

BOARD OF COMMISSIONERS
AGENDA
Monday, February 25, 2019 - 6:30 PM

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of February 25, 2019

1. Consent Agenda

- a) Disbursement Review & Approval
- b) Acceptance of Department Monthly Reports
- c) Acceptance of Final Staff Traffic Committee Meeting Minutes – January 16, 2019
- d) Approval of minutes of the Board of Commissioner meeting of January 28, 2019
- e) Resolution #2019-10 - Purchase of Seed and Fertilizer
- f) Resolution #2019-11 - Award of the (HVAC) Heating, Ventilating, and Air Conditioning Annual Maintenance and Repair Contract for the Township Building, Public Works Facility, and Radnor Activity Center
- g) Motion to Authorize the Sale of Surplus Township Vehicles
- h) Resolution #2019-12 - Authorizing the Receipt of Sealed Bids for the Big Tree Planting Program

2. Public Participation - *Individual comment shall be limited to not more than five (5) minutes per Board policy*
3. Appointments to Various Boards and Commissions
4. Announcement of Boards and Commission Vacancies
5. Resolution #2019-08 - A Vision for A 100% Clean Renewable Energy Future
6. Presentation - Recognizing and Celebrating the Month of February as Black History Month
7. Willows Park Preserve Presentation
8. Committee Reports

PUBLIC SAFETY

- A. Ordinance #2019-01 – (**Adoption**) - No Parking Here to Corner on West side of Radnor Avenue, 30 feet from the fire hydrant located on Conestoga Road at Radnor Avenue
- B. Ordinance #2019-02 - (**Adoption**) - No through traffic on Woodland Court at Eagle Road
- C. Resolution #2019-13 - Authorization to Apply for Pennsylvania Commission on Crime and Delinquency’s Justice Assistance Grant (JAG) Under \$10K Initiatives for the Radnor Township Police Department Body-Worn Camera Project
- D. Resolution #2019-14 - Authorization to Apply for Pennsylvania Liquor Control Board Bureau of Alcohol Education’s Reducing Underage Drinking and Dangerous Drinking Grant

PUBLIC WORKS & ENGINEERING

- E. Resolution #2019-09 - Authorization to Purchase Capital Vehicles and Equipment
- F. Resolution #2019-05 - 521/525 S. Roberts Road – **Final** – Lot Line Adjustment
- G. 106 Harvard Lane GP#19-010 – Requesting a waiver from §245-22.A(2)(c)[2] – Minimum infiltration requirement

- H. 527 Roberts Road – Requesting a Waiver from the Stormwater Management Ordinance
- I. Resolution #2019-15 - Accepting a Deed of Dedication for the Sanitary Sewer Line to 747 Conestoga Road
- J. 820 Darby Paoli Road GP#19-001 - Requesting a waiver from §245-22.A(2)(c)[2] – Minimum infiltration requirement

COMMUNITY DEVELOPMENT

- K. Ordinance #2019-03 - (**Introduction**) - Amending Chapter 280 Zoning, Article XV, PLO Planned Laboratory-Office District, Section 280-63, By increasing medical office parking requirements up to Eliminating Certain Approved Uses in The PLO Planned Laboratory-Office District (**Requested by Commissioner Booker**)

PERSONNEL & ADMINISTRATION

- L. Motion to Authorize the Township Solicitor to prepare legislation for an annual maintenance fee for Verizon & Comcast cable lines that are located above ground

FINANCE & AUDIT

PARKS & RECREATION

LIBRARY

PUBLIC HEALTH

New Business

- Discussion on Revising and Updating the Comprehensive Plan (**Requested by Commissioner Booker**)
- Discussion Regarding Plastic Bag Ordinance (**Requested by Commissioner Borowski & Clark**)
- Update: Recap of the County Line Road Assessment (**Requested by Commissioner Farhy**)

Old Business

Public Participation

Adjournment

RADNOR TOWNSHIP
DISBURSEMENTS SUMMARY
February 25, 2019

The table below summarizes the amount of disbursements made since the last public meeting held on January 28, 2019. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://radnor.com/728/Disbursements-List>

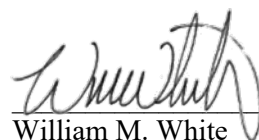
Fund (Fund Number)	2019-1C January 25, 2019	2019-2A February 1, 2019	2019-2B February 8, 2019	2019-2C February 15, 2019	Total
General Fund (01)	\$335,556.23	\$171,121.32	\$284,369.46	\$313,649.90	\$1,104,696.91
Sewer Fund (02)	16,077.32	1,161.57	19,897.29	9,272.32	46,408.50
Liquid Fuels Fund (03)	0.00	35,841.77	40,008.42	0.00	75,850.19
Storm Sewer Management (04)	1,557.00	101,780.23	6,400.00	0.00	109,737.23
Capital Improvement Fund (05)	7,281.24	7,897.00	21,064.76	1,128.00	37,371.00
Police Pension Fund (07)	0.00	0.00	5,081.51	0.00	5,081.51
OPEB Fund (08)	137,953.86	0.00	869.71	150,615.99	289,439.56
Civilian Pension Fund (11)	0.00	0.00	4,528.93	0.00	4,528.93
Investigation Fund (12)	800.00	0.00	161.10	0.00	961.10
Comm. Shade Tree Fund (15)	0.00	0.00	190.00	0.00	190.00
\$8 Million Settlement Fund (18)	0.00	637.50	0.00	0.00	637.50
The Willows Fund (23)	1,409.05	34,342.31	53.43	0.00	35,804.79
Library Improvement Fund (500)	0.00	0.00	9,447.50	0.00	9,447.50
Park & Trail Improvement Fund (501)	0.00	3,658.74	0.00	0.00	3,658.74
Total Accounts Payable Disbursements	\$500,634.70	\$356,440.44	\$392,072.11	\$474,666.21	\$1,723,813.46
<i>Electronic Disbursements</i>	n/a	n/a	n/a	n/a	\$858,000.00
Grand Total	\$500,634.70	\$356,440.44	\$392,072.11	\$474,666.21	\$2,581,813.46

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to ensure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,



William M. White
 Finance Director

ELECTRONICALLY PAID DISBURSEMENT LISTING

Estimated Through March 11, 2019

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	3/10/2019	2/19 Credit Card Revenue Processing Fees	\$5,000.00 *
Payroll [Pension] Transaction - Estimated	07-492-4980	3/1/2019	3/19 Police Pension Payments	\$335,000.00
Payroll [Pension] Transaction - Estimated	11-495-4980	3/1/2019	3/19 Civilian Pension Payments	\$15,000.00
Payroll [Bi-Weekly] Transaction - Estimated	01-various	3/7/2019	Salaries and Payroll Taxes - General Fund	\$485,500.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	3/7/2019	Salaries and Payroll Taxes - Sewer Fund	\$17,500.00
Period Total				\$858,000.00

* Credit card fees are charged to the Township's accounts on the tenth of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$485,500.00	1/24/2019	Salaries and Payroll Taxes - General Fund	\$490,024.68
\$17,500.00	1/24/2019	Salaries and Payroll Taxes - Sewer Fund	\$17,625.17
\$503,000.00			\$507,649.85
\$7,000.00	1/31/2019	Sick Pay Bonus - General Fund	\$5,764.72
\$1,000.00	1/31/2019	Sick Pay Bonus - Sewer Fund	\$753.55
\$8,000.00			\$6,518.27
\$485,500.00	2/7/2019	Salaries and Payroll Taxes - General Fund	\$466,708.00
\$17,500.00	2/7/2019	Salaries and Payroll Taxes - Sewer Fund	\$17,649.18
\$503,000.00			\$484,357.18
\$485,500.00	2/21/2019	Salaries and Payroll Taxes - General Fund	\$481,528.81
\$17,500.00	2/21/2019	Salaries and Payroll Taxes - Sewer Fund	\$15,860.67
\$0.00	2/21/2019	Salaries and Payroll Taxes - Willows Fund	\$53.38
\$503,000.00			\$497,442.86
\$220,538.61	2/1/2019	Police Pension Payroll	\$220,538.61
\$155,410.53	2/1/2019	Civilian Pension Payroll	\$152,161.39
\$375,949.14			\$372,700.00

RADNOR TOWNSHIP POLICE DEPARTMENT

Monthly Report



February 2019

**Christopher B. Flanagan
Police Superintendent**



JANUARY

Description _____ Primary Count

Parking Tickets

Month of January 2019 831

Residential and Commercial False Alarm Violations

Month of January 2019 92

Moving Violations

Month of January 2019 679

Radnor Police Training – January 2019

Surveillance Detection for Law Enforcement – Officers Fischer, Greaves, and Collins

Anti-Defamation League

Hand

McCann

Karmilowicz

Faust

Grimm

Kester

DeMayo

Meyer

Jennings

Supporting Individuals with Autism – Officer Vogel

JANUARY CRIME ALERTS

The Radnor Township Police Department has issued a crime alert for a theft from a vehicle which was reported January 1st in the 100 block of Drakes Drum Dr. The victim reported someone entered an unlocked vehicle in their driveway and used the garage door opener to access the garage. Inside the garage, the suspect(s) entered a vehicle and removed several items. The theft was late reported and was said to have occurred between December 28th and January 1st. The Radnor Police strongly advise everyone to lock all vehicles in their driveway. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting any suspicious activities.

Newtown Township Police reported that they received numerous reports of thefts from unlocked vehicles during the overnight hours (2AM to 3AM) of January 2, 2019. A single unknown race male was captured on surveillance cameras going through cars. The male was wearing sweat pants with a hoody and some type of gloves. These thefts occurred on the Radnor border with Newtown on Barren Rd and surrounding side streets. Residents are reminded to lock all vehicles especially during night time. Anyone with additional information are asked to contact Radnor Police at 610-688-0503.

The Radnor Township Police Department has issued a crime alert for an attempted theft from a vehicle which was reported on January 11th. The victim discovered someone had pulled the doors of the vehicles in her driveway in the 500 block of Maplewood Rd. while reviewing security camera footage. The attempted theft occurred on January 11th at 0231 hours. The victim reported the doors of her vehicles were locked and nothing was taken as a result. The Radnor Police strongly advise everyone to lock all vehicles in their driveway. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting any suspicious activities.

The Radnor Township Police Department has issued a crime alert for a theft from a vehicle which was reported on January 11th. The victim discovered someone had removed several items from their vehicle between the hours of 0800 and 1100 hours. The theft occurred in the 200 block of Rawles Run Ln. The Radnor Police strongly advise everyone to lock all vehicles in their driveway. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting any suspicious activities.

The Radnor Township Police Department has issued a crime alert for a theft from a vehicle which was reported on January 11th. The victim discovered someone had removed several items from their vehicle's center console. The theft could have occurred sometime within a three-day window. The theft occurred in the 900 block of Academy Ln. The Radnor Police strongly advise everyone to lock all vehicles in their driveway. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting any suspicious activities.

The Radnor Township Police Department has issued a crime alert for a theft of a wallet which was reported on January 25th. The victim reported the theft took place on January 23rd between 12:00 and 12:30 PM in an eatery in the 100 block of E Lancaster Ave. The wallet had been removed from the victim's purse. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting any suspicious activities.

The Radnor Township Police Department has issued a crime alert for the theft of a motor vehicle which occurred on January 26th. The theft occurred in front of an eatery in the 800 block of E Lancaster Ave between 2:05 and 2:10 AM. The victim left the vehicle, a 2006 Honda Civic, running and went into an eatery, briefly, only to return and discover the vehicle had been stolen. The Radnor Police strongly advise everyone to lock all vehicles when left unattended and ensure no keys are left in vehicles that could be used to steal them. Please call 9-1-1 IMMEDIATELY with any information about this incident or when reporting suspicious activities.

RADNOR TOWNSHIP POLICE DEPARTMENT
COMMUNITY EVENTS



Radnor Township
Good Neighbor Program

Welcome!

The information in this brochure will serve as a tool to ensure that Radnor Township continues to be a great place to live, work, raise a family, and retire.

If you are a student living in Radnor Township, please know that you are afforded the same security, protection of health and welfare, and services as do permanent residents of the Township. We appreciate you residing in Radnor Township and hope the experience is a mutually beneficial one.

Conversely, there is a responsibility on the part of the students to conduct their lifestyle respectful of the community in which they live. Our community is comprised of many wonderful students, families and neighbors, and creating a community where all residents can enjoy a safe and high-quality of life is everyone's responsibility.

The following information will assist all parties in our community in working together to foster a courteous and neighborly spirit. We appreciate your consideration in this venture!

The Important Stuff

As a student living off campus, please be mindful of your behavior in our community. The following are a list of **illegal** activities per the Commonwealth of Pennsylvania.

1 – *Disorderly Conduct* – With the intent to cause public inconvenience, annoyance or harm. Avoid engaging in fighting, threatening or violent behavior. Do not make an unreasonable amount of noise. Do not use obscene language, especially when walking the streets of Radnor Township in the late evening or early morning.

2 – *Public Drunkenness* – Do not appear to be intoxicated in any public place under the influence of alcoholic beverages to the degree the individual may endanger himself or other persons or property in his/her vicinity.

3 – *Purchase, Consumption, Possession or Transportation of Intoxicating Beverages* – If you are under 21 years of age, do not attempt to purchase, consume, possess, or transport alcohol. If you are of legal drinking age, do not purchase alcohol for minors. These are summary offenses, and you will be cited, arrested, or subject to fines or loss of license.

4 – *Carrying a False Identification Card* – If you are under the age of 21 and possess an identification card falsely identifying that person as older than they are, you can be subject to fines and loss of driver's license.

Helpful Resources:

Police, Fire, or Medical Emergencies | 9-1-1

Police Department | 610-688-0503

Fire Department | 610-687-3245

Township Administration Building | 610-688-5600



Chris,

I hope all is well with you!

This past Monday, SKS held its MLK day of service event at school. Officer McHale and Sgt Gluck had a hand in helping make the morning a great experience for the kids and parents who came to participate in the event. We are so lucky to have such a great police department who supports our school and community every day! Officer McHale spoke to everyone about community involvement and how you are all here to help and protect.....it was wonderful! A big thank you to the Radnor Police Department for all that you do...we are so grateful!

Take care,

Christina Elisio

February 1, 2019

Chief of Police Christopher Flanagan
Radnor Police Department K-9 Unit
301 Iven Ave
Wayne 19087

RE: Sergeant Daniel Lunger and K-9 Bear

Dear Chief Flanagan:

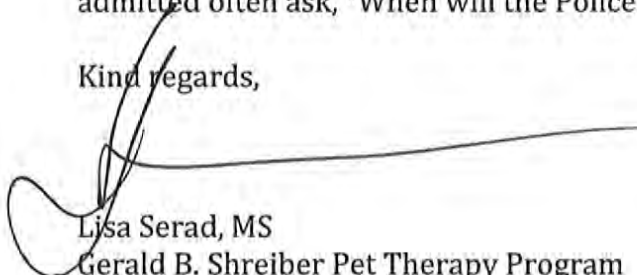
On behalf of the entire Child Life, Education & Creative Arts Therapy Department, and the patients and families, of Children's Hospital of Philadelphia, I want to thank Sergeant Daniel Lunger and K-9 Bear for their visit to CHOP on Tuesday, December 11, 2018. I would also like to thank you and your officers for their very generous donations to the hospital!

Unfortunately, for too many of our patients and their families, this might be the first positive experience they have with police officers. The kids and families were enthralled by the demo! Seeing the dogs go over hurdles, finding hidden explosives and drugs, performing in obedience drills, and even doing an apprehension was thrilling for them! There was an officer who was explaining each segment and the importance of it in police work. They also demonstrated how the dogs are trained, that they view their work as playtime!

After the demo, the officers, and their K9 partners did a meet and greet with the patients, their families, and even quite a few staff members. The officers and K-9s were incredibly patient and kind, posing for selfies with many of the kids and their families. Anyone could see that there was an incredible amount of goodwill created at that event! Our media team was even able to broadcast it to the rooms of the patients who weren't well enough to attend in person.

This event is highpoint for our patients and their families, and we are incredibly thankful that (handler) and K-9 were part of a wonderful day. One parent told me that it was the first time in days that her child wanted to leave their room, and when she saw how many K-9s were here, it was the first time she smiled since she got here. Many of the kids who are frequently admitted often ask, "When will the Police Dogs be here again?"

Kind regards,

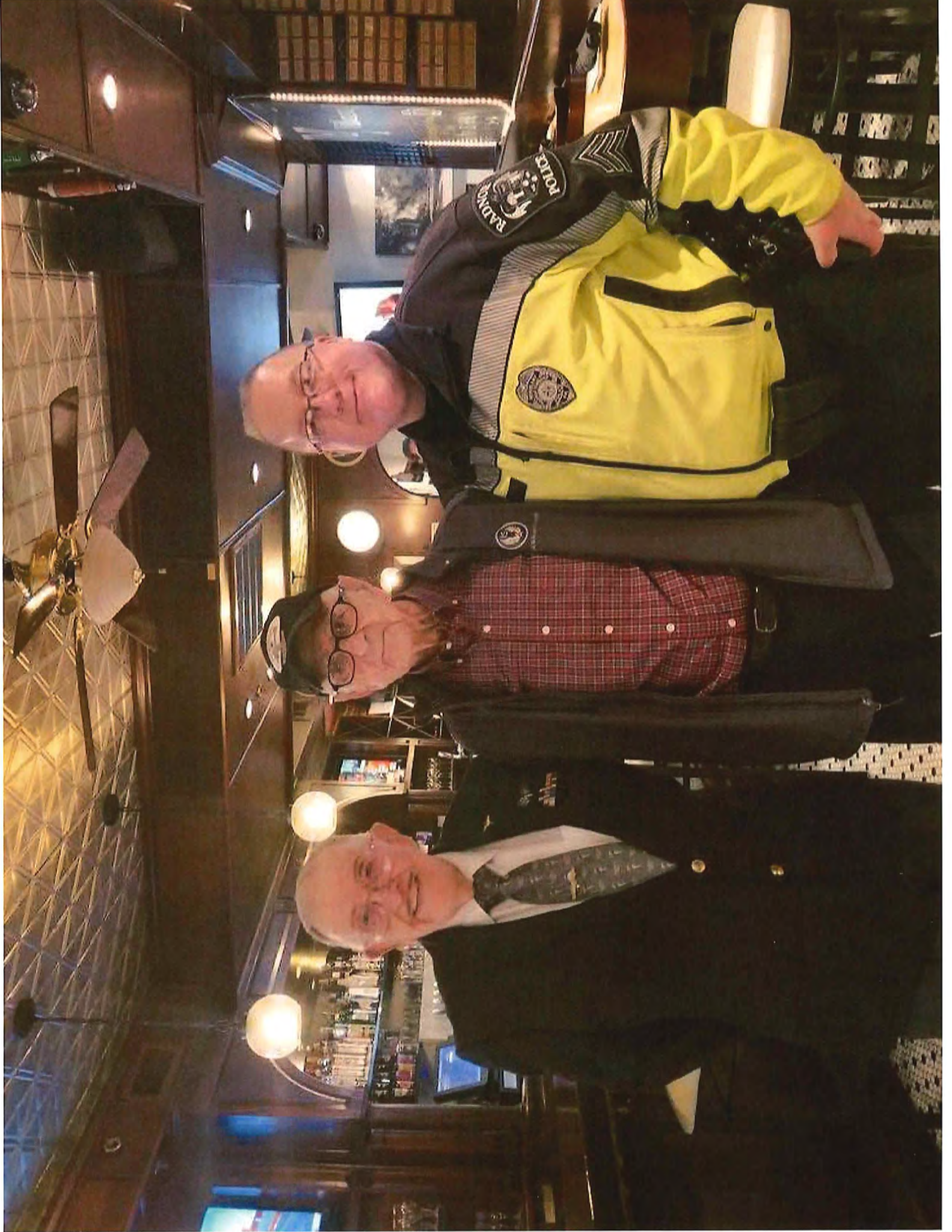


Lisa Serad, MS
Gerald B. Shreiber Pet Therapy Program
Children's Hospital of Philadelphia

Superintendent,

A family member of WWII airmen, Lt. Col. William Bonelli (I think he lives in town) sent these photos to us via Twitter. He was honored along with Dr. Tom Fitzpatrick, 94, B17 navigator, at Wednesday nights Villanova basketball game. We provided the escort.





Supt. Flanagan,

The Kiwanis meeting at the Wayne Senior Center was intended to be a meeting of the minds amongst Radnor-based organizations. Unfortunately, RTPD was the only agency to show up to the meeting. Lillian's main objective was to figure out how the organization can be utilized to help in the community. Kiwanis has various organizations within itself for all ages and they have been trying to get into the Radnor School District but haven't been successful thus far. We created a list of activities that they have utilized in other counties, and I anticipate that she will reach out to you to follow up. The list includes:

- + Attempting to bring the college-level Kiwanis group (Circle K) to Villanova, Cabrini, and Eastern.
- + Placing a reading station with literature in various languages at the Wayne Laundromat, for children to read while their parent do laundry.
- + Hand Painting stones with positive messages to place on campus at St. Edmond's
- + Contacting churches and food pantries in the area to benefit low-income families
- + Reaching out to Horizon House to involve residents in the Aktion Club- Kiwanis branch for Adults with disabilities

Additionally, Conestoga School District's members of the organization are looking for a new location to do Highway Clean up, and Lillian is interested in doing it in Wayne.

Also earlier this year they provided Lower Merion PD with 25 homeless kits and have 25 remaining that they would like to give us.

Thank you,

Kkarm



It contain roughly the same products. Shampoo, body wash, shave gel, razor, tooth Brush/toothpaste, deodorant

RADNOR TOWNSHIP POLICE DEPARTMENT
THANK YOU LETTERS

Dear Sergeant Radico,

Thank you and your fellow officers for your very fast response and the compassion and strength you all provided to our family this morning after our devastating loss.

Police work is a special calling and all of you demonstrated that today in the way you cared for my brother-in-law Ken and our family.

Sincerely,

Doug and Sharon Klepfer

Chief and Lt's

I wanted to take a moment and share with you how proud I am to be part of the 2nd Platoon.

Below is an email I received from Douglas Klepfer.

Mr. Klepfer is the brother in law of now deceased from Inc #190001156.

Squad 2 handled this call with nothing less than perfection. They worked as a team, were professional and empathetic the entire duration of the call. Sometimes we may think this level of service goes unnoticed, for this family, during this tragic event, it did not go unnoticed.

I also have to thank the Traffic Safety for their help in assisting the officers whom remained in service to handle other calls while we were not available.

Again, teamwork and professionalism at its best.

In service,

Anthony

A Radnor police officer was very helpful to my wife and me last evening. My car was stuck on a large rock on South Valley Forge Road by the Unitarian Church in Devon about 9:40 PM. Your officer stayed with us about 30 minutes until a AAA Truck arrived and freed my Toyota Camry. She offered needed encouragement and support.

We very much appreciate her help and recognize it for it.

Thank you, Superintendent, Flanagan

Lucy Carroll
Robert McCaffrey

Chief,

Can you have someone check this out?

Annie called PECO and they said they would send someone out but she wants to make sure there is no danger here.

Annie is home so she said she's happy to talk to whoever can come by.

Thank you!
Luke Clark



Great response from all of my Radnor people. Thank you Luke thank you Chris, I wish that Verizon and PECO were as responsive as you are. Thanks again!

