three degrees, forty seven minutes West, fifty nine and fifty four one-hundredths feet to the place of beginning.

N/A

**BEING** Lot No. 2 as shown on said Plan.

**BEING** known as 22 Forrest Lane.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00236-03.

**BEING AS TO PREMISES "A"** the same premises which H. Everett Shore, III, Straw Party by deed dated 6/3/1977 and recorded 6/10/1977 in the Office of the Recorder of Deeds in and for the County of Delaware in Deed Book 2609 page 716, granted and conveyed unto Dorrance H. Hamilton, in fee.

**BEING AS TO PREMISES "B"** the same premises which Thomas Hart and S. Leonard Kent, Jr., Executors under the Will of J. Brooks B. Parker, deceased by Deed dated 6/27/1952 and recorded 7/2/1952 in the Office of the Recorder of Deeds in and for the County of Delaware in Deed Book 1532 page 347, granted and conveyed unto Dorrance Hill Hamilton, in fee.

**BEING AS TO PREMISES "C"** the same premises which Gerard V. Cavanaugh and Danielle Cavanaugh, his wife by Deed dated 7/1/1985 and recorded 7/15/1985 in the Office of the Recorder of Deeds in and for the County of Delaware in Volume 251 page 1525, granted and conveyed unto Dorrance H. Hamilton, in fee.

**BEING AS TO PREMISES "D"** the same premises which H. Everett Shore, III, Straw Party by Deed dated 1/19/1984 and recorded 2/23/1984 in the Office of the Recorder of Deeds in and for the County of Delaware in Volume 139 page 983, granted and conveyed unto Dorrance H. Hamilton, in fee.

**Together with** all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said Grantor, as well at law as in equity, of, in, and to the same.

**UNDER AND SUBJECT**, nevertheless to matters of record, to the extent valid and enforceable, subsisting and in fact affect title to the property or any part thereof.

**To have and to hold** the said lot or piece of ground above described with the buildings and improvements thereon erected; with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their successors and assigns to and for the only proper use and behoof of the said Grantees, their successors and assigns, forever. Under and subject, as aforesaid.

**And** the said Grantor, for herself, her heirs, executors and administrators does by these presents, grant, covenant, promise and agree, to and with the said Grantees, their successors and assigns, that she the said Grantor, her heirs, all and singular the hereditaments and premises herein above described and granted, or mentioned and intended so to be with the appurtenances unto the said Grantees, their successors and assigns, against her the said Grantor, her heirs and against all and every person or persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from, or under him, her, them or any of them shall and will, **UNDER AND SUBJECT** as aforesaid, **WARRANT** and forever **DEFEND**.

In Witness Whereof, the said Grantor has caused these presents to be duly executed and dated the day and year first above written.

**Sealed and Delivered**  
IN THE PRESENCE OF US

*Dorrance H. Hamilton* (SEAL)  
Dorrance H. Hamilton

*Dorrance H. Hamilton* (SEAL)  
Dorrance Hill Hamilton



REV-183 EX (11-04)



COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
BUREAU OF INDIVIDUAL TAXES  
PO BOX 280603  
HARRISBURG PA 17128-0603

# REALTY TRANSFER TAX STATEMENT OF VALUE

See Reverse for Instructions

RECORDER'S USE ONLY

State Tax Paid 0  
Book Number 4569  
Page Number 60  
Date Recorded 6/23/09

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) when the deed is without consideration, or by gift, or (3) a tax exemption is claimed. A Statement of Value is not required if the transfer is wholly exempt from tax based on: (1) family relationship or (2) public utility easement. If more space is needed, attach additional sheet(s).

**A. CORRESPONDENT - All inquiries may be directed to the following person:**

Name: Anthony T. Fratiante, Esquire, Morgan, Lewis & Bockius, LLP Telephone Number: \_\_\_\_\_  
Street Address: 1701 Market Street City: Philadelphia State: PA Zip Code: 19103

**B. TRANSFER DATA**

**Date of Acceptance of Document**

Grantor(s)/Lessor(s): Dorrance H. Hamilton, a/k/a Dorrance Hill Hamilton Grantee(s)/Lessee(s): Trustees of the Dorrance H. Hamilton 3/15/96 Rev. Agr. of Tr  
Street Address: \_\_\_\_\_ Street Address: Suite 316, 200 Eagle Road  
City: Boca Grande State: FL Zip Code: \_\_\_\_\_ City: Wayne State: PA Zip Code: 19087

**C. PROPERTY LOCATION**

Street Address: See Exhibit "A" City, Township, Borough: Radnor Township  
County: Delaware School District: \_\_\_\_\_ Tax Parcel Number: See Exhibit "A"

**D. VALUATION DATA**

1. Actual Cash Consideration:            2. Other Consideration:            3. Total Consideration =             
4. County Assessed Value:            5. Common Level Ratio Factor:            6. Fair Market Value = See Exhibit "A"

**E. EXEMPTION DATA**

1a. Amount of Exemption Claimed:            1b. Percentage of interest Conveyed:           

**2. Check Appropriate Box Below for Exemption Claimed**

- Will or intestate succession \_\_\_\_\_ (Name of Decedent) \_\_\_\_\_ (Estate File Number)
- Transfer to Industrial Development Agency.
- Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- Transfer between principal and agent. (Attach complete copy of agency/straw party agreement.)
- Transfers to the Commonwealth, the United States and Instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- Transfer from mortgagor to a holder of a mortgage in default. Mortgage Book Number \_\_\_\_\_, Page Number \_\_\_\_\_
- Corrective or confirmatory deed. (Attach complete copy of the prior deed being corrected or confirmed.)
- Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- Other (Please explain exemption claimed, if other than listed above.) 72 P.S. 8102 C.3 (8.1) A transfer for no or nominal actual consideration to a trustee of a living trust from the settlor of the living trust.

Under penalties of law, I declare that I have examined this Statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent/Responsible Party: [Signature] Date: 4/24/09

**FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH APPLICABLE DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.**

**EXHIBIT "A"**

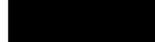
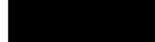
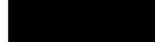
Section C: Street Address

204 Strafford Avenue (Premises "A")  
228 Strafford Avenue (Premises "B")  
142 Fairfield Lane (Premises "C")  
22 Forrest Lane (Premises "B")

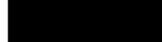
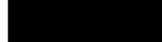
Section C: Tax Parcel Number

Uniform Parcel Identifier No. 36-01-00538-00 (Premises "A")  
Uniform Parcel Identifier No. 36-01-00539-00 and  
No. 36-01-00540-00 (Premises "B")  
Uniform Parcel Identifier No. 36-01-00200-00 (Premises "C")  
Uniform Parcel Identifier No. 36-01-00236-03 (Premises "D")

Section D-4: County Assessed Value

 (Premises "A")  
 (Premises "B")  
 (Premises "B")  
 (Premises "C")  
 (Premises "D")  
TOTAL 

Section D-6: Fair Market Value

 (Premises "A")  
 (Premises "B")  
 (Premises "B")  
 (Premises "C")  
 (Premises "D")  
TOTAL 

CTIC File #08-PHI-1046

## DEED

**Grantor:** DORRANCE H. HAMILTON, a/k/a DORRANCE HILL HAMILTON

## TO

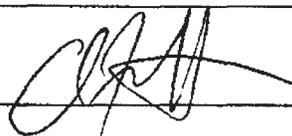
**Grantees:** DORRANCE H. HAMILTON, MARGARET H. DUPREY,  
NATHANIEL PETER HAMILTON, JR.,  
S. MATTHEWS V. HAMILTON, JR., and  
BARBARA R. COBB, TRUSTEES of the DORRANCE H. HAMILTON  
MARCH 15, 1996 REVOCABLE AGREEMENT OF TRUST

**Premises:** 204 Strafford Avenue (Premises "A")  
228 Strafford Avenue (Premises "B")  
142 Fairfield Lane (Premises "C")  
22 Forrest Lane (Premises "D")  
Township of Radnor  
County of Delaware  
Commonwealth of Pennsylvania

Uniform Parcel Identifier No. 36-01-00538-00 (Premises "A")  
Uniform Parcel Identifier No. 36-01-00539-00 and  
36-01-00540-00 (Premises "B")  
Uniform Parcel Identifier No. 36-01-00200-00 (Premises "C")  
Uniform Parcel Identifier No. 36-01-00236-03 (Premises "D")

The address of the above named Grantees is:

218 Enterprises  
Suite 316  
200 Eagle Road  
Wayne, PA 19087

Certified by: \_\_\_\_\_  


**Prepared by and Return to:**  
Kelly G. Kuschel, Esquire  
Morgan, Lewis & Bockius LLP  
1701 Market Street  
Philadelphia, PA 19103  
Telephone: 215-963-5655

RD BK06051-0040  
2017045977 08/23/2017 11:30:19 AM:1  
RCD FEE: \$145.50

DT-DEED



DELAWARE  
COUNTY

36-RADNOR \$0.00

THOMAS J. JUDGE SR. ROD

Parcel ID# 36-01-00200-00 (Premises A)  
36-01-00236-03 (Premises B)  
36-01-00236-02 (Premises C) *\*(only)*

### DEED

**THIS INDENTURE** is made this 10th day of July, 2017, to be effective as of July 19, 2017, between Francis J. Mirabello and S. Matthews V. Hamilton, Jr., Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust (also known as Agreement of Trust dated March 15, 1996 as Amended, Dorrance H. Hamilton, Settlor) ("**Grantor**"), and S. Matthews V. Hamilton, Jr. and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of S. Matthews V. Hamilton, Jr.; Margaret H. Duprey and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Margaret H. Duprey; and Nathaniel Peter Hamilton and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Nathaniel Peter Hamilton, as tenants in common in equal shares (collectively, "**Grantees**");

**WITNESSETH**, that the Grantor, for and in consideration of the sum of [REDACTED], lawful money of the United States of America, unto it well and truly paid by the Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted, bargained and sold, aliened, enfeoffed, released and confirmed, and by these presents does grant, bargain and sell, alien, enfeoff, release and confirm unto the Grantees, their successors and assigns, the property described as follows:

SEE EXHIBIT A ATTACHED HERETO AND MADE A PART HEREOF.

TOGETHER with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the Grantor, as well at law as in equity, of, in, and to the same.

UNDER AND SUBJECT, nevertheless to all matters of record, to the extent valid, subsisting and enforceable.

TO HAVE AND TO HOLD the said lots or pieces of ground above described with the buildings and improvements thereon erected; with the hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their successors and assigns, to and for the only proper use and behoof of the Grantees, their successors and assigns forever, UNDER AND SUBJECT as aforesaid.

AND the said Grantor, for itself and its successors and assigns does by these presents, grant, covenant, promise and agree, to and with the said Grantees, their successors and assigns, that it, the said Grantor and its successors and assigns, all and singular the hereditaments and premises herein above described and granted, or mentioned and intended so to be with the appurtenances unto the said Grantees, their successors and assigns, against it, the said Grantor and its successors and assigns, and against all and every person or persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from, or under him, her, them or any of them shall and will, UNDER AND SUBJECT as aforesaid, WARRANT and forever DEFEND.

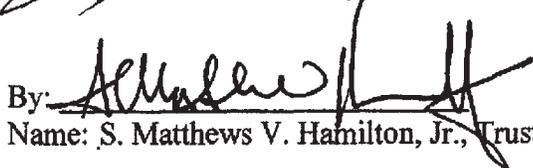
[Signature Pages Follow]

IN WITNESS WHEREOF, said trustees, on behalf of Grantor, have hereunto set their hand and seal the day and year first above written.

**Dorrance H. Hamilton March 15, 1996**  
**Revocable Agreement of Trust**

By: 

Name: Francis J. Mirabello, Trustee

By: 

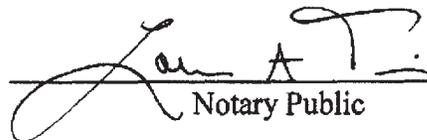
Name: S. Matthews V. Hamilton, Jr., Trustee

STATE/COMMONWEALTH OF Pennsylvania

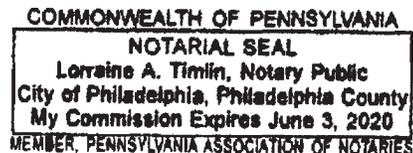
COUNTY OF Philadelphia )

On this 10<sup>th</sup> day of July, 2017, before me personally appeared Francis J. Mirabello, known to me or proven on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity as a Trustee of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust, and that, by his signature on the instrument, he acted executed the instrument in the capacity therein stated and for the purposes therein contained.

WITNESS my hand and official seal.

  
\_\_\_\_\_  
Notary Public

My Commission expires:



STATE/Commonwealth of *Rhode Island*

COUNTY OF *Newport* )

On this 19 day of July 2017, before me personally appeared S. Matthews V. Hamilton, Jr., known to me or proven on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity as a Trustee of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust, and that, by his signature on the instrument, he acted executed the instrument in the capacity therein stated and for the purposes therein contained.

WITNESS my hand and official seal.

*Turner C. Scott*

\_\_\_\_\_  
Notary Public

My Commission expires:

TURNER C. SCOTT  
Notary Public-State of Rhode Island  
My Commission Expires  
June 24, 2021

**EXHIBIT A**

**Legal Description of the Property**

Premises A:

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Map of Property of Wallace and Warner Corporation, made by M.R. and J.B. Yerkes, Civil Engineers, Bryn Mawr, Pennsylvania, dated October 24, 1946 and revised November 8, 1946, (new lot numbers) September 25, 1947, as follows, to wit:

**BEGINNING** at a spike marking the intersection of the middle lines of Fairfield Lane and Forrest Lane (both forty feet wide); thence along the middle of Forrest Lane, the two following courses and distances: (1) South thirty four degrees, thirty seven minutes East, nine and eighty four one-hundredths feet to a point; and (2) South twenty three degrees, forty seven minutes East, one hundred three feet to a point; thence leaving Forrest Lane, South sixty five degrees, seven minutes West, one hundred thirty four and eighty four one-hundredths feet to a stone; thence by other land of Wallace and Warner of which this is a part, North twenty four degrees West, one hundred seventeen and twenty nine one-hundredths feet to a point in the middle of Fairfield Lane; thence along the middle of same, North sixty seven degrees, two minutes East, one hundred thirty three and forty two one-hundredths feet to the place of beginning.

**BEING** Lot No. 12 on the above mentioned Plan.

**BEING** known as 142 Fairfield Lane.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00200-00.

Premises B:

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon to be erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania and described according to a Map of Property of Edwin T. Myskowski, et ux made by Yerkee Engineering Co., Surveyors, Bryn Mawr, Pennsylvania dated January 3, 1969 and last revised February 3, 1969 as follows:

**BEGINNING** at a point in the middle line of Forrest Lane (proposed to be opened to the width of 30 feet), which said point is measured, the two following courses and distances along said middle line from its intersection with the extended middle line of Fairfield Lane (forty feet wide): (1) from said point of intersection South thirty four degrees, thirty seven minutes East, nine and eighty four one hundredths feet and (2) South twenty three degrees, forty seven minutes East, forty three and forty six one-hundredths feet to the point and place of beginning; thence extending from said beginning point leaving Forest Lane by other land of Edwin T. Myskowski of which this was a part, North sixty five degrees seven minutes East, one hundred twenty three feet to a point in line of land now or late of J.B. Parker; thence extending along said land South twenty three degrees, forty seven minutes East, fifty nine and fifty four one-hundredths feet to a point a corner of land now or late of Lecian Von Bermuth; thence extending along said land South sixty five degrees, seven minutes West, one hundred twenty three feet to a point in the middle line of Forest Lane aforesaid; thence extending along the middle line of same North twenty three degrees, forty seven minutes West, fifty nine and fifty four one-hundredths feet to the place of beginning.

**BEING** Lot No. 2 as shown on said Plan.

**BEING** known as 22 Forrest Lane.

**BEING** designated as Uniform Parcel Identifier No. 36-01-00236-03.

Premises C:

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and described according to a Map or Property of Edwin I. Myskowski, et ux, made by Yerkes Engineering Co., Surveyors, Bryn Mawr, PA, dated 1/3/1969 as follows, to wit:

**BEGINNING** at a point on the middle line of Forrest Lane of variable widths at the distance of 674.37 feet measured Southeastwardly along said middle line of Forrest Lane from the center line of Old Eagle School Road; thence extending from said point of beginning North 65 degrees 07 minutes 00 seconds East, along the Strafford Realty Company Subdivision Plan 129.79 feet to a point; thence extending South 23 degrees 47 minutes 00 seconds East along land now or late of J. B. Parker, 79.06 feet to a point; thence extending South 65 degrees 07 minutes 00 seconds West along Lot No. 2 on said plan 123 feet to a point on the middle line of Forrest Lane, aforesaid; thence extending along the same, the two following courses and distances: (1) North 23 degrees 47 minutes 00 seconds West 43.46 feet to a point; and (2) North 34 degrees 37 minutes 00 seconds West 36.11 feet to the first mentioned point and place of beginning.

**BEING** Lot No. 1 on said Plan.

**BEING** Folio Number 36-01-00236-02

**BEING** known as 18 Forrest Lane.

**BEING AS TO PREMISES A and B** the same premises which Dorrance H. Hamilton, a/k/a Dorrance Hill Hamilton by Indenture dated April 24, 2009 and recorded on June 23, 2009 in the Office of The Recorder of Deeds in and for Delaware County, Pennsylvania, in Book 4569, Page 60, granted and conveyed unto Dorrance H. Hamilton, Margaret H. Duprey, Nathaniel Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr., and Barbara R. Cobb, Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust, in fee.

**BEING AS TO PREMISES C** the same premises which James W. Lament and Elizabeth A. Ashdale-Lament by Indenture dated October 17, 2003 and recorded on October 28, 2003 in the Office of The Recorder of Deeds in and for Delaware County, Pennsylvania, in Book 2991, Page 1480, granted and conveyed unto Trustees Under Agreement of Trust dated March 15, 1996 as Amended, Dorrance H. Hamilton, Settlor, in fee.

# Deed

Parcel ID No. 36-01-00200-00  
Parcel ID No. 36-01-00236-03  
Parcel ID No. 36-01-00236-02

**Francis J. Mirabello and S. Matthews V. Hamilton, Jr., Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust**

TO

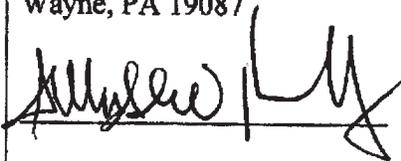
**S. Matthews V. Hamilton, Jr. and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of S. Matthews V. Hamilton, Jr.; Margaret H. Duprey and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of**

**Margaret H.**

**Duprey; and Nathaniel Peter Hamilton and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Nathaniel Peter Hamilton, as tenants in common in equal shares**

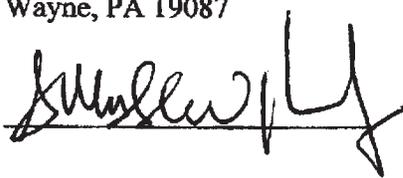
I hereby certify that the address of the Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of S. Matthews V. Hamilton, Jr. is:

218 Enterprises  
Suite 316  
200 Eagle Road  
Wayne, PA 19087



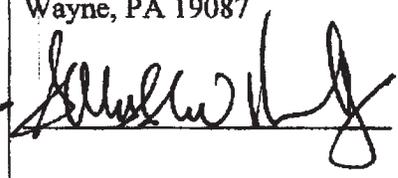
I hereby certify that the address of the Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Margaret H. Duprey is:

218 Enterprises  
Suite 316  
200 Eagle Road  
Wayne, PA 19087



I hereby certify that the address of the Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Nathaniel Peter Hamilton is:

218 Enterprises  
Suite 316  
200 Eagle Road  
Wayne, PA 19087





**Exhibit A**  
**Realty Transfer Tax Statement of Value**

**Section B: Name of Grantor**

- Francis J. Mirabello and S. Matthews V. Hamilton, Jr., Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust

**Section B: Name of Grantees**

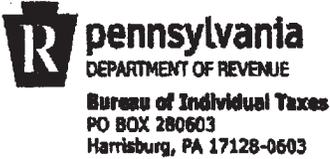
- S. Matthews V. Hamilton, Jr. and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of S. Matthews V. Hamilton, Jr.;
- Margaret H. Duprey and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Margaret H. Duprey; and
- Nathaniel Peter Hamilton and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Nathaniel Peter Hamilton

**Section C: Street Addresses**

- 142 Fairfield Lane (Premises A)
- 22 Forrest Lane (Premises B)
- 18 Forrest Lane (Premises C)

**Sections C and D: Tax Parcel Number, County Assessed Value, and Computed Value**

<b>Tax Parcel #</b>	<b>County Assessed Value</b>	<b>Computed Value</b>
36-01-00200-00 (Premises A)	\$ [REDACTED]	\$ [REDACTED]
36-01-00236-03 (Premises B)	\$ [REDACTED]	\$ [REDACTED]
36-01-00236-02 (Premises C)	\$ [REDACTED]	\$ [REDACTED]



# REALTY TRANSFER TAX STATEMENT OF VALUE

See reverse for instructions.

**RECORDER'S USE ONLY**

State Tax Paid	0
Book Number	6051
Page Number	0040
Date Recorded	8-23-17

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) the deed is without consideration or by gift, or (3) a tax exemption is claimed. If more space is needed, please attach additional sheets. A Statement of Value (SOV) is not required if the transfer is wholly exempt from tax based on family relationship or public utility easement. However, it is recommended that a SOV accompany all documents filed for recording.

**A. CORRESPONDENT - All inquiries may be directed to the following person:**

Name Barbara R. Cobb		Telephone Number: (610) 975-0517	
Mailing Address 218 Enterprises, 200 Eagle Road, Suite 316		City Wayne	State ZIP Code PA 19087

**B. TRANSFER DATA**

Date of Acceptance of Document 07/19/2017			
Grantor(s)/Lessor(s) See Exhibit A	Telephone Number: (610) 975-0517	Grantee(s)/Lessee(s) See Exhibit A	Telephone Number: (610) 975-0517
Mailing Address 218 Enterprises, 200 Eagle Road, Suite 316		Mailing Address 218 Enterprises, 200 Eagle Road, Suite 316	
City Wayne	State ZIP Code PA 19087	City Wayne	State ZIP Code PA 19087

**C. REAL ESTATE LOCATION**

Street Address See Exhibit A		City, Township, Borough Radnor Township	
County Delaware	School District Radnor Township	Tax Parcel Number See Exhibit A	

**D. VALUATION DATA**

Was transaction part of an assignment or relocation?  Y  N

1. Actual Cash Consideration ██████	2. Other Consideration ██████	3. Total Consideration = ██████
4. County Assessed Value ██████	5. Common Level Ratio Factor X ██████	6. Computed Value = ██████

**E. EXEMPTION DATA - Refer to instructions for exemption status.**

1a. Amount of Exemption Claimed \$ ██████	1b. Percentage of Grantor's Interest In Real Estate ██████ %	1c. Percentage of Grantor's Interest Conveyed ██████ %
--	---	---

**2. Check Appropriate Box Below for Exemption Claimed.**

- Will or Intestate succession. \_\_\_\_\_ (Name of Decedent) \_\_\_\_\_ (Estate File Number)
- Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- Transfer from a trust. Date of transfer into the trust \_\_\_\_\_  
If trust was amended attach a copy of original and amended trust.
- Transfer between principal and agent/straw party. (Attach complete copy of agency/straw party agreement.)
- Transfers to the commonwealth, the U.S. and instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- Transfer from mortgagor to a holder of a mortgage in default. (Attach copy of mortgage and note/assignment.)
- Corrective or confirmatory deed. (Attach complete copy of the deed to be corrected or confirmed.)
- Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- Other (Please explain exemption claimed.) 72 P.S. 8102-C.3(1), 2017

**Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.**

Signature of Correspondent or Responsible Party <i>Barbara R Cobb</i>	Date 8/23/17
--	-----------------

**FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH REQUESTED DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.**

**Exhibit A**  
**Realty Transfer Tax Statement of Value**

**Section B: Name of Grantor**

- Francis J. Mirabello and S. Matthews V. Hamilton, Jr., Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust

**Section B: Name of Grantees**

- S. Matthews V. Hamilton, Jr. and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of S. Matthews V. Hamilton, Jr.;
- Margaret H. Duprey and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Margaret H. Duprey; and
- Nathaniel Peter Hamilton and Francis J. Mirabello, Trustees, Trust U/A Dorrance H. Hamilton dated March 15, 1996, as amended for the benefit of Nathaniel Peter Hamilton

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36-01-00200-00 (Premises A)	\$ [REDACTED]	\$ [REDACTED]
36-01-00236-03 (Premises B)	\$ [REDACTED]	\$ [REDACTED]
36-01-00236-02 (Premises C)	\$ [REDACTED]	\$ [REDACTED]

# DEED - 1920

91

SOUTH 59 DEGREES 56 MINUTES WEST 352 FEET MORE OR LESS TO MANHOLE #35; THENCE NORTH 55 DEGREES 12 MINUTES WEST RE-CROSSING DARBY CREEK 417 FEET MORE OR LESS TO MANHOLE #37; THENCE NORTH 33 DEGREES 17 MINUTES WEST RE-CROSSING DARBY CREEK 643 FEET MORE OR LESS TO MANHOLE #39; THENCE SOUTH 77 DEGREES 20 MINUTES WEST 493 FEET MORE OR LESS TO MANHOLE #41; THENCE NORTH 86 DEGREES 03 MINUTES WEST 401 FEET MORE OR LESS TO A POINT ON THE LINE DIVIDING LANDS OF ARTHUR E. PEW JR. AND GEORGE H. EARLE JR. ESTATE TO THE PLACE OF ENDING, SAID POINT IS AT THE DISTANCE OF 830 FEET MORE OR LESS MEASURED SOUTHEASTWARDLY ALONG SAID DIVIDING LINE FROM A POINT IN LINE OF LAND OF R. ALEXANDER MONTGOMERY AND GIRARD TRUST CORN EXCHANGE BANK, TRUSTEES.

SITUATE: RADNOR TOWNSHIP, DELAWARE COUNTY, PA.

TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND REGRESS TO AND OVER THE HEREBEFORE DESCRIBED LAND OF SAID GRANTOR FOR THE SAID GRANTEE, ITS CONTRACTORS OR THEIR OR ANY OF THEIR WORKMEN, SERVANTS, AGENTS, EMPLOYEES AND CONTRACTORS.

THIS INSTRUMENT IS BEING EXECUTED BY THE GRANTOR PURELY FOR THE PURPOSE OF ELIMINATING HER DOWER INTEREST IN THE EASEMENT HEREBY CONFERRED IN VIEW OF THE FACT THAT AN INDENTURE OF EASEMENT HAS ALREADY BEEN EXECUTED BY HER HUSBAND AS OWNER OF THE PROPERTY, COVERING THE SAME RIGHT AND PRIVILEGE OVER HIS LAND TO WHICH REFERENCE IS HEREIN MADE.

IN WITNESS WHEREOF, THE SAID PARTIES HAVE HEREUNTO SET THEIR HANDS AND AFFIXED OR CAUSED TO BE AFFIXED THEIR SEALS, THE DAY AND YEAR FIRST ABOVE WRITTEN.

IN THE PRESENCE OF:  
VERNON L. STONE

JULIA F. PEW (SEAL)  
RADNOR TOWNSHIP MUNICIPAL AUTHORITY (SEAL)  
BY GEORGE H. PRATT  
CHAIRMAN  
ATTEST E. O. HEUSER  
SECRETARY

STATE OF PENNSYLVANIA: SS:  
COUNTY OF PHILADELPHIA:

ON THE 1ST DAY OF AUGUST, A.D. 1957, BEFORE ME, THE SUBSCRIBER, ALMA MEYER, PERSONALLY APPEARED THE ABOVE NAMED JULIA F. PEW, AND IN DUE FORM OF LAW ACKNOWLEDGED THE ABOVE INDENTURE TO BE HER ACT AND DEED AND DESIRED THE SAME MIGHT BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

ALMA MEYER (SEAL)  
NOTARY PUBLIC, PHILADELPHIA, CO., PA.  
MY COMMISSION EXPIRES MARCH 19, 1961  
PAPPANO-----RECORDER  
COMPARED BY-- *Cut + King*

RECORDED AUGUST 9 11:36 AM '57  
WRITTEN BY M. BOYLEN

## INDENTURE OF EASEMENT

THIS INDENTURE MADE THIS 18TH DAY OF JUNE A.D. 1957, BETWEEN RICHARD W. FOSTER AND ELIZABETH R. FOSTER, HIS WIFE, OF THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, HEREINAFTER CALLED "GRANTORS", AND RADNOR TOWNSHIP MUNICIPAL AUTHORITY, A MUNICIPAL AUTHORITY DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, HEREINAFTER CALLED "GRANTEE",

### WITNESSETH:

THAT THE SAID GRANTORS, FOR AND IN CONSIDERATION OF THE SUM OF [REDACTED] LAWFUL MONEY UNTO THEM WELL AND TRULY PAID BY THE SAID GRANTEE, THE RECEIPT WHEREOF IS HEREBY ACKNOWLEDGED, AND OTHER GOOD AND VALUABLE CONSIDERATIONS THEM HEREUNTO MOVING, AND WITH INTENT TO BE LEGALLY BOUND, HAVE GRANTED, BARGAINED, SOLD, RELEASED, QUIT-CLAIMED AND CONFIRMED, AND BY THESE PRESENTS DO GRANT, BARGAIN, SELL, RELEASE, QUIT-CLAIM AND CONFIRM UNTO THE SAID GRANTEE, ITS SUCCESSORS AND ASSIGNS, THE RIGHT AND PRIVILEGE OF CONSTRUCTING RECONSTRUCTING, MAINTAINING AND USING A SANITARY SEWER UNDER AND THROUGH A CERTAIN STRIP OF LAND OF THE SAID GRANTORS IN THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, THE CENTER LINE OF WHICH IS DESCRIBED AS FOLLOWS: (32)

DESCRIPTION OF SANITARY SEWER RIGHT OF WAY  
THROUGH LAND OF RICHARD W. FOSTER ETUX.

BEGINNING AT A POINT ON THE LINE DIVIDING LANDS OF WILLIAM S. WILEY AND RICHARD W.

*1920-1921*

1920/91

# DEED - 1920

92

FOSTER ETUX. SAID POINT IS AT THE DISTANCE OF 10 FEET MORE OR LESS MEASURED SOUTHEASTWARDLY ALONG SAID DIVIDING LINE FROM A CORNER OF LANDS OF WILLIAM S. WILEY AND RICHARD W. FOSTER ETUX.; THENCE NORTH 62 DEGREES 06 MINUTES EAST 160 FEET MORE OR LESS TO MANHOLE #15; THENCE SOUTH 30 DEGREES 42 MINUTES EAST 242 FEET MORE OR LESS TO MANHOLE #16; THENCE NORTH 85 DEGREES 50 MINUTES EAST 3 FEET MORE OR LESS TO A POINT ON THE LINE DIVIDING LANDS OF PAUL R. PEACOCK AND RICHARD W. FOSTER ETUX. THE PLACE OF ENDING, SAID POINT IS AT THE DISTANCE OF 160 FEET MORE OR LESS MEASURED NORTHWESTWARDLY ALONG SAID DIVIDING LINE FROM A CORNER OF LANDS OF PAUL R. PEACOCK AND RICHARD W. FOSTER, ETUX.

SITUATE: RADNOR TOWNSHIP, DELAWARE COUNTY, PA. TOGETHER WITH THE RIGHT OF INGRESS, EGRESS AND REGRESS TO AND OVER THE HEREBEFORE DESCRIBED LAND OF SAID GRANTORS FOR THE SAID GRANTEE, ITS CONTRACTORS OR THEIR OR ANY OF THEIR WORKMEN, SERVANTS, AGENTS, EMPLOYEES AND CONTRACTORS.

THE GRANTEE AGREES THAT, AT ITS OWN COST AND EXPENSE IT WILL CONNECT OR RECONNECT THE PRESENT BUILDINGS ON THE PREMISES, OF WHICH THE ABOVE RIGHT OF WAY IS A PART, WITH THE SEWER LINE CONSTRUCTED IN SAID RIGHT OF WAY, PROVIDING SAID CONNECTION CAN BE MADE WITHIN A DISTANCE OF NOT MORE THAN 25 FEET FROM SAID SEWER LINE, AND PROVIDED FURTHER THAT NOTHING HEREIN CONTAINED SHALL BE CONSTRUED TO RELIEVE THE GRANTORS, THEIR HEIRS, EXECUTORS, ADMINISTRATORS AND ASSIGNS, FROM THE PAYMENT OF SEWER RENTAL TO THE TOWNSHIP OF RADNOR OR THE GRANTEE, AS THE CASE MAY BE, FOR THE DISPOSAL OF SEWAGE.

THE GRANTEE FURTHER AGREES THAT THE PROPERTY OF THE GRANTORS, OF WHICH THE ABOVE RIGHT OF WAY IS A PART, SHALL BE FREE FROM ASSESSMENT FOR THE COST OF CONSTRUCTING SAID SEWER LINE.

IN WITNESS WHEREOF, THE SAID PARTIES HAVE HEREUNTO SET THEIR HANDS AND AFFIXED OR CAUSED TO BE AFFIXED THEIR SEALS, THE DAY AND YEAR FIRST ABOVE WRITTEN.

SIGNED, SEALED AND DELIVERED

IN THE PRESENCE OF:  
CONSTANCE M. CAMATON  
CONSTANCE M. CAMATON

RICHARD W. FOSTER (SEAL)  
ELIZABETH R. FOSTER (SEAL)  
RADNOR TOWNSHIP MUNICIPAL AUTHORITY (SEAL)  
BY GEORGE H. PRATT  
CHAIRMAN  
ATTEST E. O. HEUSER  
SECRETARY

COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF PHILADELPHIA : SS:

ON THE 18TH DAY OF JUNE, A.D. 1957, BEFORE ME, THE SUBSCRIBER, -----PERSONALLY APPEARED THE ABOVE NAMED RICHARD W. FOSTER AND ELIZABETH R. FOSTER, HIS WIFE, AND IN DUE FORM OF LAW ACKNOWLEDGED THE ABOVE INDENTURE TO BE THEIR ACT AND DEED AND DESIRED THE SAME MIGHT BE RECORDED AS SUCH.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

CONSTANCE M. CAMATON (SEAL)  
NOTARY PUBLIC, PHILADELPHIA, PHILA.  
COUNTY  
MY COMMISSION EXPIRES MARCH 25, 1958

AUGUST 9 11:37 AM '57  
WRITTEN BY M. HOYLEN

PAPPANO-----RECORDER  
COMPARED BY- *Csh + King*

## INDENTURE OF EASEMENT

~~THIS INDENTURE MADE THIS 26TH DAY OF JUNE A.D. 1957, BETWEEN R. ALEXANDER MONTGOMERY AND GIRARD TRUST CORN EXCHANGE BANK, TRUSTEES UNDER DEED OF ROBERT L. MONTGOMERY ET UX OF THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, HERENAFTER CALLED "GRANTORS", AND RADNOR TOWNSHIP MUNICIPAL AUTHORITY, A MUNICIPAL AUTHORITY DULY ORGANIZED AND EXISTING UNDER THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA, HERENAFTER CALLED "GRANTEE",~~

### WITNESSETH:

~~THAT THE SAID GRANTORS, FOR AND IN CONSIDERATION OF THE SUM OF [REDACTED] LAWFUL MONEY UNTO THEM WELL AND TRULY PAID BY THE SAID GRANTEE, THE RECEIPT WHEREOF IS~~



*First American Title*<sup>™</sup>

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

# Commitment

### COMMITMENT FOR TITLE INSURANCE

Issued By

**FIRST AMERICAN TITLE INSURANCE COMPANY**

#### NOTICE

**IMPORTANT—READ CAREFULLY:** THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

#### COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I—Requirements; Schedule B, Part II—Exceptions; and the Commitment Conditions, **First American Title Insurance Company**, a Nebraska Corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I—Requirements have not been met within six months after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

#### **First American Title Insurance Company**

Dennis J. Gilmore, President

Jeffrey S. Robinson, Secretary

If this jacket was created electronically, it constitutes an original document.

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AMERICAN  
LAND TITLE  
ASSOCIATION



## COMMITMENT CONDITIONS

### 1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I—Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I—Requirements;
- (f) Schedule B, Part II—Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

### 4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

### 5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
  - (i) comply with the Schedule B, Part I—Requirements;
  - (ii) eliminate, with the Company's written consent, any Schedule B, Part II—Exceptions; or
  - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I—Requirements have been met to the satisfaction of the Company.

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(g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

**6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT**

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.
- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
- (d) The deletion or modification of any Schedule B, Part II—Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
- (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
- (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.

**7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**

The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.

**8. PRO-FORMA POLICY**

The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.