Annie Webb

Interoffice Memorandum

TO: BOARD OF COMMISSIONERS
FROM: KEVIN KOCHANSKI, DIRECTOR
DEPARTMENT OF COMMUNITY DEVELOPMENT
SUBJECT: JANUARY MONTHLY REPORT
DATE: FEBRUARY 8, 2019
CC: ROBERT A. ZIENKOWSKI, TOWNSHIP MANAGER



**Community Development
Department**

For your review is the Community Development Monthly Report for the month of January 2019. Please note the following highlights:

- Building Permit Fee Revenue totaled \$175,423.00 with 48 permits issued
- Electric Permit Fee Revenue totaled \$109,412.00 with 56 permits issued
- Mechanical Permit Fee Revenue totaled \$51,571.50 with 33 permits issued
- Plumbing Permit Fee Revenue totaled \$9,936.00 with 33 permits issued
- Zoning Permit Fee Revenue totaled \$300.00 with 5 permits issued
- Design Review Board Application Fee Revenue totaled \$300.00 with 3 applications received
- Zoning Hearing Board Application Fee Revenue totaled \$550.00 with 1 application received

- Permit and application revenue for January 2019: \$ 347,492.50
- Permit and application revenue year to date: \$ 347,492.50

- Permits and applications for January 2019: 179
- Permits and applications year to date: 179

- Inspections conducted for January 2019: 301
- Inspections conducted year to date: 301



RECREATION & COMMUNITY PROGRAMMING DEPARTMENT DECEMBER 2018 & JANUARY 2019 REPORT

Programs/Excursions/Community Events

Registration for Winter, Spring and Summer is Underway:

- Junior Soccer with World Cup Sports Academy at Radnor Activity Center (cancelled due to RAC closure – unable to be relocated)
- Little Hoop Stars with Jump Start Sports at Wayne Elementary School (43 participants/2 sessions)
- Radnor Champions Basketball at Ithan Elementary School (13 participants)
- After-School Chess Club with Shining Knights at Ithan Elementary School (38 participants)
- After-School Science Club with Mad Science at Ithan Elementary School (25 participants)
- Youth Wrestling Clinic at Radnor High School (11 participants)
- Gryphon Volleyball at Radnor High School (14 participants)
- Radnor Day Camp at Radnor Elementary School (Early Bird Registration/112 participants to date)
- Junior/Adult Tennis Lessons with David Broida at Radnor Racquet Club (28 participants/5 sessions)
- Men's Pickup Basketball at Radnor Middle School (16 participants; winter program currently on hold due to RAC closure – unable to be relocated)
- Pickleball at Radnor Activity Center (103 participants/4 sessions; on hold due to RAC closure – unable to be relocated)
- Radnor Steps Community Walking Program along the Trail – (participation varies each week)

PRPS Discount Ticket Program:

- Regal Movie Discount Ticket Program (382 sold in 2018; 33 sold to date 2019)
- Amusement Park Discount Tickets (9 sold to date 2019)

Community Events:

- New York City Excursion took place successfully on Saturday, December 1 (45 participants)
- Santa's Delivery (1,249 gifts/485 households/308 gifts contributed to Toys for Tots)

Additional Programming Activity:

- Finalized creation of the Winter & Spring 2019 Recreation Activities Brochure and promoted all upcoming seasonal programming and events. Began development of the Summer 2019 Brochure.
- Met with fall programming vendors to wrap up season; met with winter, spring, and summer programming and event vendors to set goals for 2019 and to coordinate contractual agreements, facility schedules, program logistics, participant communications, and emergency/safety procedures.
- Continued working with representatives of Radnor Youth Basketball League and Radnor Soccer Club to coordinate program logistics and gym usage, particularly in lieu of RAC closure.
- Continued internal goal setting and planning meetings on Radnor Day Camp; met with various Radnor Day Camp staff members to begin comprehensive planning; began hiring process including updating job descriptions, refining screening processes, revising Staff Handbook, coordinating recruitment process, developing training curriculum; coordinated online registration, scholarship application process, website updates, daily structure for activities, trips, and special events, and facility usage request applications to RTSD.
- Met with representatives from World Cup Sports Academy and Jump Start Sports.
- Met to discuss Academy of Hoops prospective summer basketball league.
- Continued to work with Township risk management representatives and programming vendors regarding insurance limit requirements for abuse and molestation.
- Continued working with the PA Recreation and Parks Society (PRPS) regarding the child care licensing requirements for preschool-age programming participants under the Pennsylvania Department of Human Services - a structured, operating protocol was developed and submitted to the DHS under which public recreation providers would operate – consideration of the waiver request was denied by DHS; continued working with PRPS leadership and colleagues to seek an amendment to the PA Public Welfare Code to exclude public municipal recreation programs.

- Coordinated employee health and wellness programming; submitted closeout application for 2018 DVHT Workplace Wellness Grant; begin working on 2019-2020 grant opportunity.
- Coordinated with Recreation/Public Works/Police/Fire Departments along with partners to prepare and plan for upcoming events including Santa's Delivery and Mother-Son Superhero Challenge; discussed logistics, set up, activities and entertainment, supplies, staffing, registration, and promotions
- Coordinated Toys for Tots and winter clothing contributions.
- Coordinated sell-out registration for new Mother-Son Superhero Challenge event – which is postponed to March due to RAC closure
- Coordinated sell-out registration for Daddy Daughter Dance event along with facility application process for the Radnor Hotel; met with representative at the Inn at Villanova University to discuss potential 2020 event relocation.
- Met with Villanova University representative to discuss 2019 Spring Eggstravaganza Event.
- Met with The Saturday Club representatives to discuss 2019 Mother-Daughter Princess Tea Party.
- Met with representative to discuss and plan for 2019 Night at the Ball Park/Wiffleball Classic Event.
- Attended Radnor Run 2018 event wrap-up meeting.
- Met with Unity in the Community Event representative to discuss and plan Township partnership as part of the 2019 event.
- Met with representatives of the WBA to discuss and plan winter 2019 event.
- Continued sponsorship and partnership development by working with local businesses and organizations; solicited sponsorship proceeds for 2019 events and programs; met with 5 sponsors.

Administrative

- Processed daily phone and email communications in order to provide information on community sports, recreational activities, and events; coordinated registrations for programs; prepared purchase orders/invoices, deposited income; prepared program financial reports that include participation reconciliation, instructor payments, and performance analyses; distributed program evaluations to participants; coordinated locations and logistics for programming, scheduled facility reservations/submitted applications, maintained Outlook event calendars, met with instructors and vendors to develop program agreements and process background checks; continued utilization of PEN (Programmer's Exchange Network) listserv to obtain and share information to evaluate operations; updated all Department areas of the Township website and social media page and distributed seasonal e-newsletters; filmed monthly segment for the *Radnor 411* television show and prepared slides for the Radnor Cable Channel; coordinated marketing efforts; managed inventories and distributed supplies to programs; worked with Township solicitor on various Department items.
- Prepared season-end financial reporting and evaluation of programming, discount ticket program, community events, and projects.
- Developed 2019 Department Goals and Objectives/met internally with staff to review; attended budget planning meetings with Township Manager and Finance Director.
- Continued meetings with the Finance Department on the implementation of Tyler Munis Enterprise Resource Planning Project (financial software) and implementation and evaluate of Tyler Parks and Recreation, the Department's new online registration system; met with TPAR representatives to discuss system operations and shortcomings – evaluated alternative online registration systems.
- Attended weekly staff meetings with the Township Manager and Department Heads.
- Attended monthly Board of Commissioners and Parks Board Meetings and prepared reports.
- Met with Township Parks & Recreation Board Members to prepare for upcoming meetings.
- Continued to work with and meet with Program Supervisor, Program Coordinator, and Recreation Assistant on daily planning, programming, events, operations, and projects.
- Coordinated hiring for Recreation Assistant (full time role).
- Attended monthly Staff Safety Committee Meeting.
- Attended monthly Sports Legends of Delaware County Museum Board Meeting.
- Met with Township Labor Council regarding personnel policies for Radnor Day Camp and to review Summer Staff Handbook.

Parks & Recreation Facilities Usage & Projects

- **Athletic Fields:** Coordinated field schedules at various locations and light schedule (Radnor Memorial) for the winter and spring usage season.
- **Park Areas/Picnic Rentals:** Coordinated seasonal reservations to date:
 - Bo Connor Park (0 rentals)
 - Clem Macrone Park (1 rental)
 - Cowan Park (1 rental)
 - Dittmar Park (0 rentals)
 - Emlen Tunnell Park (0 rentals)
 - Fenimore Woods (3 rentals)
 - Odorisio Park (0 rentals)
 - Veterans Park (0 rentals)
 - Warren Filipone Park (0 rentals)
 - Willows Park (0 rentals)
- **Radnor Activity Center:** Facility was closed for part of December and January due corrections needed as part of floor replacement by the contractor (facility closed October 10 to December 8 for floor replacement; facility closed again January 14 to present); worked/met with Radnor Township School District and insurance company on the evaluation of corrective measures – evaluation by a structural engineer has been coordinated; met with RTSD Facilities Committee at the facility; worked with roof contractor to perform main roof repairs; met with Sara Pilling to discuss ‘Ready for 100’ program relative to the building systems.
- **AED Project:** Coordinated installation of AEDs at the Township Building, Public Works Facility, and Radnor Activity Center; continued evaluating a project to install AEDs at Township parks.
- **Eagle Scout Projects:**
 - Bike repair station at Friends of Radnor Trails Park – project completed.
 - Kiosk installation at the Willows Park trail entrance – project currently under way.
- **Park Signage Replacement:**
 - Saw Mill Park sign has been put on hold as we evaluate the park traffic flow and logistics.
 - Radnor Memorial Park, Ithan Valley Park, Bo Connor Park, Emlen Tunnell Park, and Fenimore Woods are under development.
- **Park and Trail Improvements** – a bond ordinance was voted at the October 26, 2015 Board of Commissioners Meeting for the following parks and trails (\$5.75M - \$4.3M Parks/\$1.45M Trails); met with staff and continued working towards completion of the various park projects that have been outlined – see update provided to the Parks & Recreation Board at the June meeting.

Bo Connor Park (in progress)
Cappelli Golf Range (in progress)
Clem Macrone Park (complete)
Emlen Tunnel Park (in progress)
Encke Park (complete)
Fenimore Woods (in progress)
Ithan Valley Park (in progress)
Petrie Park (complete)
Radnor Trail (in progress)
Skunk Hollow Park (complete)
Warren Filipone Park (in progress)
Ardrossan Trail
West Wayne Segment (8A-E, 1C, 1D)
Marth Brown Segment
Villanova – Chew Segment (16A, 9C, ½) - omitted
Radnor Station to Harford Park (9F)

- **Bo Connor Park Improvements:** coordinated final engineering design/scope of work/bid documentation for site improvements with Gannett Fleming.
- **Emlen Tunnell Park:** presented revised comfort station design/site location option to RTSD Facilities Committee on November 20th; currently working with RTSD on an addendum to the lease.
- **Ithan Valley Park Improvements:** working on anticipated park improvements that includes signage, bridge installation, and fencing; coordinated final sign design with Friends of Ithan Valley Park.
- **Fenimore Woods Rehabilitation Project:** Comprehensive park renovation project planning is underway - held various meetings with Gilmore & Associates in December and January to refine the draft concept plan that will be presented at the February Parks Board Meeting; mailed letter to park neighbors regarding the upcoming discussions on the draft concept plan; held meetings with various residents to discuss the plan; met with Township Arborist regarding the tree survey that had been previously conducted at the park; preliminary environmental, traffic, and stormwater review is underway relative to the improvement plan development.
- **Radnor Trail - Brookside Parking Lot Restroom:** worked on restroom design options with various vendors; coordinated site layout with Gannett Fleming and preliminary bid documentation.
- **Warren Filipone Park Improvement:** Coordinated final engineering design/scope of work/bid documentation for site improvements with Gannett Fleming.
- **The Willows Mansion:** The Board of Commissioners approved a lease agreement to the Willows Park Preserve (WPP) nonprofit organization for their operation, preservation, and maintenance of the Willows Mansion - this agreement will allow for the Mansion's continued public use and public usage of the park with minimal impacts; an update on the project will be provided by the WPP at an upcoming Board of Commissioners Meeting.
- **Various Meetings:**
 - Met with resident and Radnor Conservancy to discuss best practices for native tree/landscaping education and selection along with tick control throughout the Township.
 - Met with representatives from the Agnes Irwin School to discuss usage protocols, maintenance, and future improvements at Radnor Memorial Park.
 - Met with representatives of Incredible Edible Radnor to discuss and plan raised garden bed installation at Encke Park near the playground along with the addition of an herb spiral and a water tank near the current beds along the Radnor Trail.
 - Met with Township's contracted cleaning company to discuss improved service at the Radnor Township Building and at the RAC.
 - Met with Bethel AME Church of Ardmore to discuss wreath ceremony and honoring of Bishop Richard Allen at Bishop Richard Allen Park.

Respectfully Submitted,



Tammy S. Cohen
 Director of Recreation & Community Programming

RADNOR TOWNSHIP POLICE DEPARTMENT

**301 Iven Avenue
Wayne, Pennsylvania 19087-5297
(610) 688-0503 a Fax (610) 688-1238**

**Christopher B. Flanagan
Police Superintendent**

TO: Radnor Township Commissioners; Robert A. Zienkowski, Township Manager; William M. White, Director of Finance; Stephen F. Norcini, Township Engineer; Steve McNelis, Public Works Director; Tammy Cohen, Director of Recreation and Community Programming; Kevin W. Kochanski, Director of Community Development; Bill Cassidy, Field Leader; Highway Police Officer Alex Janoski; Highway Police Officer Pat Lacey, Highway Police Officer Ken Piree, Traffic Safety Unit; William Gallagher, Supervisor of Parking; Amy Kaminski, Traffic Engineer for Gilmore and Associates; Vera DiMaio and Lori DeNicola

FR: Christopher B. Flanagan

**RE: STAFF TRAFFIC COMMITTEE MEETING HELD IN THE POLICE
ROLL CALL ROOM, WEDNESDAY, JANUARY 16, 2019, 10:00 AM.**

NEW BUSINESS

1. Liz DiRusso requests speed limit signs be installed on Wootton Road

Ms. DiRusso was not present at this meeting. Currently, there is no speed limit sign posted/listed on Wootton Road. Staff Traffic Committee recommends adopting an Ordinance for a 25 mph speed limit sign on Wootton Road per Pennsylvania Vehicle Code Title 75. It is also recommended that the current Watch Children sign be updated to a fluorescent sign.

2. Commissioner Borowski would like to revisit discussions of pedestrian safety measures at Saw Mill Park

Commissioner Borowski was not present. Radnor Township Engineer, Steve Norcini, stated improvements that are currently being discussed for Saw Mill Park. The crosswalk was moved by Public Works. New design to improve safety and parking is being discussed. Township Manager directed a drawing/sketch be created and Parks Board to review the idea. After this takes place, we will proceed for Spring 2019.

3. Joan Lewers requests the following pertaining to Edgehill:

- Remove the No Parking Here to Corner sign on the right hand side of the Road (facing Brooke Road) and replace it with a No Parking This Side of Street sign
- Move the No Parking Here to Corner sign on the left hand side of the Road (facing Brooke Road) up to the other side of the rain water outlet grate
- Joan Lewers is requesting parking restrictions on Edgehill Road



RADNOR TOWNSHIP POLICE DEPARTMENT

301 Iven Ave., Wayne, PA 19087

January 2019 Staff Traffic Status Report

Project Name	Project Information	Status Update
Radnor Fire Company requests evaluation of traffic and parking on South Wayne Avenue	12/20/2017 Radnor Fire Company is interested in: <ul style="list-style-type: none"> • Pursuing parking elimination along S. Wayne Avenue • Revising the intersection to reflect the most recent signed signal permit plan • Emergency pre-emption at the Fire Station on S. Wayne Avenue. • Concerns with parking in front of New Wayne Pizza 	This item will be a budget request for 2019
County Line Corridor Study (from Lancaster Avenue to Conestoga Road)	Staff Traffic Committee & Lower Merion Township discussions to expand study area to County Line Road corridor study	The report can be found online on our website (radnor.org) under the Engineering department. A meeting is scheduled on Tuesday, January 29, 2019 at 7pm at the Ludington Library.
King of Prussia Bridge	Strike issues	<ul style="list-style-type: none"> • Commissioner Nagle invited to Delaware County meeting regarding Bridge Strike • Superintendent Flanagan sent Letters to Garmin, Apple, Google • Letter was sent to Richard Anderson (Amtrak), Edward McBride (PECO), and Kenneth McClain (PennDot), see attached letters and pictures
Sproul Road and Conestoga Road Left turn signal improvements	RT 2017 Engineering Line Item Budget: \$300,000 to evaluate, design and construct signal improvements to include intersection left turn lanes	Contract awarded. Construction anticipated to be completed mid to late February 2019

Radnor Township Police Staff Traffic Monthly Status Report

<p>N. Wayne Ave/Poplar Ave/West Avenue Pedestrian Improvement Signal project</p>	<ul style="list-style-type: none"> • DCED MTF grant awarded; construct signal and pedestrian improvements at intersection 	<p>Funding requested in 2019 capital budget</p>
<p>King of Prussia Rd & Eagle Rd intersection improvements</p>	<p>Submit joint application for DCED MTF grant with Cabrini & Eastern for left turn lanes on King of Prussia Road at Eagle Road/Pine Tree Rd</p>	<p>Funding requested in 2019 capital budget. Meeting planned with all parties involved</p>
<p>Poplar Avenue</p>	<p>Speed related Issues on Poplar Avenue Traffic Counts</p>	<p>First Traffic Count Conducted: Combined: ADT=500 Vehicle, 85th%=26mph Second Traffic Count On Poplar Ave: Combined: ADT=547 Vehicles, 85th%=29mph</p>

TOWNSHIP OF RADNOR
Minutes of the Meeting of January 28, 2019

The Radnor Township Board of Commissioners met at approximately 6:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087

Commissioners Present

<i>Lisa Borowski, President</i>	<i>Jack Larkin, Vice-President</i>	<i>Luke Clark</i>	<i>Jake Abel</i>
<i>Richard Booker</i>	<i>Sean Farhy</i>	<i>John Nagle</i>	

Also Present: *Robert A. Zienkowski, Township Manager/Township Secretary; John Rice, Township Solicitor; William White, Assistant Township Manager/Finance Director; Christopher Flanagan, Superintendent of Police; Steve Norcini, Township Engineer; Steve McNelis, Public Works Director; Kevin Kochanski, Director of Community Development; Tammy Cohen, Director of Recreation and Community Programming; Roger Philips, Township SALDO Engineer; Amy Kaminski, Traffic Engineer; and Jennifer DeStefano, Executive Assistant to the Township Manager.*

President Borowski called the meeting to order and led the assembly in the Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of January 28, 2019

There was an Executive Session on January 28, 2019 where matters of Litigation, Real Estate and Personnel were discussed all Commissioners were in attendance.

1. Consent Agenda

- a) *Disbursement Review & Approval*
 - b) *Acceptance of Department Monthly Reports*
 - c) *Approval of minutes of the Board of Commissioner meeting of January 7, 2019 & January 14, 2019*
 - d) *Staff Traffic Committee Meeting Minutes – December 19, 2018*
 - e) *Resolution #2019-04 - Authorizing the Township Manager to purchase Workers Compensation Insurance through Arthur J. Gallagher & Co. in an amount of \$519,262*
 - f) *Business Privilege Tax Settlement 2019-BPT-01 in the amount of \$40,000*
 - g) *Resolution #2019-01 - Authorizing Payment to Newtown Township for resurfacing the portion of Green Countrie Drive which falls within Radnor Township, at a cost of \$17,589.51*
- Commissioner Booker requested for item f to be removed from the consent agenda.

Commissioner Larkin made a motion to approve the consent agenda excluding item f, seconded by Commissioner Farhy. Motion passed 7-0.

Business Privilege Tax Settlement 2019-BPT-01 in the amount of \$40,000

Commissioner Booker inquired if the above agenda item was a credit or refund. Mr. White commented that it is a credit to the Township.

Commissioner Booker made a motion to approve, seconded by Commissioner Farhy. Motion passed 7-0.

2. Public Participation - Individual comment shall be limited to not more than five (5) minutes per Board policy

Sara Pilling introduced Allie Bauer from Radnor High School who showed a brief video about Ready 100 that students have created.

Harvey Hensley – He spoke in support of resolution #2019-06 regarding Earles Lake Dam Breach.

Roberta Winters, League of Women Voters – She commented regarding a pamphlet that she has handed out “Civil Discourse”.

Sue Doyle, Hilldale Road – She spoke regarding her support to appeal the Zoning Hearing Board decision regarding the Villanova University Dome.

Bill Doyle, Hilldale Road - He spoke regarding his support to appeal the Zoning Hearing Board decision regarding the Villanova University Dome.

Barbara Susanin, Hilldale Road – She encouraged the Board to appeal the Zoning Hearing Board decision regarding Villanova University Dome.

Hermann Whatsworth, Hilldale Road – He spoke regarding his support to appeal the Zoning Hearing Board decision regarding the Villanova University Dome.

Chuck Barber – He spoke regarding his support to appeal the Zoning Hearing Board decision regarding the Villanova University Dome.

3. Announcement of Boards and Commission Vacancies

Commissioner Borowski announced that there are vacancies on the following Boards:

<p>CARFAC 4-year term 5 Vacancies</p>	<p>Citizens Communication Council 1 Vacancy</p>
<p>Code Appeals Board 5-year term 1 Vacancy <i>Requirements: Master Plumber General Contractor</i></p>	<p>Planning Commission 1 Vacancy unexpired term 1/1/2019-12/31/2019</p>
<p>Radnor-Haverford-Marple Sewer Authority 5-year term 1 Vacancy</p>	<p>Stormwater Management Advisory Committee 3-year term 4 Vacancies</p>
<p>Willows Park Preserve 1 Vacancy</p>	<p>Zoning Hearing Board 1 Vacancy – unexpired term 12/31/2020</p>

4. Appointments to Various Boards and Commissions

Commissioner Clark made a motion to appoint Peter Murphy to the Citizens Communication Council, seconded by Commissioner Nagle. Motion passed 6-0 with Commissioner Booker out of the room.

Commissioner Clark made a motion to appoint Chris Hatch to the Willows Park Preserve, seconded by Commissioner Farhy. Motion passed 6-0 with Commissioner Booker out of the room.

Commissioner Clark made a motion to appoint Meghan Gonzalez to the Planning Commissioner, seconded by Commissioner Farhy. Motion passed 6-0 with Commissioner Booker out of the room.

5. Discussion Regarding King of Prussia Road Bridge (Outside Agencies in attendance)

Mr. Zienkowski briefly spoke regarding the history of the bridge strikes on King of Prussia Road and his disappointment with PennDot and Amtrak. Officer Janoski made a presentation about the numerous bridges strikes on King of Prussia Road and the need for precautionary systems to be installed. There were representatives from PECO, PENNDOT, Amtrak and Representative O'Mara's office in attendance. A brief discussion occurred amongst the above representatives, Commissioners and staff.

6. Presentation – Ready 100

Jim Wylie and Sara Pilling gave a presentation regarding Ready 100 which can be found on the Township website at: <https://www.radnor.com/1107/Ready-100>.

There was an agreement that there will be a resolution on an upcoming meeting agenda for approval.

7. Appointment of Vacancy Board Chairperson

Commissioner Farhy made a motion to appoint Mike Lihota to the Vacancy Board, seconded by Commissioner Larkin.

Commissioner Booker made a motion to table the agenda item, seconded by Commissioner Abel. Motion failed 3-4 with Commissioners Farhy, Borowski, Larkin and Nagle opposed.

Commissioner Abel made a motion to nominate John Smith to the Vacancy Board, seconded by Commissioner Booker.

Commissioner Borowski called the vote on the original motion to appoint Mike Lihota, motion passed 4-3 with Commissioners Booker, Clark and Abel opposed.

8. Committee Reports

PERSONNEL & ADMINISTRATION

A. Willows Park Preserve Presentation and Update

Tish Long, President of the WPP gave a background of the project along with Skip Kunda, fellow WPP member. They will be back at the February 25th BOC meeting to present their renderings and cost estimates.

B. Updates: Microcell Antennae (Commissioner Abel)

John Shive from Crown Castle made a presentation which can be found on the Township website at: <https://www.radnor.com/DocumentCenter/View/19804/Crown-Castle-1-28-19>.

There was a brief discussion amongst the Commissioners, staff and Crown Castle regarding microcells and the potential to add them in 3 HOA's. There was also an agreement that the Public Safety Committee will address Emergency Radio Communications within the Township. Crown Castle will come back to the Board in two weeks with a proposal

Public Comment

Pete Tedesco, Ravenscliff Resident – He inquired regarding the procedure to move forward with Crown Castle.

PUBLIC WORKS & ENGINEERING

C. 521/525 S. Roberts Road – Caucus – Lot Line Adjustment

Mr. Norcini, Township Engineer explained that before the Board of Commissioners will be the applicant, Paul Bloomfield, to present the proposed lot line changes for 521 and 525 South Roberts Road. The applicant proposes to take a portion of 525 South Roberts Road and convey it to 521 South Roberts Road. The outcome of this will be that 525 South Roberts Road will have a lot size of 59,445.2 square feet, and 521 South Roberts Road will have a lot size of 53,995.7 square feet. As outlined in more detail in the Gannett Fleming review letter, the applicant is requesting waivers from noting steep slopes, buildings, other infrastructure, contour lines, and trees over six inches on the plan. The Planning Commission recommended approval of the plan subject to the comments in the Gannett Fleming review letter.

D. Resolution #2019-06 - Authorizing Carroll Engineering to Review and Perform a Downstream Analysis to Determine the Effects of the Earles Lake Dam Breach, at a Cost of \$19,490

The Green Country Home Owners Association has submitted a permit application to breach (remove) the dam that created Earles Lake. There are concerns with this action, and how it may affect the downstream Radnor Township residents, the stream channel, Saw Mill Park, and ultimately Darby Creek. The Engineering Department prepared a scope of work, and a cost proposal was solicited from Carroll Engineering Corporation. To this end, Carroll Engineering Corporation has submitted a cost proposal to address the requirements of the scope of work, including a Hydraulic Engineering Center River Analysis System (HEC-RAS) study of the

stream channel 200 feet below the dam. This includes survey of the channel to provide cross sections for the HEC-RAS study. The DEP review of the breach application does not include the downstream analysis, or consider some items noted in the scope of work.