**9. ARBITRATION**

The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

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**First American Title™**

# ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

COMMITMENT NUMBER

**PAFA19-0709 D/M**

## Schedule A

**Transaction Identification Data for reference only:**

Issuing Agent: **LAND SERVICES USA, INC.**

Issuing Office: **1835 Market Street, Suite 420, Philadelphia, PA 19103**

Loan ID No:  
Revision No.:

Issuing Office File No: **PAFA19-0709 D/M**

### SCHEDULE A

1. Commitment Date: **12/31/2018**

2. Policy to be issued:

- (a)  ALTA® Owner's Policy of Title Insurance (6-17-06)
- ALTA Homeowner's Policy (Rev. 12-2-13) (EAGLE)
- Other

Proposed Insured: **Haverford Properties Inc.**

Proposed Policy Amount: [REDACTED]

- (b)  ALTA® Loan Policy of Title Insurance (6-17-06)
- ALTA® Expanded Coverage Residential Loan – Current Assessments (4-2-15) (EAGLE)
- ALTA® Short Form Residential Loan – Current Violations (4-2-15)
- ALTA® Short Form Expanded Coverage Residential Loan – Current Assessments (4-2-15) (EAGLE)

Proposed Insured: **Lender with contractual obligations under a loan agreement with the Proposed Insured Owner**

Proposed Policy Amount: [REDACTED]

3. The estate or interest in the land described or referred to in this Commitment is fee simple.

4. Title to the fee simple estate or interest in the Land is at the Commitment Date vested in:

**Margaret H. Duprey, Nathaniel Peter Hamilton, Jr., a/k/a N. Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr. and Barbara R. Cobb, Surviving Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust**

### LAND SERVICES USA, INC.

By:   
Authorized Signatory

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## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

## Schedule A (Cont.)

COMMITMENT NUMBER

**PAFA19-0709 D/M**

Commitment No.: **PAFA19-0709 D/M**

5. The Land is described as follows:

*For informational purposes only:*

**204 Strafford Avenue (Premises "A")  
228 Strafford Avenue and 0 Strafford Avenue (Premises "B") and  
Strafford Avenue (Premises "C")  
Radnor Township  
County of Delaware, PA**

**See continuation of Schedule A on Exhibit A attached hereto and made a part hereof.**

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
	ISSUED BY <b>First American Title Insurance Company</b>
<b>Schedule BI &amp; BII</b>	COMMITMENT NUMBER <b>PAFA19-0709 D/M</b>

Commitment No.: PAFA19-0709 D/M

**SCHEDULE B, PART I  
Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
  - a. **Deed from Margaret H. Duprey, Nathaniel Peter Hamilton, Jr., a/k/a N. Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr. and Barbara R. Cobb, Surviving Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust to Haverford Properties Inc. conveying the subject property set forth under Schedule A.**
  - b. **Mortgage from Haverford Properties Inc. to Lender with contractual obligations under a loan agreement with the Proposed Insured Owner securing the principal amount of [REDACTED]**
5. Original photo identification for all parties to the transaction must be provided.
6. Proof to be furnished that as to each grantor/mortgagor who is an individual, if presently married, that he/she is neither separated from his/her spouse nor a party to any pending divorce proceeding in any jurisdiction, otherwise, the non-record spouse must join in the deed or mortgage contemplated hereunder.
7. Proof that there are no overdue support obligations of record with the Domestic Relations Section of the parties to this transaction, up through the date of recording of the instruments to be insured.
8. Town, County and School Taxes and Water and Sewer Rents for the prior three years. (Receipts to be produced and filed with the Company.) If certification of payment or amount due is obtained from the taxing and municipal authorities in lieu of such receipts, proof must be provided that the taxing and municipal authorities have not turned collection of any unpaid amounts over to a collection agency or law firm. Absent such proof, or if the taxing or municipal authorities have turned collection over to a collection agency or law firm, then additional certification of payment or amount due to be obtained from such collection agency or law firm.
9. Real Estate Taxes and Municipal Claims (If paid, receipts are to be produced and filed with the Company).
10. The Company may make other requirements or exceptions upon its review of the documents creating the estate or interest to be insured or otherwise ascertaining details of the transaction.

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## ALTA Commitment for Title Insurance

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**First American Title Insurance Company**

COMMITMENT NUMBER

**PAFA19-0709 D/M**

### Schedule BI & BII (Cont.)

Commitment No.: **PAFA19-0709 D/M**

#### 11. TAXES:

##### **Premises "A"**

Folio No.: 36-01-00538-00 / Map No. 36-11-348:000

2019 Assessment: [REDACTED]

##### **Premises "B"**

Folio No.: 36-01-00539-00 / Map No. 36-11-347:001

2019 Assessment: [REDACTED]

Folio No.: 36-01-00540-00 / Map No. 36-11-347-000

2019 Assessment: [REDACTED]

##### **Premises "C"**

Folio No.: 36-01-00541-01 / Map No. 36-11-349:001

2019 Assessment: [REDACTED]

12. **MECHANIC AND MUNICIPAL CLAIMS:** None

13. **MORTGAGES:** None

14. **FINANCING STATEMENTS:** None

15. **JUDGMENTS:** None

16. **BANKRUPTCIES:** None

17. With respect to Haverford Properties Inc., the following to be produced and reviewed by Company:

- a. Articles of Incorporation and proof that same have been filed in the state of incorporation.
- b. Good standing certificate issued by state of incorporation.
- c. Certified copy of resolutions of board of directors of authorizing the insured purchase in accordance with its articles and by-laws and designating those officers empowered to bind the corporation.
- d. Settled taxes due the Commonwealth of Pennsylvania (Search ordered).

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## ALTA Commitment for Title Insurance

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COMMITMENT NUMBER

**PAFA19-0709 D/M**

### Schedule BI & BII (Cont.)

Commitment No.: **PAFA19-0709 D/M**

18. With respect to The Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust, (the "Trust") the following must be submitted prior to closing:

- a. an executed and acknowledged Certification of Trust meeting the requirements of 20 Pa. C.S. 7790.3 (the company will provide a form upon request); and
- b. a full and complete copy of the trust agreement which established the Trust, together with any and all amendments and/or supplements thereto, or a certified abstract of trust or certified excerpts of trust in form and substance satisfactory to the company.

Note: The trust agreement must be sufficient in the company's judgment to establish the legal existence of the Trust, to identify the trustee's thereof, and to empower the trustees to sell the real property covered by this commitment.

19. Proof of death of Dorrance H. Hamilton, Trustee under the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust
20. Possible Inheritance and Estate Tax due to Commonwealth of Pennsylvania by the Estate of Dorrance H. Hamilton, deceased.
21. Possible Federal Estate Tax due the United States of America by the Estate of Dorrance H. Hamilton, deceased.
22. If title to the Land is currently held by an entity (partnership, corporation, limited liability company, etc.), the proceeds from this transaction will only be disbursed to said entity, and not to any other party.
23. The Proposed Policy Amount(s) must be increased or decreased to the full value of the estate or interest being insured, and any additional premium must be paid at that time. An Owner's Policy should reflect the full consideration paid for the Land. A Loan Policy should reflect the loan amount or the fair market value of the property as collateral if the loan amount is greater than the value of the property. Further details on policy amounts that are permitted are contained in the Manual of the Title Insurance Rating Bureau of Pennsylvania.

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<b>Schedule BI &amp; BII</b>	COMMITMENT NUMBER <b>PAFA19-0709 D/M</b>

Commitment No.: **PAFA19-0709 D/M**

**SCHEDULE B, PART II**

**Exceptions**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Any defect, lien, encumbrance, adverse claim, or other matter that appears for the first time in the Public Records or is created, attaches, or is disclosed between the Commitment Date and the date on which all of the Schedule B, Part I—Requirements are met.
2. Rights or claims by parties in possession or under the terms of any unrecorded lease or agreement(s) of sale.
3. Any variation in location of lines or dimensions or other matters which an accurate survey would disclose.
4. Easements, or claims of easements, not shown by the Public Records.
5. Any lien or right to a lien, for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
6. Possible tax increase based on additional assessments.
7. Accuracy of area content not insured.
8. Title to that part of the premises lying in the bed and right of way of all roads, driveways and alleyways is subject to public and private rights therein.
9. Indenture of Easement for Sanitary Sewer purposes in Deed Book 1920 page 91.
10. Easement Agreement as to a Sanitary Sewer and Lateral in Deed Book 2298 page 481.
11. Subject to conditions shown on Plan #22 page 155.

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 <b>First American Title™</b>	<b>ALTA Commitment for Title Insurance</b>
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<b>Exhibit A</b>	COMMITMENT NUMBER <b>PAFA19-0709 D/M</b>

Commitment No.: **PAFA19-0709 D/M**

**EXHIBIT A  
LEGAL DESCRIPTION**

**PREMISES "A"**

ALL THAT CERTAIN lot or tract of land with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania, described according to a survey thereof, made by John F. Kauffman, Civil Engineer on September 22, 1886, as follows, to wit:

BEGINNING at a point in the center line of a public road leading from the Philadelphia and Lancaster Turnpike to the Gulf Road and known as the Eagle Road, where the center line of a new Avenue leaving to Eagle Station meets the said center line of the said Eagle Road; thence along the center line of the said new Avenue North twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet; thence by a line parallel with the said Eagle Road and along the line of land conveyed by Henry D. Hughes and wife to Richard T. McCarter, Jr., South sixty four degrees, fifty eight minutes West two hundred seventy two and fifteen one-hundredths feet to a point in line of land conveyed by William Robb to the said Clara T. Shaw; thence along the said last mentioned land by a line parallel with the aforesaid avenue South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the aforesaid center line of said Eagle Road; thence along the center line of said Eagle Road North sixty four degrees, fifty eight minutes East two hundred seventy two and fifteen one-hundredths feet to the first mentioned point and place of beginning.

ALSO ALL THAT CERTAIN tract of land, situate in the Township and County aforesaid,

BEGINNING at a stone in the center line of a public road called the Eagle Road the distance of two hundred thirty eight feet and one tenths of a foot measured along the center line of the said road Northeastwardly from the corner of land now or late of John B. Thayer; thence along the said center line of the said Road North sixty four degrees, fifty eight minutes East two hundred five and seven tenths feet to a stone set for a corner in the center line of an Avenue thirty three feet wide (lately vacated); thence along the center line of the said vacated Avenue being also a line of land conveyed by Harry C. Banks and wife to the said Clara T. Shaw North twenty five degrees, two minutes West three hundred twenty and twelve one-hundredths feet to a corner of land conveyed by William Robb to Richard T. McCarter Jr.; thence along the said land of the said Richard T. McCarter Jr., South sixty four degrees, fifty eight minutes West two hundred five and seven tenths feet to a point in the middle of land of Ellwood Wilson; thence along the said land South twenty five degrees, two minutes East three hundred twenty and twelve one-hundredths feet to the first mentioned point and place of beginning.

BEING known as 204 Strafford Avenue.

BEING Folio No.: 36-01-00538-00.

**PREMISES "B"**

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware, State of Pennsylvania, described according to a survey thereof made by Wilson R. and John B. Yerkes, Civil Engineers and Surveyors of Byrn Mawr, Pennsylvania, dated June 6, 1962, as follows:



*First American Title™*

# ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

## Exhibit A

Commitment No.: **PAFA19-0709 D/M**

BEGINNING at a point in the middle of Strafford Avenue (50 feet wide) said point is at the distance of three hundred twenty and forty-five one hundredths feet (320.45') measured North twenty-five degrees two minutes West (N 25° 02' W.) along the middle of Strafford Avenue from its intersection with the middle of Eagle Road; thence leaving Strafford Avenue by land of L. Weinrich South sixty-four degrees fifty-eight minutes West (S. 64° 58' W.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to an iron pin in line of land of Lecian Von Bermuth; thence partly by the same and partly by land of various owners North twenty-five degrees two minutes West (N. 25° 02' W.) four hundred twenty-one and fifty one hundredths feet (481.50') to a stone; thence by land of Elisabeth J. Grant North sixty-five degrees five minutes East (N. 65° 05' E.) four hundred seventy-seven and eighty-five one hundredths feet (477.85') to a point in the middle of Strafford Avenue aforesaid; thence along the middle of same South twenty-five degrees two minutes East (S. 25° 02' E.) four hundred twenty and forty-five one hundredths feet (420.45') to the place of beginning.

BEING known as 228 Strafford Avenue and 0 Strafford Avenue

BEING Folio Nos. 36-01-00539-00 and 36-01-00540-00.

### PREMISES "C"

ALL THAT CERTAIN piece or parcel of land situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, being known as "Lot 2" and being bound and described according to a plan entitled "205 Strafford Avenue & 321 Eagle Road, Lot Line Change Plan, Prepared For Mrs. S. M. V. Hamilton" dated July 20, 2001 and last revised October 15, 2001 as prepared by Yerkes Associates, Inc., Rosemont, PA and being more particularly described as follows:

BEGINNING at a point in the center of Strafford Avenue (40 feet wide), said point being measured North 24 degrees 55 minutes 00 seconds West, in the center of said Strafford Avenue, 383.09 feet from a point formed by the intersection of the center of said Strafford Avenue and the center of Eagle Road (40 feet wide), thence extending from said point of beginning, in the center of Strafford Avenue North 24 degrees 55 minutes 00 seconds West, 40.00 feet to a point; thence crossing the Northeasterly right-of-way line of Strafford Avenue and extending along the Southeasterly property line of lands now or formerly of Joseph & Joann Marcos North 64 degrees 58 minutes 00 seconds East, 272.15 to a point, a marble monument; thence extending along the Northeasterly property line of lands now or formerly of said Marcos, lands now or formerly of John & Kathryn Brooks, lands now or formerly of Guy & Deborah Vanderlaag and lands now or formerly of Janet Wiley North 24 degrees 55 minutes 00 seconds West, 422.22 feet to a point, an iron pin set, on the Southeasterly property line of lands now or formerly of Frederick & Cynthia Hansen; thence extending along said Southeasterly property line of lands of said Hansen North 65 degrees 05 minutes 00 seconds East, 165.00 feet to a point on the Southwesterly property line of lands now or formerly of Ann Clothier; thence extending along said Southwesterly property line of lands of said Clothier and lands now or formerly of Edward & Kathleen Kerpius South 24 degrees 55 minutes 00 seconds East, 422.22 feet to a point, an iron pin; thence extending along the Southwesterly property line of lands now or formerly of Gwendolyn Brown, lands now or formerly of Marie Roller, lands now or formerly of Honor Chapin Maxfield, lands now or formerly of Christine Carey and lands now or formerly of Vahe Torunian & Mary Beth Fischer South 36 degrees 17 minutes 00 seconds East, 257.67 feet to a point, an iron pin; thence extending along the Northwesterly property line of Lot 3 (as shown on said plan) South 64 degrees 58 minutes 00 seconds West, 12.00 feet to a point; thence extending along the Southwesterly property line of said Lot 3 South 25 degrees 02 minutes 00 seconds East, crossing the Northwesterly right-of-way line of Eagle Road, 170.00 feet to a point in the center of said Eagle Road; thence extending in the center of Eagle Road South 64 degrees 58 minutes 00 seconds West, 204.13 feet to a point; thence crossing over a marble monument on the Northwesterly right-of-way line of Eagle Road and extending along the Northeasterly property line of Lot 1 (as shown on said plan) North 24 degrees 55 minutes 00 seconds West, 383.06 feet to a point; thence extending along the Northwesterly property line of the aforementioned Lot 1 South 64 degrees 58 minutes 00 seconds West, recrossing the aforementioned Northeasterly right-of-way line of Strafford Avenue, 272.15 feet to the first mentioned point and place of beginning.



*First American Title*<sup>™</sup>

## ALTA Commitment for Title Insurance

ISSUED BY

**First American Title Insurance Company**

# Exhibit A

Commitment No.: **PAFA19-0709 D/M**

CONTAINING: three and seven hundred fifty one-thousandths (3.750 Acres) parts of an acre, be the same more or less.

BEING known as Strafford Avenue. .

BEING Folio No.: 36-01-00541-01.

### **AS TO PREMISES "A" AND "B"**

BEING INTER ALIA the same premises which Dorrance H. Hamilton, a/k/a Dorrance Hill Hamilton, by Deed dated 4/24/2009 and recorded 6/23/2009 in Delaware County in Volume 4569 page 60, conveyed unto Dorrance H. Hamilton, Margaret H. Duprey, Nathaniel Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr. and Barbara R. Cobb, Trustees of the Dorrance H. Hamilton March 15, 1996 Revocable Agreement of Trust, in fee.

### **AS TO PREMISES "C"**

BEING THE SAME premises which Dorrance H. Hamilton, Margaret H. Duprey, N. Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr. and Barbara R. Cobb, Trustees under Agreement dated March 15, 1996, as amended, by Deed of Confirmation dated 11/8/2001 and recorded 11/20/2001 in Delaware County in Volume 2302 page 410, conveyed unto Dorrance H. Hamilton, Margaret H. Duprey, N. Peter Hamilton, Jr., S. Matthews V. Hamilton, Jr. and Barbara R. Cobb, Trustees under Agreement dated March 15, 1996, in fee.

AND THE SAID Dorrance H. Hamilton, a/k/a Dorrance Hill Hamilton has since departed this life on 4/18/2017.

**George W. Broseman**  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: gbroseman@kaplaw.com

December 10, 2020

**VIA FIRST CLASS MAIL**

Stephen Norcini  
Township Engineer  
Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087

**RE: Preliminary Land Development Application #2020-LD-08 and #2020-LD-09 –  
Eagle Road Hamilton Estate; Conditional Use Application – 208 & 228 Strafford  
Avenue and 18 Forrest Lane – Hamilton Estate  
Our Reference: 15709-1**

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Dear Mr. Norcini:

In accordance with Radnor Township Code provisions, I am enclosing the following documents on behalf of the Dorrance H. Hamilton 3/15/1996 Trust, applicant in the above matter, in advance of the upcoming public meetings:

1. A copy of the notice sent by this office to property owners in the vicinity of the property utilizing the addresses provided to us by Radnor Township; and
2. Original United States Postal Service 3877 forms, (Blue Bell Post Office) date-stamped December 9, 2020.

Should you have any questions, please do not hesitate to contact me.

Sincerely,



George W Broseman

GWB:sl  
Enclosure

December 10, 2020

**VIA FIRST CLASS MAIL (PROOF OF MAILING)**

**RE: Preliminary Land Development - Plan Land Development Application #2020-LD-08 and #2020-LD-09 - Eagle Road Hamilton Estate; Conditional Use Application – 208 & 228 Strafford Avenue and 18 Forrest Lane - Hamilton Estate**

Dear Neighbor,

We have submitted an application to Radnor Township for the approval of a preliminary land development plan to subdivide the above property into 9 single family lots and construct 9 single family homes along Eagle Road.

We have also submitted a Conditional Use Application for 208 & 228 Strafford Avenue, and 18 Forrest Lane, to construct 41 Townhomes under the Density Modification provisions in §280.90 of the Radnor Township Zoning Code.

These plans are available for public viewing in the Engineering Department. The Land Development Plans for Eagle Road and the Conditional Use Application for Strafford Road will be reviewed by the Planning Commission at a scheduled meeting on **Monday December 21, 2020**:

This Planning Commission meeting will begin at 6:00 P.M. Currently, these meetings are being held via Zoom.

Sincerely,



George W. Broseman

*GWB:sl*



Firm Mailing Book For Accountable Mail

Name and Address of Sender  
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1. \_\_\_\_\_

YOUNG LESLIE L  
632 W BEECHTREE LN  
WAYNE, PA 19087

2. \_\_\_\_\_

YOST MICHELE M & JONATHAN P  
528 W BEECHTREE LA  
WAYNE, PA 19087

3. \_\_\_\_\_

BOSTWICK WENDY A  
520 W BEECH TREE LN  
WAYNE, PA 19087

4. \_\_\_\_\_

PERROT PAUL J  
514 W BEECHTREE LN  
WAYNE, PA 19087

5. \_\_\_\_\_

HODGEMAN MARK  
527 W BEECH TREE LANE  
WAYNE, PA 19087

6. \_\_\_\_\_

WILLIS MICHAEL G & SAWYER J KANNAN  
25 FOREST RD  
WAYNE, PA 19087

7. \_\_\_\_\_

TOEBE JOHN W & PATRICIA  
19 FOREST RD  
WAYNE, PA 19087

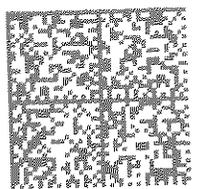
8. \_\_\_\_\_

GEAGAN MICHAEL J & DONYA  
15 FOREST RD  
WAYNE, PA 19087

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 1

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US POSTAGE  
CORRECTION  
ZIP 19422  
1209/2020  
034A 0081800912

Postage (Extra Service) Fee	Handling Charge	Actual if Rec	SH Fee
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.50	.43		
.50	.43		
.50	.43		
4.00	4.51		

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

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219.18

1



Name and Address of Sender

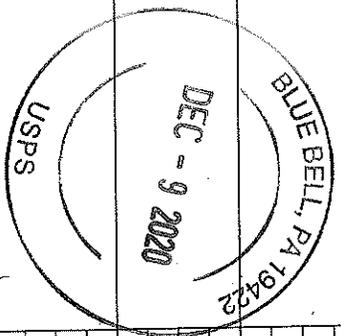
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

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Postmark with Date of Receipt.

USPS Tracking/Article Number	1.	2.	3.	4.	5.	6.	7.	8.



*OKM*

LEE BRIAN E & ELIZABETH W 11 FOREST RD WAYNE, PA 19087								
BROWNE DENNIS E 10 FOREST RD WAYNE, PA 19087								
KRIEDEL DAVID 530 W BEECHTREE LA WAYNE, PA 19087								
KOZUL MARGARET A 524 W BEECHTREE LANE WAYNE, PA 19087								
EDKINS THOMAS J 518 W BEECH TREE LANE WAYNE, PA 19087								
BROWN RUTH A 510 W BEECHTREE LN WAYNE, PA 19087								
PAHOMOV GEORGE S ETAL 525 W BEECHTREE LN WAYNE, PA 19087								
WALTERS LINDA 23 FOREST RD WAYNE, PA 19087								

Postage (Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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4.00	3.44										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

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*2*



Name and Address of Sender

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910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
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- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

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USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage (Extra Services) Fee

Handling Charge

Actual Value if Registered

Insured Value

Due Sender if COD

ASR Fee

ASRD Fee

RD Fee

RR Fee

SC Fee

SCRD Fee

SH Fee

1.		FULTON NEAL 6 FOREST RD WAYNE, PA 19087	.50	.43	Handling Charge - if Registered and over \$50,000 in value															
2.		121 INVESTMENTS LLC 705 PONDVIEW WAY DOWNINGTOWN, PA 19335	.50	.43																
3.		MELTZER ARTHUR H & DEBRA V 528 W BEECHTREE LA WAYNE, PA 19087	.50	.43																
4.		MARTIN JAMES W & EKATERINI K 522 W BEECHTREE LN WAYNE, PA 19087	.50	.43																
5.		RHINE MICHAEL S & ANNA M 516 W BEECHTREE LN WAYNE, PA 19087	.50	.43																
6.		BROWN MICHAEL J & DONNA S 523 W BEECHTREE LANE RADNOR, PA 19087	.50	.43																
7.		MCCLYMONT ALFRED & MCCLYMONT DONNA 21 FOREST ROAD WAYNE, PA 19087	.50	.43																
8.		HALLAM TREVOR J & JACQUELINE A 17 FOREST RD WAYNE, PA 19087	.50	.43																

Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

3



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
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- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation

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USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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Total Number of Pieces Listed by Sender		8		4.00		3.44							

DEC - 9 2020  
L, PA 19422  
OKW

CELLUCCI BERNADETTE  
13 FOREST RD  
WAYNE, PA 19087

FELSKE DOUGLAS M  
8 FOREST RD  
WAYNE, PA 19087

DELONG C FEDERICK & PAULA T  
14 FOREST ROAD  
WAYNE, PA 19087

JUNIOR JAY L  
16 FOREST ROAD  
WAYNE, PA 19087

SMITH JENNIFER D  
515 W BEECHTREE LA  
WAYNE, PA 19087

ALFONSO PEDRO & AUCIA  
507 W BEECH TREE LN  
WAYNE, PA 19087

LOFTUS ANTHONY P & MARY J  
502 W BEECHTREE LANE  
WAYNE, PA 19087

LIND ROGER B & MONICA  
344 S DEVON AVENUE  
WAYNE, PA 19087

4



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Certified Mail
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- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1. BEACOM DANIEL ROGER & JENNIFER HINZ  
332 S DEVON AVE  
WAYNE, PA 19382

2. SPOSATO RICHARD S & VINCENT P &  
STEPHANIE  
219 SUGARTOWN RD  
WAYNE, PA 19087

3. CARNUNTUM ASSOCIATES LP  
560 AMERICAN AVE #1  
KING OF PRUSSIA, PA 19406

4. FORSTER ROBERT S JR AND  
BERNADETTE C  
18 FOREST ROAD  
WAYNE, PA 19087

5. BOWER JEFFREY E & DEBORAH E  
513 W BEECHTREE LANE  
WAYNE, PA 19087

6. KERPIUS EDWARD D & LORI B  
509 W BEECHTREE LN  
WAYNE, PA 19087

7. HILLMAN MARK H & ABIGAIL N  
505 W BEECHTREE LN  
WAYNE, PA 19087

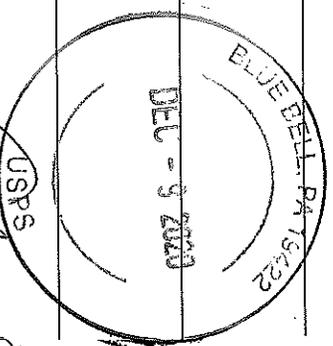
8. MATTIONI MICHAEL & JILLIAN T  
200 MARSHALL ST  
KENNETT SQUARE, PA 19348

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
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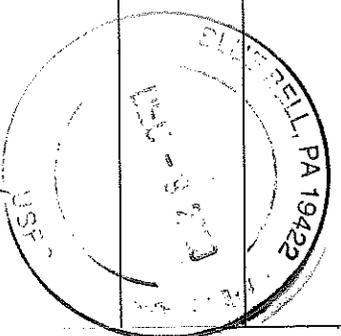


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
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  - Adult Signature Restricted Delivery
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  - Priority Mail Express
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USPS Tracking/Article Number	Check type of mail or service
1.	DALLAS ROBERT L & SUSAN A 340 S DEVON AVE WAYNE, PA 19086
2.	LOTT ANDREW PETER & NANCY WISE 328 S DEVON AVE WAYNE, PA 19087
3.	ZAHM NATHAN C & ASHLEY J 619 W BEECHTREE LA WAYNE, PA 19087
4.	CONDELLO MARK W & ANNE E 511 W BEECHTREE LN WAYNE, PA 19087
5.	ALFONSO PEDRO & ALICIA 507 W BEECH TREE LN WAYNE, PA 19087
6.	LOFTUS ANTHONY P & MARY J 502 W BEECHTREE LANE WAYNE, PA 19087
7.	FLETCHER FREDERICK B & KATHLEEN 4 FOREST RD WAYNE, PA 19087
8.	GANZ ADI & GLICK MIRIAM B 2 FOREST RD WAYNE, PA 19087



Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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4.00	3.44											

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 Total Number of Pieces Received at Post Office: **8**

PS Form 3877, January 2017 (Page 1 of 2)  
 PSN 7530-02-000-9098

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Blue Bell, PA 19422

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USPS Tracking/Article Number
1.
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3.
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8.

RICHTER WALLACE E F ETUX  
336 S DEVON AVE  
WAYNE, PA 19087

SPOSATO RICHARD S & VINCENT P &  
STEPHANIE  
219 SUGARTOWN RD  
WAYNE, PA 19087

CARNUNTUM ASSOCIATES LP  
650 AMERICAN AVE #1  
KING OF PRUSSIA, PA 19406

WU JING  
389 MORRIS RD  
WAYNE, PA 19087

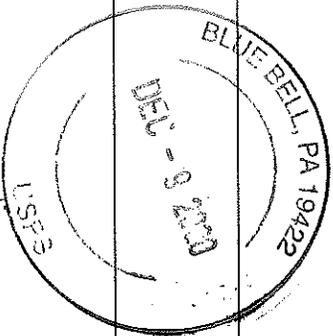
HENDERSON KATHERINE  
4 CLOVER LA  
WAYNE, PA 19087

FALCONE VINCENTO  
375 MORRIS RD  
WAYNE, PA 19087

CARMICHAEL SARA & SILVERMAN JEREMY  
10 CLOVER LA  
WAYNE, PA 19087

MCGARRIGLE WILLIAM M & ELIZABETH M  
100 MONUMENT AVE  
MALVERN, PA 19355

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
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*[Handwritten Signature]*

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Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery
- Parcel Mail

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USPS Tracking/Article Number

1. MCDONNELL RICHARD T & BARBARA  
14 CLOVER LN  
WAYNE, PA 19087

2. ROYLE ARTHUR H & MARYELLEN F  
359 MORRIS RD  
WAYNE, PA 19087

3. T A DOONER SALES LLC & MEDFORD  
ENTERPRISES  
321 MIDLAND AVE  
WAYNE, PA 19087

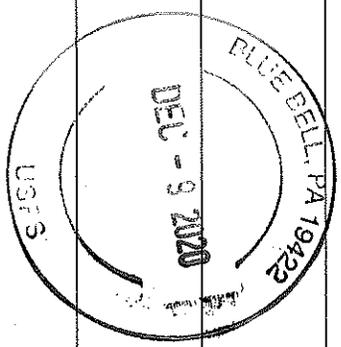
4. DIGNAZIO ANTHONY M III & FLORENCE D  
343 MORRIS RD  
WAYNE, PA 19087

5. HAYES JEAN C  
391 MORRIS RD  
WAYNE, PA 19087

6. DEFLAVIS NELLO & FREDERICKA A  
2 CLOVER LN  
WAYNE, PA 19087

7. REINHART MARGARET  
6 CLOVER LN  
WAYNE, PA 19087

8. SHIKITINO FRANK  
373 MORRIS RD  
WAYNE, PA 19087



Postage (Extra Services) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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.50	.43				Adult Signature Required						
.50	.43				Adult Signature Restricted Delivery						
.50	.43				Restricted Delivery						
.50	.43				Return Receipt						
.50	.43				Signature Confirmation						
.50	.43				Signature Confirmation Restricted Delivery						
.50	.43				Special Handling						
4.00		3.44									

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

*OK*

9



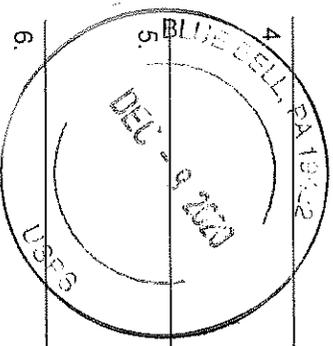
Name and Address of Sender

KAPLIN STEWART  
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Blue Bell, PA 19422

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USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	
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DOVIDIO ROBERT & MICHELLE 12 CLOVER LN WAYNE, PA 19087	
DEPIANO MARIA 265 MORRIS RD WAYNE, PA 19087	
MEDFORD PROPERTIES LLC P O BOX 814 WAYNE, PA 19087	
LACEY ELIZABETH C 351 MORRIS RD WAYNE, PA 19087	
CHURCH JOHN C & MARY KAY 24 CLOVER LA WAYNE, PA 19087	
KANDI CHANNA REDDY & ANANTAREDDY ROOPA M 341 MORRIS RD WAYNE, PA 19087	
JACKSON HONORA & ACKER BRETT 28 CLOVER LA WAYNE, PA 19087	
KELLY ELIZABETH 324 S DEVON AVE WAYNE, PA 19087	

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
4.00	3.44										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

10

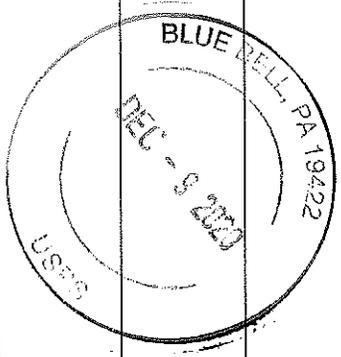


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

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 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. COMPLETE INTERIORS INC 400 SAINT DAVIDS ROAD WAYNE, PA 19087	.50	.43											
2. LAMAGRO ROSS RICHARD 302 SOUTH DEVON AVE WAYNE, PA 19087	.50	.43											
3. MATTHEWS MICHAEL T & OMALLEY AIDEEN M 337 S DEVON AVE WAYNE, PA 19087	.50	.43											
4. MACERA JOHN A & MICHAEL J 325 S DEVON AVE WAYNE, PA 19087	.50	.43											
5. MULLIN JOHN B & CAROLE A 317 S DEVON RD WAYNE, PA 19087	.50	.43											
6. EGER SHERMAN G 953 CLOVERLY RD BERWYN, PA 19312	.50	.43											
7. FINKEL LAWRENCE H & FRANCES A 312 ROCKLAND ROAD WAYNE, PA 19087	.50	.43											
8. MACNAMARA DAVID M & LUCIANA L 26 CLOVER LN WAYNE, PA 19087	.50	.43											
Total Number of Pieces Listed by Sender: 8			Total Number of Pieces Received at Post Office: 8			Postmaster: Per (Name of receiving employee)							



*Handwritten initials/signature*

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

4.00 3.44



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

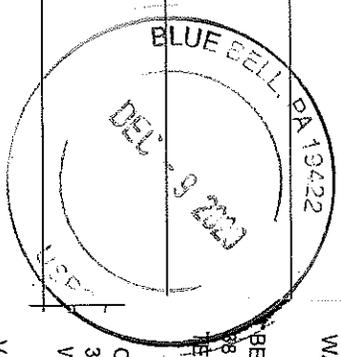
Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

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USPS Tracking/Article Number

1.	
2.	
3.	
4.	
5.	
6.	
7.	
8.	



DIGNAZIO ANTHONY JR ETUX  
333 MORRIS RD  
WAYNE, PA 19087

LUAN XIANQUN & CHANG SHAOHUA  
320 S DEVON AVE  
WAYNE, PA 19087

SILVERMAN ALAN J & CLAUDIA E WISSERT  
308 S DEVON AVE  
WAYNE, PA 19087

BERGMAN EVERETT J & ANNE MIRIAM  
88 LYLEWOOD DR  
PENNAFLY, NJ 07670

CHANG MING & XIE MING  
333 S DEVON AVE  
WAYNE, PA 19087

VANTRIESTE SUSAN  
321 S DEVON AVE  
WAYNE, PA 19087

BEATTY EVELYN TRUSTEE  
313 S DEVON AVE  
WAYNE, PA 19087

DOYLE CHRISTOPHER J  
203 JORDAN CT  
COLLEGEVILLE, PA 19426

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
.50	.43					Adult Signature Restricted Delivery						
.50	.43					Restricted Delivery						
.50	.43					Return Receipt						
.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

*(Handwritten signature)*

Complete in Ink

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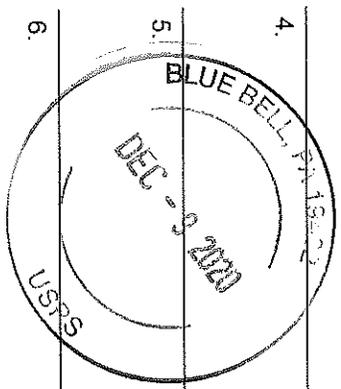
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
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- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
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Postmark with Date of Receipt.



USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
	8	

1.	ZHOU WEIDONG DAN & JIANG HAIYAN 1427 WYNNEMOOR WAY FT WASHINGTON, PA 19034	
2.	BRADY JOHN & JANE 1 MORRIS CIR WAYNE, PA 19087	
3.	CAO PELLEI 320 ROCKLAND RD WAYNE, PA 19087	
4.	FORD GARY S & CATHERINE M 324 ROCKLAND ROAD WAYNE, PA 19087	
5.	HAZAN HERBERT & ANN C 336 ROCKLAND RD WAYNE, PA 19087	
6.	GOLDSTEIN HOWARD & CHRISTINA DEFAZIO 313 ROCKLAND RD WAYNE, PA 19087	
7.	DYROFF THOMAS P JR & ROBIN A 9 ROCKLAND CIR WAYNE, PA 19087	
8.	ROTH REALTY ASSOC LLC 1550 RIVER RD NEW HOPE, PA 18938	

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
4.00	3.44										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

114



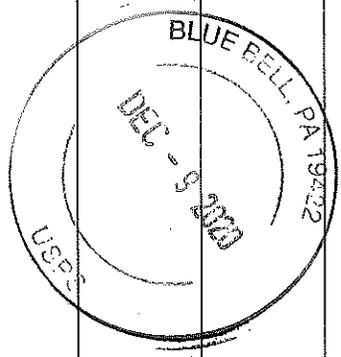
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
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  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation

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USPS Tracking/Article Number	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender # COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	.50	.43										
2.	.50	.43										
3.	.50	.43										
4.	.50	.43										
5.	.50	.43										
6.	.50	.43										
7.	.50	.43										
8.	.50	.43										
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster, Per (Name of receiving employee)		4.00		3.44				



*ASW*

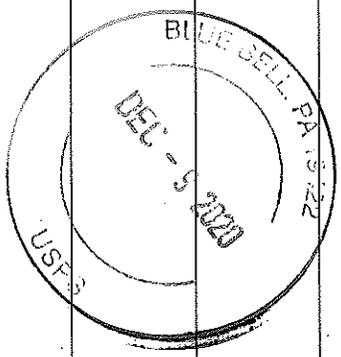
15



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

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**Postmark with Date of Receipt.**



USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value											
JOHNSTONE DUNCAN & MERRILEE 13 MORRIS CIR WAYNE, PA 19087														
2.	.50	.43												
MITCHELL JAMES F 21 MORRIS CIR WAYNE, PA 19087														
3.	.50	.43												
CURLEY DONALD E & CAROL 16 MORRIS CIR WAYNE, PA 19087														
4.	.50	.43												
RUSSELL LOIS ANN 4 MORRIS CIRCLE WAYNE, PA 19087														
5.	.50	.43												
YANG SOYOUNG 307 LIBERTY LN WAYNE, PA 19087														
6.	.50	.43												
GARMAN WILLIAM F & KATHLEEN 313 LIBERTY LN RADNOR, PA 19087														
7.	.50	.43												
CLEARY SUSAN 319 LIBERTY LN WAYNE, PA 19087														
8.	.50	.43												
Packer KEVIN 332 ROCKLAND RD WAYNE, PA 19087														
Total Number of Pieces Listed by Sender <b>8</b>		Total Number of Pieces Received at Post Office <b>8</b>		Postmaster, Per (Name of receiving employee) <b>Complete in Ink</b>										
PS Form <b>3877</b> , January 2017 (Page 1 of 2) PSN 7530-02-000-9098		<b>4.00</b>		<b>3.44</b>										

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Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

**Affix Stamp Here**  
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**Postmark with Date of Receipt.**

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value											
KLOSS DANIEL C 13 ROCKLAND CIR WAYNE, PA 19087														
BORTNER THOMAS & SINEAD 11 ROCKLAND CIR WAYNE, PA 19087														
DORNEY MATTHEW F & COMLY MEREDITH L 7 ROCKLAND CIR WAYNE, PA 19087														
PARETOHAN ROBERT ETUX 24 MORRIS CIRCLE WAYNE, PA 19087														
HAMILTON RUSSELL S & JUNE M 12 MORRIS CIR WAYNE, PA 19087														
5.	.50	.43												
BLUE BELL, PA 19422 DEL - 9 2020														
6.	.50	.43												
BASSIRI HAMID & ASHLYN EATON 303 LIBERTY LA WAYNE, PA 19087														
7.	.50	.43												
CARR MARGARET M 309 LIBERTY LN WAYNE, PA 19087														
8.	.50	.43												
HENWELL JAMES 315 LIBERTY LA WAYNE, PA 19087														
Total Number of Pieces Listed by Sender		8		Total Number of Pieces Received at Post Office										
4.00		3.44												

Complete in Ink

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197





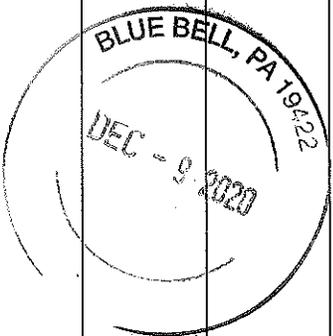
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
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- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation

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Postmark with Date of Receipt.