Commissioner Nagle made a motion to approve, seconded by Commissioner Clark.

Public Comment

Roy Binnion – He commented regarding the DEP concerns with the dam.

Commissioner Borowski called the vote, motion passed 7-0.

E. Resolution #2019-02 - Authorizing the Removal of trees behind 164 Conestoga Road in the West Wayne Preserve for Arboricultural Risk Management, at a cost of \$15,000

Mr. McNelis, Director of Public Works and Township Arborist, John Rockwell Hosbach have identified 26 hazardous trees in the area behind 164 Conestoga Road within the Township owned West Wayne Preserve. The arborist inspected and marked Twenty- Six (26) total trees deemed as high risk and in need of immediate removal. Several proposals were received for the removal of the trees. Horgan Tree Experts had the lowest price proposal for the work at \$15,000. There was an in-depth discussion with the Commissioners.

Commissioner Nagle made a motion to approve, seconded by Commissioner Farhy.

There was a discussion amongst the Commissioners, staff and John Hosbach (Township Arborist).

Commissioner Abel made a motion to amend the resolution to remove the 3 closest trees to 164 Conestoga Road and then come back with a plan for the removal of trees within the fall zone of the home, seconded by Commissioner Booker. Motion failed 3-4 with Commissioners Farhy, Clark, Borowski and Nagle opposed.

Public Comment

Jane Galli – She spoke in support of the resolution.

Ms. Logioia, 166 Conestoga Road – She spoke in support of the resolution.

Commissioner Borowski called the vote on the original motion, motion passed 6-1 with Commissioner Abel opposed.

F. Resolution #2019-03 - Authorizing the installation of 356' of fence separating the Friends of Radnor Trails Park from Liberty Lane, at a cost of \$12,985

Steve McNelis, Director of Public Works spoke that the Township Public Works Department removed the dilapidated fence which separated the residential properties from the Friends of Radnor Trails Park in 2018 for safety concerns. As the park neighbors had previously enjoyed the fence which separated their properties from the park and park visitors, the Township Public Works Department is requesting authorization to expend the funds needed to replace the fence. A proposal has been received from FencCo, Inc. to install 356' of fence at a cost of \$12,985.

Commissioner Farhy made a motion to approve, seconded by Commissioner Abel. Motion passed 7-0.

COMMUNITY DEVELOPMENT

G. Villanova University v. Radnor Twp. Zoning Hearing Board 17-10314 - Possible Motion to Appeal January 17, 2019 Order

Mr. Rice gave a brief background of the above.

Commissioner Booker made a motion to appeal, seconded by Commissioner Farhy. Motion passed 7-0.

PUBLIC SAFETY

H. Ordinance #2019-01 – (Introduction) - No Parking Here to Corner on West side of Radnor Avenue, 30 feet from the fire hydrant located on Conestoga Road at Radnor Avenue

Commissioner Nagle made a motion to introduce, seconded by Commissioner Clark. Motion passed 7-0.

I. Ordinance #2019-02 - (Introduction) - No through traffic on Woodland Court at Eagle Road

Commissioner Clark made a motion to introduce, seconded by Commissioner Larkin. Motion passed 6-0 with Commissioner Nagle not in the room.

J. Resolution #2019-07 – Purchase of Three (3) New Radnor Township Police Vehicles

Commissioner Clark made a motion to approve, seconded by Commissioner Larkin.

Public Comment

Sara Pilling – She inquired if the Township can start looking at Hybrid Vehicles. Superintendent Flanagan responded that one of the vehicles is Hybrid.

Commissioner Borowski called the vote, motion passed 5-0 with Commissioner Booker abstaining and Commissioner Nagle not in the room.

***FINANCE & AUDIT
PARKS & RECREATION
LIBRARY***

Commissioner Borowski announced that they are working on their strategic plan and they will be having a series of meetings coming up.

PUBLIC HEALTH

New Business

- ***Discussions - Amendments to Stormwater Ordinance (Requested by Commissioner Larkin)***
Tabled
- ***Discussion for Clarification “multiple meetings with commissioners’ item in Manager’s Update (Requested by Commissioner Booker)***

Commissioner Booker commented briefly about Commissioners having individual meetings with the Manager and requested that Commissioners do not take up all his time.

- ***Discussion on Revising and Updating the Comprehensive Plan (Requested by Commissioner Booker)***
Tabled
- ***Discussion Regarding Plastic Bag Ordinance (Requested by Commissioner Borowski & Clark)***
Tabled

Mr. Norcini, Township Engineer gave a brief update of an incident on S. Devon over the weekend where there was heating oil leaked into the creek.

Old Business

None

Public Participation

Roy Binnion - He spoke regarding the culvert on Sproul Road and needing support to get PENNDOT to evaluate the culvert.

There being no further business, the meeting adjourned on a motion duly made and seconded.

*Respectfully submitted,
Jennifer DeStefano*

RESOLUTION NO. 2019-10

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AUTHORIZING THE PURCHASE OF ORGANIC
FERTILIZER AND SEED FROM SITE ONE LANDSCAPE SUPPLY**

WHEREAS, the Public Works Department semi-annually places grass seed and organic fertilizer, spring and fall, on the Township's athletic fields

WHEREAS, the Public Works Department wishes to purchase 80 bags of organic fertilizer and 120 bags of grass seed for the aforementioned task from Site One Landscape Supply, in the amount of \$10,119.00

NOW, THEREFORE, be it *RESOLVED* the Board of Commissioners of Radnor Township does hereby authorize the purchase of seed and fertilizer from Site One Landscape Supply in the amount of \$10,119.00.

SO RESOLVED this 25th day of February, A.D., 2019

RADNOR TOWNSHIP

By: _____
Name: Lisa Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski
Manager/Secretary

Radnor Township
PROPOSED LEGISLATION

DATE: February 25, 2019
TO: Radnor Township Board of Commissioners
CC: Robert A. Zienkowski, Township Manager
William R. White, Assistant Manager/Finance Director
FROM: Stephen McNelis, Director of Public Works
LEGISLATION: Resolution 2019-10: Purchase of Seed and Fertilizer

LEGISLATIVE HISTORY: The purchase of seed and fertilizer is brought before the Board of Commissioners semi-annually, in the spring and fall.

PURPOSE AND EXPLANATION: The Public Works Department semi-annually applies seed and organic fertilizer to the Township's athletic fields, each spring and fall. The Department wishes to purchase from Site One Landscape Supply, the following for the spring application:

15-3-7 #40 Organic Fertilizer	80 bags @ \$14.40 / bag
Double Eagle Ryegrass Seed Blend	120 bags @ \$74.7255 / bag

TOTAL **\$10,119.00**

IMPLEMENTATION SCHEDULE: Upon Board of Commissioners approval, the seed and fertilizer will be purchased and used this spring.

FISCAL IMPACT: Funding for the seed and fertilizer is in account 01430400-43050.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners to authorize the purchase of seed and fertilizer from Site One Landscape Supply in the amount of \$10,119.00

MOVEMENT OF LEGISLATION: It is being requested that the Board of Commissioners approve the legislation for this project.

Bid



Oaks PA #646
100 Green Tree Road
Oaks, PA 19456
W: (610)666-0595

Bill To:

RADNOR TOWNSHIP (#1228403)
301 MEN AVENUE
WAYNE, PA 19087-5297
W: (610)688-5600

Ship To:

RADNOR TOWNSHIP (#1228403)
301 MEN AVENUE
WAYNE, PA 19087-5297
W: (610)688-5600

Created	Quote#	Due Date	Expected Award Date	Expiration Date
12/12/2018	3916177	01/12/2019	01/12/2019	01/12/2019

Printed	Job Name	Job Description	Job Start Date
02/12/2019 08:30:01	EOP		01/12/2019

Line #	Item #	Item Desc	Qty	Unit Price	Extended Price
1	510028	LESCO Organic/Organic-Base Fertilizer 15-3-7 30% Polyplus 50% Bio 2.5%Fe 40 lb.	80	14.400	1,152.00
2	30-62-950	LESCO Double Eagle Blend (50# bag)	120	74.725	8,967.00

Total Price: \$ 10,119.00

Quoted price is for material only. Applicable sales tax will be charged when invoiced. All product and pricing information is based on the latest information available and is subject to change without notice or obligation.

RESOLUTION NO. 2019-11

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AWARDING THE ANNUAL HEATING, VENTILATING,
AND AIR CONDITIONING MAINTENANCE CONTRACT FOR THE
TOWNSHIP BUILDING, PUBLIC WORKS FACILITY, AND RADNOR
ACTIVITY CENTER TO JJ WHITE, INCORPORATED**

WHEREAS, Radnor Township owns the Municipal Building and the Public Works Facility, and leases the Radnor Activity Center

WHEREAS, Radnor Township is responsible for maintaining the heating, ventilating, and air conditioning systems at the aforementioned buildings

WHEREAS, J.J. White, Incorporated has submitted a cost proposal to perform quarterly preventative maintenance on said HVAC systems at the aforementioned buildings

NOW, THEREFORE, be it *RESOLVED* the Board of Commissioners of Radnor Township does hereby award the annual Heating, Ventilating and Air Conditioning Preventative Maintenance and Repair Contract for the Township Building, Public Works Building, and Radnor Activity Center to J.J. White, Incorporated in the amount of \$15,250

SO RESOLVED this 25th day of February, A.D., 2019

RADNOR TOWNSHIP

By: _____
Name: Lisa Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski
Manager/Secretary

Radnor Township

PROPOSED LEGISLATION

DATE: February 25, 2019

TO: Radnor Township Board of Commissioners

CC: Robert A. Zienkowski, Township Manager
William R. White, Finance Director

FROM: Stephen McNelis, Director of Public Works

LEGISLATION: Resolution 2019-11: Award of the Annual Heating, Ventilating, and Air Conditioning Maintenance and Repair Contract for the Township Building, Public Works Facility, and Radnor Activity Center

LEGISLATIVE HISTORY: Legislation for this service has been before the Board of Commissioners annually since 2014.

PURPOSE AND EXPLANATION: Previously, there were separate contractors used for the preventative maintenance requirements of the heating, ventilating, and air conditioning needs of the Township Building, Public Works Building, and Radnor Activity Center. By soliciting quotations for all three buildings, we gain some advantage of economies of scale, as well as a streamlined process for repairs and emergencies. The contract covers quarterly visits and specific tasks to be performed at each facility. This will aid in keeping the equipment in good operating condition and should reduce emergency repairs.

IMPLEMENTATION SCHEDULE: Upon approval by the Board of Commissioners, a purchase order will be processed and J.J. White, Incorporated will begin the work in March 2019.

FISCAL IMPACT: The total cost of the contract is \$15,250 per year: Township Building - \$12,250 – account 01403B00-44110; Radnor Activity Center - \$1,500 – account 01450300-44310; and the Public Works Facility - \$1,500 – account 01403B003-44110. The invoice will be paid in four, equal, quarterly installments of \$3,812.50.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners Award the Heating, Ventilating, and Air Conditioning Preventative Maintenance Contract for the Township Building, Public Works Building, and Radnor Activity Center to J.J. White, Incorporated in the amount of \$15,250.

MOVEMENT OF LEGISLATION: It is being requested that the Board of Commissioners approve the legislation for this project.



JJ WHITE INCORPORATED*

CONSTRUCTING WITH KNOWLEDGE.
SERVICE WITH INTEGRITY AND SAFETY.®
SINCE 1920

30 January 2019

S19-027

5500 BINGHAM STREET
PHILADELPHIA, PA 19120
TEL: 215-722-1000
FAX: 215-745-6229

E-MAIL: rhale@radnor.org

SUBJECT: PREVENTIVE MAINTENANCE AGREEMENT, (3) - RADNOR TOWNSHIP BLDGS.

Robert Hale
Information Technology Coordinator
Radnor Township
610-688-5600 ext. 105

Dear Mr Hale:

We herewith submit our **Lump Sum Firm Price** for the above referenced project in accordance with your request.

Please see our Attachment "Clarifications".

We trust this proposal will merit your favorable consideration and thank you for the opportunity of bidding on this work.

Very truly yours,

J.J. WHITE, INCORPORATED

James J. White, IV

James J. White, IV
President

JJW/cjm
Attachment

CONSTRUCTION MANAGEMENT
GENERAL & MECHANICAL CONSTRUCTION
HVAC SERVICE / FACILITIES MAINTENANCE & OPERATION
EXCHANGER HYDROBLASTING / EXTRACTION SERVICES
API TANK CONSTRUCTION & REPAIR
ELECTRICAL, SOLAR & RENEWABLE ENERGY

PHILADELPHIA, PA
UPLAND, PA
NEW CASTLE, DE

PREVENTIVE MAINTENANCE AGREEMENT

CLARIFICATIONS:

Our Lump Sum Price is listed in our Customized Service Maintenance Agreement – page no. 6.

This price is **\$15,250.00**

Please note that this proposal does not include costs, procedures, or indemnities with respect to any "Hazardous Substances (including mold)", "Hazardous Wastes", and/or "Hazardous Materials" (collectively, "Hazardous Substances"). This proposal is submitted with the express assumption that J.J. White, Inc. shall not encounter nor be responsible for any Hazardous Substances that exist on the Buyer's property or operations. Should J.J. White, Inc. encounter any such Hazardous Substances during the performance of the work pursuant to this Agreement, J.J. White, Inc. reserves the right to cease work until such time as Buyer and J.J. White mutually agree upon a lawful, cost-effective and efficient process to address such Hazardous Substances, including necessary worker and environmental protections.

Our price does not include any consideration for consequential and/or liquidated damages, either written or implied.

Our Price is Based On:

- Performing our maintenance inspections per our attached tasking list which states the frequency of inspections and the task(s) to perform.
- Providing maintenance materials (i.e.: filters, belts, coil cleaner, etc.) to perform our inspections. It does not include equipment replacement parts.
- Providing the customer with a comprehensive report of our maintenance inspections with a list of suggested repairs if applicable. If required, these repairs can be performed on a T & M basis or quoted out for your review.
- Providing new filters during inspection and (1) belt change & coil cleaning annually. This is the industry standard and manufactures recommended preventive maintenance schedule.

Our Price Does Not Include:

- Working overtime, Saturday, and/or Sunday.
- Normal working hours are as follows-Monday thru Friday from 7:00am to 3:30pm.

CONFIDENTIALITY NOTICE: THE CONTENTS OF THIS QUOTATION ARE CONFIDENTIAL, INTENDED ONLY FOR THE USE OF THE ADDRESSEE SHOWN ABOVE, AND ARE NOT TO BE DISCLOSED TO THIRD PARTIES.



J J WHITE INCORPORATED

CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

PREPARED FOR:

Mr. Robert Hale
Radnor Township
301 Iven Ave.
Wayne PA, 19087

EQUIPMENT LOCATION:

Radnor Township
1. Township Building
2. Sulpizio Gym
3. Township Garage

Quality Service and Dependability Since 1920

PRESENTED BY: Mr. Chris Mars

DATE: January 30, 2019

JJW PROPOSAL NO.: S19-027

5500 Bingham Street
Philadelphia, PA. 19120
(215) 722-1000



J J WHITE INCORPORATED CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

We hereby propose to furnish J J White Customized Service and Maintenance on the equipment listed in attached list.

Coverage Type: "Preventive Maintenance Routine Inspections" as described in our "Tasking List".

Included:

- Please see attached tasking list.
- We'll provide the following supplies per our tasking list:
 - Oil for fans and motor bearings, grease, and filters. Belts will be provided and replaced annually.
- Prepare system(s) for summer operation at the beginning of cooling season. Provide annual cleaning of condenser coils.
- Prepare boiler system(s) and check HVAC equipment for winter operation.
- Prepare Cooling tower(s) and HVAC equipment for winter operation.
- Provide labor and materials for changing filters during each inspection.
- Four mechanical inspections per year. We'll provide recommendations of repairs and/or replacements if necessary. This will be provided in a written report for your review.
- A mutually agreed upon check list will be utilized for all inspections.
- All repair labor and material on a T and M basis.
- Customer to provide dumpster for used filters.

Note: Labor repair rates and emergency service 24 hours a day, 7 days a week are as follows:

Straight Time: **\$ 107.00** per hour
 Overtime: **\$ 160.50** per hour
 Double Time: **\$ 214.00** per hour

Our mark-up percentage for materials, subcontractors, and 3rd party rentals is 15%.

The above rates include the HVAC service van equipped with all standard HVAC tools.

Inspection Schedule: To be determined by customer

Under J. J. White Customized Service and Maintenance, we will systematically inspect and report as to the condition of your equipment on the following schedule. **Note:** This can be modified at the owner's request.

JAN	FEB	MAR	APR	MAY	JUNE	JULY	AUG	SEPT	OCT	NOV	DEC
	X			X				X			X

X - Denotes scheduled inspection.

A detailed report for each inspection will be issued to owner or owner's representative. This report will include equipment log readings, a report on the condition of those items inspected, a list of needed repairs, and recommendations.

J J WHITE INCORPORATED
CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT
TASKING LIST

1. Report in with the customer representative
 2. Record and report abnormal conditions, measurements taken, etc.
 3. Review customer logs with the customer for operational problems and trends.
- **Split System Unit(s):**
 - Check suction and discharge pressure.
 - Visually inspect units for refrigeration leaks.
 - Lubricate motor and fan bearings.
 - Check Pulleys for wear. Verify proper motor(s) operation.
 - Check refrigerant charge at site glass.
 - Check electrical connections, torque as needed.
 - Check fans and fan drive alignment.
 - Clean outside air intake screens and check dampers.
 - Inspect all coils for cleanliness.
 - Check condensate drain pan and drain, clean as needed.
 - Replace belts.
 - Verify proper operation sequence.
 - Check contactors for wear.
 - Replace air filters.
 - Check for unusual noise or vibration.
 - Check integrity of the heat exchanger.
 - Check burners, igniters, and burner controls including safeties.
 - Power wash condenser coils annually.
 - **Water Source Heat Pump Units:**
 - Check drive pulleys for wear. Replace belt(s) annually if applicable.
 - Verify proper condenser water flow.
 - Verify proper refrigerant charges.
 - Check electrical connections, torque connections if necessary.
 - Lubricate motor(s) and bearings as necessary.
 - Replace air filters.
 - Check condensate drain and pan, clean as needed.
 - Check for unusual noise and vibration.
 - Verify proper operating sequence.
 - **Rooftop Package Unit:**
 - Check suction and discharge pressure.
 - Visually inspect units for refrigeration leaks.
 - Lubricate motor and fan bearings.
 - Check Pulleys for wear. Verify proper motor(s) operation.
 - Check refrigerant charge at site glass.
 - Check electrical connections, torque as needed.
 - Check fans and fan drive alignment.
 - Clean outside air intake screens and check dampers.
 - Inspect all coils for cleanliness.
 - Check condensate drain pan and drain, clean as needed.
 - Replace belt(s) annually.
 - Verify proper operation sequence.
 - Verify operation of crank case heater.

- Check contactors for wear.
 - Replace air filters.
 - Check for unusual noise or vibration.
 - Check integrity of the heat exchanger.
 - Check burners, igniters, and burner controls including safeties.
 - Power wash condenser coils annually.
- **Exhaust Fan:**
 - Replace belt(s) annually.
 - Check operation of motor and dampers.
 - Check bearing and lubricate if necessary.
- **Hanging Heaters**
 - Visually inspect heat exchangers.
 - Inspect blower motor and drive sheaves.
 - Check burners, igniters, and burner controls including safeties.
 - Verify operation.
 - Check flue to ensure proper draft.
 - Replace belt(s) annually.

Summer Change Over:

- **Cooling tower:**
 - Clean tower strainer and inspect for wear.
 - Clean tower sump and inspect for leaks.
 - Check spray nozzles and inspect for damage.
 - Remove and clean tower pump strainer.
 - Lubricate motor(s) and bearings.
 - Check drive pulleys for wear. Replace belt(s) annually.
 - Fill tower and verify operation of tower fill, tower pump, and tower fan.

Winter Change Over:

- **Boiler and Burner:**
 - Brush clean fire-side of boiler.
 - Check operation of pilot assemble. Remove parts as need to clean or adjust.
 - Check electrical connections and torque if necessary.
 - Check boiler for proper water levels and bleed out all air if necessary.
 - Verify operation of all safeties associated with the boiler.
 - Blow down boilers. Remove covers and clean out all low water cutoffs.
 - Lubricate and check operation of the boiler pump.
 - Check boiler controls and verify proper settings and sequence of events.
 - Check gas pressures and verify pressures are in recommended range.
 - Perform combustion test. Verify boiler is running at maximum efficiency or determine adjustments that need to be made to achieve maximum efficiency.
- **Cooling Tower:**
- **If Cooling tower needs to be drained:**
 - Drain and winterize cooling tower.
 - Shut down all associate equipment.
- **If Cooling tower does not need to be drained:**
 - Verify operation of all safeties.
 - Verify operation of heaters.
 - Verify operation of control and settings.



J J WHITE INCORPORATED
CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT
EQUIPMENT OPTIONS SCHEDULE

	Included	Omitted
1. <u>Air Filter Service</u> Furnish labor and Material to change air handling unit Filters up to <u>4</u> times a year.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. <u>Analysis Services</u> Furnish annual chemical analysis and report on: <input type="checkbox"/> Compressor oil <input type="checkbox"/> refrigerant <input type="checkbox"/> condenser water.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3. <u>Water Treatment</u> Furnish complete water treatment service including chemicals for condenser water circuit.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
4. <u>Condenser / Chilled Water Circuit</u> Furnish coverage for condenser and chilled water pumps, motors, and starters.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. <u>Tube Cleaning</u> Conduct annual visual tube inspection of condenser tubes and mechanically brush clean up to once per year.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
6. <u>Emergency Service</u> Furnish emergency service between regular inspections. Service to be billed at agreed upon rates.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7. <u>Seasonal Inspection</u> Conduct an Annual Season Inspection including annual maintenance requirements per the Schedule "A"	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8. <u>Air Handling Units</u> Furnish coverage for air handling units including coils, Blowers, motors, starters, and belts.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
9. <u>Eddy Current Tube Testing</u> Conduct electronic analysis of condenser/cooler tubes for detection of wear, pitting, and corrosion.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
10. <u>Non-moving Parts Coverage</u> Furnish coverage on non-moving parts such as tubes, stators, shells, etc.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
11. <u>Parts Coverage</u> Under this agreement, we will furnish all necessary repair and renewal parts and lubricants required to maintain the equipment in good operating condition. These items furnished at no extra cost.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
12. <u>Labor Coverage</u> Under this agreement, we will furnish all necessary labor, during regular working hours, to install repair parts, make necessary adjustments, and to keep the equipment operating efficiently.	<input type="checkbox"/>	<input checked="" type="checkbox"/>



J J WHITE INCORPORATED
CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT
SCHEDULE – “A”
(EQUIPMENT COVERED)

NOTE: Items/equipment not listed above are excluded.

Township Building

Item #:	Qty.	System Components	Manufacturer	Model No.	Serial No.	Location
1	4	RTU	Multiple	Multiple	Multiple	Roof
2	50	Heat Pumps	Trane	Multiple	Multiple	Multiple
3	2	ERU	Semco	Multiple	Multiple	Roof
4	3	Split Systems	Trane	Multiple	Multiple	Multiple
5	2	Exhaust Fan	Trane	Multiple	Multiple	Roof
6	1	Hepa		---	---	Mech. Room
7	1	Boiler/Pumps	Raypack	---	---	Mech. Room
8	1	Cooling Tower	Evapco	---	---	Outside
9	1	Duct-less Split	Sanyo			Generator Closet
10	8	Electric heaters				Entrances
11	2	Heating Water Pumps				Boiler Room
12	1	Condenser Water Pump				Sally Port Mech. Rm.
13	1	Exhaust System				Sally Port Mech. Rm.

Sulpizio Gym

Item #:	Qty.	System Components	Manufacturer	Model No.	Serial No.	Location
1	4	RTU	Trane	Multiple	Multiple	Roof
2	1	Exhaust Fan	Trane	---	---	Roof
3	1	Water Heater	Bradford White	---	---	Mech. Room

Township Garage

Item #:	Qty.	System Components	Manufacturer	Model No.	Serial No.	Location
1	27	Heaters	Reznor	NA	NA	Multiple
2	7	Exhaust Fans	NA	NA	NA	Multiple
3	1	Split System	Trane	NA	NA	Bldg. 3



J J WHITE INCORPORATED CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

Price and Payment Terms

The total price for J. J. White's Customized Service Agreement during the term of this agreement is **\$15,250** per year.

Cost per Building:

Radnor Township Building (301 Iven Ave., Wayne PA 19087) = **\$12,250.00**
Sulpizio Gym (125 S. Wayne Ave., Wayne PA 19087) = **\$1,500.00**
Township Garage (235 E. Lancaster Ave., Wayne PA 19087) = **\$1,500.00**

This amount will be paid to J. J. White, Incorporated in four (4) installments of **\$3,812.50**

These payments will be due and payable when the customer receives the J. J. White, Incorporated invoice and after the services J. J. White Incorporated is complete.

Additional Terms and Conditions follow:

The term of this agreement is

January 1, 2019 through December 31, 2019.

Dated Submitted: January 30, 2019

Respectfully Submitted by:

Mr. Chris Mars, HVAC Operations Manager
J. J. White, Incorporated
C: 215-620-0545
cmars@jjwhiteinc.com

Accepted by:

By: _____

Title: _____

Date: _____

This agreement is subject to approval of an authorized J J White, Incorporated representative.



J J WHITE INCORPORATED **CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT**

OFFER AND ACCEPTANCE: J. J. White Incorporated (White) offers to sell the materials, equipment and services indicated in strict accordance with the terms and conditions stated herein. Submittal of a Purchase Order or execution of this offer by Buyer, or allowing White to commence work shall be deemed an acceptance of this offer, which offer and acceptance shall constitute a legally enforceable contract between Buyer and White. Any additional or differing terms and conditions contained on Buyer's Purchase Order (whether or not such terms materially alter this offer) are hereby rejected by White and shall not become part of the contract between Buyer and White unless expressly consented to in writing by White. This offer is subject to acceptance within 30 days after date and is based on all work being performed during regular working hours. It shall be noted that the work set forth in coverage type above shall be performed between the hours of 8:00 A.M. and 4:30 P.M., on regular working days. All inspection and preventive maintenance work, repair work and emergency service calls required by the customer hereunder after regular working hours, Saturdays, Sundays and holidays shall be invoiced at regular overtime rates, unless indicated otherwise hereafter. All hours actually worked in performing emergency service, same day service calls, and after hour service or emergency call-ins will be billed including travel time portal to portal during this schedule. Any alterations, additions, adjustments or repairs made by others to the equipment set forth in Schedule "A" unless authorized by us shall terminate our obligation hereunder, and we shall be paid all sums due us as of that time.

ACCESS: In order to permit us to perform our obligations under this agreement you will provide ready access to the equipment.

REPAIR: All repair and replacement parts furnished hereunder will be only those recommended by the manufacturer of the equipment covered by this agreement. If such repair and replacement parts become unavailable from the original manufacturer our obligation to obtain such parts shall cease and customer shall have the option to cancel this agreement on a pro rata basis at such time. This agreement does not include the complete replacement of condensing units, evaporative condensers, cooling towers, air handler, chillers or any other major system components.

(a) White Customized Service and Maintenance furnished hereunder shall not include the normal function of starting and stopping the subject equipment, which function includes the opening and closing of valves, dampers or regulators normally installed to protect the equipment against damage, nor does it include the defrosting of evaporators.

(b) If our company is required to make repairs and/or replacements or emergency calls occasioned by improper operation, negligence or misuse of the equipment or due to any cause beyond our control, except ordinary wear and tear, you shall reimburse us for the expense incurred in making such repairs and/or replacements or emergency calls in accordance with our current established rates for performing such services. White shall not be required to furnish any items of equipment, parts or materials which are recommended by insurance companies or governmental agencies or instrumentalities nor does White assume any responsibility for deficiencies of due to any cause beyond our control, except ordinary wear and tear, you shall reimburse us for the expense incurred in making such repairs and/or replacements or system design and resulting lack of system performance.

(c) White shall not nor shall we assume any liability for the repair cost of damage to heat exchangers serving heating or cooling including waterside, airside or refrigerant side. We shall not be liable for repairs to any components of non-metallic cooling towers except motor, fan drives or blades.

(d) This agreement does not include air conditioning ductwork, grilles, registers and diffusers; balancing of air and water flow; electrical disconnect switches and circuit breakers; recording or portable instruments, gauges or thermometers; repairs to any piping other than exposed refrigerant piping; repairs to exposed equipment damage due to freezing; cleaning of water cooled condensers more than once a year; maintaining the appearance of decorative casings or cabinets; or repairs to electrical power or control wiring unless mounted on, or inside subject equipment. The furnishing of water treatment is not included in this agreement unless specifically noted hereafter.

(e) In the case of refrigeration systems such as walk-in-boxes, reach-in-boxes, etc., this agreement also does not include the repair or replacement of hardware such as door handles, closing mechanisms or related parts thereof, or repair or replacement of door, cabinets or cover of gaskets, or repairs or replacement of walk-in-box structural components or insulation.

PRE-EXISTING CONDITIONS: This agreement specifically contemplates that at the time of its execution all major system components of the equipment set forth in Schedule "A" are in normal operating condition. Within thirty (30) days of initial inspection of the equipment in normal operation, White, shall advise the customer of the discovery of any malfunctions or deficiencies of system components and submit recommendations of corrective measures to be made at the customer's expense in addition to the price provided under payment terms. Upon customer approval of the recommended corrective measures and the accomplishment thereof, White, will assume responsibility for the system as specified in Schedule "A".

TERMS: Terms of Payment for goods shipped and/or services rendered hereunder shall be NET on RECEIPT of INVOICE. White reserves the right to add to any account outstanding more than thirty (30) days a charge of one and one-half (1 1/2%) percent of the principal amount due at the end of each thirty (30) day period. This agreement shall remain in effect for one (1) year from date of approval by White and shall continue from year to year, unless at least thirty (30) days prior to any anniversary of the date of approval of this agreement either party shall give written notice to the other of their intention to change the terms of or terminate the agreement. Neither party shall be liable in any manner whatsoever to the other on account of such termination. White reserves the right to terminate this agreement at its option at any time the customer fails to make payment when due as provided in under payment term above, or if customer fails to pay any other costs and expenses incurred for additional material or labor supplied by White. Customer may not, including by operation of law, assign the Customized Service and Maintenance Agreement without prior written consent of White.

HAZARDOUS WASTE: Hazardous wastes remain the property and the responsibility of the customer even when removed from the equipment or replaced by White as provided by the terms of this agreement. The customer shall be responsible for the proper storage and disposal of hazardous wastes. This includes, but not limited to, used oil, contaminated or uncontaminated refrigerant, and PCB's.

INVOICING: White reserves the right to issue partial or complete invoices as material is furnished and as services are rendered.



J J WHITE INCORPORATED CUSTOMIZED SERVICE AND MAINTENANCE AGREEMENT

PERFORMANCE: White shall not be liable for failure to ship or delays in delivery of equipment or performance of services hereunder where such failure or delay is due to the disapproval of the White Credit Department, or due to strikes, fire, accidents, national emergency, failure to secure materials from the usual sources of supply, or any other circumstance beyond the control of White, whether of the class of causes enumerated above or not, which shall prevent White from making deliveries or performing services in the usual course of business. In the event of the disapproval of the White Credit Department or the occurrence of any of the above, White may, at its sole option, cancel Buyer's Purchase Order without any liability on the part of White. Alternatively, White may extend the time for its performance by a period equal to the duration of the cause underlying White's failure or delay. Receipt of the equipment or services by Buyer upon its delivery shall constitute a waiver of all claims for delay.

TAXES: Prices quoted are exclusive of taxes. The amount of any present or any future occupation, sales, use service, excise or other similar tax which White shall be liable for either on its own behalf or on behalf of the Buyer, with respect to any order for machinery or services, shall be in addition to the billing prices and be paid by the Buyer.

WARRANTY: White guarantees service work and all materials of White manufacture against defects in workmanship and material for 90 days from date of completion of the work and will repair or replace F.O.B. point of manufacture or shipment such products or components as White finds defective. This warranty does not include the cost of labor to remove or reinstall any defective components, nor does this warranty include cost of handling, shipping or transportation involved in supplying replacements for defective components. This warranty does not include the replacement of refrigerant lost from the system after completion of the work. On machinery and materials furnished by White, but manufactured by others, White will extend the same guarantee it receives from the manufacturer.

THE WARRANTY AND LIABILITY SET FORTH ABOVE ARE IN LIEU OF ALL OTHER WARRANTIES AND LIABILITIES, EXPRESS OR IMPLIED, IN LAW OR IN ACT, INCLUDING THE WARRANTIES OF MERCHANTABILITY AND FITNESS FOR A PARTICULAR PURPOSE. THE WARRANTIES CONTAINED HEREIN SET FORTH BUYER'S SOLE AND EXCLUSIVE REMEDY IN THE EVENT OF A DEFECT IN WORKMANSHIP OR MATERIALS.

PATENTS: If there is brought against the Buyer any suit or proceeding based on a claim that an apparatus, or any part thereof, furnished under this contract constitutes an infringement of any patent of the United States, White, if notified promptly in writing and given authority, information and assistance by the Buyer for the defense of same, will defend same and pay all expenses and costs which may be awarded therein against the Buyer. In the event that the Buyer has complied with the conditions just stated and the apparatus, or any part thereof, is held to constitute infringements and its use is enjoined, White, in lieu of all others liability except as above state, will, at its own expense, either procure for the Buyer the right to continue using said apparatus, or replace same with non-infringing apparatus, or modify it so it becomes non-infringing, or remove said apparatus and refund the purchase price thereof, but White's liability shall in no case exceed the purchase price of said infringing apparatus.

LIMITATION OF LIABILITY: All claims, causes of action or legal proceedings against White arising from White's performance under this contract must be commenced by Buyer within the express warranty period specified under paragraph Warranty hereof. Failure to commence any such claim, cause of action or legal proceeding within such period shall constitute a voluntary and knowing waiver thereof by Buyer. IN NO EVENT SHALL WHITE'S LIABILITY FOR DIRECT OR COMPENSATORY DAMAGES EXCEED THE PAYMENTS RECEIVED BY WHITE FROM BUYER UNDER THE INSTANT CONTRACT, NOR SHALL WHITE BE LIABLE FOR ANY SPECIAL, INCIDENTAL OR CONSEQUENTIAL DAMAGES. THESE LIMITATIONS ON DAMAGES SHALL APPLY UNDER ALL THEORIES OF LIABILITY OR CAUSES OF ACTION, INCLUDING BUT NOT LIMITED TO CONTRACT, WARRANTY, TORT OR STRICT LIABILITY.

DELIVERY: Shipping dates are approximate only. No shipping date requested or specified by Buyer will be binding on White unless such request of specification is specifically agreed to in writing by an officer of White. Shipment shall be F.O.B. Factory, with title passing to Buyer upon delivery to the carrier by White.

CANCELLATION: White reserves the right to collect cancellation charges (including but not limited to all costs and expenses incurred, plus reasonable overhead and profit against any cancelled order).

DISPUTES AND CHOICE OF LAWS: This contract shall be deemed to have been entered into and shall be governed by the laws of the Commonwealth of Pennsylvania. All claims, disputes and controversies arising out of or relating to this contract, or the breach thereof shall, in lieu of court action, be submitted to arbitration in accordance with the Commercial Arbitration Rules of the American Arbitration Association, and any judgment upon the award rendered by the arbitrator(s) may be entered in any court having jurisdiction thereof. The site of the arbitration shall be, Pennsylvania, unless another site is mutually agreed between the parties. The parties agree that any party to the arbitration shall be entitled to discovery of the other party as provided by the Federal Rules of Civil Procedure; provided, however, that any such discovery shall be completed within four (4) months from the date of Demand for Arbitration is filed with the American Arbitration Association.

COSTS TO WHITE: In the event it becomes necessary for White to incur any costs or expenses in the collection of monies due White from the Buyer, or to enforce any of its rights or privileges hereunder, Buyer, upon demand shall reimburse White for all such costs and expenses (including, but not limited to, reasonable attorney's fees).

ENTIRE AGREEMENT: These terms and conditions, and the matter set forth on the face of White's offer to sell, constitute the entire agreement between White and Buyer. No course of dealings or performance or prior, concurrent or subsequent understandings, agreements or representations become part of this contract unless expressly agreed to in writing by an authorized representative of White.

Radnor Township
PROPOSED MOTION

DATE: February 25, 2019

TO: Radnor Township Board of Commissioners

CC: Robert A. Zienkowski, Township Manager
William R. White, Assistant Township Manager/Finance Director

FROM: Stephen McNelis, Director of Public Works

LEGISLATION: Motion to Authorize the Sale of Surplus Township Vehicles & Equipment

LEGISLATIVE HISTORY: The Public Works Department annually clears the fleet of vehicles and equipment that are being replaced through the capital equipment program.

PURPOSE AND EXPLANATION: The Public Works Department is requesting to place the vehicle as outlined below at J.J. Kane Public Auction and/or Carriage Trade Auto Auctions:

Number	Description	VIN	Reserve Price (\$)
35	2001 International Sanitation Truck	1HTSHAATO1H330596	1000

IMPLEMENTATION SCHEDULE: This vehicle will be auctioned at the next available auction.

FISCAL IMPACT: The Township will receive revenue, in the aggregate of the minimum reserves.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners to approve the Motion for Clearance of Surplus Township Vehicles and Equipment.

RESOLUTION NO. 2019-12

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE
COUNTY, PENNSYLVANIA, AUTHORIZING THE
RECEIPT OF SEALED BIDS FOR THE BIG TREE
PROGRAM**

WHEREAS, Radnor Township administers the Big Tree Program which is funded by Chanticleer and the Shade Tree Fund

WHEREAS, the Big Tree Program plants trees in Township Rights of Way and Parks to provide tree canopy for future generations

WHEREAS, the Shade Tree Commission and staff are respectfully requesting to receive sealed bids for the Big Tree Program

NOW, THEREFORE, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby authorize the receipt of sealed bids by the Engineering Department for the Big Tree Program

SO RESOLVED this 25th day of February, A.D., 2019

RADNOR TOWNSHIP

By: _____
Name: Lisa Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski
Manager/Secretary

Radnor Township
PROPOSED LEGISLATION

DATE: February 19, 2019

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Finance Director/Assistant Manager
Tammy S. Cohen, Director of Recreation and Community Programming
Eileen Brett, Chairperson, Shade Tree Commission

LEGISLATION: Resolution #2019-12: Authorizing the Receipt of Sealed Bids for the Big Tree Planting Program

LEGISLATIVE HISTORY: The Big Tree Program is an annual program and is before the Commissioners annually.

PURPOSE AND EXPLANATION: This year's Big Tree Program entails the planting of fifty to seventy-five trees (actual number to be determined) in Township streets Rights of Ways and possibly Parks. Shade Tree Commission members, the Township Arborist, and Staff work to determine areas that are in need of trees, areas where hazardous trees have been removed, and possibly Township Parks. The Shade Tree Commission will work with Tammy Cohen regarding any possible tree plantings in the parks.

IMPLEMENTATION SCHEDULE: Upon approval by the Board of Commissioners, the bid package will be posted on Penn BID. It is anticipated that the request for award will be back before the Commissioners at the April 8th, regularly scheduled Board of Commissioners meeting. Planting will take place in the spring of this year.

FISCAL IMPACT: The entire cost of the project is funded by the Chanticleer donations and Shade Tree Funds, account #01-453-4251.

RECOMMENDED ACTION: *I respectfully request the Board of Commissioners authorize the Receipt of Sealed Bids for the Big Tree Planting Program*

MOVEMENT OF LEGISLATION: It is being requested the Board of Commissioners authorize the receipt of sealed bids for this project.

Public Participation

Appointments to Various Boards and Commissions

Vacancies on Various Boards & Commissions

<p>CARFAC 4-year term 5 Vacancies</p>	<p>Stormwater Management Advisory Committee 3-year term 4 Vacancies</p>
<p>Code Appeals Board 5-year term 1 Vacancy <i>Requirements: Master Plumber General Contractor</i></p>	<p>Zoning Hearing Board 1 Vacancy – unexpired term 12/31/2020</p>
<p>Radnor-Haverford-Marple Sewer Authority 5-year term 1 Vacancy</p>	

Resolution 2019-08
Resolution for Radnor Township
A Vision For A 100% Clean Renewable Energy Future

WHEREAS, Climate change threatens the long-term survival of life on the planet;

WHEREAS, Extreme weather associated with climate change poses immediate and growing risks to communities, including testing our infrastructure, emergency and social services; impacting our access to food, water and energy supplies; heightening disruption of services, commerce and quality of life; and harming property and health;

WHEREAS, according to the United Nations Panel on Climate Change, society must reduce total CO₂ emissions 45 percent by 2030 and must secure carbon neutrality by 2050 to limit global temperature rise to 1.5 degrees Celsius, thereby decreasing the likelihood of catastrophic change undermining economic, natural, and social systems;

WHEREAS, Reliance on fossil fuels for power and transportation adds particulate matter to the environment that threatens the health of people, especially those with respiratory and cardiac conditions including asthma and heart attacks; carbon dioxide emissions are the primary greenhouse gas emitted by human activities, and combustion of fossil fuels for energy is the primary source of carbon dioxide emissions;

WHEREAS, Climate change effects are becoming more severe, including: rising temperatures which threaten human health, especially of vulnerable populations including elders and young children; more frequent dramatic weather patterns including storms associated with flooding that tax the capacity of our first responders to protect the safety of the population and also disrupt sanitation systems, exacerbating the risk of epidemics of infectious diseases; and changes in the geographic distribution of flora and fauna, including vectors that increasingly transmit tropical infectious diseases in what used to be temperate areas;

WHEREAS, Additional risks posed by climate change to public health and safety include altered agricultural yields, which lead to marked increases in food prices, threatening the nutritional health of people in low-income and fixed-income households; and vulnerable populations, particularly those living in low-income and fixed-income households are placed at greater risk by rising costs of household energy, fuel, food, and the burden of care for health threats;

WHEREAS, The Radnor Township Board of Commissioners has previously demonstrated its commitment to advancing local climate solutions, with its 2007 endorsement of the Mayor's Climate Protection Agreement, the adoption and initial implementation of the Greenhouse Gas Action Plan in 2012, including shifting to 100% renewable energy generation for the Township's electrical needs initiated by Radnor Township's Environmental Advisory Council's Green Procurement and Sustainable Practices Policy Team;

WHEREAS, A renewable energy initiative can produce energy cost savings for residents and local businesses while stimulating new economic activity and local jobs while providing life-protecting benefits for everyone;

AND, in order to ensure that Radnor Township continues to be a community characterized by health, safety, livability, prosperity and equity;

The Radnor Township Board of Commissioners resolves that:

- Radnor Township joins other leading towns and cities in committing to transition to 100% clean and renewable energy community-wide, and to complete this transition for 100% clean renewable electricity by 2035 and 100% renewable energy for heat and transportation by 2050;
- A task force will be convened, in coordination with Township staff and the Environmental Advisory Council, to oversee the preparation of an Energy Transition Plan for achieving these goals, to be completed by April 22, 2020 [Earth Day – or TBD and to include interim milestones, financial impacts, equity metrics, potential financing mechanisms and the percentage of clean energy that is locally produced;
- The clean renewable energy will be defined as carbon-free and pollution-free energy generated sustainably from renewable sources such as wind, solar, small hydro, tidal, fuel cells and geothermal;
- All Radnor Township stakeholders, both institutional and individual, will have the opportunity and will be encouraged to participate in the planning and implementation process;
- Radnor Township will pursue cost-effective measures for planning and implementation, including collaboration with neighboring municipalities and seeking grant opportunities;
- The Radnor Township Board of Commissioners will call on the State of Pennsylvania to set a goal to transition to 100% renewable energy for all purposes no later than 2050, and to pursue additional measures to advance the transition to renewable energy sources and to increase the efficiency of buildings and appliances;
- The Radnor Township Board of Commissioners will call on the United States Congress to enact sound, effective legislation with well-established economic benefits to put the United States on track to meet the above 100% renewable energy goals.

SO RESOLVED, this 11th day of February, 2019.

RADNOR TOWNSHIP

By: _____

Name: Lisa Borowski

Title: President

ATTEST: _____
Robert A. Zienkowski, Township Manager/Secretary

LISA BOROWSKI
President

LUCAS A. CLARK, ESQ.
Vice President

JAKE ABEL

RICHARD F. BOOKER, ESQ.

SEAN FARHY

JOHN NAGLE

JOHN A. LARKIN, ESQ.



RADNOR TOWNSHIP
301 IVEN AVENUE
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600

Fax (610) 688-1279

www.radnor.com

ROBERT A. ZIENKOWSKI
Township Manager
Township Secretary

JOHN B. RICE, ESQ.
Solicitor

KATHRYN GARTLAND
Treasurer

Radnor Township Board of Commissioners

January 23, 2019

Dear Commissioners,

The Radnor Environmental Advisory Council (EAC) supports the proposal to join the Sierra Club's Ready for 100 initiative and make a commitment to transition to 100% renewable energy.

It is well established that anthropogenic climate change is already creating severe environmental, health, and economic impacts on our communities. Non-renewable energy production is one of the leading contributors to this trend. Recent technological developments have made it possible to make a full transition to renewable energy in a way that is economically advantageous. Making this transition quickly is our best opportunity to reduce climate change risks now and for the benefit of future generations.

Radnor Township has demonstrated its commitment to reducing climate change by partnering with the EAC on various initiatives in the past, including the green power purchasing and transportation fleet renewal initiatives. We believe the Township has an important leadership role to play in helping the entire community transition to renewable energy by reducing market barriers and supporting education and awareness of the opportunity to participate.

The EAC commits to working with the Township to make Ready for 100 a reality. We urge you to endorse this program.

Yours sincerely,

A handwritten signature in black ink, appearing to read "M. Holtman".

Matthew C. Holtman, PhD
Chair, Environmental Advisory Council

1-28-19

Dear Bob Zienkowski:

As the Chair of the Radnor Board of Health (BOH), I would like highly recommend the Radnor "Ready for 100" which is a vision for 100% clean renewable energy for the future and I would like the support and approval from yourself and the Radnor Township Board of Commissioners (BOC).

Ready for 100 advocates for 100% clean renewable energy in all of our communities for future better health. Below is a link to a succinct flyer from the Sierra Club on the relationship between "Ready for 100" and public health.

<https://www.sierraclub.org/sites/www.sierraclub.org/files/uploads-wysiwig/CleanEnergyHealth.pdf>

On January 8th 2019 the Radnor BOH voted on the "Ready for 100" proposal and it was unanimously approved along with Commissioner Nagle. This resolution has been adopted by Haverford Township with Swarthmore, Media, Prospect Park, Upper Darby, and Newtown townships which are in process of passing their resolutions. Additionally, our neighbor, Tredyffrin, although in Chester County, is also working toward bringing the resolution to their government as well.

Attached is an example from the Environmental Action Committee (EAC) which is a general form that other townships have used with "Radnor Township" inserted which could be used if approved by the BOC. It outlines the impact of current and future climate changes, the risks to public health and lists specific steps that the BOC can institute to limit climate change.

If the resolution is approved, a task force would be convened in coordination with the township staff and an environmental advisory council to oversee the preparation of an Energy transition plan for achieving these goals, to be completed by April 22, 2020.

We are hoping that the BOC will vote yes and approve this important initiative for our township residents and future generations.

Sincerely,

Linda C Schanne MSN, RN-BC, CEN, CCRN
Chair Radnor Township BOH

Presentation -
Recognizing and
Celebrating the Month of
February as Black History
Month

Willows Park Preserve Presentation

ORDINANCE NO. 2019-01

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AMENDING THE CODE OF THE TOWNSHIP OF
RADNOR, CHAPTER 270, SECTION 270-28 PARKING PROHIBITED AT
ALL TIMES**

The Board of Commissioners of the Township of Radnor does hereby ENACT and ORDAIN the following amendment to Chapter 270 as follows:

Section 1. Section 270-28. Parking prohibited at all times.

No person shall park a vehicle at any time upon any of the streets or parts thereof described below.

Name of Street	Side	Location
Radnor Avenue	West	30 feet from the fire hydrant located on Conestoga Road at Radnor Avenue

Section 2. Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

Section 3. Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

Section 4. Effective Date. This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

ENACTED and *ORDAINED* this ____ day of _____, 2019.