USPS Tracking/Article Number	Check type of mail or service
1.	<input type="checkbox"/> Adult Signature Required
2.	<input type="checkbox"/> Adult Signature Restricted Delivery
3.	<input type="checkbox"/> Certified Mail
4.	<input type="checkbox"/> Certified Mail Restricted Delivery
5.	<input type="checkbox"/> Collect on Delivery (COD)
6.	<input type="checkbox"/> Insured Mail
7.	<input type="checkbox"/> Priority Mail Express
8.	<input type="checkbox"/> Registered Mail
	<input type="checkbox"/> Return Receipt for Merchandise
	<input type="checkbox"/> Signature Confirmation
	<input type="checkbox"/> Signature Confirmation

1.	PANELLI ELIZABETH H TRUSTEES 331 EDGEHILL RD WAYNE, PA 19087
2.	MIGHTY TWIN OAKS LTD 354 MORRIS RD WAYNE, PA 19087
3.	PUGH SARAH E 362 MORRIS RD WAYNE, PA 19087
4.	COMPLETE INTERIORS INC 400 SAINT DAVIDS ROAD WAYNE, PA 19087
5.	FIELDEN GEORGE & NANCY 284 S DEVON AVE WAYNE, PA 19087
6.	JIANG GRACE E & XIONG DIANE D 302 MORRIS RD WAYNE, PA 19087
7.	DIGNAZIO SANDORO E 328 MORRIS RD WAYNE, PA 19087
8.	DIGNAZIO FLORENCE D 333 MORRIS RD WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
.50	.43					Adult Signature Restricted Delivery						
.50	.43					Restricted Delivery						
.50	.43					Return Receipt						
.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

19



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
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- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

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Postmark with Date of Receipt.

USPS Tracking/Article Number

BRODERICK REBECCA E  
344 MORRIS RD  
WAYNE, PA 19087

1.

STICKEL TERRIL L  
885 BABB CIRCLE  
WAYNE, PA 19087

2.

PAOLANTONIO DAVID & MARGUERITE  
360 MORRIS RD  
WAYNE, PA 19087

3.

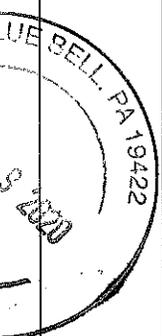
ROSE RYAN & ANIMARIE L  
364 MORRIS RD  
WAYNE, PA 19087

4.

UNIATOWSKI SUE E TRUST  
280 S DEVON AVE  
WAYNE, PA 19087

5.

SWITUCHA STEPHEN CHRISTOPHER  
288 S DEVON AVE  
WAYNE, PA 19087



6.

PALANIAPPAN SARAVANAN MUTHUSAMY  
304 MORRIS RD  
WAYNE, PA 19087

7.

PEPE DENNIS J & MARY E  
332 MORRIS RD  
WAYNE, PA 19087

8.

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
.50	.43					Adult Signature Restricted Delivery						
.50	.43					Restricted Delivery						
.50	.43					Return Receipt						
.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

20



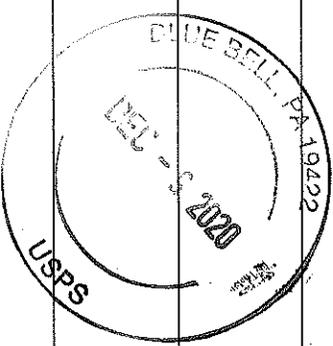
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Adult Signature Restricted Delivery
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- Signature Confirmation Restricted Delivery

Postmark with Date of Receipt.



USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	

1.	VOEGELE JOSEPH T & COLLEEN W 342 MORRIS RD WAYNE, PA 19087	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail	<input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery
2.	FINSDORE WENDY H 346 MORRIS ROAD WAYNE, PA 19087		
3.	MIGHTY TWIN OAKS LTD 364 MORRIS RD WAYNE, PA 19087		
4.	FRANCESCHINI SHERYL 368 MORRIS RD WAYNE, PA 19087		
5.	MCCARTHY JOHN 372 MORRIS RD WAYNE, PA 19087		
6.	ROCHE BARBARA 384 MORRIS RD WAYNE, PA 19087		
7.	KARNIK SHANTANU 410 MORRIS RD WAYNE, PA 19087		
8.	LEVIN JAMES G & RAYMOND M PO BOX 196 WAYNE, PA 19087		

Postage	(Extra Services) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

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Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
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USPS Tracking/Article Number

WAYNEFORD ASSO C/O PESKIN REALTY  
CO

P O BOX 176  
HAVERFORD, PA 19041

BRAXTON FAMILY LTD PARTNERSHIP  
620 W LANCASTER AV  
WAYNE, PA 19087

KODY JAMES  
530 W LANCASTER AVE  
WAYNE, PA 19087

GALVIN DONNA TRUSTEE - ERIN  
IRREVOCABLE TRUST  
620 RIGHTERS FERRY RD  
BALA CYNWYD, PA 19004

KARAKELIAN GARABET & CONSTANCE  
1747 SPRING HOUSE RD  
CHESTER SPRINGS, PA 19425

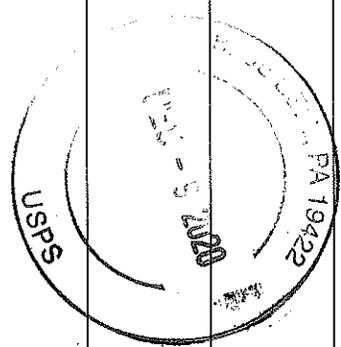
RIOS MARCOS  
376 MORRIS RD  
WAYNE, PA 19087

PIETRINI FRANCIS A  
111 E CHURCH RD  
KING OF PRUSSIA, PA 19406

PIETRINI FRANCIS A  
111 E CHURCH ROAD  
KING OF PRUSSIA, PA 19406

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office



Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
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.50	.43											
.50	.43											
4.00	3.44											

Complete in Ink

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22



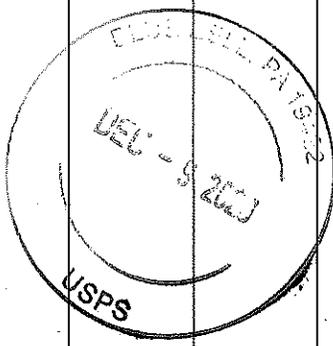
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Adult Signature Restricted Delivery
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*(for additional copies of this receipt)*  
Postmark with Date of Receipt



USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	

1.	WAWA FOOD MARKET #291 250 BALTIMORE PK WAWA, PA 19063	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail
2.	BFT ASSETS LLC 595 E LANCASTER AVE #303 ST DAVIDS, PA 19087	
3.	FERRILLI ANTIMO JR 133 SUGARTOWN ROAD-SUITE D WAYNE, PA 19087	
4.	530 WEST LANCASTER AVE LLC 110 BRITTANY WAY BLUE BELL, PA 19422	
5.	ARDENT FEDERAL CREDIT UNION 1500 SPRING GARDEN ST #500 PHILADELPHIA, PA 19130	
6.	DICAMILLO JOSEPH V & TATE LUCY 176 JOANNE RD SOUTHAMPTON, PA 18966	
7.	CECCO PAUL A & ADRIANA 408 MORRIS RD WAYNE, PA 19087	
8.	LEVIN JAMES G & RAYMOND M PO BOX 196 WAYNE, PA 19087	

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43										
	Handling Charge - if Registered and over \$50,000 in value										
.50	.43				Adult Signature Required						
.50	.43				Adult Signature Restricted Delivery						
.50	.43				Restricted Delivery						
.50	.43				Return Receipt						
.50	.43				Signature Confirmation						
.50	.43				Signature Confirmation Restricted Delivery						
.50	.43				Special Handling						
4.00	3.44										

23



Name and Address of Sender

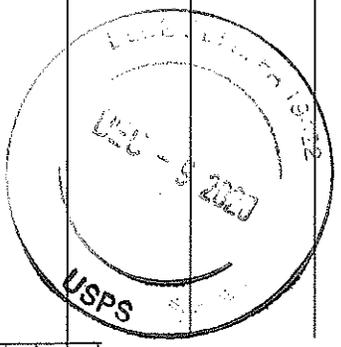
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt)  
Postmark with Date of Receipt

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value										
2.	.50	.43											
3.	.50	.43											
4.	.50	.43											
5.	.50	.43											
6.	.50	.43											
7.	.50	.43											
8.	.50	.43											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		4.00		3.44							



*[Handwritten signature]*

Complete in Ink

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*24*



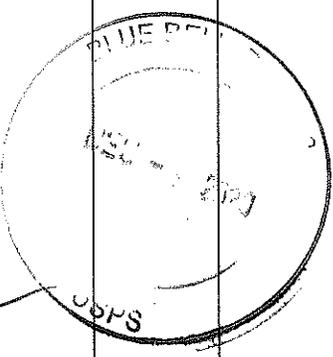
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation

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Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. GALLGER TRAIL HOLDING CO LP 110 GALLAGHER ROAD WAYNE, PA 19087	.50	.43										
2. EVANS DOUGLAS R & DIANE P 115 GALLAGHER RD WAYNE, PA 19087	.50	.43										
3. EVANS KATHRYN R 117 GALLAGHER RD WAYNE, PA 19087	.50	.43										
4. ROSCIOLI GABRIEL 119 GALLAGHER RD WAYNE, PA 19087	.50	.43										
5. GIBBONS PATRICK V JR 96 CONESTOGA RD WAYNE, PA 19087	.50	.43										
6. ANDERSON THOMAS 106 CONESTOGA RD WAYNE, PA 19087	.50	.43										
7. BUI TAN KIM & NGUYEN PHUONG THI 108 CONESTOGA RD WAYNE, PA 19087	.50	.43										
8. NRP REALTY LLC 1125 KAOLIN RD KENNETT SQUARE, PA 19348	.50	.43										
Total Number of Pieces Listed by Sender: 8		Total Number of Pieces Received at Post Office: 8		Postmaster, Per (Name of receiving employee)		4.00		3.44				



25

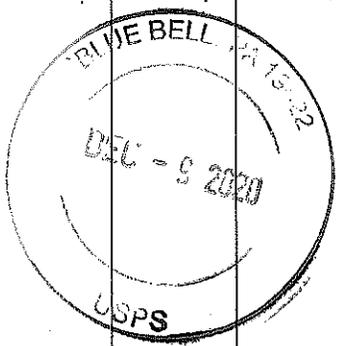


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation

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 (for additional copies of this receipt)  
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USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.													
PHILA AUTH FOR IND DEVELOP 2845 E WESTMORELAND ST PHILADELPHIA, PA 19134	.50	.43											
2.													
M R A INC (PA CORPORATION) 500 W LANCASTER AVE WAYNE, PA 19087	.50	.43											
3.													
MACHERSON KATELYN K & RODRIGUEZ JORDAN M 100 CONESTOGA RD WAYNE, PA 19087	.50	.43											
4.													
CONNOR KERRY 119 GALLAGHER RD WAYNE, PA 19087	.50	.43											
5.													
KLAPP JOSEPH W 1401 BAYVIEW DR #1 FT LAUDERDALE, FL 333041659	.50	.43											
6.													
123 125 GALLAGHER RD LP PO BOX 321 WAYNE, PA 19087	.50	.43											
7.													
FORMAN STANLEY A 110 CONESTOGA RD WAYNE, PA 19087	.50	.43											
8.													
DIORIO STEPHEN J & SUSAN L 29 FOX RIDGE DR MALVERN, PA 19355	.50	.43											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office											
8													



*[Handwritten signature]*

Postmaster, Per (Name of receiving employee)

4.00 3.44

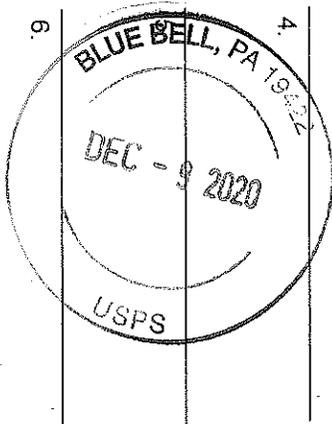
24



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.



USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.

DIORIO STEPHEN J & SUSAN L  
 512 W LANCASTER AVE UNIT A  
 WAYNE, PA 19087

A F STRAFFORD LP  
 2845 E WESTMORELAND ST  
 PHILADELPHIA, PA 19134

HERNANDEZ MOIRA F  
 121 GALLAGHER RD  
 WAYNE, PA 19087

104 CONESTOGA LLC  
 531 KATHMERE RD  
 HAVERTOWN, PA 19083

PASLES PAUL C & ELISE B  
 129 GALLAGHER RD  
 WAYNE, PA 19087

LUBERT JONATHAN  
 431 BOXWOOD RD  
 ROSEMONT, PA 19010

HAINES JOSEPH M & MARGARET R  
 116 CONESTOGA RD  
 WAYNE, PA 19087

BREWINGTON DAVID VANCE  
 4 CANTERBURY LA  
 RADNOR, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
.50	.43												
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.50	.43												
.50	.43												
.50	.43												
4.00	3.44												

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

*[Signature]*

27



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise

Postmark with Date of Receipt.

Affix Stamp Here  
(For additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number

OUIMITOUCHE KARIM & GHANIA  
120 CONESTOGA RD  
WAYNE, PA 19087

1.

SHERTZ MICHAEL  
126 CONESTOGA RD-C  
WAYNE, PA 19087

2.

RICHARDSON JOSEPH ETUX  
268 S DEVON AVE  
WAYNE, PA 19087

3.

STATTS JOHN G & CATHLEEN M  
850 SPRING BANK LA  
WAYNE, PA 19087

4.

SPARANGO BENEDICT  
P O BOX 428  
VILLANOVA, PA 19085

CALFO LEE & DEGRAFF LAURA  
127 CONESTOGA RD  
WAYNE, PA 19087

7.

DAVIDSON LINDA A  
114 CONESTOGA RD  
WAYNE, PA 19087

8.

SMITH LYNN  
118 CONESTOGA ROAD  
WAYNE, PA 19087

Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
.50	.43					Adult Signature Restricted Delivery						
.50	.43					Restricted Delivery						
.50	.43					Return Receipt						
.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

Complete in Ink

Postmaster, Per (Name of receiving employee)

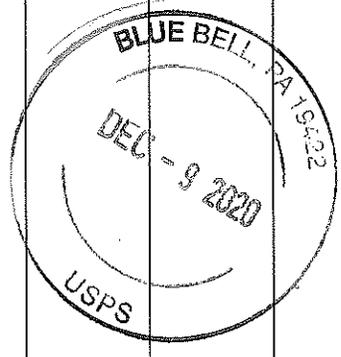
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28



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  Priority Mail Express  
 Adult Signature Restricted Delivery  Registered Mail  
 Certified Mail  Return Receipt for Merchandise  
 Certified Mail Restricted Delivery  Signature Confirmation  
 Collect on Delivery (COD)



USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.

BREWINGTON DAVID VANCE & MARION J  
 468 SHARON DR  
 WAYNE, PA 19087

FISHER CARTER JR & NANCY L  
 122 CONESTOGA RD  
 WAYNE, PA 19087

LEMMA FRANK A & MARY D  
 145 GALLAGHER RD  
 WAYNE, PA 19087

HEDGECOCK BRIANA  
 266 S DEVON RD  
 WAYNE, PA 19087

MATTIOLI EDWARD K & SUZANNE  
 262 S DEVON AVE  
 WAYNE, PA 19087

FERRILLI ANTIMO JR  
 133 SUGARTOWN RD  
 WAYNE, PA 19087

MORRIS ROBERT L  
 126 CONESTOGA RD  
 WAYNE, PA 19087

KENNY FRANCIS  
 864 MARTIN AVE  
 BRYN MAWR, PA 19010

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
4.00	3.44												

Total Number of Pieces Listed by Sender: **8**

Total Number of Pieces Received at Post Office: *[Signature]*

29



Name and Address of Sender

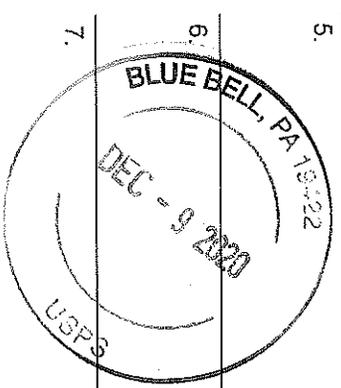
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

USPS Tracking/Article Number

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

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Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

HANSELL GREGORY R & SAMANTHA S  
129 CONESTOGA RD  
WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											

4.00 3.44

30



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number

3D BODY WORKS SPRING CITY LLC  
300 W BOOT RD  
WEST CHESTER, PA 19380

DENHAM PATRICIA K & ISAAC  
121 CONESTOGA RD  
WAYNE, PA 19087

STRAUSS ISADORE ETAL & BESSCO CO  
631 W GERMANTOWN PIKE #103  
PLYMOUTH MEETING, PA 19462

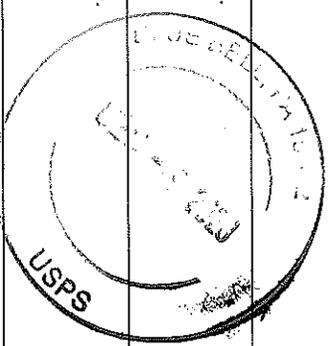
FUCHS O JOHN  
200 EAGLE RD SUITE 218  
WAYNE, PA 19087

VILLAGE ASSOCIATES  
555 CROTON RD #120  
KING OF PRUSSIA, PA 19406

SHERBY AARON  
P.O. BOX 242  
DEVON, PA 19333

GDK REAL ESTATE LP  
119 CONESTOGA RD  
WAYNE, PA 19087

LUKOIL NORTH AMERICA LLC  
505 5th AVENUE - 9th FLOOR  
NEW YORK, NY 10017



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

4.00 3.44

31



Name and Address of Sender

KAPLIN STEWART  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
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USPS Tracking/Article Number

605 W LANCASTER TP  
 4427 SPRUCE ST  
 PHILADELPHIA, PA 19104

Postage

(Extra Service) Fee

Handling Charge

Actual Value if Registered

Insured Value

Due Sender if COD

ASR Fee

ASRD Fee

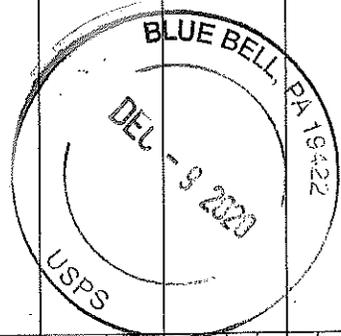
RD Fee

RR Fee

SC Fee

SCRD Fee

SH Fee



1.	K KIMMEL - GDK REAL ESTATE LP P.O. BOX 155 SOUDEBERTON, PA 18964	.50	.43																	
2.	NEFF ANDREW S & DAVID S 222 LANCASTER AVE LANCASTER, PA 17602	.50	.43																	
3.	ALBED SHIRLEY A 1176 THOMAS RD WAYNE, PA 19087	.50	.43																	
4.	523 RESTAURANT LP 620 RIGHTERS FERRY RD BALA CYNWYD, PA 19004	.50	.43																	
5.	EAGLE GREEN LP 620 RIGHTERS FERRY RD BALA CYNWYD, PA 19004	.50	.43																	
6.	DOMINICK GALVANI DARLENE HOROCOFSKY 1148 MADISON AVE APT 2B PROSPECT PARK, PA 19076	.50	.43																	
7.	SELLERS HEDWIG 118 FAIRFIELD LN STRAFFORD, PA 19087	.50	.43																	
8.																				
Total Number of Pieces Listed by Sender		8																		
Total Number of Pieces Received at Post Office																				
Complete in Ink		4.00	3.44																	

92



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise

tion

**Affix Stamp Here**  
*(for additional copies of this receipt).*  
**Postmark with Date of Receipt.**

USPS Tracking/Article Number

HILLIARD JEFF  
308 ECHO VALLEY LANE  
NEWTOWN SQUARE, PA 19073

KATHY ZHANG  
909 Carrol Road  
Wynnewood, PA 19096

CAPPELLI JOHN A JR & CARMIA M  
3095 MARK TERR  
BROOMALL, PA 19008

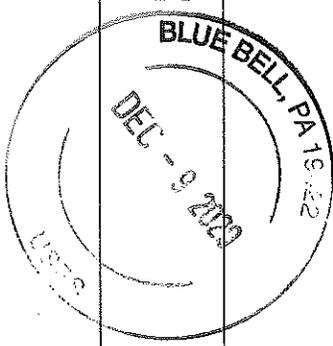
TORJUNYAN ARAKSI  
130 FAIRFIELD LA  
WAYNE, PA 19087

CAPPELLI JOHN A & CARMIA M  
3095 MARK TERR  
BROOMALL, PA 19008

THROUP JOHN  
1753 AQUETONG ROAD  
NEW HOPE, PA 18938

REESE ALAN J  
817-A NORTH TANNEY STREET  
PHILADELPHIA, PA 19130

OUR LADY OF ASSUMPTION CHURCH  
135 FAIRFIELD LANE  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43					Adult Signature Required						
.50	.43					Adult Signature Restricted Delivery						
.50	.43					Restricted Delivery						
.50	.43					Return Receipt						
.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

Postmaster, Per (Name of receiving employee)

93

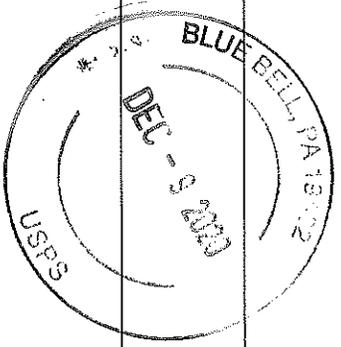




Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
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  - Registered Mail
  - Return Receipt for Merchandise

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**Postmark with Date of Receipt.**



USPS Tracking/Article Number	Check type of mail or service	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	OCONNOR CONSTANCE M & IZZO PETER J H/H 15 FORREST LN STRAFFORD, PA 19087	.50	.43											
2.	CHAWLA GAGAN & SANNU 21 GRANT LN WAYNE, PA 19087	.50	.43											
3.	SCHERI STEVEN W & MEGAN G 9 GRANT LN WAYNE, PA 19087	.50	.43											
4.	HAMILTON FORRANCE H TRUSTEE 200 EAGLE ROAD, SUITE 316 WAYNE, PA 19087	.50	.43											
5.	GRAY JEREMY P & CONTRERAS TERESA PAOLA ZARATE 231 STRAFFORD AVE WAYNE, PA 19087	.50	.43											
6.	WHITMORE CHRISTOPHER M 428 WEST AVE WAYNE, PA 19087	.50	.43											
7.	GDK REAL ESTATE LP c/o KEVIN KIMMEL P O BOX 544 FREDERICK, PA 19435	.50	.43											
8.	HAMILTON S MATTHEWS V JR 200 EAGLE RD #316 WAYNE, PA 19087	.50	.43											
Total Number of Pieces Listed by Sender: <b>8</b>		Total Number of Pieces Received at Post Office: <b>8</b>		Postmaster, Per (Name of receiving employee):		<b>4.00</b>		<b>3.44</b>						

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

Complete in Ink

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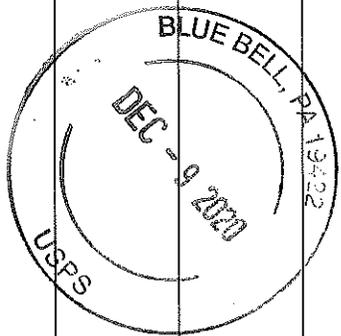
35



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collected on Delivery (COD)
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation

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 Postmark with Date of Receipt.



USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	

1. SCHUDA JOSEPH M & FRANCES E  
 14 FOREST LN  
 WAYNE, PA 19087

2. JOHNSTON ALFRED J III & GLORIA  
 ROWEIKA  
 17 GRANT LANE  
 WAYNE, PA 19087

3. MAHONEY MARY A  
 5 GRANT LANE  
 WAYNE, PA 19087

4. THOMASON ROBERT I & TRAUDI  
 211 STRAFFORD AVE  
 WAYNE, PA 19087

5. HAMILTON DORRANCE H  
 200 EAGLE RD  
 WAYNE, PA 19087

6. SANTUCCI, RAYMOND L  
 390 W LANCASTER AV  
 WAYNE, PA 19087

7. MORRISSEY CAREN E  
 13 GRANT LA  
 WAYNE, PA 19087

8. SAREEN ANJUEET & TARA  
 205 STRAFFORD AVE  
 WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

36

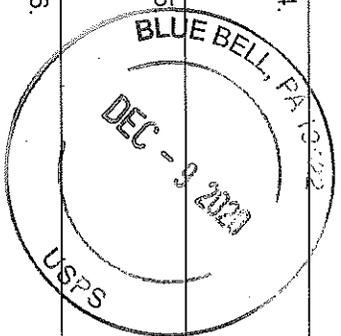


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

**Affix Stamp Here**  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Check type of mail or service	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	BROOKS JOHN 227 STRAFFORD AVE WAYNE, PA 19087	.50	.43											
2.	WHITMORE CHRISTOPHER M 428 WEST AVE WAYNE, PA 19087	.50	.43											
3.	GDK REAL ESTATE 392 W LANCASTER AVE WAYNE, PA 19087	.50	.43											
4.	INFOFINDERS, INC 1457 PUGH RD WAYNE, PA 19087	.50	.43											
5.	EPSTEIN NEIL & AMY 431 WEST AVE WAYNE, PA 19087	.50	.43											
6.	BELL BROOKE B & CHRISTOPHER W 420 WEST AVE WAYNE, PA 19087	.50	.43											
7.	CHEN HONG JEN & ALICE 425 WEST AVE WAYNE, PA 19087	.50	.43											
8.	CAREY DAVID 408 WEST AVE WAYNE, PA 19087	.50	.43											
Total Number of Pieces Listed by Sender		8												
Total Number of Pieces Received at Post Office														
		4.00	3.44											



*[Handwritten Signature]*

37



Name and Address of Sender

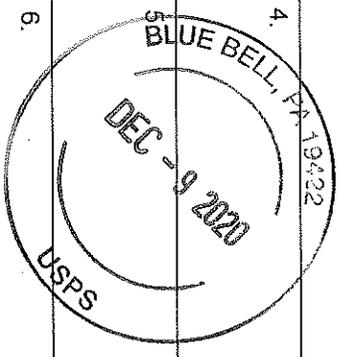
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for

MENSER MARK S & JANET W  
417 WEST AVE  
WAYNE, PA 19087

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number



1.		
2.		
3.		
4.		
5.		
6.		
7.		
8.		

1.	CRAVEN ROBERT H III 317 EAGLE RD WAYNE, PA 19087	
2.	PECK DAVID C & LYNN BRIDGET 307 EAGLE RD WAYNE, PA 19087	
3.	GRAHAM WILLARD & KRISTIN 508 W BEECH TREE LN WAYNE, PA 19087	
4.	MCCALLION WM R & JEAN 426 BEECHTREE LN WAYNE, PA 19087	
5.	PLOTKIN MOLLIE 429 W BEECHTREE LA WAYNE, PA 19087	
6.	MORGAN STACEY P & THEODORE S 424 WEST AVE WAYNE, PA 19087	
7.	ANDERSON MARK R 717 HOMESTEAD AVENUE HAVERTOWN, PA 19083	
8.		

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee)

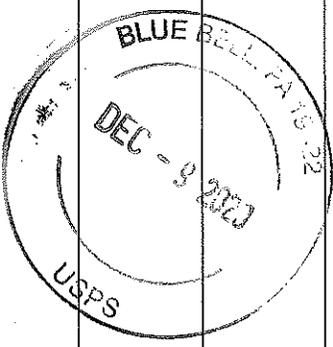
38



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

Affix Stamp Here  
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 Postmark with Date of Receipt.



USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. MAXFIELD HONOR C 7 F LEXINGTON LANE EST WEST PALM BEACH, FL 33418	.50	.43											
2. MCCARTHY ARACELI U 421 WEST AVE WAYNE, PA 19087	.50	.43											
3. HUCKELBRIDGE ARTHUR A JR TR 2629 WELLINGTON RD CLEVELAND HTS, OH 44118	.50	.43											
4. MAHONEY TARA 311 EAGLE RD WAYNE, PA 19087	.50	.43											
5. COOPER PAUL J 305 EAGLE RD WAYNE, PA 19087	.50	.43											
6. HARRIS MARGARET E 428 W BEECHTREE LA WAYNE, PA 19087	.50	.43											
7. NUTTALL BECKY A 427 W BEECH TREE LN WAYNE, PA 19087	.50	.43											
8. MUNTZ CHRISTINA & TIMOTHY 429 WEST AVE WAYNE, PA 19087	.50	.43											
Total Number of Pieces Listed by Sender: 8	4.00	3.44											

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

*[Handwritten Signature]*

39



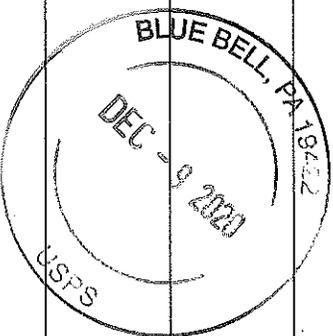
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
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- Signature Confirmation
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USPS Tracking/Article Number	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. BONNETTI JOHN 416 WEST AVE WAYNE, PA 19087	.50	.43										
2. HORNER STEPHEN R & CAROLYN N 423 WEST AVE RADNOR, PA 19087	.50	.43										
3. TORUNIAN VAHE & FISCHER MARY BETH 404 WEST AVE WAYNE, PA 19087	.50	.43										
4. SZELA WOJCIECH & CECILE 319 EAGLE RD WAYNE, PA 19087	.50	.43										
5. HUSSON-CHARLET VALERIE 309 EAGLE RD WAYNE, PA 19087	.50	.43										
6. RICHARDSON STEVEN & GRACE 301 EAGLE RD WAYNE, PA 19087	.50	.43										
7. OGRADY CHRISTOPHER & ANNE WALKER 504 W BEECHTREE LA WAYNE, PA 19087	.50	.43										
8. O'NEILL BRENDAN & KIMBERLY 122 E BEECHTREE LA WAYNE, PA 19087	.50	.43										
<b>Total Number of Pieces Listed by Sender</b>	<b>4.00</b>	<b>3.44</b>										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

40



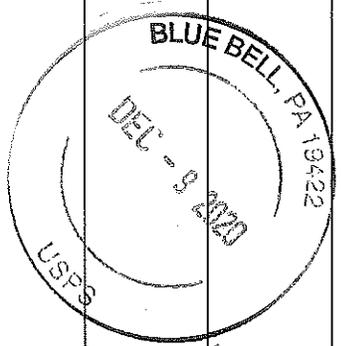
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
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- Signature Confirmation Restricted Delivery

Postmark with Date of Receipt.



USPS Tracking/Article Number	Check type of mail or service	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	RO SATO ROBERT T 425 W BEECHTREE LN WAYNE, PA 19087	.50	.43	Handling Charge - if Registered and over \$50,000 in value											
2.	HARPER PATRICK D & KATHERINE A 423 W BEECHTREE LN WAYNE, PA 19087	.50	.43												
3.	MCPHERSON FRANK H JR & MARGARET 233 FRETZ ROAD TELFORD, PA 18969	.50	.43												
4.	HOOVER REED A & KATHLEEN C 418 W BEECHTREE RD WAYNE, PA 19087	.50	.43												
5.	HIRSCHLER MARC D & ANDREAL 415 W BEECHTREE LN WAYNE, PA 19087	.50	.43												
6.	RENZI MARIE J 409 W BEECH TREE LANE WAYNE, PA 19087	.50	.43												
7.	BURGMAYER PAUL R & SHARON J N 405 W BEECH TREE LN WAYNE, PA 19087	.50	.43												
8.	CREATO HEATHER A 203 WEST AVE WAYNE, PA 19087	.50	.43												
Total Number of Pieces Listed by Sender		8													
Total Number of Pieces Received at Post Office															

41



Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1.

CHRISTIANSEN LAUREN  
211 WEST AVE  
WAYNE, PA 19087

THOROUGHGOOD PRISCILLA  
116 SPRUCE LA  
PAOLI, PA 19301

DUDA LISA A  
6 MARLYN CIR  
WAYNE, PA 19087

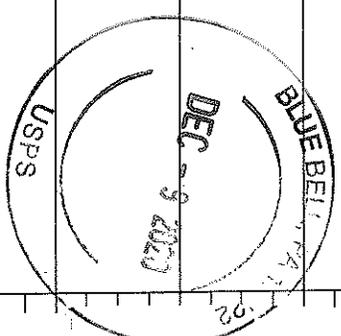
YOSUA MICHAEL J & EMMA  
422 BEECHTREE LN  
WAYNE, PA 19087

GURIAN PATRICK L & GLEASON  
KATHARINE A  
419 W BEECHTREE LA  
WAYNE, PA 19087

DOUGHERTY GERARD F & KATHLEEN M  
416 W BEECHTREE LA  
WAYNE, PA 19087

RONIGONE NICHOLAS M & MALONE  
CONSTANCE A  
413 W BEECHTREE LA  
WAYNE, PA 19087

GIARDINELLI CHAD & SAMANTHA L  
407 W BEECHTREE LA  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
4.00	3.44												

42



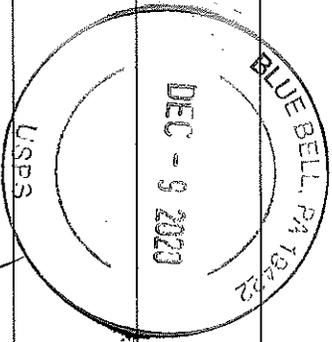
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
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USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value										
2.	.50	.43											
3.	.50	.43											
4.	.50	.43											
5.	.50	.43											
6.	.50	.43											
7.	.50	.43											
8.	.50	.43											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster's Fee (name of receiving employee)									
8		8		4.00		3.44							



*[Handwritten Signature]*

MORRIS ELEAZAR C & LIGGETT JEANNIE K  
401 W BEECH TREE LANE  
WAYNE, PA 19087

MCFEE MICHAEL R & KAREN  
205 WEST AVE  
WAYNE, PA 19087

ARNOLD KARA HANLON c/o SAGEWORTH  
1881 SANTA BARBARA DR  
LANCASTER, PA 17601

ZWAAN MATTHEW  
4 MARLYN CIR  
WAYNE, PA 19087

CLAWAR DEENA S  
420 W BEECHTREE LA  
WAYNE, PA 19087

GALLAGHER BRENDAN & HEATHER  
417 W BEECHTREE LN  
WAYNE, PA 19087

CAGGIANO STEPHEN & MARGARET  
414 W BEECHTREE LN  
WAYNE, PA 19087

GANGL PETER J  
411 W BEECHTREE LA  
WAYNE, PA 19087

Complete in Ink

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43



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
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 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

**Fix Stamp Here**  
 (for additional copies of this receipt)  
 Postmark with Date of Receipt.

USPS Tracking/Article Number

BURGMAYER PAUL R & SHARON J N  
 405 W BEECH TREE LN  
 WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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1. BAKES SETH A & STROGEN KELLY A  
 201 WEST AVE  
 WAYNE, PA 19087

.50	.43											
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2. TARLECKY ROZANNE T  
 209 WEST AVE  
 WAYNE, PA 19087

.50	.43											
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3. SACKSTEDER BRIAN J & CARROLL CHARLOTTE E  
 2 MARLYN CI  
 WAYNE, PA 19087

.50	.43											
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4. FIRENG LAYTON  
 5 MARLYN CIR  
 WAYNE, PA 19087

.50	.43											
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5. NOLAN PATRICK  
 217 WEST AVE  
 WAYNE, PA 19087

.50	.43											
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6. GRUENER JAY L & ELAINE M  
 309 OVERHILL RD  
 WAYNE, PA 19087

.50	.43											
-----	-----	--	--	--	--	--	--	--	--	--	--	--

7. COOKE BRUCE R & ELIZABETH L THOMPSON  
 315 OVERHILL RD  
 WAYNE, PA 19087

.50	.43											
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8. [Signature]

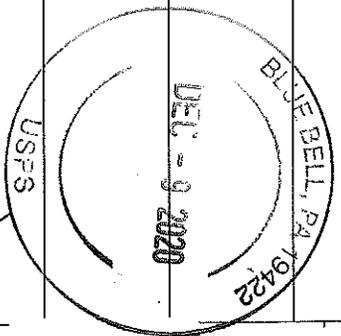
.50	.43											
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Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

4.00	3.44											
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44



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
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- Signature Confirmation

Affix Stamp Here  
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Postmark with Date of Receipt.

USPS Tracking/Article Number

ZIEGENFUSE BRYAN & ELIZABETH  
303 WEST AVE  
WAYNE, PA 19087

GOGLIA ASHLEY MAHADY  
319 OVERHILL RD  
WAYNE, PA 19087

BAUTSARIS MICHAEL  
326 FAIRHILL ROAD  
WYNNWOOD, PA 19096

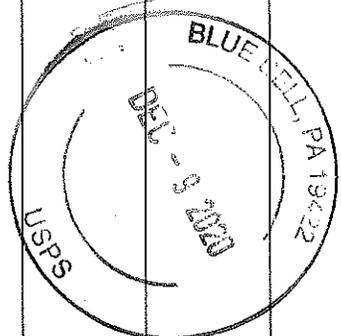
LAMSBACK ROBERT BRIAN & ANGELA  
MARIE  
321 OVERHILL RD  
WAYNE, PA 19087

BEITER JEFFREY  
4 PRINCETON RD  
WAYNE, PA 19087

MATUCH PAUL & CHRISTIANE  
323 WEST AVE  
WAYNE, PA 19087

TRAINOR THOMAS J JR & RUTH A  
331 OVERHILL RD  
WAYNE, PA 19087

THOROUGHGOOD PRISCILLA  
116 SPRUCE LANE  
PAOLI, PA 19301



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee)

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

45



Name and Address of Sender

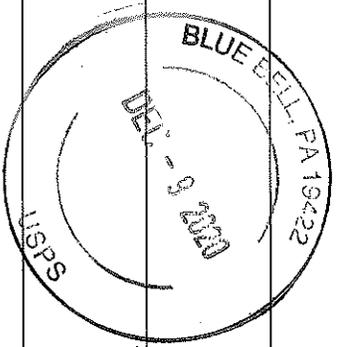
KAPLIN STEWART  
910 Harvest Drive  
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- Adult Signature Restricted Delivery
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*(for additional copies of this receipt,  
Postmark with Date of Receipt.)*

USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.



BOSTON MARC & MARIAM 311 OVERHILL RD WAYNE, PA 19087
MCGRATH JOHN W & KATHLEEN E 318 OVERHILL RD WAYNE, PA 19087
SEVERANCE ALEXANDER & SYLVIA M 320 OVERHILL RD WAYNE, PA 19087
SAVINI MATTHEW T 322 OVERHILL RD WAYNE, PA 19087
SCHNEIDER SANDRA M 324 OVERHILL RD WAYNE, PA 19087
STAPLES WILLIAM 323 OVERHILL RD WAYNE, PA 19087
DAMBLY KEITH J 326 OVERHILL ROAD WAYNE, PA 19087
CONNOLLY BRIAN J & ARLIMOND DOROTHY M 328 OVERHILL RD WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
4.00	3.44												

Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

46





Name and Address of Sender  
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 910 Harvest Drive  
 Blue Bell, PA 19422

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USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.

1. TIERNEY DAVID & KATHERINE  
 327 WEST AVE  
 WAYNE, PA 19087

2. ROSIN CARL J & KATHRYN L  
 335 OVERHILL RD  
 WAYNE, PA 19087

3. POTEAU RAYMOND & VERA  
 338 OVERHILL RD  
 WAYNE, PA 19087

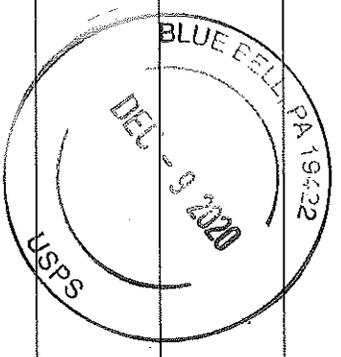
4. BOWES SCOTT T & PATRICIA M  
 336 WEST AVE  
 WAYNE, PA 19087

5. FOX HAT PROPERTIES LLC  
 1451 HELLTOPEL RD  
 CHESTER SPRINGS, PA 19425

6. SHEEHAN JOHN T & COLLEEN J  
 409 WINDSOR AVE  
 WAYNE, PA 19087

7. BELLAIRE CHERYL  
 334 WEST AVE  
 WAYNE, PA 19087

8. HOOPER WILLIAM J JR  
 324 WEST AVE  
 WAYNE, PA 19087



Postage	(Extra Services) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
.50	.43												
4.00	3.44												

Total Number of Pieces Listed by Sender: 8  
 Total Number of Pieces Received at Post Office: 8

48



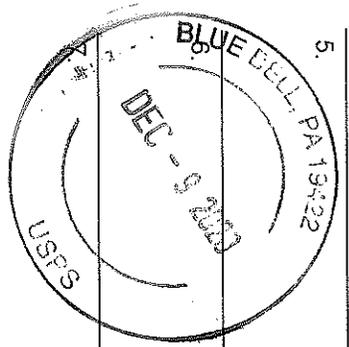
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

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- Adult Signature Restricted Delivery
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- Return Receipt for Merchandise
- Signature Confirmation Restricted Delivery

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USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	

USPS Tracking/Article Number	Check type of mail or service	Address
1.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	LEOPOLD LEE B & JEAN W 315 WINDSOR AVE WAYNE, PA 19087  CORRODI JAMES A & GLADYS H 311 WINDSOR AVE WAYNE, PA 19087
2.	<input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation Restricted Delivery	WHISMAN JAMIE 334 OVERHILL RD WAYNE, PA 19087
3.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	HIGGINS MARIE CLAIRE 338 OVERHILL ROAD WAYNE, PA 19087
4.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	WIEDMANN RICHARD T & POLLOCK ROSANNE M 341 WEST AVE RADNOR, PA 19087
5.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	FALCONE JOSEPH JR & JEANMARIE 354 EAGLE ROAD WAYNE, PA 19087
6.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	SHAIN JOHN H & MELANIE 401 WINDSOR AVE WAYNE, PA 19087
7.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	WILLIAMS LEON R & KAREN P 413 WINDSOR AVE WAYNE, PA 19087
8.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
4.00	3.44										

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

49



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt)  
Postmark with Date of Receipt.

USPS Tracking/Article Number

1. PARELLA JONATHAN M & DENISE  
328 WEST AVE  
WAYNE, PA 19087

2. MASSARO CHRISTOPHER J & DEBORAH A  
320 WEST AVE  
WAYNE, PA 19087

3. HENRY LAWRENCE E  
316 WEST AVE  
WAYNE, PA 19087

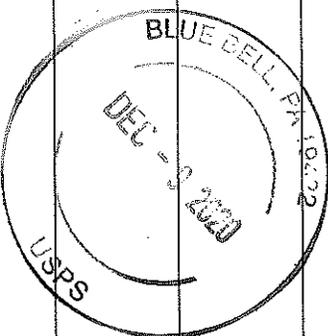
4. PERTSCHUK MICHAEL & GRAVES JANET  
15 CHESTNUT LANE  
WAYNE, PA 19087

5. KOO YUNMIEE K  
333 OVERHILL RD  
WAYNE, PA 19087

6. DELIZIA BRADLEY  
337 WEST AVE  
WAYNE, PA 19087

7. GRAVES ERIC J  
340 WEST AVE  
WAYNE, PA 19087

8. CONN JEFFREY & LINDA E  
348 EAGLE ROAD  
WAYNE, PA 19087



*[Handwritten Signature]*

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

50



Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number

1. GIROD PAULETTE M  
405 WINDSOR AVE  
WAYNE, PA 19087

2. DONCHES GREGORY & KIMBERLY  
327 WINDSOR AVE  
WAYNE, PA 19087

3. HARTMAN PETER A & BROWN JUDITH A  
323 WINDSOR AVE  
WAYNE, PA 19087

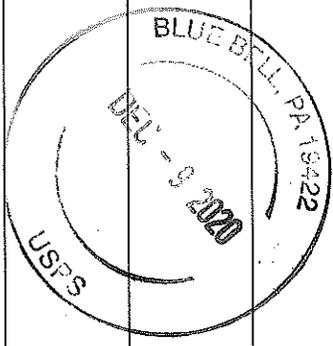
4. FREDERICKS JO ANNE T  
319 WINDSOR AVE  
WAYNE, PA 19087

5. ZULLINGER ROBERT L III & HEATHER K  
312 WEST AVE  
WAYNE, PA 19087

6. HUNT HOLBROOK PASSMORE & DIANE  
MARIE  
116 BANBURY WAY  
WAYNE, PA 19087

7. HUNT HOLBROOK PASSMORE & DIANE  
MARIE  
116 BANBURY WAY  
WAYNE, PA 19087

8. BARNES JAMES R & ELIZABETH H  
112 BANBURY WAY  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43					Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

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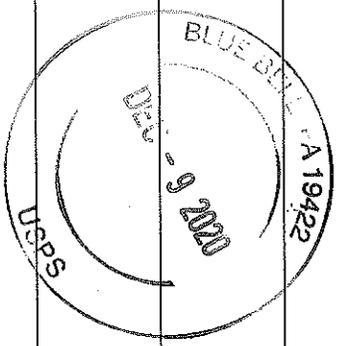


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

**Affix Stamp Here**  
 (for additional copies of this receipt,  
 Postmark with Date of Receipt.)

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.													
NEW NAME LLC c/o MICHAEL McDONOUGH P O BOX 6091 CHARLOTTESVILLE, VA 22906	.50	.43											
2.													
MACRONE JOSEPH M & TRISHA R 107 BANBURY WAY WAYNE, PA 19087	.50	.43											
3.													
DENT JOHN G 113 BANBURY WAY WAYNE, PA 19087	.50	.43											
4.													
MORRIS DAVID W 295 E SWEDSFORD RD #170 WAYNE, PA 19087	.50	.43											
5.													
LOPEZ TOBIOLA TROSINI & BERNARD L 115 GROTON RD WAYNE, PA 19087	.50	.43											
6.													
MACGILLIVRAY ANGUS R & MCCARROLL KATHLEEN A 120 BELLEVUE AVE WAYNE, PA 19087	.50	.43											
7.													
GILMOUR MELANIE 111 BRYAN LA STOCKTON, NJ 08559	.50	.43											
8.													
ELISIO NICHOLAS C & SHEILA W 111 FRANCIS AVENUE WAYNE, PA 19087	.50	.43											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster: Per (Name of receiving employee)		4.00		3.44					



*[Handwritten Signature]*

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52



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

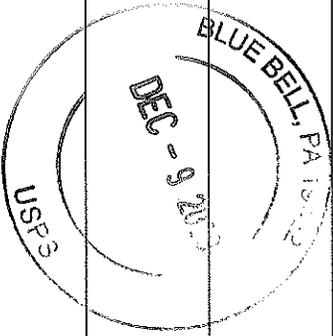
Check type of mail or service

- Adult Signature Required     Priority Mail Express  
 Adult Signature Restricted Delivery     Registered Mail  
 Certified Mail     Return Receipt for Merchandise  
 Certified Mail Restricted Delivery     Signature Confirmation  
 Collect on Delivery (COD)

ion

**Affix Stamp Here**  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value										
2.	.50	.43											
3.	.50	.43											
4.	.50	.43											
5.	.50	.43											
6.	.50	.43											
7.	.50	.43											
8.	.50	.43											
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster Per (Name of receiving employee)		4.00		3.44					



*Handwritten signature*

53

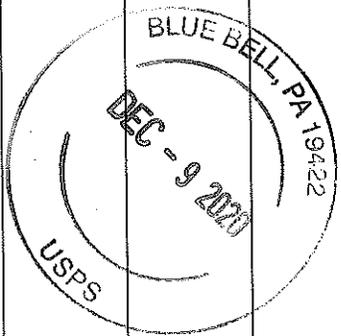


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
 Adult Signature Required  
 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

Affix Stamp Here  
 (for additional copies of this receipt)  
 Postmark with Date of Receipt

USPS Tracking/Article Number	Check type of mail or service	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	WEST NATHAN ARTHUR & LI HAOPING 105 BANBURY WAY WAYNE, PA 19087	.50	.43	Handling Charge - if Registered and over \$50,000 in value											
2.	DORN ERIC W & KATIE L 111 BANBURY WAY WAYNE, PA 19087	.50	.43												
3.	SPARANGO BENEDICT P O BOX 428 VILLANOVA, PA 19085	.50	.43												
4.	PRIMA DANIEL L & BAUER SANDRA 122 S BELLEVUE AVE WAYNE, PA 19087	.50	.43												
5.	DAVIDSON JENINE 115 FRANCIS AVE WAYNE, PA 19087	.50	.43												
6.	HUFF JASON 113 FRANCIS AVE WAYNE, PA 19087	.50	.43												
7.	201 WEST LP 1118 LAFAYETTE RD WAYNE, PA 19087	.50	.43												
8.	NOWAY ASSOCIATES 696 E LANCASTER AVE #303 ST DAVIDS, PA 19087	.50	.43												



*[Handwritten Signature]*

Total Number of Pieces Listed by Sender: **8**  
 Total Number of Pieces Received at Post Office: **8**

Postmaster: Per (Name of receiving employee)

4.00 3.44

524

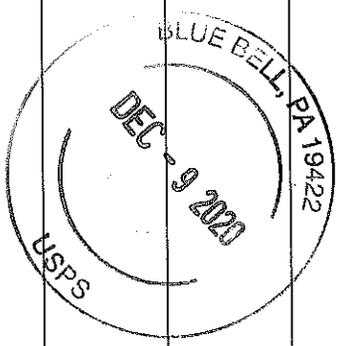


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation

**Affix Stamp Here**  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value If Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	KARAKELIAN GARABET 1747 SPRING HOUSE RD CHESTER SPRING, PA 19425	.50	.43										
2.	365 INC A PA CORP 5 HARVEST LA HAVERFORD, PA 19041	.50	.43										
3.	SAVAR SAEED & MITRA MANSOORY 306 WINDSOR AVE WAYNE, PA 19087	.50	.43										
4.	RADNOR PROPERTIES CORP 571 CREEK RD HARTSVILLE, PA 18974	.50	.43										
5.	LOCKYER ELLEN S & NIGEL S 308 WINDSOR AVE WAYNE, PA 19087	.50	.43										
6.	HANAWAY WILLIAM L JR & LORRAINE 19 FARM RD WAYNE, PA 19087	.50	.43										
7.	SCHRIEBER ERIC M & AMY W 20 FARM ROAD WAYNE, PA 19087	.50	.43										
8.	LMP 353 LLC 555 E LANCASTER AVE STE 620 RADNOR, PA 19087	.50	.43										
Total Number of Pieces Listed by Sender		8		Total Number of Pieces Received at Post Office									



*Handwritten signature*

4.00 3.44

55



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

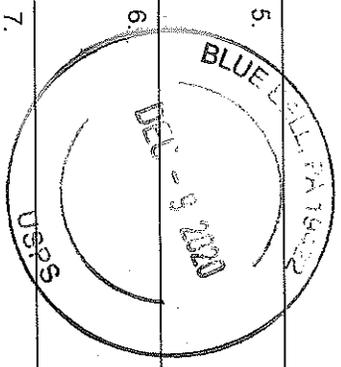
Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

LEVINNE ROBERT G & JULIE  
1 LINCOLN LA  
WAYNE, PA 19087

Affix Stamp Here  
(for additional copies of this receipt)  
Postmark with Date of Receipt

USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.



209 WAYNE IPG ASSOCIATES LLC  
70 PORTLAND RD  
CONSHOHOCKEN, PA 19428

301 WEST PARTNERS LP  
28 S WATERLOO RD  
DEVON, PA 19333

FIRST RESOURCE BANK  
1 E UWCHLAN AVE #410  
EXTON, PA 19341

BOUCHER NORMAND S & L CHIARA  
1-138 MONTROSE AVE  
ROSEMONT, PA 19010

ZELEZNIK SCOTT W  
7 FARM RD  
WAYNE, PA 19087

ZELTEN ROBERT A & SUSAN BRAY  
310 WINDSOR AVE  
WAYNE, PA 19087

GALLAGHER PAUL F & ELIZABETH HAYES  
312 WINDSOR AVE  
WAYNE, PA 19087

Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
8	

Postage	(Extra Service) Fees	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

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576









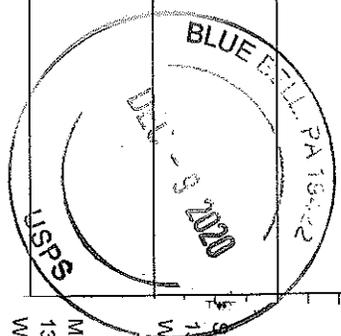
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt)  
Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender # COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1.	.50	.43	Handling Charge - if Registered and over \$50,000 in value											
GUMMEL MEGAN 4 DOYLE RD WAYNE, PA 19087  LUKAS JOSEPH T 89 BLACKMORE POND CIR WEST WAREHAM, MA 02876  BANG KOOK SONG & KYUNG YUL 346 W LANCASTER AVE WAYNE, PA 19087  WEISBERG MELISSA A 7 DOYLE RD WAYNE, PA 19087  AMARANT STEVEN L & LISA A 105 LANTOGA RD WAYNE, PA 19087  SMATLAK MARISSA 131 CONESTOGA RD WAYNE, PA 19087  MEEHAN CHARLES & ALICER 139 CONESTOGA RD WAYNE, PA 19087  147 CONESTOGA LLC 211 POPLAR AVE WAYNE, PA 19087														
2.	.50	.43												
3.	.50	.43												
4.	.50	.43												
5.	.50	.43												
6.	.50	.43												
7.	.50	.43												
8.	.50	.43												
Total Number of Pieces Listed by Sender: 8 Total Number of Pieces Received at Post Office: 8 Postmaster, Per (Name of receiving employee):														
Total Postage: 4.00 Total Extra Service Fees: 3.44														



*[Handwritten signature]*

*60*



Firm Mailing Book For Accountable Mail

Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation

USPS Tracking/Article Number

1. **MCGURL RICHARD J & MICHELLE ANN**  
 8 DOYLE RD  
 WAYNE, PA 19087

2. **ONEILL EDWARD & CARLA**  
 378 W LANCASTER AVE  
 WAYNE, PA 19087

3. **100 W PARTNERS**  
 595 E LANCASTER AVE #303  
 ST DAVIDS, PA 19087

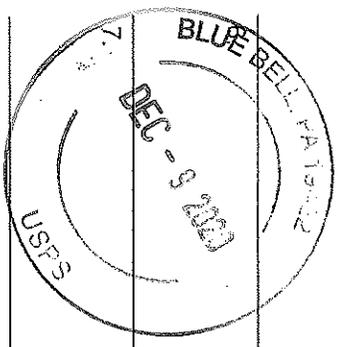
4. **SALVAGGIO PAUL J**  
 9 DOYLE RD  
 WAYNE, PA 19087

5. **STEFANOWICZ JANUS**  
 11 DOYLE RD  
 WAYNE, PA 19087

7. **POPLAR PROPERTY GROUP LLC**  
 406 MANTOLOKING RD  
 BRICK, NJ 08723

8. **WHITEHEAD KENNETH A & ELISABETH M**  
 111 LANTOGA RD  
 WAYNE, PA 19087

9. **CROWLEY JOHN G & PAULAL**  
 40 LOUELLA CT - A1  
 WAYNE, PA 19087



Total Number of Pieces Listed by Sender: **8**

Total Number of Pieces Received at Post Office

Affix Stamp Here  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											

PS Form 3877, January 2017 (Page 1 of 2)

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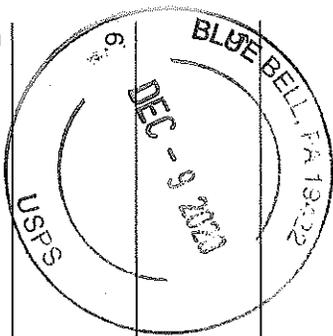
01



Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
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  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

Affix Stamp Here  
 (for additional copies of this receipt).  
 Postmark with Date of Receipt.



USPS Tracking/Article Number	Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	.50	.43										
JEHOVA WITNESS CHURCH 1203 MYRTLEWOOD AVENUE WAYNE, PA 19087												
2.	.50	.43										
PATTERSON JESSE D 241 LENOIR AVE WAYNE, PA 19087												
3.	.50	.43										
LUCE CHERYL L 110/112 LANTOGA RD UNIT D WAYNE, PA 19087												
4.	.50	.43										
SCHUMACHER JOSEPH 108 LANTOGA RD WAYNE, PA 19087												
5.	.50	.43										
COCCAGNA GUIDO J & YOLANDA 671 CONESTOGA ROAD VILLANOVA, PA 19085												
6.	.50	.43										
TOBIAS GORDON L 109 LANTOGA RD WAYNE, PA 19087												
7.	.50	.43										
WHITEHEAD ROBERT A 113 LANTOGA RD WAYNE, PA 19087												
8.	.50	.43										
ETIM Partners LLC 157 CONESTOGA RD WAYNE, PA 19087												
Total Number of Pieces Listed by Sender: 8												
Total Number of Pieces Received at Post Office: 8												
Postmaster, Per (Name of receiving employee):												
Complete in Ink												
4.00 3.44												

Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

*Handwritten initials*



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1. SHUTT JUDSON H & JEANNE M  
167 CONESTOGA RD  
WAYNE, PA 19087

2. FIORY ANTHONY J  
239 LENOIR AVE  
WAYNE, PA 19087

3. WARD KATHLEEN T  
112 LANTOGA RD UNIT 2  
WAYNE, PA 19087

4. LOLL LAWRENCE V ETUX  
106 LANTOGA RD  
WAYNE, PA 19087

5. PORT DEL EQUITIES INC  
320 W LANCASTER AV  
WAYNE, PA 19087

6. MONAGHAN WENDY P  
13 DOYLE RD  
WAYNE, PA 19087

7. ELHANAFI HICHAM & SUELLEN L  
159 CONESTOGA RD  
WAYNE, PA 19087

8. DIMAIO MARK S  
8 CLAYTON AVE  
WILMINGTON, DE 19809

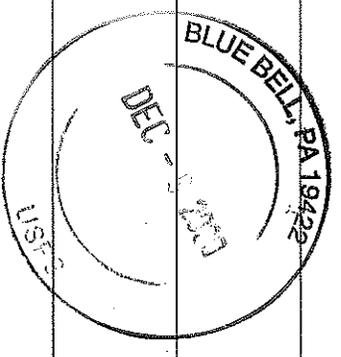
Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postmaster: Per (name of receiving enterprise)

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
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*[Handwritten Signature]*

*03*



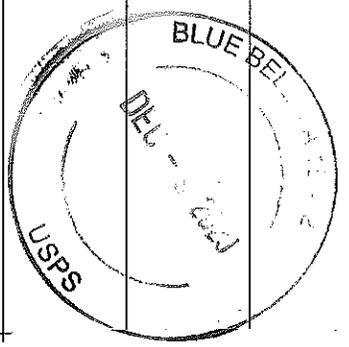
Firm Mailing Book For Accountable Mail

Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Adult Signature Restricted Delivery
  - Certified Mail
  - Certified Mail Restricted Delivery
  - Collect on Delivery (COD)
  - Insured Mail
  - Priority Mail Express
  - Registered Mail
  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

USPS Tracking/Article Number  
 243 LENOIR AVENUE  
 WAYNE, PA 19087

1. **FRUMER RICHARD**  
110A LANTOGA RD  
WAYNE, PA 19087
2. **HOLMES SUSAN M**  
110 C LANTOGA RD  
WAYNE, PA 19087
3. **MARCANTONIO FREDERICK**  
104 LANTOGA RD  
WAYNE, PA 19087
4. **PILOTTI SAM & GABRIEL JOS INC C/O**  
METRIC REALTY  
1800 E LANCASTER AVE  
PAOLI, PA 19301
5. **FG & S ASSOCIATES do METRIC REALTY**  
1800 E LANCASTER AVE  
PAOLI, PA 19301
6. **HACKETT KAREN B**  
104A LANTOGA RD #3  
WAYNE, PA 19087
7. **MAROPIS DONNA**  
104A LANTOGA RD - B3  
WAYNE, PA 19087
8. **Total Number of Pieces Listed by Sender** **8**



Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value				Adult Signature Required						
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.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
<b>4.00</b>	<b>3.44</b>											

Affix Stamp Here  
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 Postmark with Date of Receipt.

44

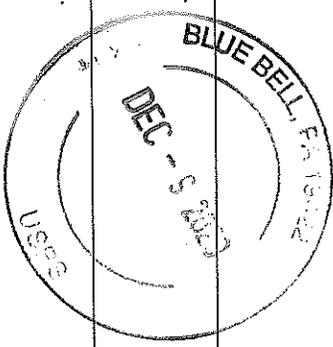


Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
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  - Return Receipt for Merchandise
  - Signature Confirmation
  - Signature Confirmation Restricted Delivery

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Postmark with Date of Receipt.



USPS Tracking/Article Number	Total Number of Pieces Listed by Sender	Total Number of Pieces Received at Post Office
1.	8	

1.	2.	3.	4.	5.	6.	7.	8.
LEE LINDA 104A LANATOGA RD - A1 WAYNE, PA 19087	SHERIDAN MAUREEN E & DANIEL F 233 LENOIR AVE WAYNE, PA 19087	MAY FRANK E JR & AMY E 227 LENOIR AVE WAYNE, PA 19087	STRUEBING WILLIAM B & DIVYA 219 LENOIR AVE WAYNE, PA 19087	J B HOLDINGS LLC 7 BERRYWOOD RD MALVERN, PA 19355	HUMMEL CAROLINE E 217 LENOIR AVE WAYNE, PA 19087	PILOTTI SAM & GABRIEL JOS INC C/O METRIC REALTY 1800 E LANCASTER AVE PAOLI, PA 19301	MARTIN KEELY S 104A LANATOGA RD C1 WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
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4.00	3.44												

Adult Signature Required  
Adult Signature Restricted Delivery  
Restricted Delivery  
Return Receipt  
Signature Confirmation  
Signature Confirmation Restricted Delivery  
Special Handling

45

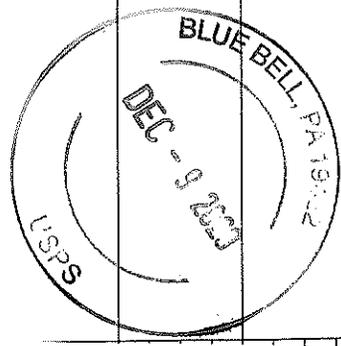


Name and Address of Sender  
**KAPLIN STEWART**  
 910 Harvest Drive  
 Blue Bell, PA 19422

Check type of mail or service  
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 Adult Signature Restricted Delivery  
 Certified Mail  
 Certified Mail Restricted Delivery  
 Collect on Delivery (COD)  
 Priority Mail Express  
 Registered Mail  
 Return Receipt for Merchandise  
 Signature Confirmation

Affix Stamp Here  
 (for additional copies of this receipt)  
 Postmark with Date of Receipt.

USPS Tracking/Article Number
1.
2.
3.
4.
5.
6.
7.
8.



STIFF SPEAKER BERTRAM III & MARGARET 104A LANTOGA RD WAYNE, PA 19087
TAGUE JAMES A & MARY J 235 LENOIR AVE WAYNE, PA 19087
MOSER JEANNETTE C 231 LENOIR AVE WAYNE, PA 19087
GARZIO JOSEPH M & MARY ANN M 225 LENOIR AVE WAYNE, PA 19087
SAMSON PETER & COUGHLIN LYNNE 215 LENOIR AVE WAYNE, PA 19087
GARCIA JOSE M & ANA I 104A LANTOGA RD - A5 WAYNE, PA 19087
MUELLER JEANNETTE SEIGEL 104A LANTOGA RD - A2 WAYNE, PA 19087
KAUFMAN BARBARA M 125 DRAKES DRUM DR BRYN MAWR, PA 19010

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
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4.00	3.44												

Total Number of Pieces Listed by Sender: 8  
 Total Number of Pieces Received at Post Office: 8

66



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

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- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number

1.

SWISHER CHRISTOPHER C AND SWISHER MARGARET A  
237 LENOIR AVE  
WAYNE, PA 19087

2.

SULLIVAN MARK A & PATRICIA H  
229 LENOIR AVE  
WAYNE, PA 19087

3.

DALE JOHN & MARTHA  
221 LENOIR AVE  
WAYNE, PA 19087

4.

DUPRESNE KYLE L & KELSEY F  
1911-3 NAVY WHARF CT  
TORONTO, ON, M5V3V1, CANADA

5.

CROWLEY JOHN G & PAULA L  
40 LOUELLA CT - A1  
WAYNE, PA 19087

6.

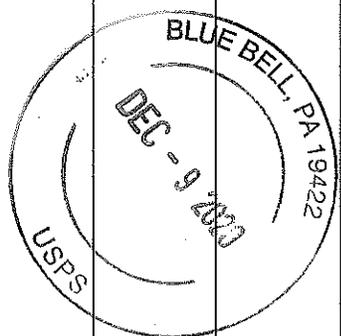
PENN CREST PROPERTIES LLC  
406 MANTOLOKING RD  
BRICK, NJ 08723

7.

CARROLL J DOUGLAS  
218 LENOIR AVE  
WAYNE, PA 19087

8.

WALLACE GERRY H  
224 LENOIR AVE  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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Handling Charge - if Registered and over \$50,000 in value

Adult Signature Required

Adult Signature Restricted Delivery

Restricted Delivery

Return Receipt

Signature Confirmation

Signature Confirmation Restricted Delivery

Special Handling

67



Name and Address of Sender

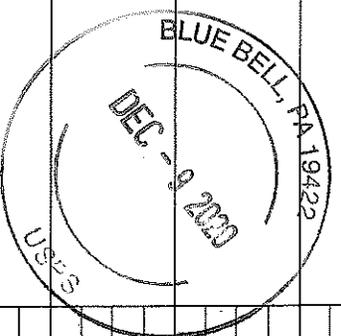
KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
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- Certified Mail
- Certified Mail Restricted Delivery
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- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

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USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.													
MORABITO DAMIEN R & MCKENNA LAUREN P 230 LENOIR AVE WAYNE, PA 19087													
2.													
WRIGHT KATHLEEN L 236 LENOIR AVE WAYNE, PA 19087													
3.													
ERCOLE ANTHONY M 187 CONESTOGA RD WAYNE, PA 19087													
4.													
KINGSWAY BUILDING ASSOC 595 E LANCASTER AVE #203 ST DAVIDS, PA 19087													
5.													
EADEN FAMILY LTD PARTNERSHIP 511 OLD LANCASTER RD STE 8 BERWYN, PA 19312													
6.													
7 EAST STATE STREET LLC 120 CARNOUSTIE WAY MEDIA, PA 19063													
7.													
BELL ATLANTIC PA P O BOX 2749 ADDISON, TX 75001													
8.													
HENRY PATRICIA J 210 LENOIR AVENUE WAYNE, PA 19087													
Total Number of Pieces Listed by Sender: 8      Total Number of Pieces Received at Post Office: 8													
Postmaster, Per (Name of receiving employee)													
Complete in Ink													
Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.													
Total Postage: 4.00      Total Extra Fees: 3.44													



*[Handwritten Signature]*

08



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt),  
Postmark with Date of Receipt.

USPS Tracking/Article Number

PAOLETTI THOMAS J & ELIZABETH A HMW  
226 LENOIR AVE  
WAYNE, PA 19087

1.

MULLER FRANCIS T & MARY P  
232 LENOIR AVE  
WAYNE, PA 19087

2.

HULL CAROLYN  
238 LENOIR AVE  
WAYNE, PA 19087

3.

JARDIN229 LLC  
110 GALLAGHER RD  
WAYNE, PA 19087

4.

BATES CARLA B  
315 W WAYNE AVE  
WAYNE, PA 19087

5.

YATES JONATHAN P & ELIZABETH  
MAXFIELD  
309 W WAYNE AVE  
WAYNE, PA 19087

6.

SOCIETY ITALIAN AMERICAN CLUB  
301 W WAYNE AVE  
WAYNE, PA 19087

7.

PENN CREST PROPERTIES LLC  
406 MANTOLOKING RD  
BRICK, NJ 08723

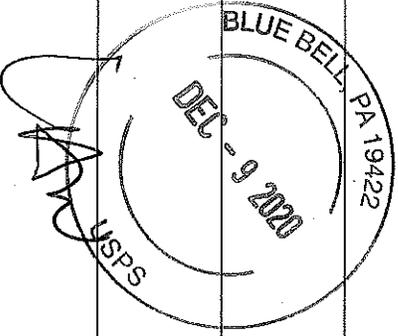
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Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

4.00 3.44

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43	Handling Charge - if Registered and over \$50,000 in value										
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69



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise

USPS Tracking/Article Number

HOLMAN TIMOTHY J & JENNIFER REID  
216 LENOIR AVE  
WAYNE, PA 19087

MISKA DAVID & SUSAN P  
220 LENOIR AVE  
WAYNE, PA 19087

BOSNIACK LESLEY R  
228 LENOIR AVE  
WAYNE, PA 19087

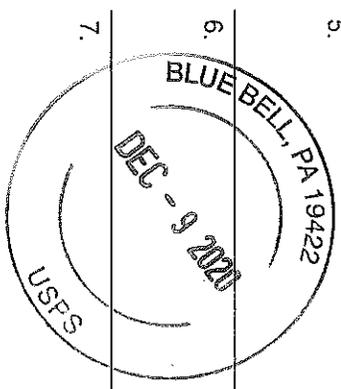
TAGUE VINCENT J III  
234 LENOIR AVE  
WAYNE, PA 19087

KINGSWAY BUILDING ASSOCIATES  
595 E LANCASTER AVE #303  
ST DAVIDS, PA 19087

7 E STATE ST LLC  
120 CARNOUSTIE WAY  
MEDIA, PA 19063

FORTBUONO JOSEPH & LUCIA F  
190 CONESTOGA RD  
WAYNE, PA 19087

LEIGHTON PAUL L  
188 CONESTOGA ROAD APT. A  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Affix Stamp Here  
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Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due to Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
.50	.43	Handling Charge - if Registered and over \$50,000 in value											
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70



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

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- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
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Postmark with Date of Receipt.

USPS Tracking/Article Number

HALLIGAN ROBERT M  
3227 SAW MILL RD  
NEWTOWN SQUARE, PA 19073

1.