RADNOR TOWNSHIP

By: _____
Name: Lisa A. Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski, Secretary

MARY C. EBERLE
JOHN B. RICE
DIANNE C. MAGEE *
DALE EDWARD CAYA
DAVID P. CARO ♦
DANIEL J. PACI ♦ †
JONATHAN J. REISS ◊
GREGORY E. GRIM †
PETER NELSON *
PATRICK M. ARMSTRONG
SEAN M. GRESH
KELLY L. EBERLE *
JOEL STEINMAN
MATTHEW E. HOOVER
COLBY S. GRIM
MICHAEL K. MARTIN
JULIEANNE E. BATEMAN
MITCHELL H. BAYLARIAN
IAN W. PELTZMAN
WILLIAM D. OETINGER

* ALSO ADMITTED IN NEW JERSEY
◊ ALSO ADMITTED IN NEW YORK
† MASTERS IN TAXATION
♦ ALSO A CERTIFIED PUBLIC ACCOUNTANT

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GRIM & GRIM AND BIEHN & THATCHER
ESTABLISHED 1895 AND 1956,
RESPECTIVELY
124TH ANNIVERSARY 1895-2019

www.grimlaw.com

John B. Rice
e-mail: jrice@grimlaw.com

J. LAWRENCE GRIM, JR., OF COUNSEL
JOHN FREDERIC GRIM, OF COUNSEL
104 S. SIXTH STREET
P.O. BOX 215
PERKASIE, PA. 18944-0215
(215) 257-6811
FAX (215) 257-5374
(215) 536-1200
FAX (215) 538-9588
(215) 348-2199
FAX (215) 348-2520

February 13, 2019

SENT VIA ELECTRONIC CORRESPONDENCE

Delaware County Daily Times
Attn: Legal Department
500 Mildred Avenue
Primos, PA 19018

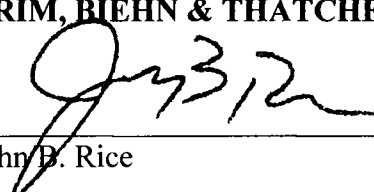
Re: Radnor Township – Traffic Ordinance Amendment – Radnor Avenue

Dear Legal Department:

Enclosed please find for advertisement one (1) time in the February 15th edition of your newspaper, a Legal Notice for the possible enactment of the above ordinance by the Board of Commissioners of Radnor Township at their meeting on February 25, 2019. Kindly provide proof of publication and your invoice for the advertisement directly to Radnor Township, c/o Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087. A full copy of the text of the ordinance is enclosed for public inspection. If you have any questions regarding the enclosed, please do not hesitate to contact my office.

Sincerely,

GRIM, BIEHN & THATCHER

By: 
John B. Rice

JBR/hlp
Enclosure

cc: Robert A. Zienkowski (w/encl.) – via email
Jennifer DeStefano (w/encl.) – via email

LEGAL NOTICE

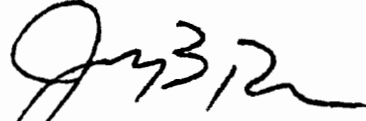
Notice is hereby given that the Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, will consider for possible enactment an ordinance, of which this Notice is a summary, amending Chapter 270 of the Radnor Township Code, Vehicles and Traffic, Section 270-28, Prohibited Parking at all times on Radnor Avenue.

The Board of Commissioners will hold a public hearing on February 25, 2019, at 6:30 p.m., at the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087 to consider the ordinance. Copies of the full text of the proposed ordinance are available at the Township offices, the Delaware County Law Library, and the offices of this newspaper during normal business hours.

RADNOR TOWNSHIP
BOARD OF COMMISSIONERS
301 Iven Avenue
Wayne, PA 19087-5297

ATTEST:

I do hereby certify that this is a true and correct copy of the proposed Ordinance of Radnor Township, being advertised for possible adoption by the Radnor Township Board of Commissioners on February 25, 2019.

A handwritten signature in black ink, appearing to read "JBR", written over a horizontal line.

John B. Rice, Esquire
Grim, Biehn & Thatcher
Township Solicitor

ORDINANCE NO. 2019-02

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AMENDING THE CODE OF THE TOWNSHIP OF
RADNOR, CHAPTER 270, SECTION 270-20 NO THROUGH TRAFFIC**

The Board of Commissioners of the Township of Radnor does hereby ENACT and ORDAIN the following amendment to Chapter 270 as follows:

Section 1. Section 270-20. No through traffic.

A. Local travel only is permitted on any of these streets or parts of these streets described below.

Name of Street	Location
Woodland Court	At Eagle Road

Section 2. Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

Section 3. Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

Section 4. Effective Date. This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

ENACTED and *ORDAINED* this ____ day of _____, 2019.

RADNOR TOWNSHIP

By: _____
Name: Lisa A. Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski, Secretary

MARY C. EBERLE
JOHN B. RICE
DIANNE C. MAGEE *
DALE EDWARD CAYA
DAVID P. CARO ♦
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J. LAWRENCE GRIM, JR., OF COUNSEL
JOHN FREDERIC GRIM, OF COUNSEL

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* ALSO ADMITTED IN NEW JERSEY
◊ ALSO ADMITTED IN NEW YORK
† MASTERS IN TAXATION
♦ ALSO A CERTIFIED PUBLIC ACCOUNTANT

February 13, 2019

SENT VIA ELECTRONIC CORRESPONDENCE

Delaware County Daily Times
Attn: Legal Department
500 Mildred Avenue
Primos, PA 19018

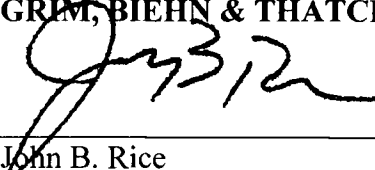
Re: Radnor Township – Traffic Ordinance Amendment –Woodland Court

Dear Legal Department:

Enclosed please find for advertisement one (1) time in the February 15th edition of your newspaper, a Legal Notice for the possible enactment of the above ordinance by the Board of Commissioners of Radnor Township at their meeting on February 25, 2019. Kindly provide proof of publication and your invoice for the advertisement directly to Radnor Township, c/o Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087. A full copy of the text of the ordinance is enclosed for public inspection. If you have any questions regarding the enclosed, please do not hesitate to contact my office.

Sincerely,

GRIM, BIEHN & THATCHER

By: 
John B. Rice

JBR/hlp

Enclosure

cc: Robert A. Zienkowski (w/encl.) – via email
Jennifer DeStefano (w/encl.) – via email

LEGAL NOTICE

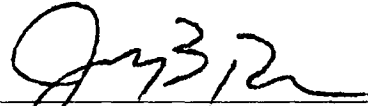
Notice is hereby given that the Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, will consider for possible enactment an ordinance, of which this Notice is a summary, amending Chapter 270 of the Radnor Township Code, Vehicles and Traffic, Section 270-20, No Through Traffic on Woodland Court.

The Board of Commissioners will hold a public hearing on February 25, 2019, at 6:30 p.m., at the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087 to consider the ordinance. Copies of the full text of the proposed ordinance are available at the Township offices, the Delaware County Law Library, and the offices of this newspaper during normal business hours.

RADNOR TOWNSHIP
BOARD OF COMMISSIONERS
301 Iven Avenue
Wayne, PA 19087-5297

ATTEST:

I do hereby certify that this is a true and correct copy of the proposed Ordinance of Radnor Township, being advertised for possible adoption by the Radnor Township Board of Commissioners on February 25, 2019.

A handwritten signature in black ink, appearing to read "John B. Rice", written over a horizontal line.

John B. Rice, Esquire
Grim, Biehn & Thatcher
Township Solicitor

**RESOLUTION 2019-13
RADNOR TOWNSHIP**

A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AUTHORIZATION TO APPLY FOR PENNSYLVANIA COMMISSION ON CRIME AND DELINQUENCY'S JUSTICE ASSISTANCE GRANT (JAG) UNDER \$10K INITIATIVES FOR THE RADNOR TOWNSHIP POLICE DEPARTMENT BODY-WORN CAMERA PROJECT.

WHEREAS, Radnor Township ("Township") desires to undertake the Radnor Township Police Department Body-Worn Camera Project; and

WHEREAS, the Township desires to apply to the Pennsylvania Commission on Crime and Delinquency ("Commission") Justice Assistance Grant (JAG) Under \$10K Initiatives for the purposes of carrying out this project; and

WHEREAS, the Township fully understands the Justice Assistance Grant (JAG) Under \$10K Initiatives grant application requirements and contracting process if awarded the grant dollars; and

NOW THEREFORE, it is hereby *RESOLVED* that the Radnor Township Board of Commissioners authorizes the Township Manager to submit an application to the Commission for the Justice Assistance Grant (JAG) Under \$10K Initiatives.

SO RESOLVED this 25th day of February, 2019.

TOWNSHIP OF RADNOR

By: _____
Lisa Borowski, President

Attest: _____
Robert A. Zienkowski
Township Manager/Secretary

Radnor Township

PROPOSED LEGISLATION

DATE: February 20, 2019

TO: Board of Commissioners

FROM: Christopher B. Flanagan, Superintendent of Police

LEGISLATION: Resolution #2019-13 Authorizing the Execution of a Grant Application to the Pennsylvania Commission on Crime and Delinquency's (PCCD) Justice Assistance Grant (JAG) Under \$10K Initiatives for the Radnor Township Police Department Body Worn-Camera Project. Township staff will complete the necessary documentation in order to complete the grant application. If the Board of Commissioners approve the opportunity to complete this grant application and granting authorities award our submission, the members of the Radnor Township Police Department will coordinate a 12-month project for the implementation of a Body-Worn Camera program.

LEGISLATIVE HISTORY: This is the first legislative action on this topic.

PURPOSE AND EXPLANATION: This application seeks to implement the use of Body-Worn Cameras (BWC) for Radnor Township Police Officers while actively performing their duties as a Law Enforcement Official. The use of these BWC will be in addition to our currently used Mobile Video Recorders (MVR), which have been in use since January of 2018. The MVR's are affixed to the interior windshield of all Radnor Police Patrol, Highway Patrol, and K9 vehicles. The forward facing camera and body-worn microphone collect data which can be reviewed and used at a later time. The use of MVR's have shown to be of strong value over the past year providing Officers with audio and visual documentation used for evidentiary, training, and integrity review purposes.

The addition of BWC's allows Officers to collect further documentation from their aspect of the situation. A BWC is affixed to the Officer themselves providing a first person view of the incident as it unfolds. The use of the MRV's has proven successful, however it can be limited in scope. At this time the audio and visual data collected is 100% successful if the incident unfolds directly in front of the Officer's patrol vehicle. Events which take place inside a residence, business, educational facility, or any other location outside of the vehicle camera lens is only collected via audio. Also, it is important to note if an Officer is involved in an incident which occurs out of range of the patrol vehicle, the audio will not be completely collected by the MVR due to reception limitations.

The implementation of BWC's will vastly improve audio and visual data collection of every incident where an Officer has responded to a call of service or initiated contact with a member of the public which is considered investigative or enforcement in nature. If the funding is obtained through this grant opportunity the Radnor Township Police Department will be able to increase the collection of evidence through first person audio, and more importantly video data. The 12-month project will make it possible to review incidents for complete investigations and court preparation thus increasing positive prosecution rates,

providing our Officers with the best view of Officer involved incidents for training purposes, which in turn will lower Officer injuries and civil cases due to incorrect actions, and finally, recreating conversations as they occurred therefore making investigations into the integrity of the Officer thorough, exact, and completed without necessary delay.

FISCAL IMPACT: There is no direct fiscal impact or financial obligation to authorizing the execution of a grant application to PCCD for the Radnor Township Police Department Body Worn-Camera Project. The Township will only accept the terms of the proposed PCCD Justice Assistance Grant (JAG) Under \$10K Initiatives, in the event that it is awarded, upon approval by the Board of Commissioners at a future meeting. It is anticipated that the Township will be requesting approximately \$20,000 from PCCD, with the total project costing approximately \$66,365.

Recommended Action: The Administration respectfully requests the Board to approve Resolution #2019-13 Authorizing the execution of a grant application to PCCD JAG Under \$10K Initiative for the acquisition of our BWC project.

**RESOLUTION 2019-14
RADNOR TOWNSHIP**

A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AUTHORIZATION TO APPLY FOR AUTHORIZATION TO APPLY FOR PENNSYLVANIA LIQUOR CONTROL BOARD, BUREAU OF ALCOHOL EDUCATION'S REDUCING UNDERAGE DRINKING AND DANGEROUS DRINKING GRANT.

WHEREAS, Radnor Township ("Township") desires to undertake the Radnor Township Police Department Alcohol Education Program; and

WHEREAS, the Township desires to apply to the Pennsylvania Liquor Control Board ("Board") Bureau of Alcohol Education's Reducing Underage Drinking and Dangerous Drinking Grant for the purposes of carrying out this program; and

WHEREAS, the Township fully understands the Reducing Underage Drinking and Dangerous Drinking grant application requirements and contracting process if awarded the grant dollars; and

NOW THEREFORE, it is hereby *RESOLVED* that the Radnor Township Board of Commissioners authorizes the Township Manager to submit an application to the Board for the Bureau of Alcohol Education's Reducing Underage Drinking and Dangerous Drinking Grant.

SO RESOLVED this 25th day of February, 2019.

TOWNSHIP OF RADNOR

By: _____
Lisa Borowski, President

Attest: _____
Robert A. Zienkowski
Township Manager/Secretary

Radnor Township PROPOSED LEGISLATION

DATE: February 20, 2019

TO: Board of Commissioners

FROM: Christopher B. Flanagan, Superintendent of Police

LEGISLATION: Resolution #2019-14 Authorizing the Execution of a Grant Application to the Pennsylvania Liquor Control Board (PLCB), Bureau of Alcohol Education's Reducing Underage and Dangerous Drinking program. Township staff will complete the necessary documentation in order to complete this grant application. If the Board of Commissioners approve the opportunity to complete this grant application and the granting authorities award our submission, the members of the Radnor Township Police Department will coordinate the development of an Alcohol Education Program for both underage and legal age members of our Community. This includes equipment and educational material. Members of the Police Department will also obtain funding to conduct underage drinking enforcement, gather equipment, provide access to Officer(s) to take part in the PLCB annual conference, and provide funds for overtime details to enforcement alcohol violations within the Township, specifically the use of fake identification, the purchase of alcohol while underage, and the sales of alcohol to minors from businesses within the Township. The grant project if awarded will take place over 12-month period and is capped at \$20,000.00.

LEGISLATIVE HISTORY: This is the first legislative action on this topic.

PURPOSE AND EXPLANATION: This grant application is for the procurement of equipment, education, educational materials, and overtime/training funding for the Radnor Township Police Department as a whole. The development of this grant by the PLCB is to enhance their mission of reducing underage drinking and dangerous drinking by those of legal age.

This grant specifically notes that those applying are encouraged to further the PLCB mission by creating and maintaining relationships with other organizations. They also state the use of social media will be given priority. The Radnor Township Police Department has already established partnerships with the schools and higher education organizations within our Township. Also, in more recent times our Police Department has obtained permission for the use of social media to provide information to our community members along with any others who wish to follow our social media accounts.

Both our relationship and social media concepts were very well received when Radnor Police partnered with Villanova University last year for the "Villanova Welcome Back BBQ" campaign held at the Home Properties of Bryn Mawr. During this event Villanova students were able to meet with Officers to learn about a myriad of topics in an open friendly environment. By adding alcohol education through hands on participation would add further value to this yearly event. It is also important to note the Radnor Police Department

takes part in student orientation for freshman at Cabrini College and steps have been taken to provide alcohol aware presentations with the Radnor School District.

The equipment that is being requested through this grant would be a tent with graphics to be used during such aforementioned events, a mobile ID scanner to check for false identification used to purchase and/or consume alcohol, and several pairs of "fatal vision" goggles which give the user the perception of being under the influence of alcohol at varying levels of consumption. The user would be asked to try basic activities while wearing these goggles so they can be educated about impairment while in a safe environment. The funding will also be put toward educating our Officers by sending them to the yearly PLCB conference where new knowledge and statistics are shared. Finally, the remainder of the funding would be used to create overtime details for Officers to enforce liquor law violations through added patrols at various locations within the Township.

Our intention, as always is the safety of those who live in and visit Radnor Township no matter their age. Through education and enforcement we can be one step closer to achieving our goal.

FISCAL IMPACT: There is no direct fiscal impact or financial obligation to authorizing the execution of a grant application to the PLCB for the Bureau of Alcohol Education's Reducing Underage and Dangerous Drinking program. The Township will only accept the terms of the proposed PLCB Reducing Underage and Dangerous Drinking program, in the event that it is awarded, upon approval by the Board of Commissioners at a future meeting. It is anticipated that the Township will be requesting approximately \$20,000 from PLCB, with the total project costing approximately \$20,000.

Recommended Action: The Administration respectfully requests the Board to approve Resolution #2019-14 Authorizing the execution of a grant application to PLCB for the Bureau of Alcohol Education's Reducing Underage and Dangerous Drinking program to acquire funds toward our own alcohol education and enforcement project.

RESOLUTION NO. 2019-09

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, AUTHORIZING THE PURCHASE OF PUBLIC WORKS
CAPITAL VEHICLES AND EQUIPMENT**

WHEREAS, the Radnor Township Public Works Department is seeking to replace 2 Sanitation Trucks, 2 Pick Up Trucks, 1 Vactor Jet Truck, and 1 Leaf Vacuum

WHEREAS, the Public Works Department is requesting to purchase Capital Vehicles and Equipment, as noted below:

Requested Capital Purchases: Public Works Department Rolling Stock & Equipment					
Public Works Division	Item to be Replaced	Model Year	Item to be Purchased	Cost	Method of Payment
Sanitation	Sanitation Packer #33	2001	Sanitation Packer	\$45,000/year	5 year capital lease
Sanitation	Sanitation Packer #36	2002	Sanitation Packer	\$45,000/year	5 year capital lease
Fleet Maintenance	Pick Up Truck #57	1997	Pick Up Truck	\$42,500	CoStars Purchase
Sewer Maintenance	Vactor Jet Truck	2001	Vactor Jet Truck	\$41,786/year	7 year capital lease
Highway Maintenance	Leaf Vacuum	1999	Leaf Vacuum	\$13,000/year	5 year capital lease
Highway Maintenance	Pick Up Truck #105	2007	Pick Up Truck	\$42,500	CoStars Purchase

NOW, THEREFORE, be it *RESOLVED* the Board of Commissioners of Radnor Township does hereby authorize the purchase of Public Works Capital Vehicles and Equipment, as noted in the 2019 Approved Budget, specifically listed in the table above.

SO RESOLVED this 25th day of February, A.D., 2019

RADNOR TOWNSHIP

By: _____
Name: Lisa Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski
Manager/Secretary

Radnor Township

PROPOSED LEGISLATION

DATE: February 28, 2019

TO: Radnor Township Board of Commissioners

CC: Robert A. Zienkowski, Township Manager
William R. White, Finance Director

FROM: Steve McNelis, Director of Public Works
Matthew Pilotti, Fleet Division

LEGISLATION: Resolution 2019-09: Authorization to Purchase Capital Vehicles and Equipment

LEGISLATIVE HISTORY: By virtue of Ordinance 2018-17, dated December 10, 2018, the Board of Commissioners adopted the “2019 Board Adopted Final Comprehensive Budget”. The Capital Plan, in this case specifically the Public Works Department’s vehicles and equipment, is included in the approved portion of the Capital Budget.

PURPOSE AND EXPLANATION: The Public Works Department is requesting to purchase (2) Sanitation Packers, (2) Pick Up Trucks, (1) Vactor Jet Truck, and (1) Leaf Vacuum. The work sheets for each purchase are attached. The breakdown of the Public Works Divisions, cost, and method of purchase are noted in the table below:

2019 Board of Commissioners Comprehensive Budget					
Requested Capital Purchases: Public Works Department Rolling Stock & Equipment					
Public Works Division	Item to be Replaced	Model Year	Item to be Purchased	Cost	Method of Payment
Sanitation	Sanitation Packer #33	2001	Sanitation Packer	\$45,000/year	5 year capital lease
Sanitation	Sanitation Packer #36	2002	Sanitation Packer	\$45,000/year	5 year capital lease
Fleet Maintenance	Pick Up #57	1997	Pick Up	\$42,500	CoStars Purchase
Sewer Maintenance	Vactor Jet Truck	2001	Vactor Jet Truck	\$41,786/year	7 year capital lease
Highway Maintenance	Leaf Vacuum	1999	Leaf Vacuum	\$13,000/year	5 year capital lease
Highway Maintenance	Pick Up #105	2007	Pick Up	\$42,500	CoStars Purchase

IMPLEMENTATION SCHEDULE: If approved by the Board of Commissioners, the Public Works Department will commence purchasing immediately.

FISCAL IMPACT: The purchases noted above are charged against the “05” capital accounts.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners authorize the purchase of Public Works Capital Vehicles and Equipment, as noted in the 2019 Capital Budget, specifically listed in the table above.

Public Works Sanitation Vehicles | Replace Packer #33

Description:

After evaluating the fleet in 2011, it was determined that many vehicles were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, equipment condition, and other factors. The vehicles requested to be replaced is packer #33. Please note that packers (trash trucks) are used for solid waste collection, recycling collection, leaf collection, and snow removal.



Justification | Benefit Derived:

Packer #33 is a 2001 vehicle, which is 5 years beyond its service life. To rebuild this vehicle would cost more than the current value of the vehicle, and the useful life would only be extended a few years. The ROI is not acceptable regarding a rebuild; the truck should be replaced. The proposed new truck will have a useful life of twelve years, and presumable less repair costs than the current truck #35. This will provide the Township with more reliable, safer service in regards to trash collection, recycling collection, leaf collection, and snow removal, and will be equipped with a cart tipper to better empty larger cans.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, in this instance, a solid waste packer. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and packers beyond their useful life were "band aided" to keep them on the road. These vehicles are needed, yet expensive assets that have to be managed to obtain the most use from them. Due to the lack of replacement in past years, it was determined that a five-year capital lease was the most prudent way to update the fleet, in the shortest amount of time.

Project Sources	2019	2020	2021	2022	2023
General Tax Proceeds	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Total Funding Sources	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Project Uses					
Capital Lease (5 Year Term)	45,000	45,000	45,000	45,000	45,000
Total Financing Uses	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000

(NOTE: Sources must equal Uses)

Public Works Sanitation Vehicles | Replace Packer #36

Description:

After evaluating the fleet in 2011, it was determined that many vehicles were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, equipment condition, and other factors. The vehicles requested to be replaced is packer #33. Please note that packers (trash trucks) are used for solid waste collection, recycling collection, leaf collection, and snow removal.



Justification | Benefit Derived:

Packer #36 is a 2002 vehicle, which is 5 years beyond its service life. To rebuild this vehicle would cost more than the current value of the vehicle, and the useful life would only be extended a few years. The ROI is not acceptable regarding a rebuild; the truck should be replaced. The proposed new truck will have a useful life of twelve years, and presumably less repair costs than the current truck #36. This will provide the Township with more reliable, safer service in regards to trash collection, recycling collection, leaf collection, and snow removal, and will be equipped with a cart tipper to better empty larger cans.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, and in this instance, a solid waste packer. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and packers beyond their useful life were "band aided" to keep them on the road. These vehicles are needed, yet expensive assets that have to be managed to obtain the most use from them. Due to the lack of replacement in past years, it was determined that a five-year capital lease was the most prudent way to update the fleet, in the shortest amount of time.

	2019	2020	2021	2022	2023
Project Sources					
General Tax Proceeds	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Total Funding Sources	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000
Project Uses					
Capital Lease (5 Year Term)	45,000	45,000	45,000	45,000	45,000
Total Financing Uses	\$45,000	\$45,000	\$45,000	\$45,000	\$45,000

(NOTE: Sources must equal Uses)

Public Works Highway/Fleet Maintenance Vehicle | Replace Pick Up Truck #57

Description:

After evaluating the fleet in 2011, it was determined that many vehicles were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, equipment condition and other factors. The vehicle requested to be replaced is Highway/Fleet Maintenance Pick Up Truck #57 with a power lift gate to assist in lifting. Please note that the fleet maintenance truck is used for picking up parts and supplies, delivering generators and barricades.



Justification | Benefit Derived:

Highway/Fleet Maintenance Pick Up Truck #57 is a 1997 vehicle, which is 22 years old. The body of this truck is exhibiting rust and body wear. Repairs would cost more than the current value of the vehicle, and the useful life would only be extended a few years. The proposed new truck will have a useful life of twelve years, and presumable less repair costs than the current truck #57. This will provide the Township with a more reliable, safer vehicle for the scheduled uses with an added power lift gate to assist employees.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, in this instance, a pick-up truck. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and vehicles well beyond their useful life were "band aided" to keep them on the road. These vehicles are needed, and will be managed and maintained to get the most use from them.

Financial Plan

	2019	2020	2021	2022	2023
Project Sources					
General Tax Proceeds	\$42,500				
Total Funding Sources	\$42,500				

(NOTE: Sources must equal Uses)

Public Works Sanitary Sewer Division | Sewer Cleaning Jet Truck #83

Description:

After evaluating the fleet in 2011, it was determined that many vehicles were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, equipment condition and other factors. The most effective way to replace the most vehicles efficiently is through a five-year capital lease. The vehicle requested for replacement is the Sewer Divisions Jet Truck #83. This truck is the Township's emergency pressure system to clear blockages and buildups and alleviate sewer emergencies. This truck is called on to handle the needs of the sanitary and stormwater systems and is an integral part of the Public Works Department.