2. RADNOR TOWNSHIP  
301 IVEN AVE  
WAYNE, PA 19087

3. MANCUSO PETE F & RUTH  
136 RIDGEFIELD RD  
NEWTOWN SQUARE, PA 19010

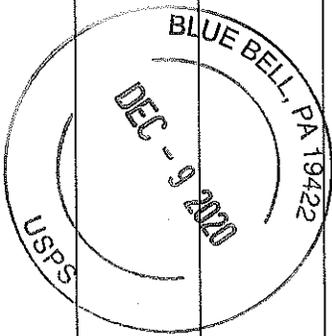
4. MAZIS LAWRENCE D & MINDY  
327 LIBERTY LN  
WAYNE, PA 19087

5. MARDINLY JASON  
333 LIBERTY LA  
WAYNE, PA 19087

6. MORGAN JONATHAN P  
210 FAIRWAY RD  
PAOLI, PA 19301

7. HEERY FRANCIS W & KRISTINE  
186 CONESTOGA RD  
WAYNE, PA 19087

8. LOGGIOIA ANTONIO & PAMELA J  
166 CONESTOGA RD  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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4.00	3.44											

71



Name and Address of Sender

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910 Harvest Drive  
Blue Bell, PA 19422

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- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

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USPS Tracking/Article Number

1. GIANFORCARO MICHELE  
8 DARA CIR  
BROOMALL, PA 19008

2. CONNOLLY JACQUELINE  
329 LIBERTY LN  
WAYNE, PA 19087

3. JBS CONCEPTS LLC  
930 ACADEMY LA  
BRYN MAWR, PA 19010

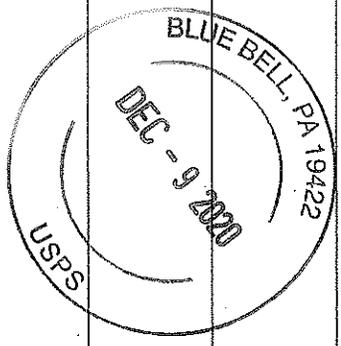
4. CONSTANTINE ALBERT  
184 CONESTOGA RD  
WAYNE, PA 19087

5. FORTUNE SHEILA A  
164 CONESTOGA RD  
WAYNE, PA 19087

6. AMATO PIETRO  
409 W WAYNE AVE  
WAYNE, PA 19087

7. DOODY PATRICK J  
325 LIBERTY LA  
WAYNE, PA 19087

8. WILSON WILLIAM R & GERILYN  
331 LIBERTY LN  
WAYNE, PA 19087



Total Number of Pieces Listed by Sender

8

Total Number of Pieces Received at Post Office

8

WILSON WILLIAM R & GERILYN  
331 LIBERTY LN  
WAYNE, PA 19087

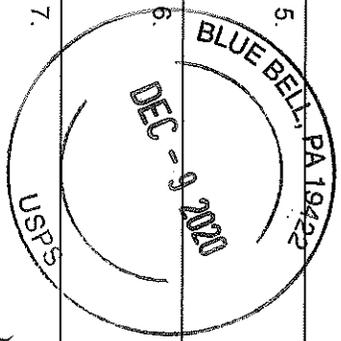
Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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.50	.43					Signature Confirmation						
.50	.43					Signature Confirmation Restricted Delivery						
.50	.43					Special Handling						
4.00	3.44											

72



Firm Mailing Book For Accountable Mail

Name and Address of Sender		Check type of mail or service		Affix Stamp Here <i>(for additional copies of this receipt, Postmark with Date of Receipt.)</i>														
USPS Tracking/Article Number  Addressee (Name, Street, City, State, & ZIP Code™) SLAIM DANIEL A & PIPAT NATTASORN 28 MORRIS CIR WAYNE, PA 19087		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail		<input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation Restricted Delivery		Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
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6.																		
7.																		
8.																		
Total Number of Pieces Listed by Sender		Total Number of Pieces Received at Post Office		Postmaster, Per (Name of receiving employee)														



*[Handwritten Signature]*

73

**George W. Broseman**  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: gbroseman@kaplaw.com

January 20, 2021

**VIA FIRST CLASS MAIL**

Stephen Norcini  
Township Engineer  
Township of Radnor  
301 Iven Avenue  
Wayne, PA 19087

**RE: Preliminary Land Development – Plan Land Development Application #2020-LD-08  
Eagle Road Hamilton Estate  
Our Reference: 15709-1**

Dear Mr. Norcini:

In accordance with Radnor Township Code provisions, I am enclosing the following documents on behalf of the Dorrance H. Hamilton 3/15/1996 Trust, applicant in the above matter, in advance of the upcoming public meetings:

1. A copy of the notice sent by this office to property owners in the vicinity of the property utilizing the addresses provided to us by Radnor Township; and
2. Original United States Postal Service 3877 forms, (Blue Bell Post Office) date-stamped January 20, 2021.

Should you have any questions, please do not hesitate to contact me.

Sincerely,



George W Broseman

GWB:sl  
Enclosure

January 20, 2021

**VIA FIRST CLASS MAIL (PROOF OF MAILING)**

**RE: Preliminary Land Development - Plan Land Development Application #2020-LD-08 - Eagle Road Hamilton Estate**

Dear Neighbor,

We have submitted an application to Radnor Township for the approval of a preliminary land development plan to subdivide the above property into 9 single family lots and construct 9 single family homes along Eagle Road.

These plans are available for public viewing in the Engineering Department. The Land Development Plans for Eagle Road will be reviewed by the Planning Commission at a scheduled meeting on **Monday February 1, 2021**.

This Planning Commission meeting will begin at 6:00 P.M. Currently, these meetings are being held via Zoom.

Sincerely,



George W. Broseman

*GWB:sl*



Name and Address of Sender

KAPLIN STEWART

910 Harvest Drive

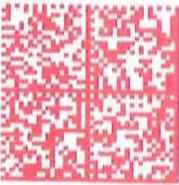
Blue Bell, PA 19422

Check type of mail or service

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- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)

USPS Tracking/Article Number

1. YOUNG LESLIE L  
532 W BEECHTREE LN  
WAYNE, PA 19087
2. YOST MICHELE M & JONATHAN P  
526 W BEECHTREE LA  
WAYNE, PA 19087
3. BOSTWICK WENDY A  
520 W BEECH TREE LN  
WAYNE, PA 19087
4. PERROT PAUL J  
514 W BEECHTREE LN  
WAYNE, PA 19087
5. PAHOMOV GEORGE S ETAL  
525 W BEECHTREE LN  
WAYNE, PA 19087
6. WALTERS LINDA  
23 FOREST RD  
WAYNE, PA 19087
7. CONDELLO MARK W & ANNE E  
511 W BEECHTREE LN  
WAYNE, PA 19087



FP US POSTAGE \$ 059.55

CORRECTION

ZIP 19422

01/20/2021

034A 0081800912

Book For Accountable Mail

Postage (Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	1.50										
.50	.43										
.50	.43										
.50	.43				Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
.50	.43										
4.00	4.51										



Postmaster, Per (Name of receiving employee)

[Signature]

Complete in Ink

Total Number of Pieces Listed by Sender 8

Total Number of Pieces Received at Post Office 8

59.55





Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation Restricted Postage
- Insured Mail

MCCLYMONI ALFRED &

MCCLYMONT DONNA  
21 FOREST ROAD  
WAYNE, PA 19087

SMITH JENNIFER D  
515 W BEECHTREE LA  
WAYNE, PA 19087

3D BODY WORKS SPRING CITY LLC  
300 W BOOT RD  
WEST CHESTER, PA 19380

MELTZER ARTHUR H & DEBRA V  
528 W BEECHTREE LA  
WAYNE, PA 19087

MARTIN JAMES W & EKATERINI K  
522 W BEECHTREE LN  
WAYNE, PA 19087

RHINE MICHAEL S & ANNA M  
516 W BEECHTREE LN  
WAYNE, PA 19087

HODGEMAN MARK  
527 W BEECH TREE LANE  
WAYNE, PA 19087

WILLIS MICHAEL G & SAWYER J  
KANAN  
25 FOREST RD  
WAYNE, PA 19087

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

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3





Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix Stamp Here  
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Postmark with Date of Receipt.

1.	2.	3.	4.	5.	6.	7.	8.	SH Fee	SCRD Fee	SC Fee	RR Fee	RD Fee	ASRD Fee	ASR Fee	Due Sender if COD	Insured Value	Actual Value if Registered	Handling Charge - If Registered and over \$50,000 in value	(Extra Service) Fee	Postage
HAMILTON DORRENCE H 200 EAGLE RD #316 WAYNE, PA 19087	BROOKS JOHN 227 STRAFFORD AVE WAYNE, PA 19087	SANTUCCI, RAYMOND L 390 W LANCASTER AV WAYNE, PA 19087	MORGAN STACEY P & THEODORE S 424 WEST AVE WAYNE, PA 19087	ANDERSON, MARK R 717 HOMESTEAD AVENUE HAVERTOWN, PA 19083	MAXFIELD HONOR C 7 F LEXINGTON LANE EST WEST PALM BEACH, FL 33418	MCCARTHY ARACELI U 421 WEST AVE WAYNE, PA 19087	OCONNOR CONSTANCE M & IZZO PETER J H/H 15 FORREST LN STRAFFORD, PA 19087													
																				.50
																				.43
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																				.43
																				4.00
																				3.44



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

PS Form 3877, January 2017 (Page 1 of 2) Complete in Ink Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.

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Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee	
1. CHAWLA GAGAN & SANNU 21 GRANT LN WAYNE, PA 19087	.50	.43												
2. SCHERI STEVEN W & MEGAN G 9 GRANT LN WAYNE, PA 19087	.50	.43												
3. SAREEN ANUJEET & TARA 205 STRAFFORD AVE WAYNE, PA 19087	.50	.43												
4. GRAY JEREMY P & CONTRERAS TERESA PAOLA ZARATE 231 STRAFFORD AVE WAYNE, PA 19087	.50	.43												
5. GDK REAL ESTATE 392 W LANCASTER AVE WAYNE, PA 19087	.50	.43												
6. MUNTZ CHRISTINA & TIMOTHY 429 WEST AVE WAYNE, PA 19087	.50	.43												
7. BONVETTI JOHN 416 WEST AVE WAYNE, PA 19087	.50	.43												
8. HORNER STEPHEN R & CAROLYN N 423 WEST AVE RADNOR, PA 19087	.50	.43												
Total Number of Pieces Listed by Sender: 8 Total Number of Pieces Received at Post Office: 8													4.00	3.44



Postmaster, Per (Name of receiving employee)  
*[Signature]*

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6



Firm Mailing Book For Accountable Mail

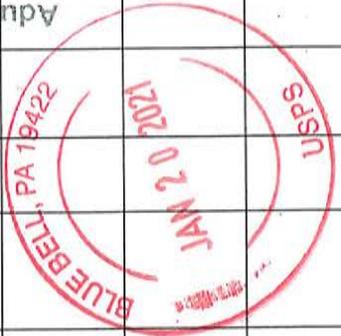
Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

- Check type of mail or service
- Adult Signature Required
  - Priority Mail Express
  - Adult Signature Restricted Delivery
  - Registered Mail
  - Certified Mail
  - Return Receipt for Merchandise
  - Certified Mail Restricted Delivery
  - Signature Confirmation
  - Collect on Delivery (COD)

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge - if Registered and over \$50,000 in value	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. TORUNIAN VAHE & FISCHER MARY BETH 404 WEST AVE WAYNE, PA 19087	.50	.43											
2. HAMILTON S MATTHEWS V JR 200 EAGLE RD #316 WAYNE, PA 19087	.50	.43											
3. JOHNSTON ALFRED J III & GLORIA ROMEIKA 17 GRANT LANE WAYNE, PA 19087	.50	.43											
4. MAHONEY MARY A 5 GRANT LANE WAYNE, PA 19087	.50	.43											
5. THOMASON ROBERT I & TRAUDI 211 STRAFFORD AVE WAYNE, PA 19087	.50	.43											
6. WHITMORE CHRISTOPHER M 428 WEST AVE WAYNE, PA 19087	.50	.43											
7. EPSTEIN NEIL & AMY 431 WEST AVE WAYNE, PA 19087	.50	.43											
8. BELL BROOKE B & CHRISTOPHER W 420 WEST AVE WAYNE, PA 19087	.50	.43											
	4.00	3.44											



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Handwritten mark



Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
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- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation
- Insured Mail
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number

1. CHEN HONG JEN & ALICE  
425 WEST AVE  
WAYNE, PA 19087

2. CAREY DAVID  
408 WEST AVE  
WAYNE, PA 19087

3. MENSER MARK S & JANET W  
417 WEST AVE  
WAYNE, PA 19087

4. HUCKELBRIDGE ARTHUR A JR TR  
2629 WELLINGTON RD  
CLEVELAND HTS, OH 44118

5. MAHONEY TARA  
311 EAGLE RD  
WAYNE, PA 19087

6. COOPER PAUL J  
305 EAGLE RD  
WAYNE, PA 19087

7. SCHRAMM HENRY O & PATRICIA  
309 WEST AVE  
WAYNE, PA 19087

8. STAPLES WILLIAM  
323 OVERHILL RD  
WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43											
.50	.43											
.50	.43											
.50	.43	Handling Charge - If Registered and over \$50,000 in value				Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43											
.50	.43											
.50	.43											
.50	.43											
.50	.43											
4.00	3.44											



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Complete in Ink

8













Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

USPS Tracking/Article Number	Postage	(Extra Service) Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. HENRY LAWRENCE E 316 WEST AVE WAYNE, PA 19087	.50	.43											
2. PERTSCHUK, MICHAEL & GRAVES JANET 15 CHESTNUT LANE WAYNE, PA 19087	.50	.43											
3. RADNOR PROPERTIES CORP 571 CREEK RD HARTSVILLE, PA 18974	.50	.43											
4. LOCKYER ELLEN S & NIGEL S 308 WINDSOR AVE WAYNE, PA 19087	.50	.43											
5. FREDERICKS JO ANNE T 319 WINDSOR AVE WAYNE, PA 19087	.50	.43											
6. ZULLINGER ROBERT L III & HEATHER K 312 WEST AVE WAYNE, PA 19087	.50	.43											
7. METZGER RICHARD G & DEMORROW DARLA L 307 WINDSOR AVE WAYNE, PA 19087	.50	.43											
8. ZELEZNIK SCOTT W 7 FARM RD WAYNE, PA 19087	.50	.43											
	4.00	3.44											



Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

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Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART
910 Harvest Drive
Blue Bell, PA 19422

- Check type of mail or service
Adult Signature Required
Priority Mail Express
Adult Signature Restricted Delivery
Registered Mail
Certified Mail
Return Receipt for Merchandise
Certified Mail Restricted Delivery
Signature Confirmation
Collect on Delivery (COD)

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

Table with 13 columns: USPS Tracking/Article Number, Postage, (Extra Service) Fee, Handling Charge, Actual Value, Insured Value, Due Sender, ASR Fee, ASRD Fee, RD Fee, RR Fee, SC Fee, SCRD Fee, SH Fee. Contains 8 rows of recipient data.



Total Number of Pieces Listed by Sender: 8
Total Number of Pieces Received at Post Office: 8

4.00 3.44

15



Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART  
910 Harvest Drive  
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here  
(for additional copies of this receipt).  
Postmark with Date of Receipt.

LMP 353 LLC

555 E LANCASTER AVE STE 620  
RADNOR, PA 19087

1. 115 STRAFFORD AVENUE LLC  
110 N PHOENIXVILLE PIKE  
MALVERN, PA 19355

2. GALLAGHER PAUL F & ELIZABETH  
HAYES  
312 WINDSOR AVE  
WAYNE, PA 19087

3. HOLLAND TIMOTHY & MEREDITH  
314 WINDSOR AVE  
WAYNE, PA 19087

4. MORGAN LESLIE P  
12 FARM RD  
WAYNE, PA 19087

5. DERSIMONIAN NISHAN & NANCY C  
16 FARM ROAD  
WAYNE, PA 19087

6. ARC CBWNEPA001 LLC  
200 DRYDEN RD #1100  
DRESHER, PA 19025

7. LEVINE ROBERT G & JULIE  
1 LINCOLN LA  
WAYNE, PA 19087

Postage	(Extra Service) Fee	Handling Charge - if Registered and over \$50,000 in value	Actual Value if Registered	Insured Value	Due Sender if COD	ASR Fee	ASRD Fee	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
.50	.43											
.50	.43					Adult Signature Required	Adult Signature Restricted Delivery	Restricted Delivery	Return Receipt	Signature Confirmation	Signature Confirmation Restricted Delivery	Special Handling
.50	.43											
.50	.43											
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.50	.43											
4.00	3.44											



Total Number of Pieces Listed by Sender: 8  
Total Number of Pieces Received at Post Office: 8

*[Handwritten signature]*



Firm Mailing Book For Accountable Mail

Name and Address of Sender

KAPLIN STEWART
910 Harvest Drive
Blue Bell, PA 19422

Check type of mail or service

- Adult Signature Required
Adult Signature Restricted Delivery
Certified Mail
Certified Mail Restricted Delivery
Collect on Delivery (COD)
Insured Mail
Priority Mail Express
Registered Mail
Return Receipt for Merchandise
Signature Confirmation
Signature Confirmation

Affix Stamp Here
(for additional copies of this receipt).
Postmark with Date of Receipt.

USPS Tracking/Article Number

- 1. FUCHS JR JOHN O
200 EAGLE RD SUITE 118
WAYNE, PA 19087
2. STRAUSS ISADORE c/o EQUITY RETAIL
BROKERS
101 W ELM ST #370
CONSHOCKEN, PA 19428
3. THREE SIXTY FIVE INC
331 S RADNOR CHESTER RD
VILLANOVA, PA 19085
4. WALKER FAMILY PROPERTIES LLP
314 CHAMOUNIX RD
WAYNE, PA 19087
5. ONEILL EDWARD & CARLA
378 W LANCASTER AVE
WAYNE, PA 19087
6. 100 W PARKINERS
595 E LANCASTER AVE #303
ST DAVIDS, PA 19087
7. LUKAS JOSEPH T
89 BLACKMORE POND CIR
WEST WAREHAM, MA 02576
8. LUKAS JOSEPH T & CONNOLLY SUSAN
714 MOONRAKER CT
GALLOWAY, NJ 08205

Table with columns: Postage, (Extra Service) Fee, Handling Charge, Actual Value, Insured Value, Due Sender if COD, ASR Fee, ASRD Fee, RD Fee, RR Fee, SC Fee, SCRD Fee, SH Fee. Includes a red circular postmark: BLUE BELL, PA 19422 JAN 20 2021 USPS.

Total Number of Pieces Listed by Sender: 8
Total Number of Pieces Received at Post Office: 8

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# EAGLE ROAD SUBDIVISION

## PRELIMINARY SUBDIVISION & LAND DEVELOPMENT PLAN SET



ADJOINING PROPERTIES (LANDS N/E)

1. HUCKELBRIDGE ARTHUR A JR HUCKELBRIDGE BEVERLY KAPP, 321 EAGLE ROAD, 36-12-014
2. 205 STRAFFORD AVENUE LLC 335 EAGLE ROAD, 36-11-349:005
3. RICHARD C & JENNIFER SARHADDI 337 EAGLE ROAD, 36-11-349:004
4. ALAN J SILVER, 201 STRAFFORD AVENUE 36-11-349:003
5. ANUJEET & TARA SAREEN 205 STRAFFORD AVE, 36-11-349
6. SATTERFIELD DAVID & MORRISSEY MARY ANNE, 207 STRAFFORD AVE, 36-11-349:002
7. THOMASON ROBERT I & THOMASON TRAUDI, 211 STRAFFORD AVENUE, 36-11-350
8. BROOKS JOHN W & KATHRYN R, 227 STRAFFORD AVENUE, 36-11-351
9. GRAY JEREMY P & CONTRERAS TERESA PAOLA ZARATE, 231 STRAFFORD AVE, 36-11-352
10. THE TRUSTEES REVOCABLE TRUST C/O HAMILTON REVOCABLE TRUST, 235 STRAFFORD AVE, 36-11-353
11. WHITMORE CHRISTOPHER M, 428 WEST AVE, 36-11-355
12. MORGAN STACEY P & THEODORE S, 424 WEST AVENUE, 36-12-002
13. BROWN GWENDOLYN J, 420 WEST AVE, 36-12-004
14. TURSI PAUL ANDREW & TURSI KATHRYN M, 416 WEST AVE, 36-12-006
15. MAXFIELD HONOR CHAPIN, 412 WEST AVE, 36-12-008
16. CAREY DAVID & ELIZABETH, 408 WEST AVE, 36-12-010
17. TORUNIAN MARY BETH & TORUNIAN VAHE, 404 WEST AVE, 36-12-012
18. HAMILTON DORRANCE H ETAL TRSTEES REVOCABLE TRUST, 225 STRAFFORD AVE, 36-11-347:001



MAP SHOWING FEATURES WITHIN 300' OF PROPERTY LINE



DRAWING SCHEDULE

1. COVER SHEET
2. EXISTING CONDITIONS PLAN
3. DEMOLITION PLAN
4. RECORD PLAN
5. POST CONSTRUCTION STORMWATER PLAN
6. UTILITY PLAN
7. DURING CONSTRUCTION E&S
8. PCSM DETAILS
9. CONSTRUCTION DETAILS
10. E&S DETAILS
11. PROFILES
12. LP-1 LANDSCAPE PLAN
13. LP-2 LANDSCAPE DETAILS
14. LI-1 LIGHTING PLAN
15. LI-2 LIGHTING DETAILS

CIVIL ENGINEER:  
SITE ENGINEERING CONCEPTS, LLC

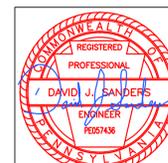
ATTN: ROBERT M. LAMBERT, P.E.  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: (610) 240-0450  
E: RLAMBERT@SITE-ENGINEERS.COM

LANDSCAPE ARCHITECT:  
GLACKIN THOMAS PANZAK, INC.

ATTN: BERNARD S. PANZAK, RLA  
PAOLI EXECUTIVE GREEN 1, SUITE 300  
PAOLI, PA 19301  
P: (610) 408-9011  
E: BPAZAK@GLACKINPLAN.COM

APPLICANT/OWNER:  
THE TRUSTEES OF THE DORRANCE HAMILTON  
3/15/1996 REVOCABLE AGREEMENT OF TRUST

ATTN: CHARLES HOUDER  
551 W LANCASTER AVE, SUITE 307  
HAVERFORD, PA 19041  
P: (610) 389-0305  
E: DCH@HAVERFORDPROPERTIES.COM



DAVID J. SANDERS, P.E.  
PE057436

1.	11/23/20	REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20
NUM.	DATE	REVISION
PLAN PREPARED BY: <b>SITE ENGINEERING CONCEPTS, LLC</b> P.O. BOX 1992 SOUTHEASTERN, PA 19399 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
PLAN PREPARED FOR: <b>HAMILTON PROPERTIES</b> EAGLE ROAD WAYNE, PA 19087 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA DATE: AUGUST 27, 2020		
<b>COVER SHEET</b>		<b>SHEET</b> 1 of 15 SCALE: 1" = 200'

**GENERAL NOTES**

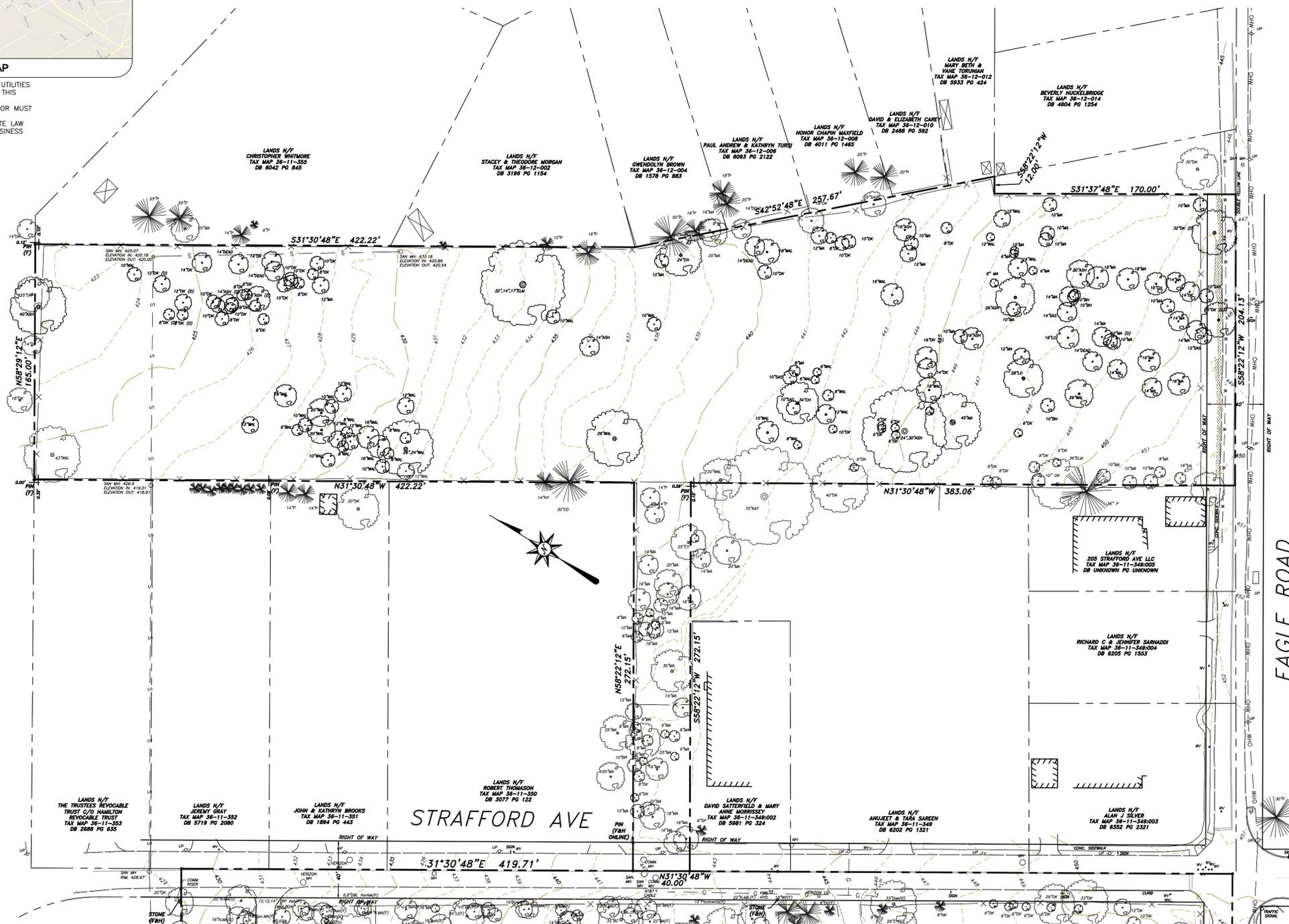
1. BEARINGS SHOWN ARE BASED ON A MERIDIAN ESTABLISHED USING PA STATE PLANE COORDINATES. MERIDIAN DIFFERS FROM THE RECORDED DEED BY 6'35"48".
2. CONTOURS PLOTTED FROM FIELD RUN SURVEY. GPS CONTROL PERFORMED ONSITE TO ESTABLISH BENCHMARK. DATUM NAD83/NAVD88.
3. THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT.
4. THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
5. THERE IS NO IDENTIFIABLE FEMA FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428 00177 OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
6. EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
8. PLANS REFERENCED: LOT LINE CHANGE PLAN PREPARED BY YERKES ASSOCIATES, INC. FOR MRS. S.M.V HAMILTON DATED JULY 21, 2001.

PARCEL SUMMARY						
COMMITMENT NO.	PREMISES LABEL	FOLIO #	TAXMAP ID	DEED BOOK	PAGE	GROSS LOT AREA (Sq. Ft.)
PAFA19-0709 DIM	C	36-01-00541-01	36-11-349-001	Plan Book 22	155	163,367
						158,485



**NOTE:** THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

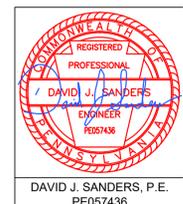
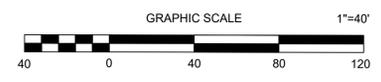
DESIGN S/N: 20190750324 & 20190750325



IMPERVIOUS COVERAGE SUMMARY			
PREMISES C 36-11-349-001			
Gross Lot Area	163,367	Sq. Ft.	
No impervious coverage onsite	0	Sq. Ft.	
Total Building Coverage	0	Sq. Ft.	0.00%
Total Site Impervious Coverage	0	Sq. Ft.	0.00%

**PLAN LEGEND**

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)	EXISTING BUILDINGS
- - - INDEX CONTOUR (5' INTERVAL)	EXISTING ASPHALT
--- ST --- STORM SEWER PIPING	EXISTING WALKWAY
--- S --- SANITARY SEWER PIPING	EXISTING WALL
--- G --- GAS MAIN	14%-20% SLOPES
--- W --- WATER MAIN / SERVICE	SLOPES > 20%
--- OW --- OVERHEAD WIRE	
--- T --- UNDERGROUND TELEPHONE	
--- --- EDGE OF PAVEMENT	
--- X --- FENCE LINE	

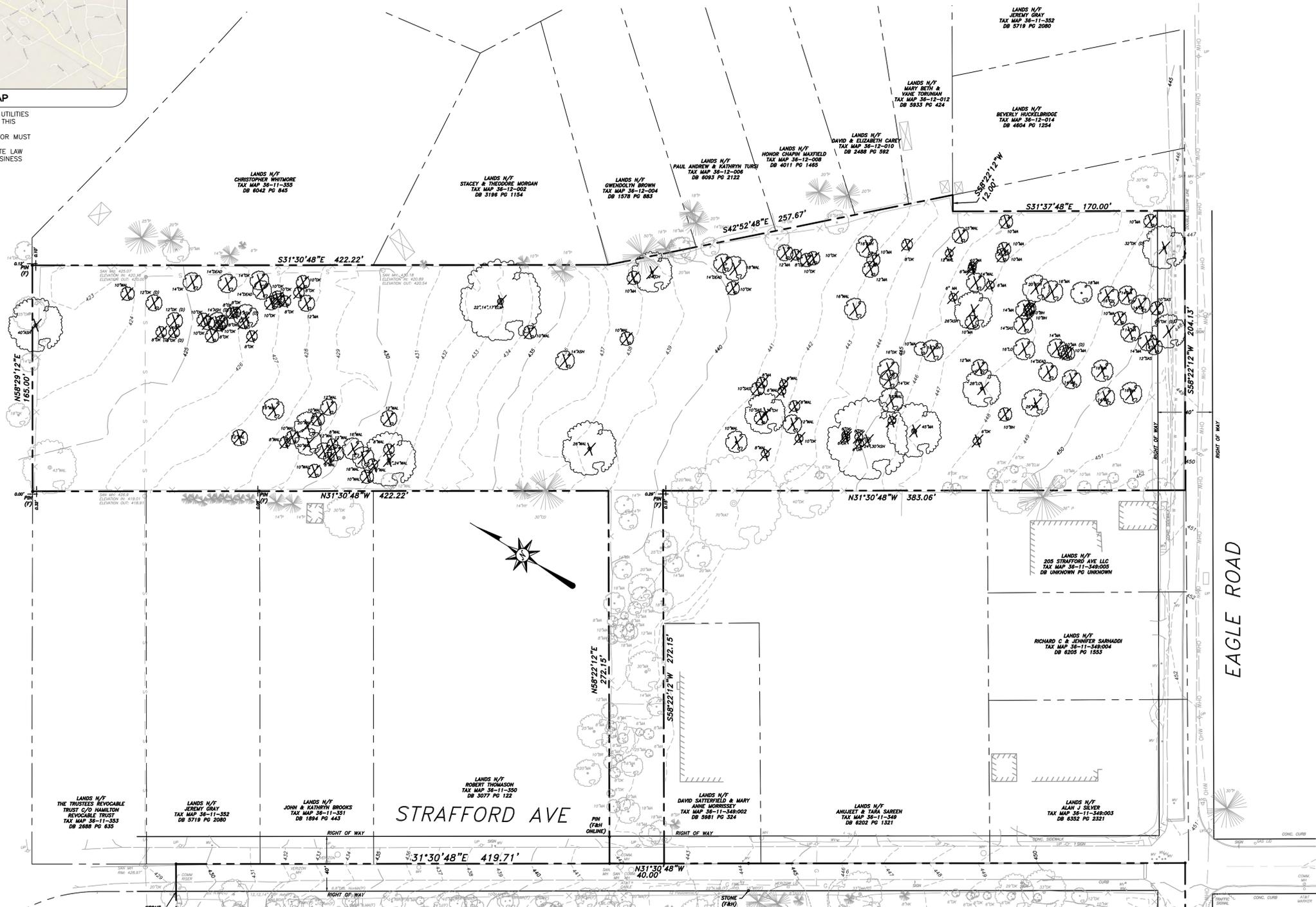


1.	11/23/20	REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20
NUM.	DATE	REVISION
PLAN PREPARED BY:		
<b>SITE ENGINEERING CONCEPTS, LLC</b>		
P.O. BOX 1992		
SOUTHEASTERN, PA 19399		
P: 610-240-0450	F: 610-240-0451	E: INFO@SITE-ENGINEERS.COM
PLAN PREPARED FOR:		
<b>HAMILTON PROPERTIES</b>		
EAGLE ROAD		
WAYNE, PA 19087		
RADNOR TOWNSHIP	DELAWARE COUNTY	PENNSYLVANIA
<b>EXISTING CONDITIONS PLAN</b>		DATE: AUGUST 27, 2020
<b>SHEET 2 of 15</b>		SCALE: 1" = 40'



NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

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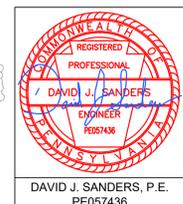
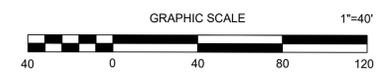


ZONING SUMMARY	
R-4 - RESIDENTIAL DISTRICT	
ORDINANCE ITEM	REQUIREMENT
MIN. LOT AREA	7,000 SF
MIN. LOT WIDTH @ BLDG	55 FT
MIN. SETBACKS	
FRONT	30 FT
SIDE (INDIVIDUAL/AGGREGATE)	12 FT / 30 FT
REAR	30 FT
MAX. BUILDING HEIGHT	35 FT
MAX. BUILDING COVERAGE	30%
MAX. IMPERVIOUS COVERAGE	40%
RIPARIAN BUFFER SETBACK	25 FT

- DEMOLITION NOTES:
- UTILITIES SHOWN ARE FROM THE EXTENT OF OUR KNOWLEDGE BASED ON PA ONE CALL, PROPOSED PLANS AND VISUAL OBSERVATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO IDENTIFY ADDITIONAL UTILITIES. CONTRACTOR MUST NOTIFY PA ONE CALL AT LEAST THREE DAYS PRIOR TO CONSTRUCTION IN ACCORDANCE WITH PA ONE CALL REGULATIONS (CALL 1-800-242-1776) AND SHALL FIELD LOCATE ALL UTILITIES THAT MAY BE PRESENT IN WORK AREA.
  - CONTRACTOR SHALL FOLLOW ALL REQUIREMENTS OF THE EROSION AND SEDIMENT CONTROL PLAN, AS APPLICABLE, INCLUDING THE STABILIZED CONSTRUCTION ENTRANCE, SILT FENCE, SILT SOXX, TREE PROTECTION, AND IMMEDIATE STABILIZATION OF ANY DISTURBED AREAS.
  - THE APPLICANT SHALL CONDUCT REGULAR STREET CLEANING OF ALL ROADWAYS ADJACENT TO ACTIVE PORTIONS OF THE CONSTRUCTION SITE. STAFF SHALL HAVE THE RIGHT TO ORDER STREET CLEANING MORE OFTEN IF THERE IS EVIDENCE OF CONSTRUCTION RELATED DEBRIS IN THE ROADWAY DURING THE PROJECT.

**PLAN LEGEND**

- BOLD LINES: PROPOSED
- FADED LINES: EXISTING
- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- INDEX CONTOUR (5' INTERVAL)
- ST --- STORM SEWER PIPING
- S --- SANITARY SEWER PIPING
- G --- GAS MAIN
- W --- WATER MAIN / SERVICE
- OW --- OVERHEAD WIRE
- T --- UNDERGROUND TELEPHONE
- --- EDGE OF PAVEMENT
- X --- FENCE LINE
- X TREE TO BE REMOVED



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P.O. BOX 1992		
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P: 610-240-0450	F: 610-240-0451	E: INFO@SITE-ENGINEERS.COM
PLAN PREPARED FOR:		
HAMILTON PROPERTIES		
EAGLE ROAD		
WAYNE, PA 19087		
RADNOR TOWNSHIP	DELAWARE COUNTY	PENNSYLVANIA
DATE: AUGUST 27, 2020		
<b>DEMOLITION PLAN</b>		<b>SHEET 3 of 15</b>
DAVID J. SANDERS, P.E. PE057436		SCALE: 1" = 40'



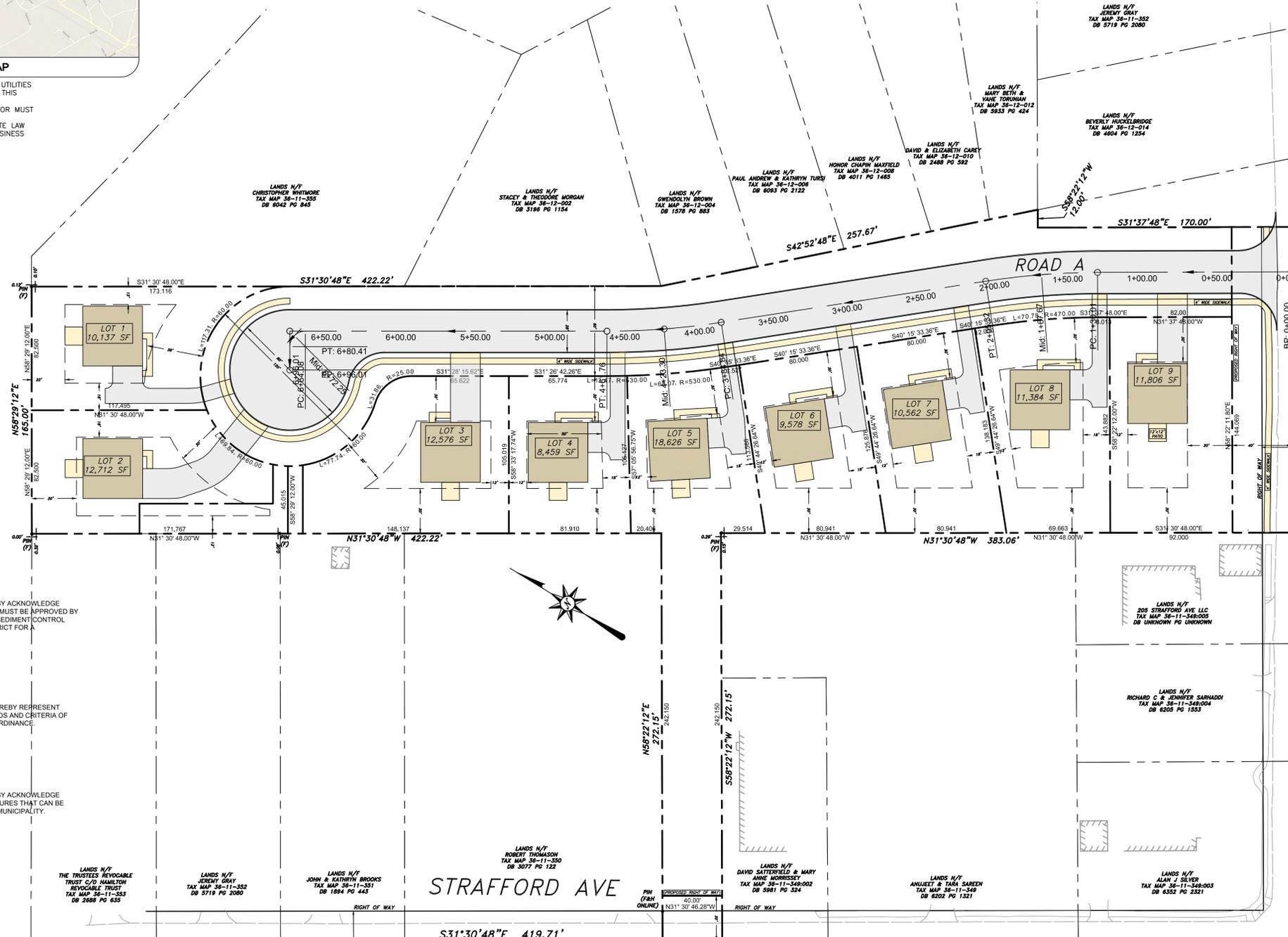
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DESIGN S/N: 20190750324 & 20190750325



ZONING SUMMARY										
R-4 - RESIDENTIAL DISTRICT										
ORDINANCE ITEM	REQUIREMENT	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9
MIN. LOT AREA	7,000 SF	10,137 SF	12,712 SF	12,576 SF	8,459 SF	18,626 SF	9,578 SF	10,562 SF	11,384 SF	11,806 SF
MIN. LOT WIDTH @ BLDG	55 FT	82 FT	82 FT	175 FT	79 FT	75 FT	80 FT	80 FT	90 FT	82/144 FT
MIN. SETBACKS										
FRONT	30 FT	31 FT	31 FT	31 FT	31 FT	31 FT	31 FT	31 FT	31 FT	31 FT
SIDE (INDIVIDUAL/AGGREGATE)	12 FT / 30 FT	13 FT / 42 FT	13 FT / 32 FT	19 FT / 108 FT	13 FT / 40 FT	13 FT / 39 FT	13 FT / 40 FT	13 FT / 34 FT	13 FT / 39 FT	13 FT / 52 FT
REAR	30 FT	42 FT	54 FT	34 FT	34 FT	44 FT	56 FT	66 FT	66 FT	72 FT
MAX. BUILDING HEIGHT	35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT	≤ 35 FT
MAX. BUILDING COVERAGE	30%	16%	13%	13%	19%	9%	17%	15%	14%	14%
MAX. IMPERVIOUS COVERAGE	40%	29%	24%	21%	33%	16%	30%	27%	25%	22%

IMPERVIOUS SUMMARY									
	LOT 1	LOT 2	LOT 3	LOT 4	LOT 5	LOT 6	LOT 7	LOT 8	LOT 9
LOT AREA (SF)	10,137	12,712	12,576	8,459	18,626	9,578	10,562	11,384	11,806
BUILDING (SF AS SHOWN)	1600	1600	1600	1600	1600	1600	1600	1600	1600
DRIVEWAY (SF AS SHOWN)	1092	1707	779	951	980	951	951	991	781
WALKWAY (SF AS SHOWN)	283	204	212	283	283	283	283	281	212
TOTAL (SF AS SHOWN)	2975	3511	2591	2834	2863	2834	2834	2872	2593
BUILDING COVERAGE (% AS SHOWN)	15.8	12.6	12.7	18.9	8.6	16.7	15.1	14.1	13.6
IMPERVIOUS COVERAGE (% AS SHOWN)	29.3	27.6	20.6	33.5	15.4	29.6	26.8	25.2	22.0
MAX. IMPERVIOUS COVERAGE 40% ALLOWED (SF)	4054.80	5084.80	5030.40	3383.60	7450.40	3831.20	4224.80	4553.60	4722.40



**APPLICANT NOTE**  
I, \_\_\_\_\_ ON THIS DATE \_\_\_\_\_ HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE MUNICIPALITY, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED TO THE CONSERVATION DISTRICT FOR A DETERMINATION OF ADEQUACY.

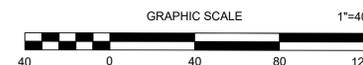
**DESIGNER'S CERTIFICATION**  
I, DAVID J. SANDERS, P.E., ON THIS DATE \_\_\_\_\_ HEREBY REPRESENT THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

**LANDOWNER NOTE**  
I, \_\_\_\_\_ ON THIS DATE \_\_\_\_\_ HEREBY ACKNOWLEDGE THAT THE STORMWATER CONTROLS AND BMPs ARE FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL BY THE MUNICIPALITY.

PARCEL SUMMARY					
COMMITMENT NO.	PREMISES LABEL	FOLIO #	TAXMAP ID	DEED BOOK	PAGE
PFA19-0709 D/M	C	36-01-00541-01	36-11-349-001	Plan Book 22	155

**GENERAL NOTES**

- APPLICANT AND FUTURE OWNER(S) OF EACH LOT RESERVES THE RIGHT TO MODIFY THE SETBACKS, COVERAGE AND IMPROVEMENTS SHOWN ON EACH LOT IN ACCORDANCE WITH APPLICABLE ZONING AND RESOLUTIONS.
- THE DEVELOPMENT WILL BE SERVED BY SANITARY SEWERS AND PUBLIC WATER SUPPLY.
- THE DEVELOPMENT WILL BE SERVED BY PECO ELECTRIC.



**PROPERTY OWNER**  
COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF DELAWARE  
ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, THE UNDERSIGNED OFFICER PERSONALLY APPEARED, WHO ACKNOWLEDGED HIM/HERSELF TO BE THE \_\_\_\_\_ OWNER OF THE PROPERTIES PROPOSED TO BE DEVELOPED IN THE SUBJECT PLAN BEING AUTHORIZED TO DO SO, ACKNOWLEDGED THIS PLAN TO BE THE OFFICIAL PLAN OF THE PROPERTIES SHOWN THEREON, SITUATED IN THE TOWNSHIP OF RADNOR, DELAWARE COUNTY, PENNSYLVANIA, AND DESCRIBED THAT THIS PLAN IS MADE WITH THE OWNER'S FREE CONSENT AND INTENDED TO BE RECORDED ACCORDING TO LAW.  
WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND YEAR AFORESAID.

**NOTARY** \_\_\_\_\_

**OWNER** \_\_\_\_\_

**RADNOR TOWNSHIP:**  
THIS IS TO CERTIFY THE BOARD OF SUPERVISORS HAS APPROVED THIS LAND DEVELOPMENT PLAN FOR STRAFFORD AVENUE AND EAGLE ROAD, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_, FOR RECORDING AT THE RECORDER OF DEEDS OF DELAWARE COUNTY, MEDIA, PENNSYLVANIA. OFFERS OF DEDICATION HAVE BEEN ACCEPTED/REJECTED, BONDS, FUNDS OR SECURITIES IN ESCROW HAVE BEEN FILED WITH THE TOWNSHIP AND ACCEPTED TO COVER ALL IMPROVEMENTS SHOWN ON THE PLAN AND REQUIRED UNDER THE SUBDIVISION/LAND DEVELOPMENT AGREEMENT.

APPROVED THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
BOARD OF SUPERVISORS SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**CHAIRMAN** \_\_\_\_\_

**MEMBER** \_\_\_\_\_

**TOWNSHIP ENGINEER** \_\_\_\_\_

**ATTEST:** \_\_\_\_\_  
MANAGER

**DELAWARE COUNTY PLANNING COMMISSION:**

REVIEWED BY THE DELAWARE COUNTY PLANNING COMMISSION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**SECRETARY** \_\_\_\_\_

**RECORDER OF DEEDS**

RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS OF DELAWARE COUNTY AT MEDIA CHESTER, PENNSYLVANIA IN THE \_\_\_\_\_

PLAN BOOK \_\_\_\_\_ PAGE \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

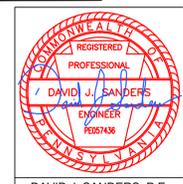
**RECORDER OF DEEDS** \_\_\_\_\_

1.	DATE	REVISION
1.	11/23/20	REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**HAMILTON PROPERTIES**  
EAGLE ROAD  
WAYNE, PA 19087  
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
DATE: AUGUST 27, 2020

**RECORD PLAN**  
**SHEET 4 of 15**  
SCALE: 1" = 40'



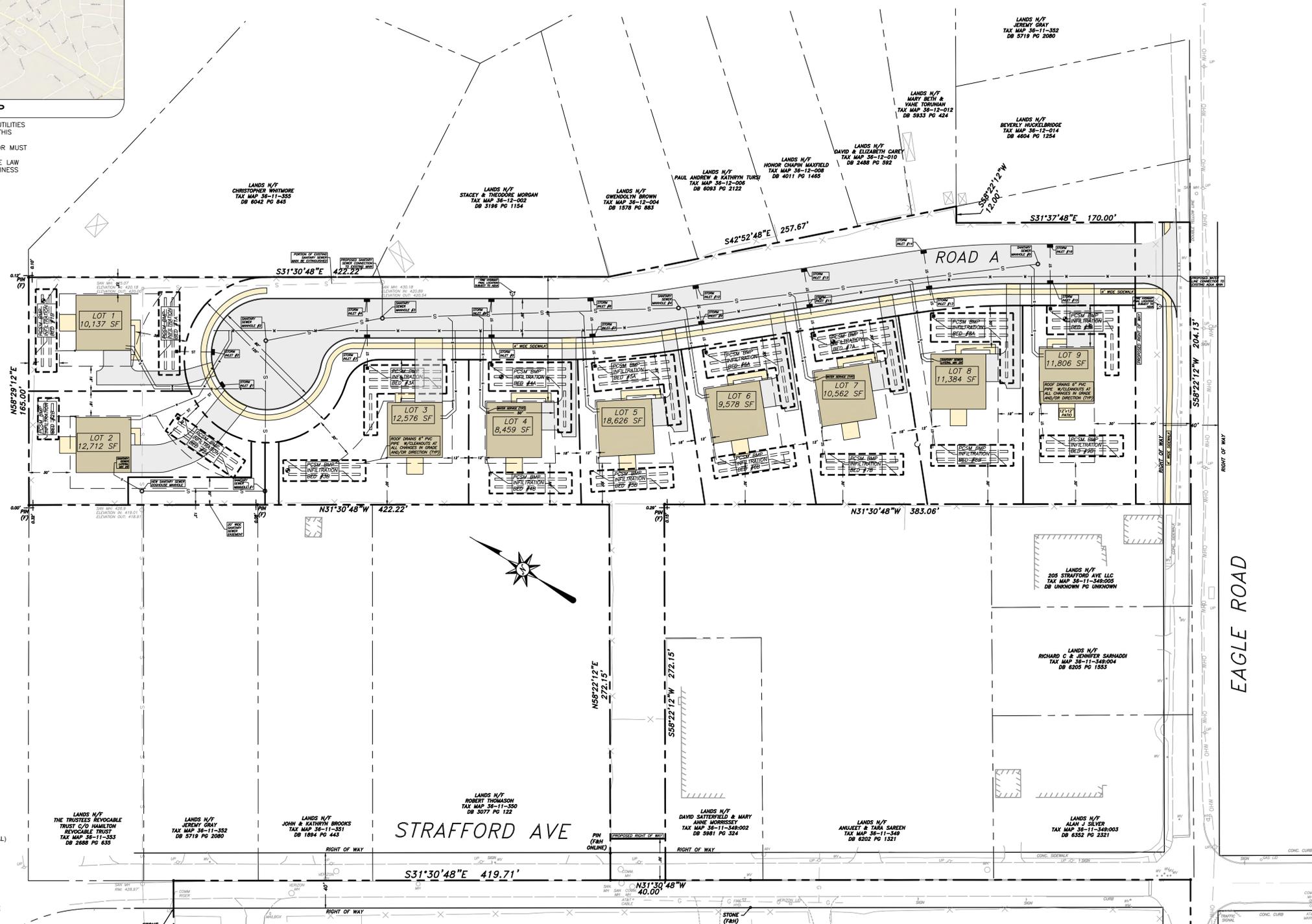
DAVID J. SANDERS, P.E.  
PE057436





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**PLAN LEGEND**

- SUPPLEMENTAL CONTOUR (2' INTERVAL)
- INDEX CONTOUR (10' INTERVAL)
- ST --- EXISTING STORM SEWER PIPING
- S --- EXISTING SANITARY SEWER PIPING
- G --- EXISTING GAS MAIN
- W --- EXISTING WATER MAIN / SERVICE
- T --- EXISTING UNDERGROUND TELEPHONE
- EXISTING EDGE OF WOODS
- EXISTING EDGE OF PAVEMENT
- EXISTING CURB
- EXISTING FENCE LINE
- EXISTING STORMWATER INLET
- PROPERTY LINE
- BUILDING SETBACK LINE
- PROPOSED STORM WATER
- PROPOSED CURB
- PROPOSED STORMWATER INLET
- HALF TONE EXISTING
- FULL TONE PROPOSED

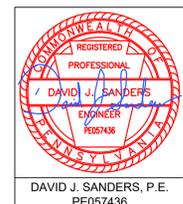
- PROPOSED BUILDINGS
- PROPOSED ASPHALT
- PROPOSED WALKWAY

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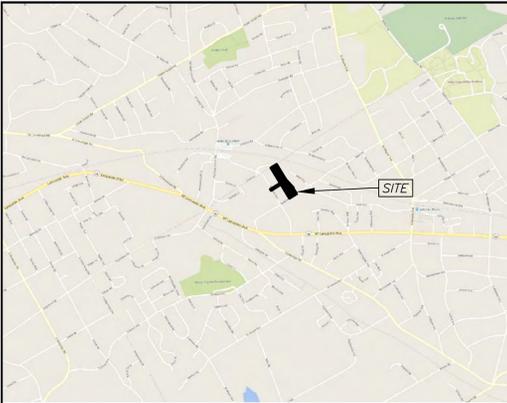
PLAN PREPARED FOR:  
**HAMILTON PROPERTIES**  
 EAGLE ROAD  
 WAYNE, PA 19087  
 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 DATE: AUGUST 27, 2020

**UTILITY PLAN**  
**SHEET 6 of 15**  
 SCALE: 1" = 40'



DAVID J. SANDERS, P.E.  
 PE057436





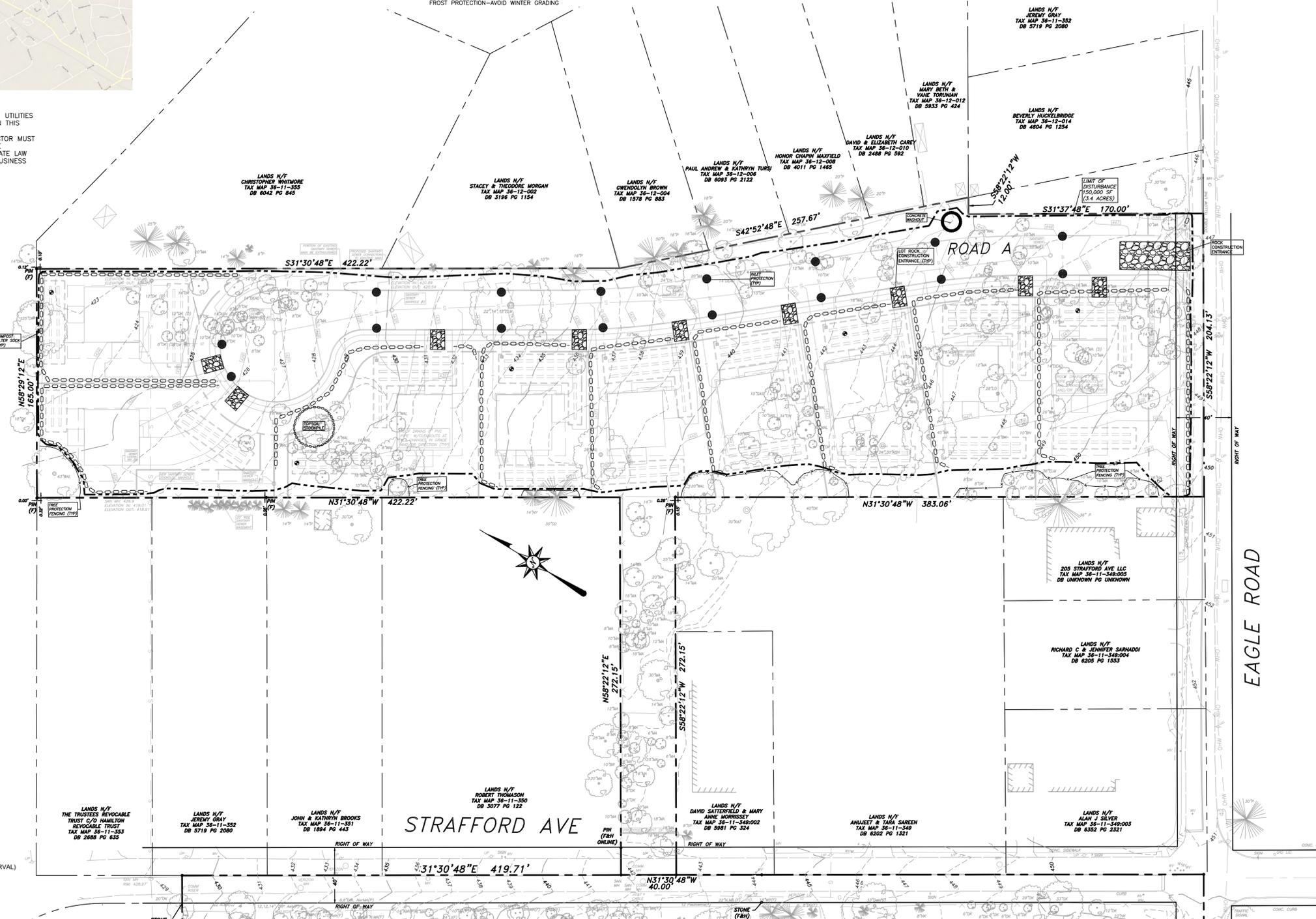
**SOIL DATA**  
 ENTIRE PROJECT AREA COMPOSED OF URBAN SOILS ACCORDING TO THE PENN STATE SOIL MAP WEBSITE.  
 URBAN - URBAN LAND-GLENELG COMPLEX  
 0 TO 8 PERCENT SLOPES  
 DEPTH TO SEASONAL HIGH WATER TABLE: MORE THAN 80"  
 DEPTH TO BEDROCK: 60" TO 120"  
 HYDROLOGICAL CLASSIFICATION TYPE B

SOIL NAME	CUTBANKS CAVE	CORROSIVE TO CONCRETE/STEEL	EASILY ERODIBLE	FLOODING SUSCEPTIBLE	ZONE (SEASONAL HIGH WATER TABLE)	CORROSIVE TO STEEL	SWAY PRECIPITATION	PHOSPHORUS SOURCE OF FERTILIZATION	POSSIBLE ACTION	SHRINK SWELLING	PONDING	WETNESS
URBAN					X							

**SOIL RESOLUTIONS**  
 HIGH WATER TABLE—THE GEOTECHNICAL REPORT INDICATED THAT THERE WAS NO GROUNDWATER ENCOUNTERED AT THE EXCAVATION DEPTHS. IF GROUND WATER IS ENCOUNTERED WATER TIGHT STORM WATER PIPES AND CLAY CHECK DAMS USED IN SANITARY SEWER TRENCHING.  
 FROST PROTECTION-AVOID WINTER GRADING

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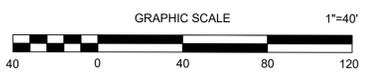
- CONSTRUCTION STAGING**
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
  - AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES THE OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES INCLUDING BUT NOT LIMITED TO: THE LANDOWNER AND ALL APPROPRIATE MUNICIPAL OFFICIALS FOR AN ON-SITE PRE-CONSTRUCTION MEETING.
  - NOTE: ALL MATERIALS ASSOCIATED WITH SEDIMENT REMOVAL MUST BE ON-SITE PRIOR TO EARTH DISTURBANCE.
  - STAGE 1. INSTALL TREE PROTECTION FENCING, SILT FENCE, INLET PROTECTION AND ROCK CONSTRUCTION ENTRANCE. ONCE INSTALLATION OF THESE ITEMS ARE COMPLETE, THE TOWNSHIP ENGINEER SHALL BE NOTIFIED PRIOR TO ANY DEMOLITION OR OTHER EARTH DISTURBANCE.
  - STAGE 2. ONCE AUTHORIZATION FROM THE TOWNSHIP ENGINEER IS GIVEN, STRIP TOPSOIL TOPSOIL STOCKPILES ARE TO BE LIMITED TO 35 FEET WITH A MAXIMUM SIDE SLOPE OF 2:1. IMMEDIATELY STABILIZE STOCKPILE.
  - STAGE 3. CONSTRUCT UTILITY MAINS.
  - STAGE 4. CONSTRUCT ROAD
  - STAGE 5. EXCAVATE FOR BUILDING CONSTRUCTION.
  - STAGE 6. CONSTRUCT BUILDING.
  - STAGE 7. NOTIFY TOWNSHIP ENGINEER 48 HOURS PRIOR TO THE INSTALLATION OF THE INFILTRATION BASIN.
  - STAGE 8. CRITICAL STAGE - INSTALL INFILTRATION BASIN, COLLECTION AND CONVEYANCE SYSTEM. INSTALL INLET PROTECTION ON NEW INLETS. MUST REMAIN UNTIL AREA STABILIZED. SEEPAGE BED SHALL NOT RECEIVE RUNOFF UNTIL THE ENTIRE CONTRIBUTORY AREA HAS BEEN STABILIZED.
  - STAGE 9. CONSTRUCT WALK IMPROVEMENTS.
  - STAGE 10. SPREAD TOPSOIL, FINE GRADE, STABILIZE.
  - STAGE 11. UPON THE COMPLETION OF GRADING IN ANY AREA, IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE PERMANENT SEED MIXTURE. MULCH AT 3 TONS PER ACRE, AND LIME AS PRESCRIBED.
  - STAGE 12. REMOVE ALL EROSION AND SEDIMENT CONTROL MEASURES ONCE TRIBUTARY AREAS ARE FULLY STABILIZED. IMMEDIATELY STABILIZE ANY REMAINING DISTURBED AREAS AND AREAS DISTURBED BY THE REMOVAL OF EROSION CONTROL FACILITIES WITH THE PERMANENT SEED MIXTURE, MULCH AT 3 TONS/ACRE, AND LIME AS PRESCRIBED.

**PLAN LEGEND**

- SUPPLEMENTAL CONTOUR (2' INTERVAL)
- INDEX CONTOUR (10' INTERVAL)
- ST --- EXISTING STORM SEWER PIPING
- S --- EXISTING SANITARY SEWER PIPING
- G --- EXISTING GAS MAIN
- W --- EXISTING WATER MAIN / SERVICE
- T --- EXISTING UNDERGROUND TELEPHONE
- X --- EXISTING EDGE OF WOODS
- --- EXISTING EDGE OF PAVEMENT
- --- EXISTING CURB
- X --- EXISTING FENCE LINE
- --- PROPERTY LINE
- --- BUILDING SETBACK LINE
- 392' --- PROPOSED CONTOUR
- sf --- PROPOSED STORM WATER
- --- PROPOSED CURB
- --- PROPOSED STORMWATER INLET

**EROSION AND SEDIMENTATION CONTROL LEGEND**

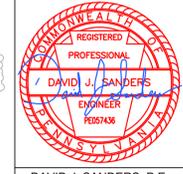
- 24" COMPOST FILTER SOCK
- TREE PROTECTION
- ROCK CONSTRUCTION ENTRANCE
- LIMIT OF DISTURBANCE/NPDES BOUNDARY
- INLET PROTECTION WITH FILTER BAG
- EROSION CONTROL BLANKET



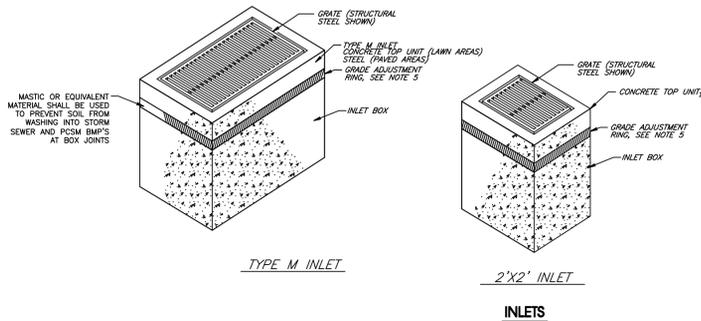
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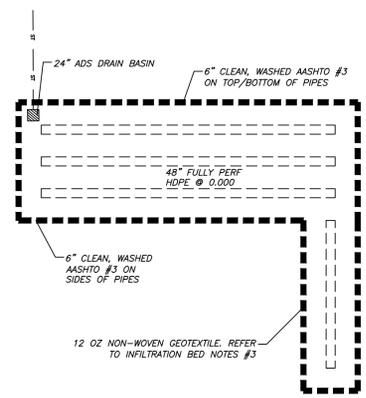
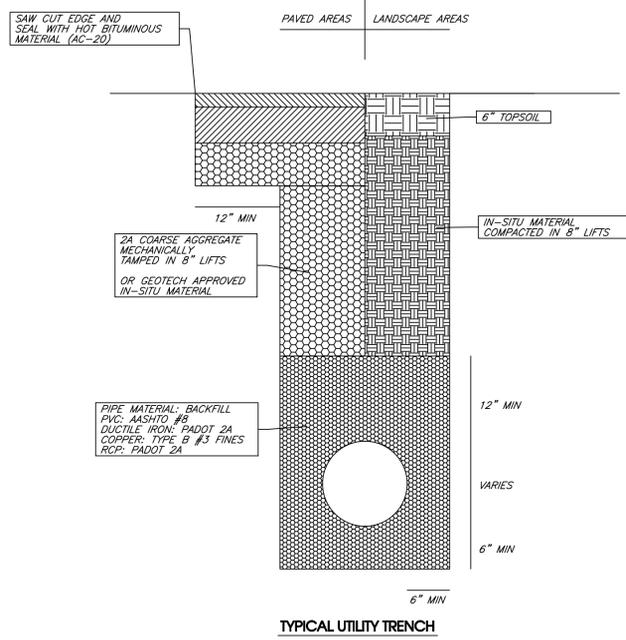
PLAN PREPARED FOR:  
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 EAGLE ROAD  
 WAYNE, PA 19087  
 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
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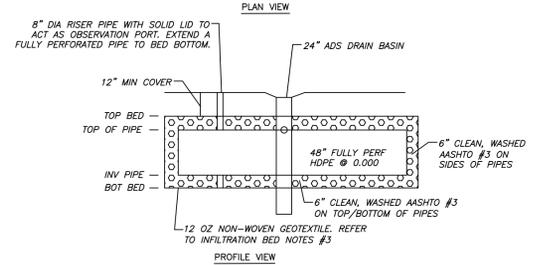
**EROSION AND SEDIMENTATION CONTROL PLAN**  
 SHEET 7 of 15  
 40'



- NOTES**
- CONSTRUCTION REQUIREMENTS**
- CONSTRUCT IN ACCORDANCE WITH PENNSYLVANIA PUBLIC WORKS SPECIFICATIONS, SECTIONS 605, 606, 714, AND AS MODIFIED HEREIN.
  - MINIMUM CONCRETE CLASS: CAST-IN-PLACE CLASS A PRECAST CLASS A4
  - PROVIDE STEEL REINFORCEMENT IN ACCORDANCE WITH SEC. 709. PROVIDE MINIMUM YIELD STRENGTH OF 60,000 P.S.I.
  - CLEAR COVER FOR STEEL:
    - WALLS: CAST-IN PLACE 2" PRECAST 1 1/2" (TOP BARS)
    - FOOTINGS: CAST-IN PLACE 2 1/2" (TOP BARS) 2" (SIDE COVER) 2" (BOTTOM BARS)
    - PRECAST 2" (TOP BARS) 1 1/2" (SIDE COVER) 1 1/2" (BOTTOM BARS)
    - SLABS: CAST-IN PLACE 2" (TOP & BOTTOM BARS)
2. THE SELECTION OF COMPONENTS TO ACHIEVE A SPECIFIED INLET ASSEMBLY IS THE CONTRACTOR'S RESPONSIBILITY.
3. USE PRECAST CONCRETE OR STEEL GRADE ADJUSTMENT RINGS WHEN REQUIRED. (REHABILITATION PROJECTS)
4. FOR WALL REINFORCEMENT, BOTH DIRECTIONS, USE 0.12 IN/FT MIN. EACH WAY, EACH FACE.
5. FOR FOOTING REINFORCEMENT, TOP AND BOTTOM, USE #4 BARS AT 12" CENTERS EACH WAY OR 0.20 IN./FT. W.W.F. (6" MAX. SPACING).



ROOF DRAINS 6" PVC PIPE W/CLEANOUTS AT ALL CHANGES IN GRADE AND/OR DIRECTION (TYP)

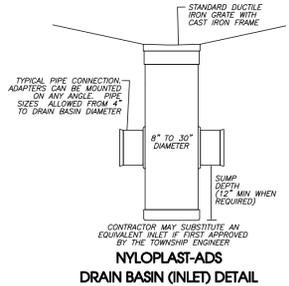
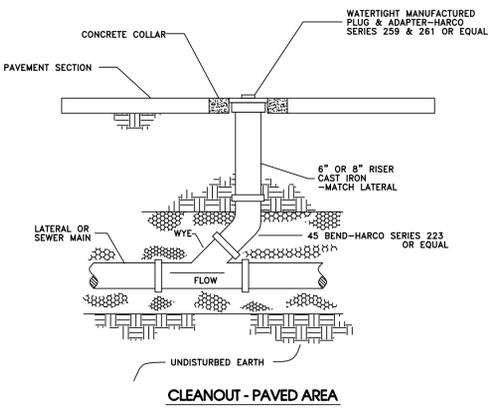
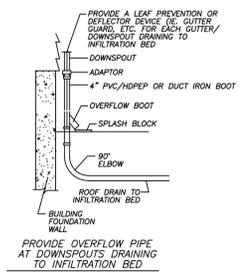
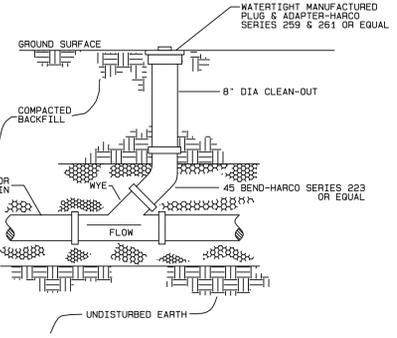


- INFILTRATION BED NOTES**
- SCARIFY BOTTOM AND SIDES OF BASIN, TAKING CARE NOT TO COMPACT SOIL.
  - PIPE MUST HAVE PERFORATIONS NO LESS THAN 5/16" DIAMETER AND PROVIDE AN OPEN AREA OF NOT LESS THAN 3.31 SQUARE INCHES PER SQUARE FOOT OF PIPE SURFACE. THE FOLLOWING FORMULA DETERMINES THE # OF HOLES/LINEAR FOOT OF PIPE:  $[13.24 \times (\text{DIA OF PIPE IN FEET})] / (\text{HOLE SIZE IN INCHES})^2$ . SO FOR A 6" DIA PIPE THERE MUST BE AT LEAST 90 HOLES / LINEAR FOOT.
  - ENTIRE BED, SIDES TOP AND BOTTOM, SHALL BE WRAPPED IN SYNTHETIC INDUSTRIES NON-WOVEN #1201 OR ENGINEER APPROVED EQUAL. PROVIDE A MINIMUM 1" OVERLAP AT ALL SEAMS AND JOINTS. WHERE PROTRUSIONS OR PENETRATIONS OCCUR, GEOTEXTILE SHALL BE PERMANENTLY AFFIXED TO OBJECT.
  - CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE FABRIC. STONE SHOULD NOT BE DUMPED UNTIL A 6" LAYER OF STONE IS IN PLACE.
  - PIPES CONNECTING INTO BEDS AT POINTS OTHER THAN DRAIN BASINS SHALL HAVE A STUB CONNECTION.

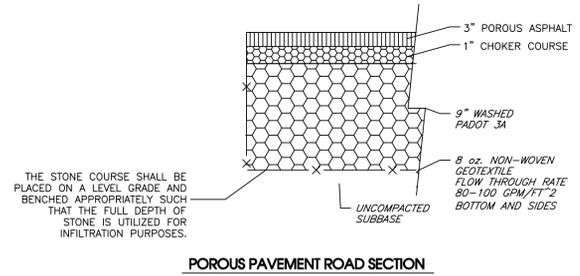
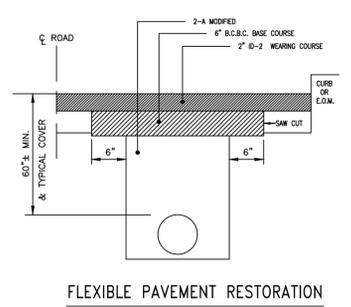
- PIPE STORAGE CONSTRUCTION SEQUENCE**
- EXCAVATE AREA TO PROPOSED UNCOMPACTED SUBGRADE.
  - PLACE LINER PER MANUFACTURER SPECIFICATIONS ON ALL SIDES OF BED.
  - CAREFULLY PLACE STONE BEDDING TO NOT DAMAGE LINER.
  - CONSTRUCT PIPE SYSTEM AND OUTLET STRUCTURES.
  - PLACE REMAINING STONE AROUND PIPES.
  - PLACE TOP PORTION OF LINER.

- SHORT TERM/ROUTINE MAINTENANCE OF PIPE STORAGE:**
- MAINTENANCE ACTIVITIES TO BE DONE ANNUALLY AND WITHIN 48 HRS AFTER EVERY MAJOR STORM EVENT (> 1" INCH RAINFALL DEPTH).
  - KEEPING ALL DEBRIS, INCLUDING GRASS CLIPPINGS, LEAVES, AND MOTOR OIL CLEAR OF INLET AND OUTLET STRUCTURES.
  - REMOVING ANY ACCUMULATED DEBRIS.
  - IF STORM WATER FACILITIES DO NOT DRAIN WITHIN 48 HOURS AFTER THE LAST STORM EVENT, THEY SHALL BE INSPECTED AND THEN FIXED OR REPLACED AS DETERMINED NECESSARY.

- LONGTERM/NON-ROUTINE MAINTENANCE OF PIPE STORAGE:**
- INSECTS AND/OR ODOR BECOME PROBLEMS
  - STANDING WATER LASTING LONGER THAN 72 HRS
  - VISIBLE SIGNS OF SEDIMENT ACCUMULATION
- CLEAR INLETS/PIPES/STONE/PAVING OF DEBRIS, VACUUM, RECONSTRUCT AS NECESSARY.
  - REMOVE ACCUMULATED SEDIMENT/POLLUTANTS.
  - RECONSTRUCT.
  - PROVIDE FOR COMPLETION OF A WRITTEN REPORT DOCUMENTATION EACH INSPECTION AND ALL BMP REPAIR AND MAINTENANCE ACTIVITY.
  - CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER SIGNIFICANT STORM EVENTS.
  - IF STORM WATER FACILITIES DO NOT DRAIN AFTER STORM EVENTS, THEY SHALL BE INSPECTED AND THEN FIXED OR REPLACED AS DETERMINED NECESSARY. IN THE EVENT THE PIPE STORAGE FAILS THE SYSTEM WILL NEED TO BE COMPLETELY REMOVED AND REPLACED.