Justification | Benefit Derived:

Vehicle 83 is the integral truck of the Sewer Maintenance division of Public Works. It is a 2001 International Vector Jet Truck. At 18 years old, this vehicle responds to sewer blockages to alleviate situations before they become full on emergencies for the Sewer, Highway, Parks and Police Departments. It is a sewer line cleaning machine, and is equipped with an International cab and Vactor Jet Truck. The Sewer Department maintains over one hundred and twenty-five miles (125) of Sanitary sewer mains, over fifteen hundred (1,500) manholes, and four (4) sewer pumping stations. The Township also has over eighteen hundred (1,800) storm drain inlets, and over sixty (60) miles of storm pipe, all which could become blocked at any time.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, in this instance, a sewer cleaning jet truck. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and trucks beyond their useful life were "band aided" to keep them on the road. This current truck is 18 years old, and is in need of replacement as well as upgrading.

Financial Plan

Project Sources	2019	2020	2021	2022	2023	2024	2025
General Tax Proceeds	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786
Total Funding Sources	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786
Project Uses							
Capital Lease (6 year term)	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786
	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786	\$41,786

(NOTE: Sources must equal Uses)

Public Works Highway Maintenance | Leaf Vacuum #LV3

Description:

After evaluating the fleet in 2011, it was determined that many vehicles and equipment were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, hours, equipment condition and other factors. The most effective way to replace the most vehicles efficiently is through a five-year capital lease. The vehicle requested for replacement is the LV#3 Leaf Vacuum.



Justification | Benefit Derived:

Leaf Vacuum LV3 is a 1999 Diesel Fuel leaf vacuum and is twenty years old, and well past its useful life. Annually, we collect leaves throughout the Township with the help of three leaf vacuum's.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, in this instance, a leaf vacuum. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and trucks and equipment beyond their useful life were "band aided" to keep them operational. This current leaf vacuum is 20 years old, and hard to maintain and running for the needed workload.

Financial Plan

Project Sources	2019	2020	2021	2022	2023	2024
General Tax Proceeds	\$13,000	\$13,000	\$13,000	\$13,000	\$13,000	-
Total Funding Sources	-	-				
Project Uses						
Capital Lease (5 year term)	\$13,000	\$13,000	\$13,000	\$13,000	\$13,000	
Total Financing Uses	\$13,000	\$13,000	\$13,000	\$13,000	\$13,000	

(NOTE: Sources must equal Uses)

Public Works Highway Maintenance Vehicles | Replace Pick Up Truck #105

Description:

After evaluating the fleet in 2011, it was determined that many vehicles were past their useful life, from a dependability and cost standpoint. There was no vehicle replacement plan at that time. To address this issue, a rolling stock replacement plan was created, based on years of service, life span, mileage, equipment condition and other factors. The vehicle requested to be replaced is Highway Maintenance Pick Up Truck #105. Please note that highway maintenance pick-up trucks are used for street maintenance and trash collection, leaf collection, drainage, clearing streets of downed trees, blocking roads, and snow removal on the Township's streets.



Justification | Benefit Derived:

Highway Maintenance Pick Up Truck #105 is a 2007 vehicle, which is 12 years old. The body of this truck is exhibiting rust and body wear. Repairs would cost more than the current value of the vehicle, and the useful life would only be extended a few years. The proposed new truck will have a useful life of twelve years, and presumably less repair costs than the current truck #105. This will provide the Township with a more reliable, safer vehicle for the scheduled uses along with the addition of a power lift gate to assist with heavy lifting of trash, generators, and manhole covers.

Current Status:

The rolling stock replacement plan was created to provide for a method to replace vehicles on a formal basis, which allows for a meaningful, specific, and a formulated plan to replace rolling stock, in this instance, a pick-up truck. Without such a plan, the Township would revert to previous years, where no formal plan was in place, and vehicles well beyond their useful life were "band aided" to keep them on the road. These vehicles are needed, and will be managed and maintained to get the most use from them.

Financial Plan

	2019	2020	2021	2022	2023
Project Sources					
General Tax Proceeds	\$42,500				
Total Funding Sources	\$42,500				

(NOTE: Sources must equal Uses)

**RESOLUTION NO. 2019-05
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,
PENNSYLVANIA, APPROVING THE FINAL MINOR LAND
DEVELOPMENT PLAN FOR A LOT LINE ADJUSTMENT FOR 521-525 S.
ROBERTS ROAD**

WHEREAS, Vince Falcone and Scott Bohrer (“Applicant”) submitted a Final Minor Land Development Plan to perform a lot line adjustment for the existing lot line between 521 S. Roberts Road, Bryn Mawr, Pennsylvania (TMP # 36-05-02877-0, Lot B) and 525 S. Roberts Road, Bryn Mawr, Pennsylvania (TMP # 36-05-02877-00, Lot A) (“Property”); and

WHEREAS, the Radnor Township Planning Commission has reviewed the Final Minor Land Development Plan; and

WHEREAS, the Board of Commissioners of Radnor Township now intends to approve the Final Minor Land Development Plan for 521 & 525 S. Roberts Road, Bryn Mawr, Pennsylvania, prepared by Bloomfield Architects, dated October 29, 2018, consisting of one (1) sheet.

NOW, THEREFORE, be it hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the Final Minor Land Development Plan of Bloomfield Architects consisting of one (1) sheet, dated October 29, 2018, subject to the following Final Plan approval conditions:

1. Compliance with correspondence of Gilmore & Associates, Inc., dated November 14, 2018, a copy of which is attached hereto and incorporated herein as *Exhibit “A”*.
2. Compliance with correspondence of Gannett Fleming dated November 26, 2018, a copy of which is attached hereto and incorporated herein as *Exhibit “B”*.
3. The Applicant shall comply with all other applicable ordinances with respect to sewage, stormwater management, zoning building code, and all county, state, federal rules and regulations and statutes except as set forth in this Resolution.
4. The Applicant shall execute Development and Financial Security Agreements in a form and manner to be approved by the Township Engineer and Township Solicitor.
5. In addition to the Final plan approval conditions, the following SALDO modifications are approved:
 - a. Section 255-22-B.1 (d)[7] – as to steep slope areas on the plan.

b. Sections 255-22. B.1(k) – as to existing principal buildings and driveways on the adjacent peripheral strip and sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of the site.

c. Section 255-22. B.1 (p) - as to contour lines measured at vertical intervals of two feet to be shown on the plans. .

d. Section 255-22.B.1 (q) – as to datum to which contour lines refer to be shown on the plan.

e. Section 255-22.B.1(r) – as to large trees over six inches in caliper to be shown on the plan.

SO RESOLVED, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this _____ day of _____, 2019.

RADNOR TOWNSHIP

By: _____
Name: Lisa A. Borowski
Title: President

ATTEST: _____



MEMORANDUM

Date: November 14, 2018

To: Stephen F. Norcini, P.E.
Radnor Township Engineer

From: Amy B. Kaminski, P.E., PTOE, Gilmore & Associates, Inc.

Cc: Superintendent Christopher Flanagan, Radnor Township Police Department
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: 521-525 S. Roberts Road Lot Line Adjustment 2016-D-02
Final Minor Land Development Review 1
Radnor Township, Delaware County, PA
G&A No. 18-11030

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

I. PROJECT DESCRIPTION

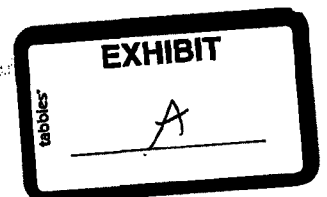
The Applicant proposes to perform a lot line adjustment for the existing lot line between 521 S. Roberts Road (TMP #36-05-02877-0, identified in the plan as Lot B) and 525 S. Roberts Road (TMP #36-05-02877-00, identified in the plan as Lot A) and transfer 9,959 SF from Lot A to Lot B. The parcel is zoned in the R-1 Residence District and the Applicant indicates no improvements or earth disturbances are planned for either parcel. It appears that 521 S. Roberts Road (Lot B), 525 S. Roberts Road (Lot A) and several adjacent parcels share one driveway access to S. Roberts Road. It is unclear as to the purpose of the lot line adjustment.

II. SUBMISSION MATERIALS

1. Proposed Lot Line Revision Minor Final Land Development Plan for 521 S. Roberts Road, Bryn Mawr, PA, prepared by Bloomfield Architects, dated October 29, 2018.
2. Delaware County Planning Commission Application, prepared by Bloomfield Architects, prepared for 521 S. Roberts Road (Lot B), undated.

III. ZONING COMMENTS

We defer to the Radnor Township Zoning Officer and Solicitor regarding the need for the Applicant to address the below comments:



1. §280-14.D(2) – Accessory uses include home occupations, require compliance with provisions of §280-103 related to off-street parking and subject to the provisions of Article XX, §280-115.1. Based on the information provided on the Delaware County Planning Commission Application accompanying this plan, the Applicant and owner of record at 521 S. Roberts Road (Lot B) currently includes an accessory home occupation use for the Applicant's firm Bloomfield Architects.
2. §280-103 – Off-street parking. The size of the structure allocated for the home occupation use was not identified on the plan therefore it is unclear if adequate off-street parking is available.
3. §280-115.1.B(5) – Traffic home occupation. A traffic home occupation which requires a nonresident employee and/or attracts customers, clients, patients, agents or other commercial invitees shall be permitted when authorized as a special exception by the Zoning Hearing Board.... There shall be off-street parking to accommodate at least two vehicles for the home occupation use unless found to be unnecessary by the Zoning Hearing Board. As indication in the foregoing, it is unclear if adequate off-street parking is available.
4. §280-115.1.B(6) – No traffic home occupation shall be located within 500 feet of any other traffic home occupation, measure by the shortest distance between the lot on which the proposed use will be located and the lot or lots which contain the existing use. It should be verified with the Applicant and Township the lot line adjustment does not create a non-conforming traffic home occupation use with the adjacent properties.

IV. TRANSPORTATION COMMENTS

We have no additional comments aside from the above; please let us know if you have any questions or require further clarification.



Gannett Fleming

Excellence Delivered As Promised

Date: November 26, 2018

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,959.7 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 69,952.2 SF and the net size of Lot B is 43,567.3 SF. After the land is conveyed the net lot size of Lot A will be 59,992.5 SF and the net lot size of Lot B will be 53,527 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

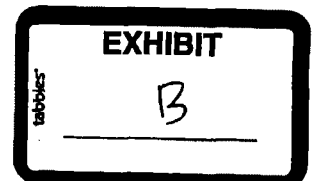
Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(c) – The plan must show the name, address and seal of the engineer or surveyor responsible for the plan. A Professional Engineer or Registered Surveyor must sign and seal the final plan.
2. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(f) – The north point must be shown on the plans.
4. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
5. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
6. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
7. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.



Gannett Fleming,

S. Norcini
521/525 S. Roberts Road
November 26, 2018

8. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Roberts Road is a local street. The right-of-way requirement is 60 feet and the cartway is 28 feet. The right-of-way must be shown on the plans.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicants engineer must explain the discrepancy.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.
3. The final plans for recording must have signature blocks for the owners for 525 and 521 S. Roberts Road.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: February 4th, 2019

**Re: FINAL - 521 & 525 South Roberts Road Minor Final Plan, Applicant:
Paul Bloomfield**

The applicant for the above referenced Final Plan, Paul Bloomfield, was before the Commissioners for Caucus at the regularly scheduled, January 28th, 2019 Board of Commissioners meeting.

As depicted on the attached plans, Mr. Bloomfield owns lot "B" and wishes to purchase a portion of Lot "A".

Outlined in more detail in the Gannett Fleming review letter, the applicant is requesting waivers from noting steep slopes, buildings, other infrastructure, contour lines, and trees over six inches on the plan.

The Planning Commission recommended approval of the plan subject to the comments in the Gannett Fleming review letter.

Attached is the plan set and review letters from Gannett Fleming, Incorporated.

Enclosures: Plan & Review Letters



Gannett Fleming

*Excellence Delivered **As Promised***

Date: January 22, 2019

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019 extended to February 11, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,480.8 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 68,886 SF and the net size of Lot B is 43,564.9 SF. After the land is conveyed the net lot size of Lot A will be 59,445.2 SF and the net lot size of Lot B will be 53,995.7 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018 and last revised 12/24/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
2. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
4. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicant has indicated that the deed is incorrect and will be corrected at the time the new deeds are recorded.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.



Gannett Fleming

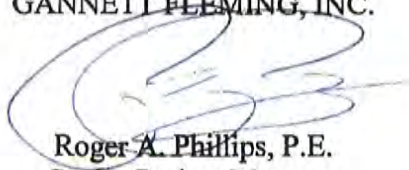
S. Norcini
521/525 S. Roberts Road
January 22, 2019

The applicant appeared before the Planning Commission on December 11, 2018. The Planning Commission recommended approval of the plan subject to the recommended changes (comments 1, 2, 4 and 8) from the Gannett Fleming letter.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





DELAWARE COUNTY PLANNING COMMISSION

1055 E. Baltimore Pike

Media, PA 19063

Phone: (610) 891-5200

Email: planning_department@co.delaware.pa.us

COUNCIL

JOHN P. McBLAIN
CHAIRMAN

COLLEEN P. MORRONE
VICE CHAIRMAN

MICHAEL F. CULP
KEVIN M. MADDEN
BRIAN P. ZIDEK

January 17, 2019

LINDA F. HILL
DIRECTOR

Mr. Robert A. Zienkowski
Radnor Township
301 Iven Avenue
Wayne, PA 19087-5297

RE: Name of Dev't: 521 & 525 South Roberts Road
DCPD File No.: 34-7407-19
Developer: Paul Bloomfield
Location: South side of Roberts Road, approximately
1,000' feet east of Ithan Avenue
Recv'd in DCPD: December 12, 2018

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on January 17, 2019, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

A handwritten signature in cursive script that reads "Linda F. Hill".

Linda F. Hill
Director

cc: Paul Bloomfield



DCPD

DELAWARE COUNTY PLANNING DEPARTMENT

1055 E. Baltimore Pike
Media, PA 19063
Phone: (610) 891-5200
Email: planning_department@co.delaware.pa.us

Date: January 17, 2019
File No.: 34-7407-19

PLAN TITLE: 521 & 525 South Roberts Road

DATE OF PLAN: October 29, 2018

OWNER OR AGENT: Paul Bloomfield

LOCATION: South side of Roberts Road,
approximately 1,000' feet east of
Ithan Avenue

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Subdivision

ZONING DISTRICT: R-1

SUBDIVISION ORDINANCE: Local

PROPOSAL: Adjust lot lines of two lots
totaling 2.636 acres

UTILITIES: Private sewer/public water

RECOMMENDATIONS: Approval

STAFF REVIEW BY: Michael A. Leventry

REMARKS:

CURRENT PROPOSAL

The applicant proposes to adjust the property line between two lots upon which two existing single-family detached dwellings are currently built.



Date: January 17, 2019
File No.: 34-7407-19

REMARKS (continued):

SITE CHARACTERISTICS

The site is located within a neighborhood comprised of single-family detached dwellings.

APPLICABLE ZONING

The proposal is located within the R-1 district and is subject to applicable regulations set forth in the Township zoning code.

COMPLIANCE

The proposal appears to comply with the R-1 district provisions.

SEWAGE FACILITIES

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

STORMWATER MANAGEMENT

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

RECORDING

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



*Excellence Delivered **As Promised***

Date: November 26, 2018

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,959.7 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 69,952.2 SF and the net size of Lot B is 43,567.3 SF. After the land is conveyed the net lot size of Lot A will be 59,992.5 SF and the net lot size of Lot B will be 53,527 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(c) – The plan must show the name, address and seal of the engineer or surveyor responsible for the plan. A Professional Engineer or Registered Surveyor must sign and seal the final plan.
2. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(f) – The north point must be shown on the plans.
4. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
5. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
6. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
7. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.



S. Norcini
521/525 S. Roberts Road
November 26, 2018

8. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Roberts Road is a local street. The right-of-way requirement is 60 feet and the cartway is 28 feet. The right-of-way must be shown on the plans.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicants engineer must explain the discrepancy.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.
3. The final plans for recording must have signature blocks for the owners for 525 and 521 S. Roberts Road.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





MEMORANDUM

Date: November 14, 2018

To: Stephen F. Norcini, P.E.
Radnor Township Engineer

From: Amy B. Kaminski, P.E., PTOE, Gilmore & Associates, Inc.

Cc: Superintendent Christopher Flanagan, Radnor Township Police Department
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: 521-525 S. Roberts Road Lot Line Adjustment 2016-D-02
Final Minor Land Development Review 1
Radnor Township, Delaware County, PA
G&A No. 18-11030

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

I. PROJECT DESCRIPTION

The Applicant proposes to perform a lot line adjustment for the existing lot line between 521 S. Roberts Road (TMP #36-05-02877-0, identified in the plan as Lot B) and 525 S. Roberts Road (TMP #36-05-02877-00, identified in the plan as Lot A) and transfer 9,959 SF from Lot A to Lot B. The parcel is zoned in the R-1 Residence District and the Applicant indicates no improvements or earth disturbances are planned for either parcel. It appears that 521 S. Roberts Road (Lot B), 525 S. Roberts Road (Lot A) and several adjacent parcels share one driveway access to S. Roberts Road. It is unclear as to the purpose of the lot line adjustment.

II. SUBMISSION MATERIALS

1. Proposed Lot Line Revision Minor Final Land Development Plan for 521 S. Roberts Road, Bryn Mawr, PA, prepared by Bloomfield Architects, dated October 29, 2018.
2. Delaware County Planning Commission Application, prepared by Bloomfield Architects, prepared for 521 S. Roberts Road (Lot B), undated.

III. ZONING COMMENTS

We defer to the Radnor Township Zoning Officer and Solicitor regarding the need for the Applicant to address the below comments:

1. §280-14.D(2) – Accessory uses include home occupations, require compliance with provisions of §280-103 related to off-street parking and subject to the provisions of Article XX, §280-115.1. Based on the information provided on the Delaware County Planning Commission Application accompanying this plan, the Applicant and owner of record at 521 S. Roberts Road (Lot B) currently includes an accessory home occupation use for the Applicant's firm Bloomfield Architects.
2. §280-103 – Off-street parking. The size of the structure allocated for the home occupation use was not identified on the plan therefore it is unclear if adequate off-street parking is available.
3. §280-115.1.B(5) – Traffic home occupation. A traffic home occupation which requires a nonresident employee and/or attracts customers, clients, patients, agents or other commercial invitees shall be permitted when authorized as a special exception by the Zoning Hearing Board.... There shall be off-street parking to accommodate at least two vehicles for the home occupation use unless found to be unnecessary by the Zoning Hearing Board. As indication in the foregoing, it is unclear if adequate off-street parking is available.
4. §280-115.1.B(6) – No traffic home occupation shall be located within 500 feet of any other traffic home occupation, measure by the shortest distance between the lot on which the proposed use will be located and the lot or lots which contain the existing use. It should be verified with the Applicant and Township the lot line adjustment does not create a non-conforming traffic home occupation use with the adjacent properties.

IV. TRANSPORTATION COMMENTS

We have no additional comments aside from the above; please let us know if you have any questions or require further clarification.

2018-D-06

RADNOR TOWNSHIP
301 IVEN AVE
WAYNE PA 19087
P) 610 688-5600
F) 610 971-0450
WWW.RADNOR.COM

LOT LINE REVISION

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property 525 S. ROBERTS RD. + 521 S. ROBERTS RD.

Zoning District R-1

Application No. _____
(Twp. Use)

Fee _____

Ward No. 5

Is property in HARB District NO

Applicant: (Choose one) Owner _____

Equitable Owner

Name PAUL BLOOMFIELD

Address 521 S. ROBERTS RD.

Telephone _____ Fax _____ Cell 484.680.5225

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Designer: (Choose one) Engineer _____

Surveyor _____

Name BLOOMFIELD ARCHITECTS

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Telephone 484.380.3400 Fax 888.430.6617

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Area of property 2.636 ACRES

Area of disturbance 0

Number of ~~proposed~~ ^{EXISTING} buildings 2

Proposed use of property RES. (EX. TO REMAIN)

Number of ~~proposed~~ ^{EXISTING} lots 2

BOUNDARY ADJUSTMENT ONLY BETWEEN EXISTING PARCELS.

Plan Status: Sketch Plan _____ Preliminary _____ Final Revised _____
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?
Explain the reason for noncompliance.

REQUEST WAIVERS FROM 255-22 B.1 k & 255-22 B.1 p-r
BOUNDARY ADJUSTMENT ONLY. NO EXISTING OR PROPOSED IMPROVEMENTS, GRADING,
UTILITIES, EASEMENTS, REMOVAL OF TREES, OR DISTURBANCE IN AREA TO BE TRANSFERRED.

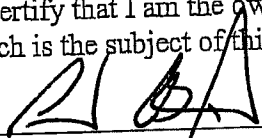
Are there any infringements of Chapter 280 (Zoning), and if so what and why?

NONE

Individual/Corporation/Partnership Name

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

PAUL BLOOMFIELD

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name PAUL BLOOMFIELD E-mail PAULBLOOMFIELD@COMCAST.NET
Address 521 S. ROBERTS RD. BRYN MAWR 19010 Phone 484.680.5225

Name of Development N/A

Municipality RADNOR

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm BLOOMFIELD ARCHITECTS Phone 484.380.3400

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Contact PAUL BLOOMFIELD E-mail PAUL@BLOOMFIELDARCHITECTURE.CO

Table with 5 columns: Type of Review, Plan Status, Existing Utilities, Proposed Utilities, Environmental Characteristics. Includes checkboxes for Zoning Change, Land Development, Subdivision, PRD, Sketch, Preliminary, Final, Tentative, Public Sewerage, Private Sewerage, Public Water, Private Water, Wetlands, Floodplain, Steep Slopes.

Zoning District R-1

Tax Map #36145082 #521

Tax Folio #36105102877101

36-45-078 # 525
36-05-02877-00

STATEMENT OF INTENT
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

EXISTING RESIDENCE ON EACH PARCEL TO REMAIN AS IS.
NO PROPOSED IMPROVEMENTS OR DISTURBANCE.

Total Site Area 2.636 Acres
Size of All Existing Buildings 5,384.5 Square Feet
Size of All Proposed Buildings 5,384.5 Square Feet (E.T.R.)
Size of Buildings to be Demolished 0 Square Feet

PAUL BLOOMFIELD
Print Developer's Name

[Signature]
Developer's Signature

MUNICIPAL SECTION
ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____

Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Print Name and Title of Designated Municipal Official

Phone Number

Official's Signature

Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.

170

RD BK04254-0602

DT-DEED

2007102884 12/03/2007 11:04:46 AM:7

RCD FEE \$39.00 POL SUB TAX: \$5,925.00 ST TAX: \$3,950.00



36-RADNOR \$5,925.00

THOMAS J. JUDGE SR. RCD

DELAWARE
COUNTY

Fee Simple Deed

Prepared By:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

LFS 07-5559PA

Return To:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

TAX ID: 36-05-02877-01

Original

(113)

This Indenture made the 30th day of October, 2007

Between

ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE

(hereinafter called the Grantor(s), of the one part, and

PAUL F. BLOOMFIELD AND MIA BLOOMFIELD, HUSBAND AND WIFE

(hereinafter called the Grantee(s), of the other part,

Witnesseth That the said Grantor for and in consideration of the sum of **THREE HUNDRED NINETY FIVE THOUSAND AND 00/100 (\$395,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantee(s), granted, bargained and sold, released and confirmed, and by these presents do(es) grant, bargain and sell, release and confirm unto the said Grantee(s) their heirs and assigns,

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd., made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated June 7, 1965 and revised June 26, 1965, as follows, to wit:

BEGINNING at a point on the Southwesterly side of a proposed Forty feet wide driveway measured the three following courses along the Southwest side of said proposed driveway from a point in the bed of Roberts Road (said point in Roberts Road being at the distance of Five hundred eighty six and eighty seven one-hundredths feet measured Southwestwardly along the title line of Roberts Road from the title line in Hill Road): (1) South two degrees, eleven minutes, thirty seconds East, One hundred seventeen and sixty four one-hundredths feet; (2) South twenty degrees, five minutes East, One hundred twenty three and ninety three one-hundredths feet; (3) South forty five degrees, thirty five minutes East, Twenty and ninety five one-hundredths feet; thence from said point of beginning through said proposed driveway along Lot No. 3, South forty five degrees, thirty five minutes East, Forty four and fifty four one-hundredths feet to a point in the center of said driveway; thence

along Lot No. 3 and for a part of the distance, along the middle of said driveway, South eighteen degrees, fifty four minutes East, two hundred forty seven and twenty one one-hundredths feet to a point; thence still by Lot No. 3, the three following courses and distances: (1) South fourteen degrees, twenty one minutes, thirty seconds West, Seventy feet to a point; (2) South fifty seven degrees, twenty five minutes, thirty seconds West, One hundred forty two and ninety seven one-hundredths feet to a point; (3) North sixty two degrees, fifty six minutes East, Two hundred fifty four and thirty five one-hundredths feet to a point in line of Lot No.4; thence along Lot No. 4, crossing a Twenty feet wide utility easement and by Lot No. 1, North seventy four degrees, fifty nine minutes East, Three hundred thirty four and eighty five one-hundredths feet to a point on the Southwest side of said Forty feet wide proposed driveway; thence still by Lot No. 1 and along the Southwest side of said driveway, North eighteen degrees, fifty four minutes West, Two hundred nineteen and thirteen one-hundredths feet to the first mentioned point and place of beginning.