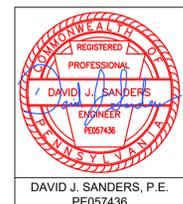
- CONTRACTOR MAY SUBSTITUTE AN EQUIVALENT INLET IF FIRST APPROVED BY THE TOWNSHIP ENGINEER**



1.	11/23/20	REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20
NUM.	DATE	REVISION

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
 P.O. BOX 1992  
 SOUTHEASTON, PA 19399  
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

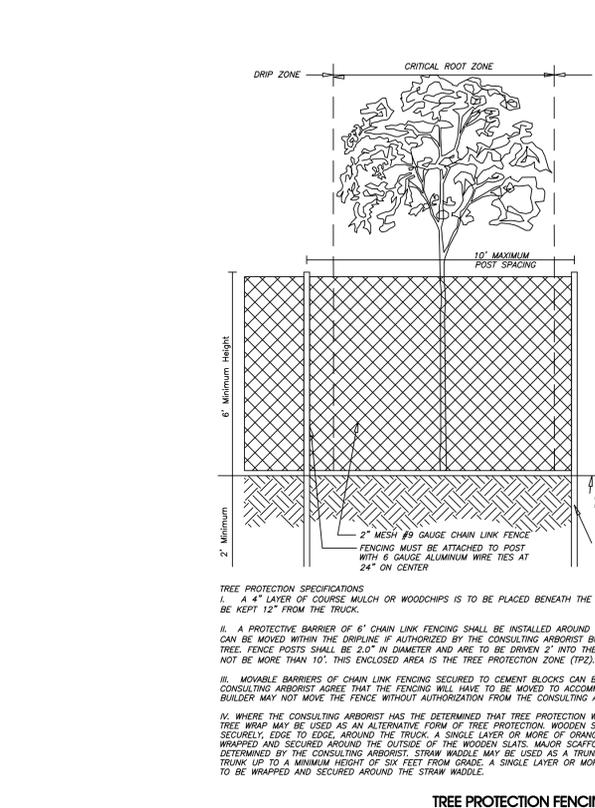
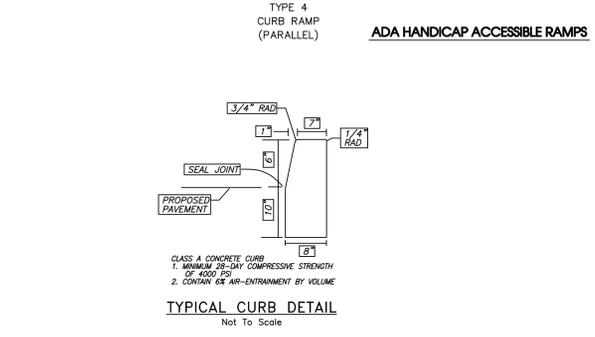
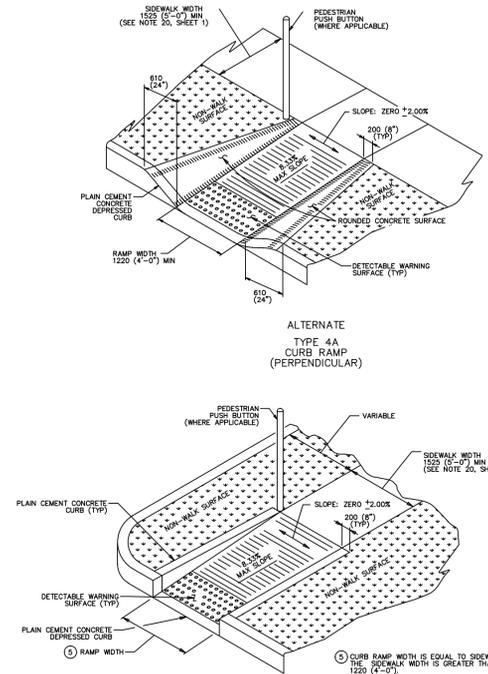
PLAN PREPARED FOR:  
**HAMILTON PROPERTIES**  
 EAGLE ROAD  
 WAYNE, PA 19087  
 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 DATE: AUGUST 27, 2020



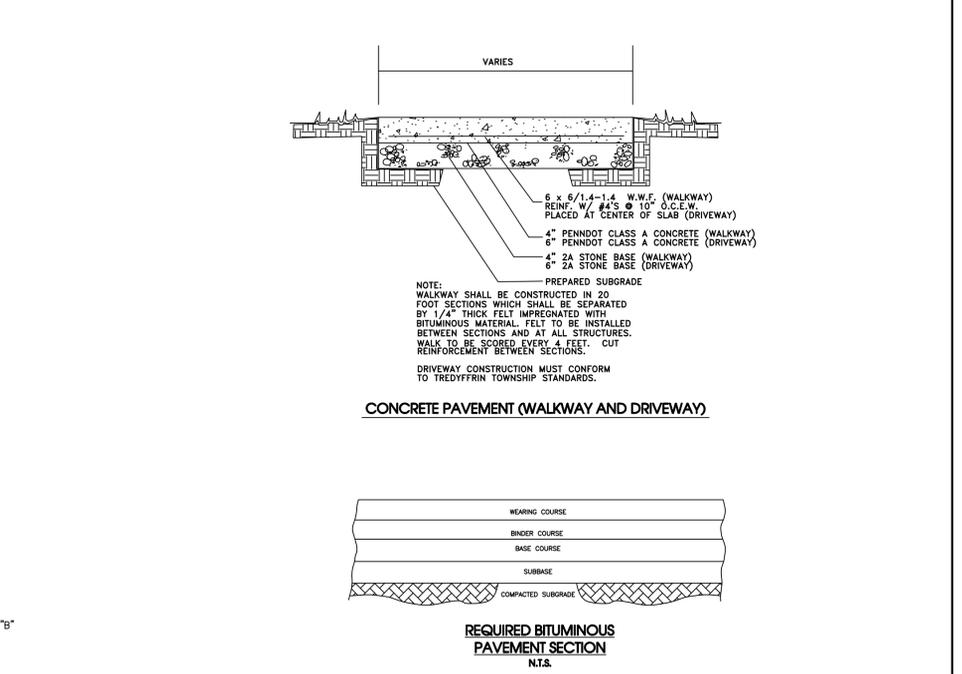
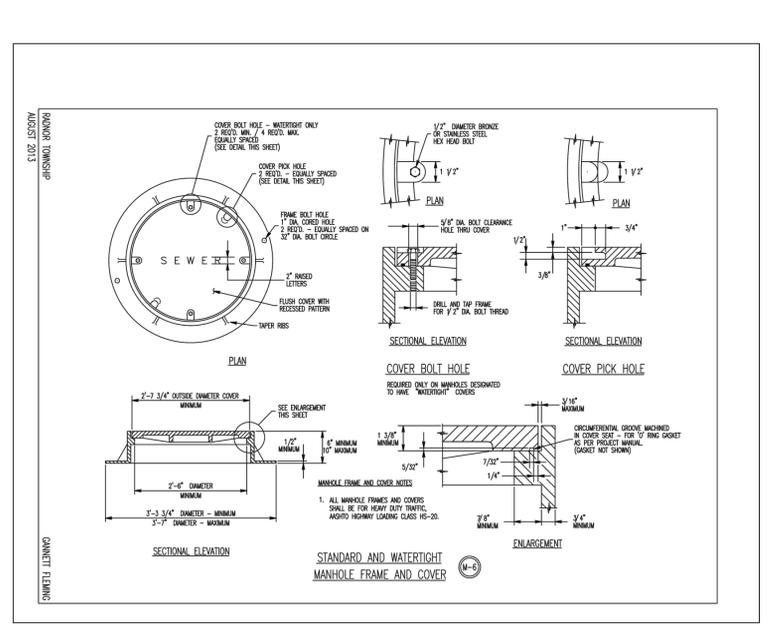
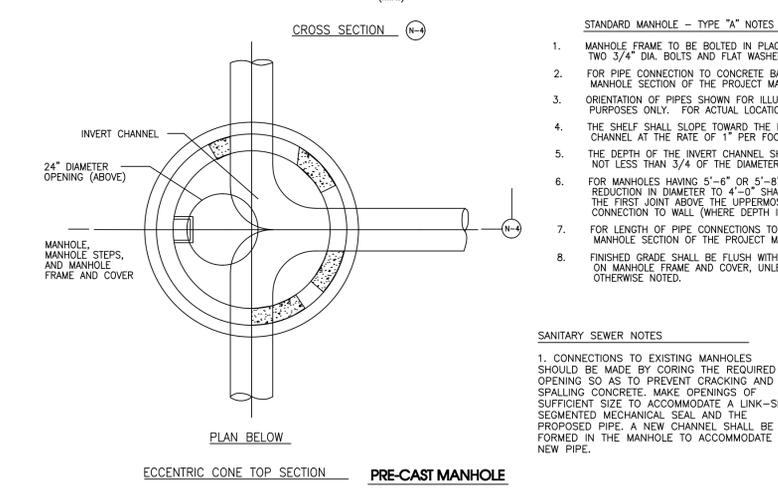
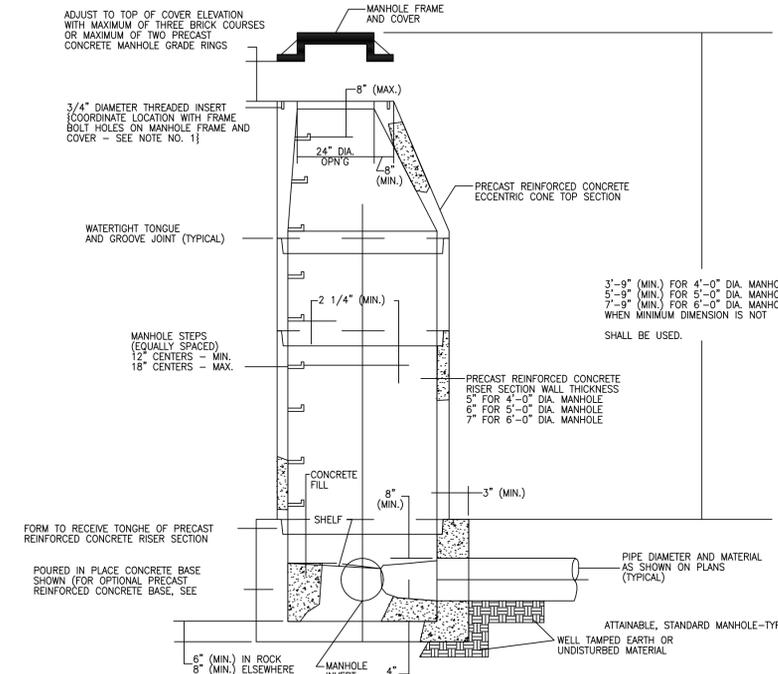
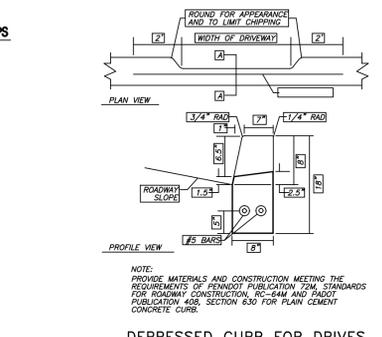
**POST CONSTRUCTION STORMWATER DETAILS**

**SHEET 8 of 15**

NO SCALE



- NOTES**
1. PROVIDE MATERIALS AND CONSTRUCTION MEETING THE REQUIREMENTS OF PUBLICATION HAS, SECTIONS 305, 408, 430, 676 AND 694.
  2. PROVIDE EXPANSION JOINT MATERIAL 1/2" (1/2") THICK WHERE CURB RAMP ADJOINS ANY ROAD PAVEMENT, SIDEWALK OR STRUCTURE WITH THE TOP OF.
  3. CONSTRUCT DIAGONAL CURB RAMPS WITH A 1/2" (1/2") CLEARANCE SPACE OUTSIDE OR INSIDE AT THE BOTTOM OF THE RAMP. A DIAGONAL CURB RAMP IS LOCATED WITHIN THE MARKINGS AND OUTSIDE OF THE TRAVEL LANES.
  4. PROVIDE SLIP RESISTANT TEXTURE ON CURB RAMP BY COARSE BROOMING TRANSVERSE TO THE SLOPE OF THE RAMP. EXTEND TEXTURE THE FULL WIDTH AND LENGTH OF THE CURB RAMP INCLUDING FLARED SIDE RAMPS.
  5. MODIFY CONSTRUCTION DETAILS TO ADAPT DIMENSIONS TO EXISTING CURB HEIGHTS WHERE THE CURB IS LESS THAN THE STANDARD.
  6. CURB RAMP AND SIDE FLARE LENGTHS ARE VARIABLE AND BASED ON.
  7. IT MAY BE NECESSARY TO LIMIT THE RUN OF A PARALLEL OR PERPENDICULAR CURB RAMP IN ORDER TO AVOID CHASING GRADE INDEFINITELY WHEN TRAVELING THE HEIGHT OF CURB RAMP LENGTH NOT TO EXCEED 400' (127.9). ADJUST RAMP SLOPE AS NEEDED TO PROVIDE ACCESS TO THE MAXIMUM EXTENT POSSIBLE.
  8. THE DETAILS DEPICT PEDESTRIAN PUSH BUTTON POLES TO ILLUSTRATE THE PREFERRED PLACEMENT OF PEDESTRIAN PUSH BUTTONS. PEDESTRIAN PUSH BUTTONS ARE TO BE INSTALLED WHERE APPLICABLE.
  9. CONSTRUCT BUILT-UP CURB RAMP OF BITUMINOUS MATERIAL AS INDICATED.
  10. ALL DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED. US CUSTOMARY UNITS IN ( ) PARENTHESES.
  11. ALIGN DETECTABLE WARNING DOMES ON A SQUARE GRID IN THE PREDOMINANT DIRECTION OF THE RAMP AND PERPENDICULAR TO CURB.
  12. PROVIDE DETECTABLE WARNING SURFACES (DWS) 610 (24") MINIMUM (IN THE DIRECTION OF PEDESTRIAN TRAVEL) ACROSS THE FULL WIDTH OF THE CURB RAMP NEAR STREET EDGE. PROVIDE DWS THAT CONTRAST VISUALLY WITH ADJACENT WALKWAY SURFACES. OTHER LIGHT-OR-GRADE OR DARK-OR-LIGHT FOR THE FULL WIDTH OF RAMP.
  13. FOR NEW CONSTRUCTION, DO NOT EXCEED 2.00% CROSS SLOPE ON THE CURB RAMP OR ACCESSIBLE ROUTE.
  14. FOR NEW CONSTRUCTION AND ALTERATIONS, CONSTRUCT CURB RAMP AND FLARE SLOPES WITH THE FLATTEST SLOPE POSSIBLE. THE SLOPES INDICATED IN THE DETAILS SHOW THE MAXIMUM ALLOWABLE SLOPES. MAXIMUM SLOPES INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS IS APPLICABLE. MAXIMUM SLOPES INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS IS APPLICABLE. MAXIMUM SLOPES INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS IS APPLICABLE. MAXIMUM SLOPES INDICATED IN THE DETAILS OR CONTRACT DOCUMENTS IS APPLICABLE.
  15. THE IMMEDIATE ADJOINING SURFACE AT THE BOTTOM AND TOP OF CURB RAMPS IS NOT TO EXCEED ROADWAY PROFILE SLOPE WHEN LOCATED ADJACENT TO THE ROADWAY. IN AREAS WHERE THE ADJOINING SURFACE IS NOT ADJACENT TO THE ROADWAY, THE SLOPE SHALL NOT EXCEED THE SLOPE OF THE ADJOINING SURFACE. IN AREAS WHERE THE ADJOINING SURFACE IS NOT ADJACENT TO THE ROADWAY, THE SLOPE SHALL NOT EXCEED THE SLOPE OF THE ADJOINING SURFACE. IN AREAS WHERE THE ADJOINING SURFACE IS NOT ADJACENT TO THE ROADWAY, THE SLOPE SHALL NOT EXCEED THE SLOPE OF THE ADJOINING SURFACE.
  16. THE CONSTRUCTION STANDARDS DEPICTED ARE MOST APPROPRIATE FOR NEW CONSTRUCTION. ALL CONSTRUCTION MUST MEET THE STANDARDS CONTAINED HEREIN UNLESS OTHERWISE NOTED OR DIRECTED.
  17. ALL SLOPES ARE MEASURED WITH RESPECT TO A LEVEL PLANE. THEREFORE, THE LENGTH OF RAMP IS NOT SOLELY DEPENDANT ON THE HEIGHT OF CURB. (FOR EXAMPLE, A 100 (30.5) CURB DOES NOT NECESSARILY MEAN A RAMP LENGTH OF 100 (30.5) FOR A 12% (1:8.33) SLOPE.
  18. SIDEWALK WIDTH MAY BE REDUCED TO 1200 (4'-0") WHEN PASSING AREAS 1525 X 1525 (5'-0" X 5'-0") ARE PROVIDED EVERY 60 METERS (200').
  19. SIDEWALK WIDTH IS DEFINED BY THE OUTSIDE EDGE OF THE WHITE PAVEMENT MARKING LINE. IF A WHITE PAVEMENT MARKING LINE DOES NOT EXIST, THE TRAVEL LANE IS DEFINED BY THE CONTRACT DOCUMENTS.
  20. DEPRESSURED CURB FOR CURB RAMPS MUST BE FLUSH TO ADJACENT ROADWAY. TOP OF ROAD ELEVATIONS AT THE FLUSH LINE SHALL BE GRADED TO ENSURE POSITIVE DRAINAGE AND PREVENT PONDING.



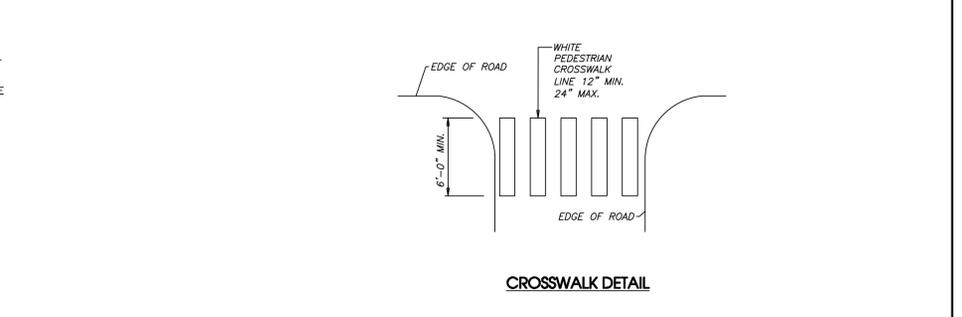
**STANDARD MANHOLE - TYPE "A" NOTES**

1. MANHOLE FRAME TO BE BOLTED IN PLACE WITH TWO 3/4" DIA. BOLTS AND FLAT WASHERS.
2. FOR PIPE CONNECTION TO CONCRETE BASE, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
3. ORIENTATION OF PIPES SHOWN FOR ILLUSTRATION PURPOSES ONLY. FOR ACTUAL LOCATIONS, SEE PLANS.
4. THE SHELF SHALL SLOPE TOWARD THE INVERT CHANNEL AT THE RATE OF 1" PER FOOT (MINIMUM).
5. THE DEPTH OF THE INVERT CHANNEL SHALL BE NOT LESS THAN 3/4" OF THE DIAMETER OF THE PIPE.
6. FOR MANHOLES HAVING 5'-6" OR 5'-8" DIAMETER BASE, REDUCTION IN DIAMETER TO 4'-0" SHALL START AT THE FIRST JOINT ABOVE THE UPPERMOST PIPE CONNECTION TO WALL (WHERE DEPTH IS SUFFICIENT).
7. FOR LENGTH OF PIPE CONNECTIONS TO MANHOLES, SEE MANHOLE SECTION OF THE PROJECT MANUAL.
8. FINISHED GRADE SHALL BE FLUSH WITH TOP OF COVER ON MANHOLE FRAME AND COVER, UNLESS OTHERWISE NOTED.

**BITUMINOUS PAVEMENT SPECIFICATIONS, ALL SECTIONS, APPLICABLE**

COURSE	THICKNESS	DESIGNATION
WEARING COURSE	2"	SUPERPAVE, ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 3 TO <10 MILLION ESALS, 9.5 MM MIX, SRL-H
BINDER COURSE	8"	SUPERPAVE, ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 10 TO <30 MILLION ESALS, 25.0 MM MIX, SRL-H
SUBBASE	8"	CONCRETE OR BITUMINOUS

**NOTE:** CONSTRUCT COURSE AGGREGATE SUBBASE AND BITUMINOUS PAVEMENT IN ACCORDANCE WITH APPLICABLE SECTIONS OF PADOT PUB. 408.



1. 11/23/20 REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20

NUM. DATE REVISION

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**HAMILTON PROPERTIES**

EAGLE ROAD  
WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA

DAVID J. SANDERS, P.E.  
PE057436

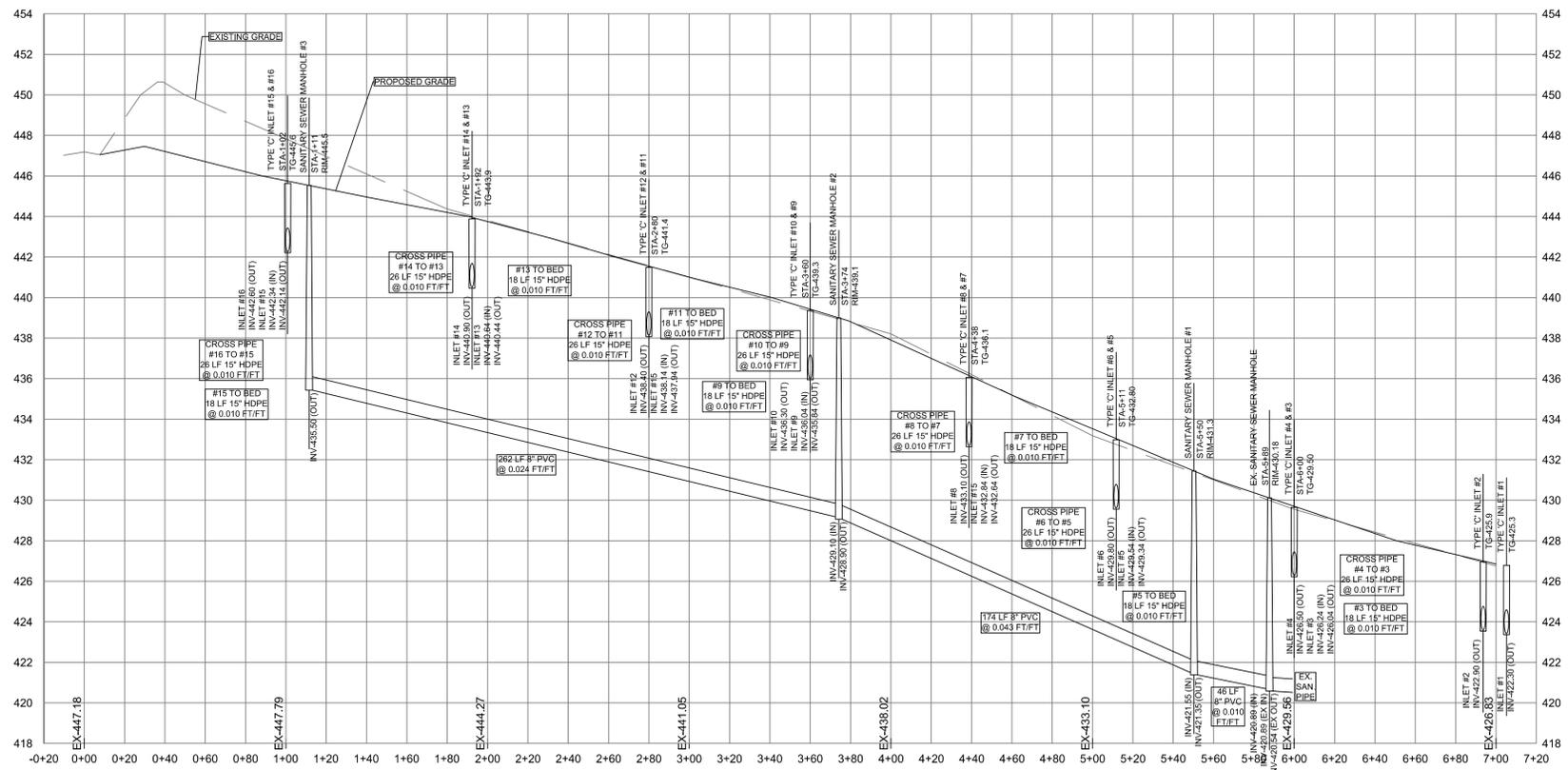
**CONSTRUCTION DETAILS**

SHEET 9 of 15

NO SCALE

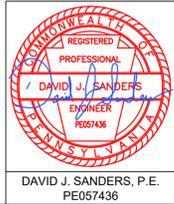
DATE: AUGUST 27, 2020





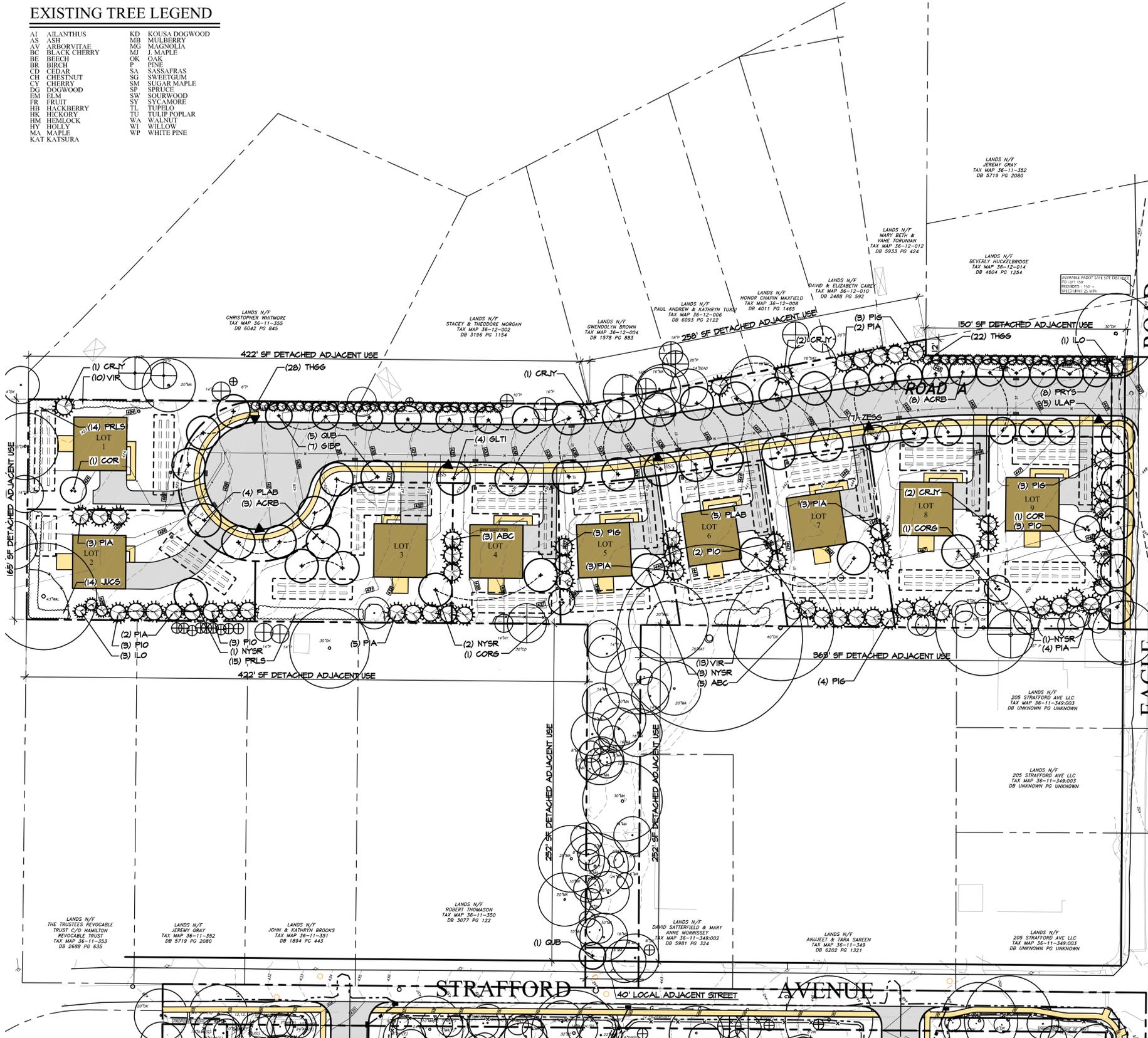
ROAD A PROFILE

1.	11/23/20	REVISED PER TOWNSHIP ENGINEER LETTER DATED 11/5/20
NUM.	DATE	REVISION
PLAN PREPARED BY: <b>SITE ENGINEERING CONCEPTS, LLC</b> P.O. BOX 1992 SOUTHEASTERN, PA 19399 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM		
PLAN PREPARED FOR: <b>HAMILTON PROPERTIES</b> EAGLE ROAD WAYNE, PA 19087 RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA		
<b>PROFILES</b>		<b>SHEET 11 of 15</b> SCALE: 1" = 40'



**EXISTING TREE LEGEND**

AL	AILANTHUS	KD	KOUSA DOGWOOD
AS	ASH	MB	MULBERRY
AV	ARBORVITAE	MG	MAGNOLIA
BC	BLACK CHERRY	MJ	J. MAPLE
BE	BEECH	OK	OAK
BR	BIRCH	P	PINE
CD	CEDAR	SA	SASSAFRAS
CH	CHESTNUT	SG	SWEETGUM
CY	CHERRY	SM	SUGAR MAPLE
DG	DOGWOOD	SP	SPRUCE
EM	ELM	SW	SOURWOOD
FR	FRUIT	SY	SYCAMORE
HB	HACKBERRY	TL	TULIP
HK	HICKORY	TU	TULIP POPLAR
HM	HEMLOCK	WA	WALNUT
HY	HOLLY	WI	WILLOW
MA	MAPLE	WP	WHITE PINE
KAT	KATSURA		



**GENERAL NOTES:**

1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
2. This plan is for landscaping purposes only.
3. The Landscape Architect's seal applies only to the landscape portion of this plan.
4. All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
5. Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services. Sewer and water laterals, mains and services are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
6. Utilities are shown on Landscape Plans for reference only. See engineers plans for location of all utilities.
7. All trees shall be pruned as necessary to maintain required light levels.

**LEGEND:**

- EXISTING VEGETATION
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED EVERGREEN SHRUBS
- TREE PROTECTION FENCE (See engineer's plan for details.)
- STREET LIGHT

**COMPLIANCE WITH SECTION 255-38 Subsection B**

SHADE TREES	REQUIRED	PROVIDED
Existing local street length: 40'	1	1
1 Street tree required at intervals not less than 30' on 1 side		
Proposed road length 1,308'	44	44
1 Street tree required at intervals not less than 30' on both sides		

**COMPLIANCE WITH SECTION 255-42 (Tables 1 and 2)**

BUFFER SCREENS	LENGTH	REQUIRED	PROVIDED
Buffer screen class 'A' required between proposed Single Family Detached use and Major Collector Street.	200'	5 canopy trees 7 evergreen trees	5 canopy trees 7 evergreen trees

**COMPLIANCE WITH SECTION 263-4**

TREE REPLACEMENT	# TREES REMOVED	REPLACEMENTS REQUIRED	REPLACEMENTS PROVIDED
1 Replacement tree required for every 6"-18" DBH tree removed	104	104	104
3 Replacement trees required for every 19"-29" DBH tree removed (2) being large canopy trees	7	21 (14 Canopy)	21 (14 Canopy)
6 Replacement trees required for every 30"+ DBH tree removed (4) being large canopy trees	0	0	0
	111	125 total (14 to be canopy trees)	125 total (14 to be canopy trees)

Notes:  
Replacement trees for hazardous and dead trees are not provided.

**PLANT LIST:**

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
<b>DECIDUOUS TREES</b>					
ACRB	11	Acer rubrum 'Bowhall'	Bowhall Red Maple	2"-2.5" cal.	B&B
COR	2	Cornus 'Rutcan'	Constellation Flowering Dogwood	2"-2.5" cal.	B&B
CORG	2	Cornus 'Rutgan'	Stellar Pink Flowering Dogwood	2"-2.5" cal.	B&B
GIBP	7	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2"-2.5" cal.	B&B
GLTI	4	Gleditsia triacanthos v. inermis 'Shademaster'	Shademaster Honeylocust	2"-2.5" cal.	B&B
NYSR	7	Nyssa sylvatica 'Red Rage'	Red Rage Black Gum	2"-2.5" cal.	B&B
PLAB	9	Platanus x acerifolia 'Bloodgood'	Bloodgood London Planetree	2"-2.5" cal.	B&B
PRYS	8	Prunus x yedoensis 'Akebono'	Akebono Yoshino Cherry	2"-2.5" cal.	B&B
QUB	6	Quercus bicolor	Swamp White Oak	2"-2.5" cal.	B&B
ULAP	5	Ulmus americana 'Princeton'	Princeton Elm	2"-2.5" cal.	B&B
ZESG	7	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2"-2.5" cal.	B&B
<b>EVERGREEN TREES</b>					
ABC	8	Abies concolor	White Fir	8'-10' ht.	B&B
CRIV	6	Cryptomeria japonica 'Yoshino'	Yoshino Cryptomeria	8'-10' ht.	B&B
ILO	4	Ilex opaca	American Holly	8'-10' ht.	B&B
PIA	22	Picea abies	Norway Spruce	8'-10' ht.	B&B
PIG	13	Picea glauca	White Spruce	8'-10' ht.	B&B
PIO	11	Picea orientalis	Oriental Spruce	8'-10' ht.	B&B
THGG	50	Thuja plicata 'Green Giant'	Green Giant Arborvitae	8'-10' ht.	B&B
<b>SHRUBS</b>					
JUCS	14	Juniperus chinensis 'Sea Green'	Sea Green Chinese Juniper	24"-30" ht.	Cont.
PRLS	29	Prunus laurocerasus 'Schipkaensis'	Skip Laurel	24"-30" ht.	Cont.
VIR	23	Viburnum rhytidophyllum	Leatherleaf Viburnum	24"-30" ht.	Cont.

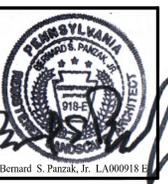
NOTE:  
1. Where there is a discrepancy between the plant list and plan, the plan shall prevail.

Serial Number:  
**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776

SCALE: 1" = 40'

NORTH

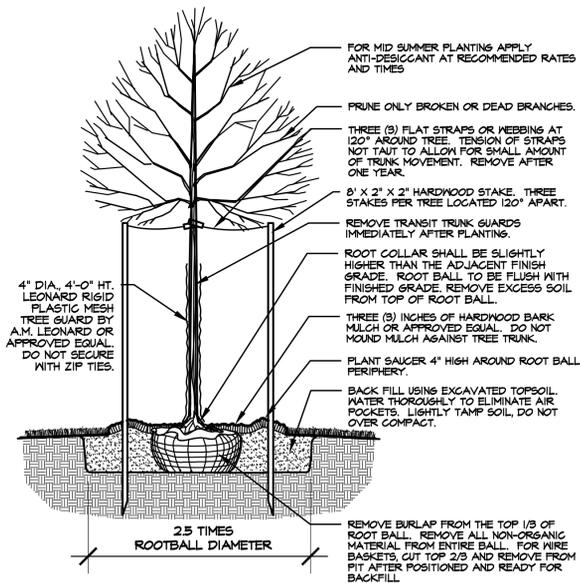
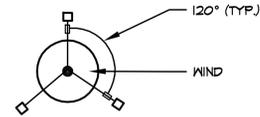
Glackin Thomas Panzak, Inc.  
Paoli Executive Green I Suite 300  
41 Leopard Road  
Paoli, Pennsylvania 19301  
610.408.9011  
610.408.9477  
Fax: 610.408.9477  
E-mail: plans@glackinplan.com



PROJECT #: 19-033  
DATE: 08/27/2020 (jr)  
REV.:

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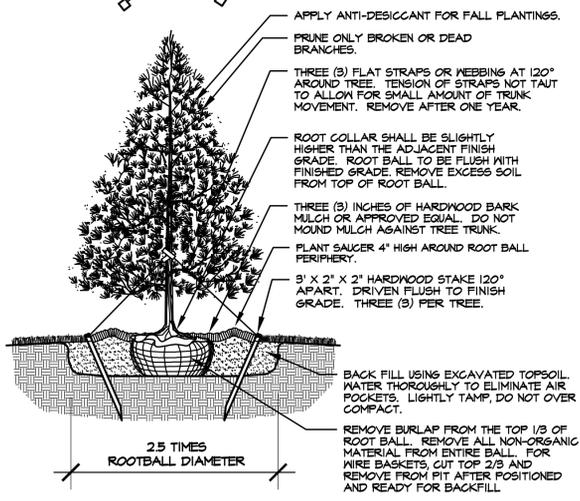
**GUY SPACING DIAGRAM**



- NOTES:**
1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
  2. Trees with central leader broken or dead shall be rejected.
  3. Trees that do not display the typical characteristics for their species shall be rejected.
  4. Flood planting pit with water twice within 24 hours of planting.

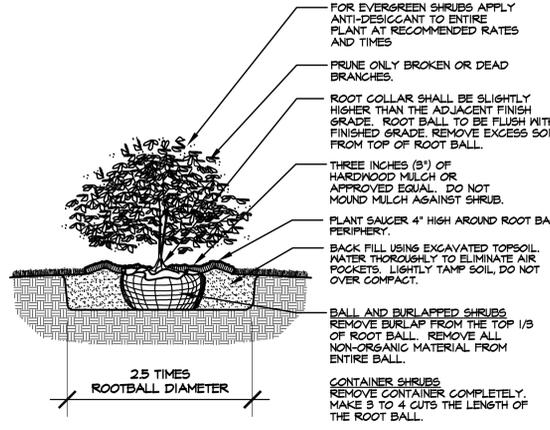
**1 DECIDUOUS TREE WITH STAKES DETAIL**  
NTS

**GUY SPACING DIAGRAM**



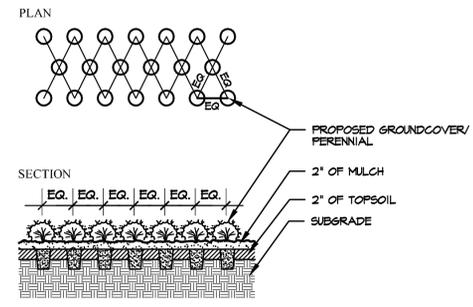
- NOTES:**
1. Trees with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
  2. Trees with central leader broken or dead shall be rejected.
  3. Trees that do not display the typical characteristics for their species shall be rejected.
  4. The owner shall be responsible for contacting the contractor, who shall right and secure any tree that leans out of plumb.
  5. Flood planting pit with water twice within 24 hours of planting.

**2 EVERGREEN TREE WITH STAKES DETAIL**  
NTS



NOTE: FLOOD PLANTING PIT WITH WATER TWICE WITHIN 24 HOURS OF PLANTING.

**3 SHRUB DETAIL**  
NTS



- NOTES:**
1. Plants must be planted in bedding mix or topsoil not mulch.
  2. See planting list for groundcover species, size, and spacing dimension.

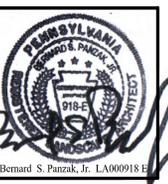
**4 PLANTING DETAIL**  
NTS

**PLANTING NOTES:**

1. The contractor shall furnish and install all plants shown on the drawings, as specified, and in quantities indicated on the plant list.
2. All plants shall be nursery grown and freshly dug.
3. All plants shall be in accordance with The American Standard for Nursery Stock, latest edition.
4. All plants shall be hardy under climatic conditions similar to those in the locality of the project.
5. Fall Digging Hazard: Any species listed below, if included on the plant list, must not be dug in the fall (October through December) because of risk to the tree's survival. Special exceptions may be granted if the owner is notified in writing and an extended warranty on these plants is agreed upon prior to digging. The following varieties should not be dug in fall: Betula, Carpinus, Celtis, Cercidiphyllum, Crataegus, Cryptomeria, Fagus, Halesia, Ilex (tree form varieties), Liquidambar, Liriodendron, Nyssa, Ostrya, Prunus, Pyrus, Quercus (except Quercus palustris), Salix weeping varieties, and Tilia tomentosa. Digging for Malus and Zelkova varieties should be avoided in fall only when in leaf.
6. All plants shall be typical of their species or variety and shall have a normal habit or growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be certified by appropriate State and Federal authorities to be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root systems.
7. Plants that do not display typical characteristics for their species shall be rejected.
8. Substitutions: When plants of a specified kind or size are not available within a reasonable distance, substitutions may be made upon written request by the contractor, if approved by the owner and/or municipal authority.
9. Measurement: Dimensions of trees and shrubs shall conform to The American Standard for Nursery Stock, latest edition.
10. Size: All plants shall conform to the measurement specified on the plant list, unless authorized in writing by the Township Arborist and the owner.
11. Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
12. Trees with central leader broken or dead shall be rejected.
13. Plants with broken root balls or excessive damage to the crown shall be replaced prior to planting.
14. Plants with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
15. Root balls of all plants shall be adequately protected at all times from sun and drying winds or frost.
16. Conditions detrimental to plants: The contractor shall notify the project representative in writing of all soil or drainage conditions which the contractor considers detrimental to the growth of plants. The contractor shall state the conditions and submit a proposal for correcting the conditions, including any change in cost, for review and acceptance by the project representative.
17. The owner or the owner's representative shall be notified prior to beginning planting operations.
18. All planting shall be at the locations indicated on the drawings. The contractor shall be responsible for planting at the correct grades, alignment, and to the indicated layout of the planting beds.
19. Layout of planting: The contractor shall lay out with identifiable stakes the location of all planting beds as indicated on drawing. The layout of planting shall be approved by the project representative prior to any excavation of plant pits or plant beds.
20. Minor adjustments to plant locations may be necessary due to field conditions and final grading. The contractor shall notify the owner if major adjustments are required.
21. Install plant materials after final grades are established and prior to planting of lawns unless otherwise acceptable to the owner.
22. Do not install plants when ambient temperatures may drop below 35°F or above 90°F.
23. Do not install plants when wind velocity exceeds 30 mph.
24. Planting shall be done within the following dates - trees, shrubs, groundcover, and perennials shall be planted September 1 through December 1, or April 15 to May 31, and only when local climatic and soil conditions favor satisfactory planting operations. Planting may be done beyond these limits only if requested in writing and approved by the Landscape Architect.
25. Planting operations to commence only when preceding work within the area has been completed. Proceed with and complete planting as rapidly as portions of the site become available, working within seasonal limitations.
26. Planting soil shall be excavated native soil from the planting pit. Planting soil shall be thoroughly mixed, with all rocks, clods and roots removed.
27. All trees shall be staked and guyed according to accepted industry practice, and as noted on the planting details.
28. Each tree and shrub shall be pruned in accordance with The American Nursery and Landscape Association Standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.
29. Mulch: Immediately after planting operations are completed, all trees and shrub planting pits shall be covered with a 3" (three inch) layer of double shredded hardwood bark mulch, or other material approved by the owner or the owner's representative. A granular pre-emergent weed control shall be spread prior to mulching. The limit of this mulch for deciduous trees and single evergreen trees shall be the area of the pit. For shrub and perennial beds and for evergreen tree clusters, a continuous, mulched bed shall be created.
30. Trees in leaf, including evergreens, when planted shall be treated with anti-desiccant such as Wil-Proff if planted during the months of June through September, November, and December.
31. Weed control: All planting areas shall be free from weeds prior to the beginning of planting operation. Contact herbicide sprays should only be used as required and all manufacturer's specifications followed.
32. Guarantee: All plant material shall be guaranteed by the contractor for twelve (12) months from the date of installation. The owner shall be responsible for maintenance unless otherwise agreed with contractor. It shall be the contractor's responsibility to monitor the project during the guarantee and notify the owner if problems develop with the plant material. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or there is 25% of the crown dead.
33. All debris resulting from landscape contracting operations shall be cleaned up and removed from the site on a weekly basis.
34. Watering: Landscape contractor is responsible for watering sufficiently at the time of planting and until the job is completed, accepted and turned over to the owner.

**GLACKIN THOMAS PANZAK**  
LAND PLANNING  
LANDSCAPE ARCHITECTURE

Glackin Thomas Panzak, Inc.  
Paoli Executive Green I Suite 300  
41 Leopard Road  
Paoli, Pennsylvania 19301  
610.408.9011  
610.408.9477  
Fax: 610.408.9477  
E-mail: plans@glackinplan.com

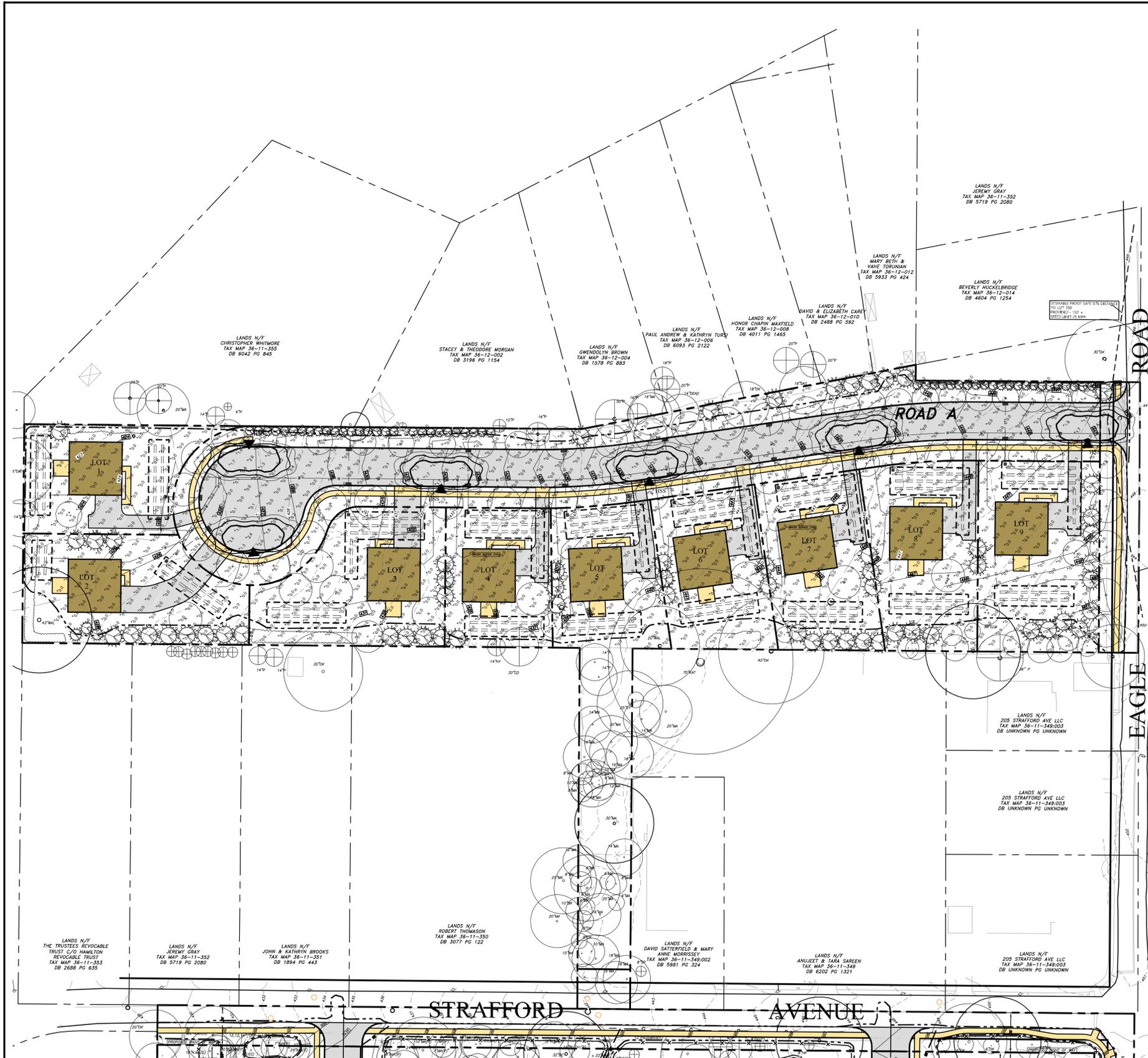


LANDSCAPE PLAN  
**Hamilton Property**  
EAGLE ROAD  
RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033  
DATE: 08/27/2020 (jr)  
REV.:

SHEET:  
**LP-2**  
13 of 15

Serial Number:  
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PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE-STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776



**GENERAL NOTES:**

1. Base information including topography, grading, utilities, building and existing vegetation location prepared by Site Engineering Concepts, Inc. November 2019
2. This plan is for lighting purposes only.
3. The Landscape Architect's seal applies only to the lighting portion of this plan.

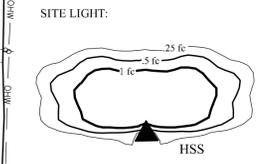
**LIGHTING NOTES:**

1. Lighting to be installed to meet all appropriate national and local codes.
2. All light fixtures to be approved by Owner or Owner's representative.
3. All circuits to be installed by a licensed electrician.
4. All cable to be run in conduit unless approved in writing by the owner.
5. Contractor to provide sufficient nighttime adjustment to all lighting to satisfy Township requirements and Owner or Owner's representative. Fixture on/off control by circuit.
6. All lighting to be installed according to manufacturer's recommendations.
7. All electrical conduits shall be sch 40 pvc and all bends shall be "sweep" type for pulling wire. Conduit to extend beyond edge of hardscape element by 12" min. Conduit to be temporarily capped and location staked prior to backfilling.
8. While extending conduits under existing structures the contractor shall be responsible for damage to existing structures such as, but not limited to, paving, irrigation, pool piping, masonry piers and underground drainage pipe etc.
9. All lighting fixtures to be controlled by photo-cells.
10. All final light locations to be approved by Owner or Owner's representative.
11. All final light locations to be field adjusted, "aimed" as necessary so as to avoid shining of light into windows and doors.  
Contractor to arrange a pre-construction meeting with the owner and owners representatives including masons, and other individuals familiar with any underground facilities. As-built drawing should be requested of all such facilities.
12. Contractor shall spray paint trench layout prior to commencement. Owner or Owner's representative shall approve layout.
13. Electrical contractor to prepare a plan of all as-built underground electric runs.
14. Project electrical engineer to provide power plan, and ComCheck calculations as required.
15. In the event that the contractor proposes light fixture substitutions, requests must be received by the Landscape Architect for review (14) fourteen days prior to bid date. Failure to submit within that deadline renders all substitution requests void, and originally specified fixture(s) will be supplied. The contractor shall submit the following:
  - A. Township required copies of all mandatory submittals for both the originally specified fixture(s) and the proposed substitution(s).
  - B. Contractor's written certification that the proposed substitution(s) conforms to all requirements of the contract documents in every respect and is appropriate for the applications indicated in the documents.
  - C. Contractor's written statement indicating the effect of the substitution(s) on the construction schedule compared to the schedule with the originally specified fixture(s).
  - D. Contractor-net unit price for the originally specified fixture(s) and for the proposed substitute fixture(s).
  - E. One sample of the proposed substitution fixture(s) with specified lamps and cord and plug connection for 277 volt operation.
  - F. Contractor's written certification that any alterations that may result from the proposed lighting fixture substitution(s) will be designed and constructed at the contractor's expense.
  - G. Reimbursement to the landscape Architect for all time associated with review of fixture substitution(s). Payment shall be made in advance of the review, based on the Landscape Architect's hourly rates for the personal involved in the review.
  - H. Contractor's written waiver of rights to additional payment and/or time that may become necessary should the proposed substitution(s) fail to perform in a manner that is equivalent to the originally specified fixture(s).
16. Post-approval alterations to lighting plans or intended substitutions for approved lighting equipment shall be submitted to the Township for review and approval.

**LIGHTING LEGEND:**

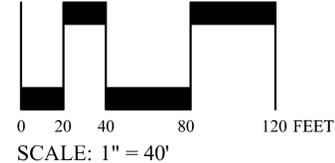
SYM.	LIGHT TYPE	QTY.	MFG.	MODEL #	REMARKS
▲	STREET LIGHT	6	AAL	PROV2-36L-325-3K7-3-BL-HS	AAL Providence Medium, LED, Type III Optics, 3K color temperature, photocell control by circuit, 14' height, mounted on 4" AAL POLE MODEL #DB6, Fixture and Pole Finish: Black

**ISO FOOTCANDLE DIAGRAM :**



Typical footcandle distribution values are indicated in diagram. The same values, 0.25 fc, 0.50 fc and 1.00 fc, are indicated on all proposed light fixtures.

Serial Number:  
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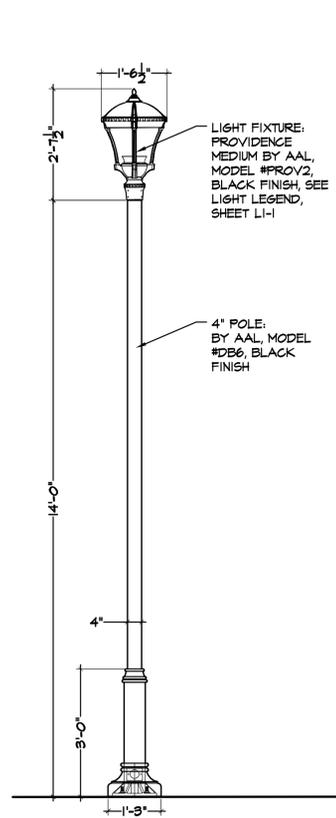


LIGHTING PLAN  
**Hamilton Property**  
 EAGLE ROAD  
 RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

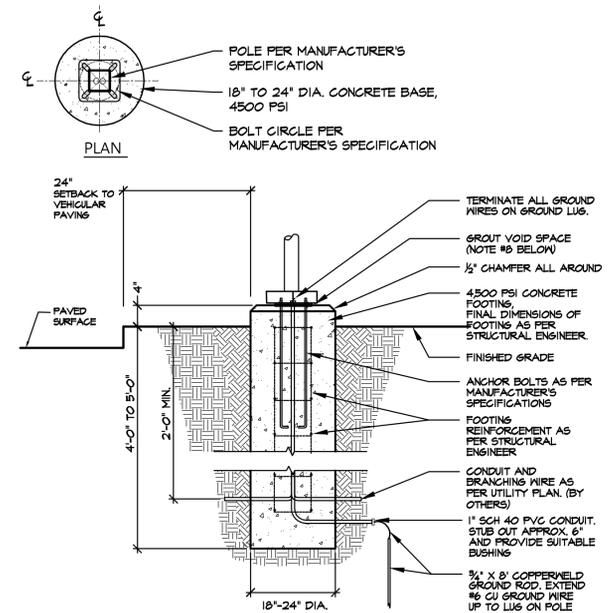
PROJECT #: 19-033  
 DATE: 08/27/2020 (jr)  
 REV.:

SHEET:  
**LI-1**  
 14 of 15

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**1** STREET LIGHT DETAIL  
Scale: 1/2"=1'-0"



- NOTES:**
- THIS DETAIL IS FOR BID AND BUDGETARY PURPOSES ONLY.
  - CONTRACTOR SHALL ENSURE DESIGN IS PREPARED BY A QUALIFIED STRUCTURAL ENGINEER CONSIDERING LIGHTING MANUFACTURER REQUIREMENTS, LOCAL WIND LOADS AND SITE SPECIFIC SOIL PARAMETERS.
    - THE STRUCTURAL ENGINEER SHALL BE NOTIFIED OF THE INTENT TO MOUNT ANYTHING ASIDE FROM THE LIGHT FIXTURE INCLUDING (BUT NOT LIMITED TO) CAMERAS, BANNERS, FLAGS, SIGNAGE, ETC. AS IT WILL IMPACT THE POLE AND FOUNDATION DESIGN.
    - SOME SITE LOCATIONS AND/OR CONDITIONS MAY REQUIRE VIBRATION DAMPENING MEASURES AS DETERMINED BY A STRUCTURAL ENGINEER.
  - ACTUAL DIAMETER AND DEPTH OF FOOTING SHALL BE DETERMINED BY THE STRUCTURAL ENGINEER.
  - ALL REBAR SHALL BE MAINTAINED AT A 3" MIN. CLEARANCE FROM SURFACES.
  - FIXTURE MUST BE GROUNDED IN ACCORDANCE WITH LOCAL CODES OR THE NATIONAL ELECTRICAL CODE. FAILURE TO DO SO MAY RESULT IN SERIOUS PERSONAL INJURY.
  - POLES SHOULD NEVER BE ERECTED WITHOUT THE LUMINAIRE INSTALLED. WARRANTY IS VOIDED IF THE POLE IS ERECTED WITHOUT THE LUMINAIRE.
  - THE WARRANTY IS VOIDED IF THE POLE IS NOT GROUTED UNDER THE ENTIRE BASE AFTER INSTALLATION.

**2** TYPICAL LIGHT POLE FOOTING DETAIL  
Scale: 1/2"=1'-0"

DATE: \_\_\_\_\_ LOCATION: \_\_\_\_\_  
TYPE: \_\_\_\_\_ PROJECT: \_\_\_\_\_  
CATALOG #: \_\_\_\_\_

**PROV2 ARCHITECTURAL AREA SITE**

ORDERING GUIDE Example: PROV2\_36L\_32S\_3C7\_4W\_8L\_3L1A1D1R-HS4D5-LIN

HOUSING	LED Quantity	Lumen Output	CCT/CRI	Distribution	Finish
PROV2	36L	30 LED	295 4000K Microchip Creeper	SK7 5000K 70 CRI	1 Type I
			325 4000K 4000 Lumens	AK7 4000K 70 CRI	2 Type II
			490 4000K 4000 Lumens	SK7 3000K 70 CRI	3 Type III
			525 4000K Microchip Creeper	AMB Amber 6500K Beam *	4W Type IV Wide
			610 4000K 4000 Lumens		MS Type V Square
					NW Type V Round

Mounting	Optical Lens	Options	Mounting Options	Voltage
Peak Mount	Standard 4" Cut Glass	CLS Clear Lens	ADS Adjustable 3" Cut Glass	120V
STND_MNT	Standard Mount	DL Diffused Lens *	PCA-C Photocell Adapter Conduits Only	120V/277V
PE20	PE20	FFS Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE3	PE3	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE4	PE4	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE5	PE5	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE6	PE6	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE7	PE7	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE8	PE8	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE9	PE9	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE10	PE10	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE11	PE11	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE12	PE12	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE13	PE13	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE14	PE14	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE15	PE15	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE16	PE16	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE17	PE17	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE18	PE18	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE19	PE19	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
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PE21	PE21	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE22	PE22	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
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PE24	PE24	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
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PE27	PE27	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE28	PE28	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE29	PE29	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE30	PE30	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE31	PE31	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE32	PE32	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE33	PE33	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE34	PE34	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE35	PE35	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
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PE37	PE37	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE38	PE38	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE39	PE39	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE40	PE40	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE41	PE41	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE42	PE42	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
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PE44	PE44	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE45	PE45	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE46	PE46	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE47	PE47	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE48	PE48	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE49	PE49	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	
PE50	PE50	FFN Frosted Glass Lens *	PCA-C Photocell Adapter Conduits Only	

**DIMENSIONS**

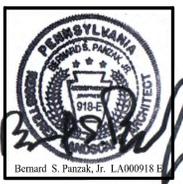
Fig. 2-8 Rev. 04/16/20  
PROV2 © 2020 Architectural Area Lighting, a division of Hubbell Lighting, Inc. Specifications subject to change without notice.  
17000 Redwood St., Redwood City, CA 94061, Tel: 650-992-8800, Email: sales@prolight.com

**3** STREET LIGHT CUT SHEET  
NTS

Serial Number: \_\_\_\_\_

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LIGHTING PLAN  
**Hamilton Property**  
EAGLE ROAD  
RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA

PROJECT #: 19-033  
DATE: 08/27/2020 (jr)  
REV.:

SHEET:  
**LI-2**  
15 of 15

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3 F. Eastern  
University – Zoning  
Map Amendment  
Removed by  
Applicant 3/19/21

3 G. Eagle/Radnor Road  
Eastern University -  
CAUCUS: Preliminary/  
Final Land Development  
Plan (tentative)  
Removed by Applicant  
3/19/21

**RESOLUTION NO. 2021-36**

**A RESOLUTION OF RADNOR TOWNSHIP,  
DELAWARE COUNTY, PENNSYLVANIA,  
AUTHORIZING THE PAYMENT OF CHANGE ORDER NO. 2,  
REMEDICATION OF UNSUITABLE SOIL  
AT THE CORNERSTONE HOA SEGMENT OF THE RADNOR TAP TRAIL,  
TO ROAD-CON, INC. IN AN AMOUNT TO BE NEGOTIATED**

*WHEREAS*, Radnor Township wishes to continue the progress of the construction the Radnor TAP Trail project;

*WHEREAS*, Unsuitable soils have been identified at the Cornerstone HOA trail segment; and

*WHEREAS*, The soils condition needs to be remediated as expeditiously as possible;

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Authorize the Payment of Change Order No. 2, Remediation of Unsuitable Soil at the Cornerstone HOA Segment of the Radnor TAP Trail, to Road-Con, Inc. in an Amount of +/- \$45,000, dependent on actual field conditions.

*SO RESOLVED* this 22<sup>nd</sup> day of March, A.D., 2021.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_  
William M. White  
Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: March 16, 2021

TO: Radnor Township Board of Commissioners

FROM: Dennis P. Capella, Engineering Project Manager

CC: William M. White, Township Manager  
Stephen F. Norcini, P.E., Township Engineer

**LEGISLATION: Resolution #2021-36: Authorizing the Payment of Change Order No. 2, Remediation of Unsuitable Soil at the Cornerstone HOA Segment of the Radnor TAP Trail, to Road-Con, Inc. in the amount of +/- \$45,000, dependent on actual field conditions.**

---

**LEGISLATIVE HISTORY:** The Board of Commissioners authorized the award of the construction contract for the Radnor Transportation Alternatives Program (TAP) Trail at its meeting on November 23, 2020 (Resolution # 2020-141) to Road-Con, Inc. in the amount of \$1,862,370.85.

**PURPOSE AND EXPLANATION:** After some delay due to weather, construction started on March 1, 2021 simultaneously at the two trail segments near Radnor High School and near Cornerstone subdivision. At the Cornerstone segment, we observed significantly unsuitable soil conditions, which need to be remediated. In order to benefit from the contractor's current presence at this site and otherwise avoid delays and additional cost, it is necessary to consider the change order associated with this remediation as soon as possible. We have initiated discussions with the contractor to develop the cost-effective solution to the remediation and are finalizing the optimal approach.

**IMPLEMENTATION SCHEDULE:** If the Board of Commissioners approves the authorization requested here, the associated requisition will be entered into the financial system.

**FISCAL IMPACT:** With substantial State grant funding and the proceeds from the Township General Obligation Bonds, funds are available for payment of this change order, in the amount of +/- \$45,000, dependent on actual field conditions.

**RECOMMENDED ACTION:** *Staff requests the Board of Commissioners of Radnor Township to Authorize the Payment of Change Order No. 2, Remediation of Unsuitable Soil at the Cornerstone HOA Segment of the Radnor TAP Trail, to Road-Con, Inc. in an Amount of +/- \$45,000, dependent on actual field conditions.*

# *Proclamation*

*WHEREAS, in 1872 J. Sterling Morton proposed to the Nebraska Board of Agriculture that a special day be set aside for the planting of trees; and*

*WHEREAS, this holiday, called Arbor Day, was first observed with the planting of more than a million trees in Nebraska; and*

*WHEREAS, Arbor Day is now observed throughout the nation and the world; and*

*WHEREAS, trees can reduce the erosion of our precious topsoil by wind and water, lower heating and cooling costs, moderate the temperature, clean the air, produce oxygen and provide habitat for wildlife; and*

*WHEREAS, trees are a renewable resource giving us paper, wood for our homes, fuel for our fires and countless other wood products; and*

*WHEREAS, trees in our Township increase property values, enhance the economic vitality of business areas, and beautify our community.*

*THEREFORE, I, William White, Radnor Township Manager, do hereby proclaim April 30, 2021 as*

## *ARBOR DAY*

*in the Township of Radnor, and I urge all citizens to celebrate Arbor Day and to support efforts to protect our trees and woodlands, and do commend this observance to all of our citizens.*

*FURTHERMORE, I urge all citizens to plant trees to gladden the heart and promote the well-being of this and future generations.*

*Jack Larkin, President of the Board of Commissioners*

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**RESOLUTION 2021-35**

**A RESOLUTION OF THE BOARD OF COMMISSIONERS OF RADNOR TOWNSHIP, DELAWARE COUNTY, FURTHER EXTENDING GUIDELINES AND POLICIES FOR OUTDOOR SALES OF FOOD AND MERCHANDISE OF EXISTING BUSINESSES IN THE TOWNSHIP DURING THE CORONA VIRUS PANDEMIC ESTABLISHED UNDER RESOLUTION 2020-61**

*WHEREAS*, the Board of Commissioners adopted Resolution 2020-61 on June 8, 2020 that established guidelines and a policy for outdoor sale of merchandise and outdoor dining for existing business in the Township for a period of time ending October 31, 2020; and

*WHEREAS*, the Board of Commissioners adopted Resolution 2020-123 on October 26, 2020 extending the guidelines and policy established under Resolution 2020-61; and

*WHEREAS*, Governor Wolf's Proclamation of Disaster issued on March 6, 2020 which authorized political subdivisions to act as necessary within the powers conferred by the Proclamation of Disaster Emergency to meet the exigencies of the emergency is still in effect and may be for the foreseeable future.

*NOW THEREFORE, BE IT RESOLVED* that the Board of Commissioners wishes to further extend the guidelines and policies set forth under Resolution 2020-61 through November 30, 2021, or such earlier date as the Board may specify by subsequent resolution to allow for continued relaxed outdoor dining and merchandise sales.

*RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 22 day of March, 2021.

**RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS**

By: \_\_\_\_\_  
Jack Larkin  
Board President

Attest

By: \_\_\_\_\_  
William White  
Township Manager / Secretary

**RESOLUTION NO. 2021-37  
RADNOR TOWNSHIP**

*Added to packet 3/19/2021*

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING A LICENSE AGREEMENT WITH  
WAYNE BUSINESS ASSOCIATION, INC.**

**WHEREAS**, the Board of Commissioners desires to enter into a License Agreement with Wayne Business Association, Inc. for the property located at 115 N. Wayne Avenue; and

**WHEREAS**, Wayne Business Association, Inc., desires to utilize the municipal parking lot to erect a tent and provide dining and seating areas to public events including musical performers, viewing of sports events on a large screen and similar entertainment events.

**NOW, THEREFORE**, be it resolved that the Board of Commissioners of Radnor Township approves the License Agreement with Wayne Business Association, Inc. for a term of eight months to expire on November 30, 2021.

**SO RESOLVED**, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this \_\_\_\_\_ day of \_\_\_\_\_ 2021.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Jack Larkin  
Title: President

ATTEST: \_\_\_\_\_

## LICENSE AGREEMENT

***THIS LICENSE AGREEMENT***, made by and between ***RADNOR TOWNSHIP***, a Home Rule municipality with offices located at 301 Iven Avenue, Wayne, PA 19087 (hereinafter referred to as "***Licensor***") and ***Wayne Business Association Inc***, having a mailing address of P.O. Box 50, Wayne, PA 19087, ATTN: Deanna Doane, (hereinafter referred to as "***Licensee***").

***WHEREAS***, Licensee desires to utilize the municipal parking lot located at 115 N. Wayne Ave ("Property") to erect a tent and provide public dining and seating area to provide public events including musical performers, viewing of sports events on a large screen, and similar entertainment events; and

***WHEREAS***, Licensor is agreeable to permit Licensee's requested activity subject to the terms of this License Agreement.

***NOW THEREFORE***, in consideration of the mutual covenants set forth herein and intending to be legally bound hereby, the parties hereto agree as follows:

1. Licensor shall permit Licensee to erect a public 20' by 20' tent on the Property and enter upon, access, and use the Property to provide community events at no charge. **Exhibit "A"** attached hereto shows the tent's size, exact location, along with other layout considerations (i.e. electrical hookup, restroom location, barricade location, etc.).
2. Licensee shall conduct itself in a manner which is not disruptive to the public's use of the Property or to adjacent properties. Disruptive circumstances include, but are not limited to, noise in violation of the Township's noise Ordinances, excessive trash and debris at the premises, and excessive hours of operation beyond the closing time.
3. Licensee shall provide Licensor with a schedule of events of its proposed use of the Property. The times Licensee proposes to use the Property for specific event use shall be:
  - a. Wednesdays 6pm – 9pm
  - b. Thursdays 6pm – 11pm
  - c. Fridays 5pm – 11pm
  - d. Saturdays – 1pm – 11pm
  - e. Sundays 1pm – 10pm
4. Licensee will use the tent to provide for public dining, stage musical performers, to show sporting events on a large screen portable television and for similar events. Events will require an approved Radnor Township Special Event Permit prior to the event taking place. Special Event Permits shall be submitted far enough in advance to allow adequate time to be reviewed and approved by the Township Community Development Department and, so long as the COVID pandemic continues, the Office of Emergency Management.
5. Licensee's audio crew shall handle all set up of equipment, audio production and break down and storage of all equipment at its own cost.

6. All events are free and open to the public to the extent that events remain in compliance with the Pennsylvania Department of Health's COVID protocols as ordered by the Governor. So long as the pandemic continues, with specific orders from the Governor, Licensee shall be responsible for the strict adherence to all protocols including, but not limited to indoor / outdoor capacity limits (depending on the State's definition of indoor / outdoor), social distancing, sanitation, crowd control, and others. Proper COVID restrictions / protocols shall be on display in the tent at all times.
7. The cost of tent rental, sanitation, security, public rest rooms (port-o-potties) shall be the sole responsibility of Licensee.
8. Licensor shall be responsible for costs associated with all trash collection. Trash collection shall be completed by the Licensor's Public Works Department weekly on Monday and Friday before 10am.
9. Licensee shall indemnify and hold harmless Licensor from and against any and all loss, damage, claims, demands, actions or causes of action, suits at law or in equity, judgments, liability or expenses, including attorneys' fees for damages for personal injury, including death, to any person whatsoever, and for damage to property of any person whatsoever, including loss or destruction thereof, arising out of any accident or occurrence, however caused, in or as a result of the exercise by Licensee of the license granted herein.
10. Licensee shall not retain any property interest in the Property as a result of this Agreement. All rights granted under this Agreement shall be non-transferrable.
11. This license shall expire on November 30, 2021 unless extended by the Board of Commissioners. Licensor shall have the right to revoke the rights granted under this Agreement for any reason after providing two (2) days of written notice to Licensee.
12. Licensee shall comply at all times with any directives of the Radnor Township Police Department and it shall comply with the rules and regulations of the Pennsylvania Liquor Control Board.
13. Licensee shall provide a Certificate of Insurance (COI) specifically naming Radnor Township and its elected and appointed officials as additional insureds in addition to its designation as a "Certificate Holder" meeting the insurance requirements of **Exhibit "B"**.
14. This Agreement may not be amended except in writing signed by the parties to this Agreement. However, if the Licensor elects to terminate its relaxed enforcement of certain outdoor dining and merchandise sale ordinances, as defined in Resolutions 2020-61 and 2020-123, this agreement shall automatically terminate in accordance with paragraph 11 above.

*IN WITNESS WHEREOF*, the parties hereto, by and through their duly authorized officers pursuant to the Radnor Township Board of Commissioners adoption of Resolution 2021-37 and intending to be legally bound hereby, have caused this Agreement to be executed the day and year first above written.

LICENSOR:

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: William White

Title: Township Manager

Date: \_\_\_\_\_

LICENSEE:

**Wayne Business Association Inc.**

Date: \_\_\_\_\_

\_\_\_\_\_  
Name:

Title:

# Wayne Picnic Grove Footprint - 2021



## **Exhibit B Insurance Requirements**

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### **INSURANCE**

Before execution and through the entire term of the License Agreement Wayne Business Association, Inc. (“Licensee”) shall, at its sole cost and expense, procure the following minimum types and limits of insurance, on forms reasonably acceptable to the Township.

Coverage shall be obtained from reputable insurance carriers authorized to transact that class of business in the State of Pennsylvania or otherwise acceptable to the Township, having an A.M. Best Rating of A- VII or better.

All insurance required herein shall be written on an “occurrence” basis, not “claims-made”, with the exception of Professional Liability insurance, unless specifically approved by the Township.

#### **I. General Liability:**

Commercial General Liability, written on an occurrence basis, including contractual liability, covering bodily injury including death, and/or property damage to third parties, which may arise from ongoing and completed operations under the contract, whether such operations are performed by the Licensee or its subcontractors/subconsultants, anyone directly or indirectly employed by them, or anyone for whom they may be liable, with limits not less than:

Each Occurrence – Per Project	\$1,000,000
Personal and Advertising Injury	\$1,000,000
Products/Completed Operations Aggregate	\$2,000,000
Aggregate	\$2,000,000
Damage to Rented Premises	\$ 50,000
Medical Payments	\$ 10,000

Any deductible under this coverage shall be no more than \$10,000 without Township approval and shall be the sole responsibility of the Licensee.

#### **2. Business Automobile Liability:**

Business Automobile Liability coverage for bodily injury and property damage arising out of the ownership, maintenance, or use of owned, non-owned, hired, and leased vehicles, including uninsured/underinsured motorists coverage, with limits not less than:

Combined Single Limit	\$ 1,000,000
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## Exhibit B Insurance Requirements

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### 3. Workers' Compensation and Employers Liability

Workers' Compensation and Employers Liability as required by the State of Pennsylvania, including "other states" coverage (if applicable), and with limits not less than:

Workers' Compensation	Statutory
Bodily Injury, each Employee	\$500,000
Bodily Injury, each Accident	\$500,000
Disease, each Employee	\$500,000

### 4. Liquor Liability (if Applicable)

Liquor Liability with limits not less than:

Each Common Cause	\$1,000,000
Aggregate	\$2,000,000

### 5. Umbrella Liability

Umbrella Liability applying excess of the General Liability, Automobile Liability, Liquor Liability and Employers Liability policies, on a following-form basis, with limits not less than:

Each Occurrence	\$5,000,000
Aggregate	\$5,000,000

### General Insurance Provisions

All policies required hereunder other than Workers' Compensation, shall name Radnor Township, and their officers, directors, agents, employees, and volunteers as additional insureds on a primary and noncontributory basis, for losses arising from the negligence of the Licensee or its subcontractors, or anyone for whom they may be liable. Additional insured status shall apply to Completed Operations.

All policies shall provide a Waiver of Subrogation in favor of Radnor Township, and their officers, directors, agents, employees, and volunteers, and/or other parties designated by the Township.

Policies shall not be canceled, terminated, or non-renewed unless sixty (60) days prior written notice is sent by the insurer to the insured Licensee. Licensee shall immediately forward any such notice to **Radnor Township, 301 Iven Avenue, Wayne, PA 19087.**

## Exhibit B Insurance Requirements

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Licensee shall furnish to Township certificates of insurance prior to the start of the License Agreement, evidencing that the below requirements have been met, and detailing the insurers providing coverage, types and limits of coverage, any deductible(s), class of operations covered, and effective and expiration dates of coverage. A copy of the Additional Insured and Waiver of Subrogation policy provisions or endorsements must be submitted with the certificate. A renewal certificate must be provided to Township prior to the expiration date thereof.

### **Subcontractors/Subconsultants**

Licensee shall require each subcontractor or subconsultant to provide insurance as outlined above. Such policies shall name Radnor Township, and its departments, offices, and agencies; Licensee; and the officers, directors, employees, agents, and volunteers of both, as additional insureds on a primary/noncontributory basis, for losses arising from the negligence of the subcontractor/subconsultant. Additional insured status shall apply to Completed Operations.

All policies shall provide a Waiver of Subrogation in favor of the Additional Insured parties.

Licensee shall be responsible for securing and maintaining certificates of insurance from all subcontractors/subconsultants evidencing the insurance coverages required herein.

The insurance coverages and limits required herein are designed to meet the minimum requirements of the Township. They are not designed as a recommended insurance program for Licensee or its subcontractors/subconsultants. **Meeting these minimum requirements shall in no way limit or relieve the Licensee's liability and obligations under any other provision of the Contract.** The Licensee shall acquire, at its own expense, any other additional insurance coverage it deems necessary for the protection of its work under this contract.

# Reports of Standing Committees

# New Business

# Old Business

# Public Participation

Adjournment