BEING Lot No. 2 on said Plan.

BEING Folio #36-05-02877-01

BEING the same premises which William L. Rhoads, III and Anne H. Rhoads, his wife, by Deed dated 02/16/1979 and recorded at Media in the Office for the Recorder of Deeds in and for the County of Delaware on 02/22/1979 in Deed Book 2685 page 1182 granted and conveyed unto Robert M. Maggetti and Janice W. Maggetti, his wife, their heirs and assigns, as tenants by the entireties, in fee.

Together with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantor(s), as well at law as in equity, of, in, and to the same.

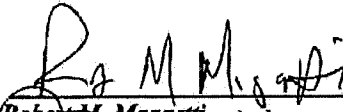
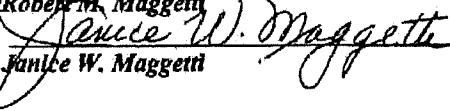
To have and to hold the said lot or piece of ground described together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s), their heirs and assigns, to and for the only proper use and behoof of the said Grantee(s), their heirs and assigns forever, as first above written.

And the said Grantor(s), their heirs and assigns, executors and administrators do covenant, promise and agree, to and with the said Grantee(s), their heirs and assigns, by these presents, that the said Grantor(s) and their heirs, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s) their heirs and assigns, against the said Grantor(s) and their heirs, and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, them, or any of them, shall and will

WARRANT and forever DEFEND.

In Witness Whereof, the party/parties of the first part have hereunto set their hand and seal.
Dated the day and year first above written.

Sealed and Delivered
In the presence of us.

 (Seal)
Robert M. Maggetti
 (Seal)
Janice W. Maggetti

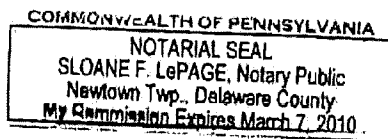
Commonwealth of Pennsylvania

ss:

County of Delaware

On this, the 30th day of October, 2007, before me, a Notary Public for the Commonwealth of Pennsylvania, the undersigned Officer, personally appeared
ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE
Known to me or satisfactorily proven to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

I hereunto set my hand and official seal.





, NOTARY PUBLIC

After Recording Return to:
• **Long & Foster Settlement Services, LLC**
92 Lancaster Ave., Ste 250
Devon, PA 19333
LFS 07-5559PA

GRANTOR(S):

Robert M. Maggetti and Janice W. Maggetti, Husband and Wife

GRANTEE(S):

Paul F. Bloomfield and Mia Bloomfield, Husband and Wife

FOLIO/PARCEL:

36-05-02877-01

PREMISES:
521 South Roberts Road
Bryn Mawr, PA 19010



**ADDRESS OF GRANTEE(S)/
MAIL TAX BILLS TO:**

521 South Roberts Road
Bryn Mawr, PA 19010



Prepared by and Return to:

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082

File No. 16264

LPI # 36-05-02877 & 36-05-02877-03

This Indenture, made the 27th day of October, 2016,

Between

DAVID SUH AND JENNIFER SUH, HUSBAND AND WIFE

(hereinafter called the Grantors), of the one part, and

VINCENT FALCONE AND SCOTT BOHRER

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Six Hundred Twenty-Five Thousand And 00/100 Dollars (\$625,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants in common

See Attached Exhibit A

PREMISES: 525 ROBERTS ROAD, BRYN MAWR, PA 19010
RADNOR TOWNSHIP, DELAWARE COUNTY, PA


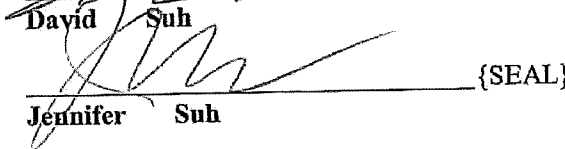
Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantors but not otherwise.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.


Sealed and Delivered
IN THE PRESENCE OF US:

 {SEAL}
David Suh
 {SEAL}
Jennifer Suh

Commonwealth of Pennsylvania } ss
County of

On this, the 27th day of October, 2016, before me, the undersigned Notary Public, personally appeared **David Suh and Jennifer Suh, husband and wife**, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

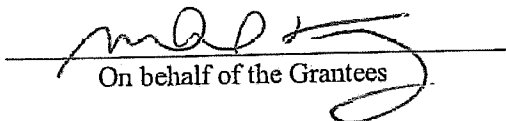


Notary Public
My commission expires _____

The precise residence and the complete post office address of the above-named Grantees is:

140 WEST EAGLE ROAD
HAVERTOWN PA 19083

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
MICHAEL T. MOSCONY, Notary Public
Upper Darby Twp., Delaware County
My Commission Expires July 20, 2018



On behalf of the Grantees

Description and Recital

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd, made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated 6-7-1965 and revised 6-26-1965, as follows, to wit:

BEGINNING at a point on the title line in the bed of Roberts Road, at the distance of 586.87 feet measured Southwestwardly along the title line in the bed of Roberts Road from the title line in Mill Road, a corner of Lot #3, being the Southwest side of a proposed 40 feet wide proposed driveway; **thence** along the Southwest side of said driveway the four following courses and distances: (1) South 2 degrees, 11 minutes, 30 seconds East 117.64 feet to a point; (2) South 20 degrees, 5 minutes East 123.93 feet to a point; (3) South 45 degrees, 35 minutes East 20.95 feet to a point; (4) South 18 degrees, 54 minutes East 219.13 feet to a point; **thence** by Lot #2, South 74 degrees, 59 minutes West 232.15 feet to a corner of Lot #4; **thence** along Lot #4, the two following courses and distances: (1) North 1 degree, 34 minutes East 203.77 feet to a point; (2) North 1 degree, 30 minutes West 305.01 feet to a point in the title line in Roberts Road; **thence** along the title line in Roberts Road, **thence** along the title line in Roberts Road, North 85 degrees, 25 minutes East 93.94 feet to the first mentioned point and place of beginning.

BEING Lot #1 on said Plan.

BEING known as 525 South Roberts Road.

Tax ID/Parcel No. 36-05-02877-00

TOGETHER with the free common and uninterrupted use, liberty and privilege of and passage in and along a certain strip of ground, 40 feet in width extending out of and from Roberts Road 262.52 feet along the Northeast side of the premises hereinabove described with free ingress, egress and regress in and for the grantees herein their heirs and assigns at all times and seasons forever hereafter in common with others having like use of the same. Subject nevertheless to the proportionate part of all necessary charges and expenses which shall from time to time accrue in the construction, paving, mending, repairing and cleansing said strip of land.

BEING part of the same premises which Margaret M. Zitch, by Deed dated 12-12-2011 and recorded 1-5-2012 in Delaware County in Volume 5045, Page 2089 conveyed unto David Suh and Jennifer Suh, husband and wife, in fee.

Deed

UPI # 36-05-02877 & 36-05-02877-03

David Suh and
Jennifer Suh

TO

VINCENT FALCONE and
SCOTT BOHRER

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082
610-734-2300



Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail
- Priority Mail
- Registered
- Return Rec Merchandise
- Signature C
- Signature C Restricted I

U.S. POSTAGE PAID

WAYNE, PA
19087
NOV 19 2018
AMOUNT

\$2.40
R2304E105271-10



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USPS Tracking/Article Number

Addresses (Name, Street, City, State, & ZIP Code)

	RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1. MCMEEKIN JOHN C II & ERIN M 719 HAVILAND DR BRYN MAWR, PA 19010					
2. FINNEGAN CHARLES E & BETTY L 477 S ROBERTS RD BRYN MAWR, PA 19010					
3. ROBERTS GREGORY B & HELEN N 721 HAVILAND DR BRYN MAWR, PA 19010					
4. MCFARLAND JOSEPH P & SUSAN M 501 DAWN LN BRYN MAWR, PA 19010					
5. ROBERTS ROAD HOMEOWNERS ASSN 723 HAVILAND DR BRYN MAWR, PA 19010					
6. WILHELM JAMES C & MARY C 503 DAWN LANE BRYN MAWR, PA 19010					
7. _____					
8. _____					

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NOV 19 2018

RADNOR TOWNSHIP
ENGINEERING DEPARTMENT

Postmaster, Per (Name of receiving employee)

Total Number of Pieces
Listed by Sender



Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Posta

Addressee (Name, Street, City, State, & ZIP Code™)

1. HARLEY WILLIAM M JR
504 FOX RUN LN
BRYN MAWR, PA 19010
2. SILVERS WILLYS K
520 FOX RUN LA
BRYN MAWR, PA 19010
3. CORDELL LARRY KENNETH & KATHLEEN
517 FOX RUN LN
BRYN MAWR, PA 19010
4. WOLF JOSEPH M & AMY L
828 MILL RD
BRYN MAWR, PA 19010
5. GIORDANO DAVID
516 S BRYN MAWR AVE
BRYN MAWR, PA 19010
6. MARCH HOWARD &
540 BRYN MAWR AVE
BRYN MAWR, PA 19010
7. DILLON LAWRENCE P
354 W LANCASTER AVE
HAVERFORD, PA 19041
8. AGGARWAL SUJDIR & RITU
808 MILL RD
BRYN MAWR, PA 19010

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19087
NOV 19, 18
AMOUNT

\$3.20

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Fee

Total Number of Pieces
Listed by Sender

Postmaster, Per (Name of receiving employee)

Complete in Ink

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Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix (for air Post)



U.S. POSTAGE PAID

WAYNE, PA
19067-18
NOV 18
AMOUNT

\$3.20

R2304E105271-10

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Postage

Address (Name, Street, City, State, & ZIP Code™)

USPS Tracking/Article Number

RD SH Fee

1. MAL KOMICZ STANLEY BRUCE & DENISE E

816 MILL RD
BRYN MAWR, PA 19010

2. SHIMER DALE J

508 FOX RUN LN
BRYN MAWR, PA 19010

3. AYRE GREGORY S & DANA M

525 FOX RUN LA
BRYN MAWR, PA 19010

4. RATHER MANZOOR & SYEED MEHMOODA

505 FOX RUN LN
BRYN MAWR, PA 19010

5. NAGLE JOHN C & BARBARA T

850 MILL ROAD
BRYN MAWR, PA 19010

6. HARMELIN DAVID

524 BRYN MAWR AVE
BRYN MAWR, PA 19010

7. SNIDER LINDY L & KAISER LARRY R

408 BARBARA LA
BRYN MAWR, PA 19010

8. KNOTT JOSEPH W & CAROL J

812 MILL RD
BRYN MAWR, PA 19010

Total Number of Pieces Listed by Sender

Postmaster, Per (Name of receiving employee)



Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Address (Name, Street, City, State, & ZIP Code™) F



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19087
NOV 19, 18
AMOUNT

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1.	2.	3.	4.	5.	6.	7.	8.	SC Fee	SCRD Fee	SH Fee
MACKIN ROBERT W & ANNE S 513 S ROBERTS RD BRYN MAWR, PA 19010	SANDRINGHAM INC 537 ROBERTS RD ROSEMONT, PA 19010	VFSB LLC 140 W EAGLE RD HAVERTOWN, PA 19083	SCHMIDI ELWOOD F & MESION JEAN THAYER HW 823 S LITHAN AVE BRYN MAWR, PA 19010	WALSH SUZANNE P 564 BRYN MAWR AVE BRYN MAWR, PA 19010	PINCUS JEFF 576 BRYN MAWR AVE BRYN MAWR, PA 19010	BERPANG JOSEPH A III & TRAN HA MY 596 BRYN MAWR AVE BRYN MAWR, PA 19010	SURETTE WILLIAM P & PATRICIA A 407 BARBARA LN BRYN MAWR, PA 19010			

Total Number of Pieces Listed by Sender

Postmaster: For (Name of receiving employee)

PS Form 3877, January 2017 (Page 1 of 2)

Complete in Ink

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PSN 7530-02-000-9058



Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

Postage

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NOV 19 18
AMOUNT
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R2304E105271-10



1.	2.	3.	4.	5.	6.	7.	8.	Fee	SCRD Fee	SH Fee
MARSHALL JOHN 706 GULPH RD WAYNE, PA 19087	ITHAN REALTY TRUST - BRIAN MCDEVITT TRUSTEE 325 SWEDE ST 2ND FLR NORRISTOWN, PA 19401	JAMES MACGILL & ERICA E 813 S ITHAN AVE ROSEMONT, PA 19010	PERRUILL REGINA 519 S ROBERTS RD ROSEMONT, PA 19010	MOLLIKA, BRYON 849 S ITHAN AVE BRYN MAWR, PA 19010	HABER MICHAEL & LOIS 560 BRYN MAWR AVE BRYN MAWR, PA 19010	CICHELLI JANE C 590 BRYN MAWR AVE BRYN MAWR, PA 19010	MCLAUGHLIN PATRICK J & MARY LOUISE 404 BARBARA LN BRYN MAWR, PA 19010			

COU

Fee

Postage

Addressee (Name, Street, City, State, & ZIP Code™)

USPS Tracking/Article Number

Permitting: Per (Name of receiving employee)

Total Number of Pieces
Listed by Sender

Total Number of Pieces
Received at Post Office

Complete in Ink

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UNITED STATES POSTAL SERVICE

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

PA

1. TAYLOR RUSSELL C
767 S ITHAN AVE
BRYN MAWR, PA 19101

2. GOODMAN MARK S & HARTMAN RHEA
714 HAVILAND DR
BRYN MAWR, PA 19010

3. SYDNES WILLIAM L & ROLNIK JANICE M
PO BOX 1063
BRYN MAWR, PA 19010

4. ROSEBERRY OLGA O & CLARK M
702 HAVILAND DR
BRYN MAWR, PA 19010

5. HEATH CHRISTIAN & EUNICE
709 HAVILAND DR
BRYN MAWR, PA 19010

6. GRECO PETER M & KOROMVOKIS KATHERINE
715 HAVILAND DR
BRYN MAWR, PA 19010

7. WINN ANDREW M & MICHELLE K
604 PORTLEDGE DR
BRYN MAWR, PA 19010

8. MCGUIGAN PETER S & JANET L STONE
719 HAVILAND DR
BRYN MAWR, PA 19010

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster, For (Name of receiving employee)

PS Form 3877, January 2017 (Page 1 of 2)

PSN 7530-02-000-9098

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Postable Mail

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AMOUNT

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Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix (for s Post

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WAYNE PA
19087
NOV 19 18
AMOUNT



\$3.20

R2304E105271-10

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USPS Tracking/Article Number	Address (Name, Street, City, State, & ZIP Code™)	Postage	Service Fee	Charge	Registered	Value	Sender if COD	Fee	Fee	Fee	RD Fee	SH Fee
1.	THE HILL TOP PREP SCHOOL INC 737 S ITHAN AVE ROSEMONT, PA 19010											
2.	LEVY HOWARD M & SUSAN J 716 HAVILAND DR BRYN MAWR, PA 19010											
3.	KIM BYOUNGGON & YOO JUNG WHA 710 HAVILAND DR BRYN MAWR, PA 19010											
4.	MELVIN THOMAS O & LAURA M 704 HAVILAND DR ROSEMONT, PA 19010											
5.	MCDONALD MIRNA J & JONES STEPHEN C 705 HAVILAND DR BRYN MAWR, PA 19010											
6.	LOMAZOFF IGOR & ROZENBLIT ELENA 713 HAVILAND DR BRYN MAWR, PA 19010											
7.	ELLIS DAVID J & SALLY L 602 PORTLEDGE DR BRYN MAWR, PA 19010											
8.	SCHWARTZ MORDECAI & FISHER KATHY R 717 HAVILAND DR BRYN MAWR, PA 19010											

Total Number of Pieces Listed by Sender: _____

Total Number of Pieces Registered at Post Office: _____

Postmaster, Per (Name of receiving employee): _____

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UNITED STATES POSTAL SERVICE

From Mailbox Deal Cost Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service:

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation Restricted Delivery
- Insured Mail
- Priority Mail

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R2304E105271-10

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage (\$/row)	SH Fee
1.	HILLTOP PREPARATORY SCHOOL 737 SITHAN AVE ROSEMONT, PA 19010	USP's	
2.	RADNOR TOWNSHIP 301 IVEN AVE WAYNE, PA 19087		
3.	CHERRY LARRY D & CINDY S 712 HAVILAND DR BRYN MAWR, PA 19010		
4.	CAL JINFA & WANG NING 706 HAVILAND DR BRYN MAWR, PA 19010		
5.	ZACREP GORDON N & KENNEDY FILLEN M 700 HAVILAND DR RADNOR, PA 19087		
6.	BARBOSA JAMIE LYNN & LEONARD V 711 HAVILAND DR BRYN MAWR, PA 19010		
7.	MADANI MANSOOR & FARIDEH M 600 PORTLEDGE DR BRYN MAWR, PA 19010		
8.	VERCRUYSSSE TINE M & BLEYEN BART 606 PORTLEDGE DR BRYN MAWR, PA 19010		

Total Number of Pieces Listed by Sender: 8

Postmaster, Per (Name of receiving employee)

PS

PS Form 3877, January 2017 (Page 1 of 2)

Complete in Ink

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PSN 7530-02-000-9098

RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SFN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: January 21st, 2019

**Re: CAUCUS - 521 & 525 South Roberts Road Minor Final Plan,
Applicant: Paul Bloomfield**

Before the Board of Commissioners will be the applicant, Paul Bloomfield, to present the proposed lot line changes for 521 and 525 South Roberts Road.

In essence, the applicant proposes to take a portion of 525 South Roberts Road and convey it to 521 South Roberts Road. The outcome of this will be that 525 South Roberts Road will have a lot size of 59,445.2 square feet, and 521 South Roberts Road will have a lot size of 53,995.7 square feet.

As outlined in more detail in the Gannett Fleming review letter, the applicant is requesting waivers from noting steep slopes, buildings, other infrastructure, contour lines, and trees over six inches on the plan.

The Planning Commission recommended approval of the plan subject to the comments in the Gannett Fleming review letter.

Attached is the plan set and review letter from Gannett Fleming, Incorporated.

Enclosures: Plan & Review Letter



Gannett Fleming

*Excellence Delivered **As Promised***

Date: January 22, 2019

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019 extended to February 11, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,480.8 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 68,886 SF and the net size of Lot B is 43,564.9 SF. After the land is conveyed the net lot size of Lot A will be 59,445.2 SF and the net lot size of Lot B will be 53,995.7 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018 and last revised 12/24/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
2. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
4. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicant has indicated that the deed is incorrect and will be corrected at the time the new deeds are recorded.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.



Gannett Fleming

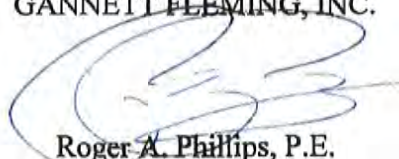
S. Norcini
521/525 S. Roberts Road
January 22, 2019

The applicant appeared before the Planning Commission on December 11, 2018. The Planning Commission recommended approval of the plan subject to the recommended changes (comments 1, 2, 4 and 8) from the Gannett Fleming letter.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





Gannett Fleming

*Excellence Delivered **As Promised***

Date: November 26, 2018

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,959.7 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 69,952.2 SF and the net size of Lot B is 43,567.3 SF. After the land is conveyed the net lot size of Lot A will be 59,992.5 SF and the net lot size of Lot B will be 53,527 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(c) – The plan must show the name, address and seal of the engineer or surveyor responsible for the plan. A Professional Engineer or Registered Surveyor must sign and seal the final plan.
2. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(f) – The north point must be shown on the plans.
4. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
5. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
6. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
7. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.



S. Norcini
521/525 S. Roberts Road
November 26, 2018

8. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Roberts Road is a local street. The right-of-way requirement is 60 feet and the cartway is 28 feet. The right-of-way must be shown on the plans.


General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicants engineer must explain the discrepancy.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.
3. The final plans for recording must have signature blocks for the owners for 525 and 521 S. Roberts Road.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





MEMORANDUM

Date: November 14, 2018

To: Stephen F. Norcini, P.E.
Radnor Township Engineer

From: Amy B. Kaminski, P.E., PTOE, Gilmore & Associates, Inc.

Cc: Superintendent Christopher Flanagan, Radnor Township Police Department
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: 521-525 S. Roberts Road Lot Line Adjustment 2016-D-02
Final Minor Land Development Review 1
Radnor Township, Delaware County, PA
G&A No. 18-11030

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

I. PROJECT DESCRIPTION

The Applicant proposes to perform a lot line adjustment for the existing lot line between 521 S. Roberts Road (TMP #36-05-02877-0, identified in the plan as Lot B) and 525 S. Roberts Road (TMP #36-05-02877-00, identified in the plan as Lot A) and transfer 9,959 SF from Lot A to Lot B. The parcel is zoned in the R-1 Residence District and the Applicant indicates no improvements or earth disturbances are planned for either parcel. It appears that 521 S. Roberts Road (Lot B), 525 S. Roberts Road (Lot A) and several adjacent parcels share one driveway access to S. Roberts Road. It is unclear as to the purpose of the lot line adjustment.

II. SUBMISSION MATERIALS

1. Proposed Lot Line Revision Minor Final Land Development Plan for 521 S. Roberts Road, Bryn Mawr, PA, prepared by Bloomfield Architects, dated October 29, 2018.
2. Delaware County Planning Commission Application, prepared by Bloomfield Architects, prepared for 521 S. Roberts Road (Lot B), undated.

III. ZONING COMMENTS

We defer to the Radnor Township Zoning Officer and Solicitor regarding the need for the Applicant to address the below comments:

1. §280-14.D(2) – Accessory uses include home occupations, require compliance with provisions of §280-103 related to off-street parking and subject to the provisions of Article XX, §280-115.1. Based on the information provided on the Delaware County Planning Commission Application accompanying this plan, the Applicant and owner of record at 521 S. Roberts Road (Lot B) currently includes an accessory home occupation use for the Applicant's firm Bloomfield Architects.
2. §280-103 – Off-street parking. The size of the structure allocated for the home occupation use was not identified on the plan therefore it is unclear if adequate off-street parking is available.
3. §280-115.1.B(5) – Traffic home occupation. A traffic home occupation which requires a nonresident employee and/or attracts customers, clients, patients, agents or other commercial invitees shall be permitted when authorized as a special exception by the Zoning Hearing Board.... There shall be off-street parking to accommodate at least two vehicles for the home occupation use unless found to be unnecessary by the Zoning Hearing Board. As indication in the foregoing, it is unclear if adequate off-street parking is available.
4. §280-115.1.B(6) – No traffic home occupation shall be located within 500 feet of any other traffic home occupation, measure by the shortest distance between the lot on which the proposed use will be located and the lot or lots which contain the existing use. It should be verified with the Applicant and Township the lot line adjustment does not create a non-conforming traffic home occupation use with the adjacent properties.

IV. TRANSPORTATION COMMENTS

We have no additional comments aside from the above; please let us know if you have any questions or require further clarification.

2018-D-06

RADNOR TOWNSHIP
301 IVEN AVE
WAYNE PA 19087
P) 610 688-5600
F) 610 971-0450
WWW.RADNOR.COM

LOT LINE REVISION

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property 525 S. ROBERTS RD. + 521 S. ROBERTS RD.

Zoning District R-1

Application No. _____
(Twp. Use)

Fee _____

Ward No. 5

Is property in HARB District NO

Applicant: (Choose one) Owner _____

Equitable Owner

Name PAUL BLOOMFIELD

Address 521 S. ROBERTS RD.

Telephone _____ Fax _____ Cell 484.680.5225

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Designer: (Choose one) Engineer _____

Surveyor _____

Name BLOOMFIELD ARCHITECTS

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Telephone 484.380.3400 Fax 888.430.6617

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Area of property 2.636 ACRES

Area of disturbance 0

Number of ~~proposed~~ ^{EXISTING} buildings 2

Proposed use of property RES. (EX TO REMAIN)

Number of ~~proposed~~ ^{EXISTING} lots 2

BOUNDARY ADJUSTMENT ONLY BETWEEN EXISTING PARCELS.

Plan Status: Sketch Plan _____ Preliminary _____ Final Revised _____

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?
Explain the reason for noncompliance.

REQUEST WAIVERS FROM 255-22 B.1 k & 255-22 B.1 p-r
BOUNDARY ADJUSTMENT ONLY. NO EXISTING OR PROPOSED IMPROVEMENTS, GRADING,
UTILITIES, EASEMENTS, REMOVAL OF TREES, OR DISTURBANCE IN AREA TO BE TRANSFERRED.

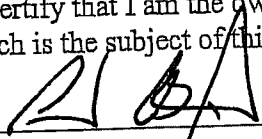
Are there any infringements of Chapter 280 (Zoning), and if so what and why?

NONE

Individual/Corporation/Partnership Name

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

PAUL BLOOMFIELD

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE:

All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name PAUL BLOOMFIELD E-mail PAUL.BLOOMFIELD@COMCAST.NET

Address 521 S. ROBERTS RD. BRYN MAWR 19010 Phone 484.680.5225

Name of Development N/A

Municipality RADNOR

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm BLOOMFIELD ARCHITECTS Phone 484.380.3400

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Contact PAUL BLOOMFIELD E-mail PAUL@BLOOMFIELDARCHITECTURE.CO

Table with 5 columns: Type of Review, Plan Status, Existing Utilities, Proposed Utilities, Environmental Characteristics. Includes checkboxes for Zoning Change, Land Development, Subdivision, PRD, Sketch, Preliminary, Final, Tentative, Public/Private Sewerage/Water, Wetlands, Floodplain, Steep Slopes.

Zoning District R-1

Tax Map # 36/45/082 #521

Tax Folio #36/05/02877/01

36-45-078 # 525 # 36-05-02877-00

STATEMENT OF INTENT
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

EXISTING RESIDENCE ON EACH PARCEL TO REMAIN AS IS.
NO PROPOSED IMPROVEMENTS OR DISTURBANCE.

Total Site Area 2.636 Acres
Size of All Existing Buildings 5,384.5 Square Feet
Size of All Proposed Buildings 5,384.5 Square Feet (E.T.R.)
Size of Buildings to be Demolished 0 Square Feet

PAUL BLOOMFIELD
Print Developer's Name

[Signature]
Developer's Signature

MUNICIPAL SECTION
ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____
Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Print Name and Title of Designated Municipal Official Phone Number

Official's Signature Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.

1170

RD BK04254-0602 DT-DEED
2007102884 12/03/2007 11:04:46 AM:7
RCD FEE \$39.00 POL SUB TAX: \$5,925.00 ST TAX: \$3,950.00



DELAWARE
COUNTY

Fee Simple Deed

Prepared By:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

LFS 07-5559PA

Return To:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

TAX ID: 36-05-02877-01

Original

(1/3)

This Indenture made the 30th day of October, 2007

Between

ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE

(hereinafter called the Grantor(s), of the one part, and

PAUL F. BLOOMFIELD AND MIA BLOOMFIELD, HUSBAND AND WIFE

(hereinafter called the Grantee(s), of the other part,

Witnesseth That the said Grantor for and in consideration of the sum of **THREE HUNDRED NINETY FIVE THOUSAND AND 00/100 (\$395,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantee(s), granted, bargained and sold, released and confirmed, and by these presents do(es) grant, bargain and sell, release and confirm unto the said Grantee(s) their heirs and assigns,

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd., made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated June 7, 1965 and revised June 26, 1965, as follows, to wit:

BEGINNING at a point on the Southwesterly side of a proposed Forty feet wide driveway measured the three following courses along the Southwest side of said proposed driveway from a point in the bed of Roberts Road (said point in Roberts Road being at the distance of Five hundred eighty six and eighty seven one-hundredths feet measured Southwestwardly along the title line of Roberts Road from the title line in Hill Road): (1) South two degrees, eleven minutes, thirty seconds East, One hundred seventeen and sixty four one-hundredths feet; (2) South twenty degrees, five minutes East, One hundred twenty three and ninety three one-hundredths feet; (3) South forty five degrees, thirty five minutes East, Twenty and ninety five one-hundredths feet; thence from said point of beginning through said proposed driveway along Lot No. 3, South forty five degrees, thirty five minutes East, Forty four and fifty four one-hundredths feet to a point in the center of said driveway; thence

along Lot No. 3 and for a part of the distance along the middle of said driveway, South eighteen degrees, fifty four minutes East, two hundred forty seven and twenty one one-hundredths feet to a point; thence still by Lot No. 3, the three following courses and distances: (1) South fourteen degrees, twenty one minutes, thirty seconds West, Seventy feet to a point; (2) South fifty seven degrees, twenty five minutes, thirty seconds West, One hundred forty two and ninety seven one-hundredths feet to a point; (3) North sixty two degrees, fifty six minutes East, Two hundred fifty four and thirty five one-hundredths feet to a point in line of Lot No.4; thence along Lot No. 4, crossing a Twenty feet wide utility easement and by Lot No. 1, North seventy four degrees, fifty nine minutes East, Three hundred thirty four and eighty five one-hundredths feet to a point on the Southwest side of said Forty feet wide proposed driveway; thence still by Lot No. 1 and along the Southwest side of said driveway, North eighteen degrees, fifty four minutes West, Two hundred nineteen and thirteen one-hundredths feet to the first mentioned point and place of beginning.

BEING Lot No. 2 on said Plan.

BEING Folio #36-05-02877-01

BEING the same premises which William L. Rhoads, III and Anne H. Rhoads, his wife, by Deed dated 02/16/1979 and recorded at Media in the Office for the Recorder of Deeds in and for the County of Delaware on 02/22/1979 in Deed Book 2685 page 1182 granted and conveyed unto Robert M. Maggetti and Janice W. Maggetti, his wife, their heirs and assigns, as tenants by the entireties, in fee.

Together with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantor(s), as well at law as in equity, of, in, and to the same.

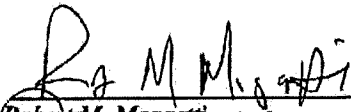
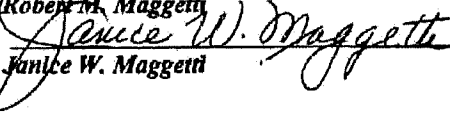
To have and to hold the said lot or piece of ground described together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s), their heirs and assigns, to and for the only proper use and behoof of the said Grantee(s), their heirs and assigns forever, as first above written.

And the said Grantor(s), their heirs and assigns, executors and administrators do covenant, promise and agree, to and with the said Grantee(s), their heirs and assigns, by these presents, that the said Grantor(s) and their heirs, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s) their heirs and assigns, against the said Grantor(s) and their heirs, and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, them, or any of them, shall and will

WARRANT and forever DEFEND.

In Witness Whereof, the party/parties of the first part have hereunto set their hand and seal.
Dated the day and year first above written.

Sealed and Delivered
In the presence of us.

 (Seal)
Robert M. Maggetti
 (Seal)
Janice W. Maggetti

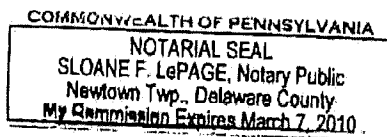
Commonwealth of Pennsylvania

88:

County of Delaware

On this, the 30th day of October, 2007, before me, a Notary Public for the Commonwealth of Pennsylvania, the undersigned Officer, personally appeared
ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE
Known to me or satisfactorily proven to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

I hereunto set my hand and official seal.





NOTARY PUBLIC

After Recording Return to:

• **Long & Foster Settlement Services, LLC**
92 Lancaster Ave., Ste 250
Devon, PA 19333
LFS 07-5559PA

GRANTOR(S):

Robert M. Maggetti and Janice W. Maggetti, Husband and Wife

GRANTEE(S):

Paul F. Bloomfield and Mia Bloomfield, Husband and Wife

FOLIO/PARCEL:

36-05-02877-01

PREMISES:

521 South Roberts Road
Bryn Mawr, PA 19010



ADDRESS OF GRANTEE(S)/
MAIL TAX BILLS TO:

521 South Roberts Road
Bryn Mawr, PA 19010



Prepared by and Return to:

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082

File No. 16264

UPI # 36-05-02877 & 36-05-02877-03

This Indenture, made the 27th day of October, 2016,

Between

DAVID SUH AND JENNIFER SUH, HUSBAND AND WIFE

(hereinafter called the Grantors), of the one part, and

VINCENT FALCONE AND SCOTT BOHRER

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Six Hundred Twenty-Five Thousand And 00/100 Dollars (\$625,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants in common

See Attached Exhibit A

PREMISES: 525 ROBERTS ROAD, BRYN MAWR, PA 19010
RADNOR TOWNSHIP, DELAWARE COUNTY, PA


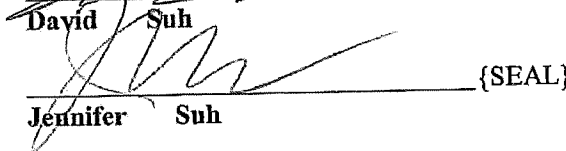
Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantors but not otherwise.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.


Sealed and Delivered
IN THE PRESENCE OF US:

 {SEAL}
David Suh
 {SEAL}
Jennifer Suh

Commonwealth of Pennsylvania } ss
County of

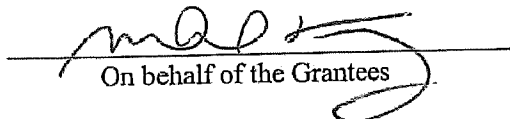
On this, the 27th day of October, 2016, before me, the undersigned Notary Public, personally appeared David Suh and Jennifer Suh, husband and wife, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

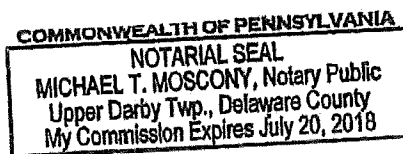
IN WITNESS WHEREOF, I hereunto set my hand and official seal.


Notary Public
My commission expires _____

The precise residence and the complete post office address of the above-named Grantees is:

140 WEST EAGLE ROAD
HAVERTOWN PA 19083


On behalf of the Grantees



Description and Recital

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd, made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated 6-7-1965 and revised 6-26-1965, as follows, to wit:

BEGINNING at a point on the title line in the bed of Roberts Road, at the distance of 586.87 feet measured Southwestwardly along the title line in the bed of Roberts Road from the title line in Mill Road, a corner of Lot #3, being the Southwest side of a proposed 40 feet wide proposed driveway; **thence** along the Southwest side of said driveway the four following courses and distances: (1) South 2 degrees, 11 minutes, 30 seconds East 117.64 feet to a point; (2) South 20 degrees, 5 minutes East 123.93 feet to a point; (3) South 45 degrees, 35 minutes East 20.95 feet to a point; (4) South 18 degrees, 54 minutes East 219.13 feet to a point; **thence** by Lot #2, South 74 degrees, 59 minutes West 232.15 feet to a corner of Lot #4; **thence** along Lot #4, the two following courses and distances: (1) North 1 degree, 34 minutes East 203.77 feet to a point; (2) North 1 degree, 30 minutes West 305.01 feet to a point in the title line in Roberts Road; **thence** along the title line in Roberts Road, **thence** along the title line in Roberts Road, North 85 degrees, 25 minutes East 93.94 feet to the first mentioned point and place of beginning.

BEING Lot #1 on said Plan.

BEING known as 525 South Roberts Road.

Tax ID/Parcel No. 36-05-02877-00

TOGETHER with the free common and uninterrupted use, liberty and privilege of and passage in and along a certain strip of ground, 40 feet in width extending out of and from Roberts Road 262.52 feet along the Northeast side of the premises hereinabove described with free ingress, egress and regress in and for the grantees herein their heirs and assigns at all times and seasons forever hereafter in common with others having like use of the same. Subject nevertheless to the proportionate part of all necessary charges and expenses which shall from time to time accrue in the construction, paving, mending, repairing and cleansing said strip of land.

BEING part of the same premises which Margaret M. Zitch, by Deed dated 12-12-2011 and recorded 1-5-2012 in Delaware County in Volume 5045, Page 2089 conveyed unto David Suh and Jennifer Suh, husband and wife, in fee.

Deed

UPI # 36-05-02877 & 36-05-02877-03

David Suh and
Jennifer Suh

TO

VINCENT FALCONE and
SCOTT BOHRER

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082
610-734-2300



UNITED STATES POSTAL SERVICE

Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail
- Registered
- Return Receipt Merchandise
- Signature C
- Signature C Restricted

U.S. POSTAGE PAID

WAYNE, PA
19087

NOV 19 18

AMOUNT
\$2.40

R2304E105271-10



0000

Addressee (Name, Street, City, State, & ZIP Code)

USPS Tracking/Article Number

		RD Fee	RR Fee	SC Fee	SCRD Fee	SH Fee
1.	MCMEEKIN JOHN C II & ERIN M 719 HAVILAND DR BRYN MAWR, PA 19010					
2.	FINNEGAN CHARLES E & BETTY L 477 S ROBERTS RD BRYN MAWR, PA 19010					
3.	ROBERTS GREGORY B & HELEN N 721 HAVILAND DR BRYN MAWR, PA 19010					
4.	MCFARLAND JOSEPH P & SUSAN M 501 DAWN LN BRYN MAWR, PA 19010					
5.	ROBERTS ROAD HOMEOWNERS ASSN 723 HAVILAND DR BRYN MAWR, PA 19010					
6.	WILHELM JAMES C & MARY C 503 DAWN LANE BRYN MAWR, PA 19010					
7.						
8.						

RECEIVED

NOV 19 2018

RADNOR TOWNSHIP
ENGINEERING DEPARTMENT

Total Number of Pieces Listed by Sender: 6
Total Number of Pieces Received at Post Office: 6

Postmaster: Per (Name of receiving employee)
[Signature]

PS Form 3877, January 2017 (Page 1 of 2)

PSN 7530-02-000-9088

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.



Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Addressee (Name, Street, City, State, & ZIP Code™)

Posta

SCRD Fee SH Fee

U.S. POSTAGE PAID

WAYNE, PA
19087
NOV 19 18
AMOUNT

\$3.20

R2304E105271-10



0000

1.	2.	3.	4.	5.	6.	7.	8.	SCRD Fee	SH Fee
HARLEY WILLIAM M JR 504 FOX RUN LN BRYN MAWR, PA 19010	SILVERS WILYS K 520 FOX RUN LA BRYN MAWR, PA 19010	CORDELL LARRY KENNETH & KATHLEEN 517 FOX RUN LN BRYN MAWR, PA 19010	WOLF JOSEPH M & AMY L 828 MILL RD BRYN MAWR, PA 19010	GIORDANO DAVID 516 S BRYN MAWR AVE BRYN MAWR, PA 19010	MARCH HOWARD & 540 BRYN MAWR AVE BRYN MAWR, PA 19010	DILLON LAWRENCE P 354 W J ANCASTER AVE HAVERFORD, PA 19041	AGGARWAL SUJDIR & RITU 808 MILL RD BRYN MAWR, PA 19010		

Postmaster, Per (Name of receiving employee)

Total Number of Pieces Listed by Sender

Total Number of Pieces Reported at Post Office



UNITED STATES
POSTAL SERVICE

Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

Addressee (Name, Street, City, State, & ZIP Code™)

U.S. POSTAGE PAID
WAYNE, PA
19084
NOV 19 18
AMOUNT
\$3.20
R2304E105271-10



0000

		R	SC	SCRD	SH
		Fee	Fee	Fee	Fee
1.	HANKEE JAMES H & MARGARET A 500 FOX RUN LN BRYN MAWR, PA 19010				
2.	CROWTHER JOHN E & STEFFEN W 512 FOX RUN LANE BRYN MAWR, PA 19010				
3.	GAZZERO PAUL JR & SALLY 521 FOX RUN LANE BRYN MAWR, PA 19010				
4.	HARRINGTON CHRISTOPHER M & LEAGH R 824 MILL ROAD BRYN MAWR, PA 19010				
5.	SHEN QINNA & YANG CHENG 508 BRYN MAWR AVE BRYN MAWR, PA 19010				
6.	BELL RICHARD S & DONNA S 532 BRYN MAWR AVE BRYN MAWR, PA 19010				
7.	KIM SCOTT B & ARLENE 823 MILL RD BRYN MAWR, PA 19010				
8.	MARTIN DIDIER JEAN PIERRE & HARRIET GEORGINA TRUST 800 MILL RD BRYN MAWR, PA 19010				

Total Number of Pieces Listed by Sender

Postmaster, Per (Name of receiving employee)

PS Form 3877, January 2017 (Page 1 of 2)

Complete in Ink

Privacy Notice: For more information on USPS privacy policies, visit usps.com/privacypolicy.

PSN 7530-02-000-9098



UNITED STATES POSTAL SERVICE

Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Affix (for as Post)

U.S. POSTAGE PAID

WAYNE PA
19087
NOV 18 2017
AMOUNT



\$3.20

R2304E105271-10

0000

Postage \$

RD SH Fee \$

1.	2.	3.	4.	5.	6.	7.	8.	RD	SH	Fee
MALKOWICZ STANLEY BRUCE & DENISE E 816 MILL RD BRYN MAWR, PA 19010	SHIMER DALE J 508 FOX RUN LN BRYN MAWR, PA 19010	AYRE GREGORY S & DANA M 525 FOX RUN LA BRYN MAWR, PA 19010	RATHER MANZOOR & SYEED MEHMOODA 505 FOX RUN LN BRYN MAWR, PA 19010	NAGLE JOHN C & BARBARA T 850 MILL ROAD BRYN MAWR, PA 19010	HARMELIN DAVID 524 BRYN MAWR AVE BRYN MAWR, PA 19010	SNIDER LINDY L & KAISER LARRY R 406 BARBARA LA BRYN MAWR, PA 19010	KNOTT JOSEPH W & CAROL J 612 MILL RD BRYN MAWR, PA 19010			



Total Number of Pieces Listed by Sender

Signature, Per (Name of receiving employee)



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POSTAL SERVICE

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Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

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P)

U.S. POSTAGE PAID
WAYNE, PA
19087
NOV 19, 18
AMOUNT



\$3.20

R2304E105271-10

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	USPS Tracking/Article Number	Check type of mail or service	Postage	Fee	COU	SH Fee	SCRD Fee
1.		<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery Addressee (Name, Street, City, State, & ZIP Code™) MARSHALL JOHN 706 GULPH RD WAYNE, PA 19087					
2.		ITHAN REALTY TRUST - BRIAN MCDEVITT TRUSTEE 325 SWEDE ST 2ND FLR NORRISTOWN, PA 19401					
3.		JAMES MACGILL & ERICA E 813 S ITHAN AVE ROSEMONT, PA 19010					
4.		PERRULLI REGINA 519 S ROBERTS RD ROSEMONT, PA 19010					
5.		MOLLIKA BRYON 849 S ITHAN AVE BRYN MAWR, PA 19010					
6.		HABER MICHAEL & LOIS 560 BRYN MAWR AVE BRYN MAWR, PA 19010					
7.		CICHELLI JANE C 590 BRYN MAWR AVE BRYN MAWR, PA 19010					
8.		MC LAUGHLIN PATRICK J & MARY LOUISE 404 BARBARA LN BRYN MAWR, PA 19010					

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Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1. PAOLINO LOUIS & NANCY
550 ROBERTS RD
BRYN MAWR, PA 19010
2. FALCONE VINCENT & BOHRER SCOTT
140 W EAGLE RD
HAVERTOWN, PA 19083
3. MASSEY KENT C & JULIE S
805 S ITHAN AVE
BRYN MAWR, PA 19010
4. BLOOMFIELD PAUL F & MIA
521 S ROBERTS RD
BRYN MAWR, PA 19010
5. MARCOE MICHAEL F & GABRIELLE & MICHAEL
837 S ITHAN AVE
BRYN MAWR, PA 19010
6. RETZLER GREGORY W & PAULA I
516 FOX RUN LANE
BRYN MAWR, PA 19010
7. KUHN JONATHAN W & CHRISTINE E
584 BRYN MAWR AVE
BRYN MAWR, PA 19010
8. SUN QING & LIN JIANG
505 DAWN LA
BRYN MAWR, PA 19010

Affix (for a Postage)



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WAYNE, PA
19087
NOV 19 19
AMOUNT

\$3.20

R2304E105271-10

Postage \$

SH Fee

Total Number of Pieces Listed by Sender: *PS*

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Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

Address: (Name, Street, City, State, & ZIP Code™)

Postage

1.	TAYLOR RUSSELL C 767 S ITHAN AVE BRYN MAWR, PA 19101																	
2.	GOODMAN MARK S & HARTMAN RHEA 714 HAVILAND DR BRYN MAWR, PA 19010																	
3.	SYDNES WILLIAM I & ROLNIK JANICE M PO BOX 1063 BRYN MAWR, PA 19010																	
4.	ROSEBERRY OLGA O & CLARK M 702 HAVILAND DR BRYN MAWR, PA 19010																	
5.	HEATH CHRISTIAN & EUNICE 709 HAVILAND DR BRYN MAWR, PA 19010																	
6.	GRECO PETER M & KOROMVOKIS KATHERINE 715 HAVILAND DR BRYN MAWR, PA 19010																	
7.	WINN ANDREW M & MICHELLE K 604 PORTLEDGE DR BRYN MAWR, PA 19010																	
8.	MCGUIGAN PETER S & JANET L STONE 719 HAVILAND DR BRYN MAWR, PA 19010																	

Total Number of Pieces Listed by Sender: [Signature]

Total Number of Pieces Received at Post Office: [Signature]

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521 S. Roberts Rd.
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- Adult Signature Restricted Delivery
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- Signature Confirmation Restricted Delivery

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Address (Name, Street, City, State, & ZIP Code™)

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Service Fee

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if Registered

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Sender if
COD

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19087
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AMOUNT

\$3.20

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1. THE HILL TOP PREP SCHOOL INC

737 S ITHAN AVE

ROSEMONT, PA 19010

2. LEVY HOWARD M & SUSAN J

716 HAVILAND DR

BRYN MAWR, PA 19010

3. KIM BYOUNGGON & YOO JUNG WHA

710 HAVILAND DR

BRYN MAWR, PA 19010

4. MELVIN THOMAS O & LAURA M

704 HAVILAND DR

ROSEMONT, PA 19010

5. McDONALD MIRNA J & JONES STEPHEN C

705 HAVILAND DR

BRYN MAWR, PA 19010

6. LOMAZOFF IGOR & ROZENBLIT ELENA

713 HAVILAND DR

BRYN MAWR, PA 19010

7. ELLIS DAVID J & SALLY L

602 PORTLEDGE DR

BRYN MAWR, PA 19010

8. SCHWARTZ MORDECAI & FISHER KATHY R

717 HAVILAND DR

BRYN MAWR, PA 19010

Total Number of Pieces Listed by Sender: 8

Postmaster, Per (Name of receiving employee)



UNITED STATES
POSTAL SERVICE

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service:

- Adult Signature Required
- Adult Signature Restricted Delivery
- Certified Mail
- Certified Mail Restricted Delivery
- Collect on Delivery (COD)
- Insured Mail
- Priority Mail
- Priority Mail Express
- Registered Mail
- Return Receipt for Merchandise
- Signature Confirmation
- Signature Confirmation Restricted Delivery

USPS Tracking/Article Number

1. HILLTOP PREPARATORY SCHOOL
737 S ITHAN AVE
ROSEMONT, PA 19010

2. RADNOR TOWNSHIP
301 IVEN AVE
WAYNE, PA 19087

3. CHERRY LARRY D & CINDY S
712 HAVILAND DR
BRYN MAWR, PA 19010

4. CAL JINEA & WANG NING
706 HAVILAND DR
BRYN MAWR, PA 19010

5. ZACREP GORDON N & KENNEDY EILEEN M
700 HAVILAND DR
RADNOR, PA 19087

6. BARBOSA JAMIE LYNN & LEONARD V
711 HAVILAND DR
BRYN MAWR, PA 19010

7. MADANI MANSOOR & FARIDEH M
600 PORTLEDGE DR
BRYN MAWR, PA 19010

8. VERCRUYSE TINE M & BLEYEN BART
606 PORTLEDGE DR
BRYN MAWR, PA 19010

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RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SFN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: February 4th, 2019

Re: *FINAL* - 521 & 525 South Roberts Road Minor Final Plan, Applicant: Paul Bloomfield

The applicant for the above referenced Final Plan, Paul Bloomfield, was before the Commissioners for Caucus at the regularly scheduled, January 28th, 2019 Board of Commissioners meeting.

As depicted on the attached plans, Mr. Bloomfield owns lot "B" and wishes to purchase a portion of Lot "A".

Outlined in more detail in the Gannett Fleming review letter, the applicant is requesting waivers from noting steep slopes, buildings, other infrastructure, contour lines, and trees over six inches on the plan.

The Planning Commission recommended approval of the plan subject to the comments in the Gannett Fleming review letter.

Attached is the plan set and review letters from Gannett Fleming, Incorporated.

Enclosures: Plan & Review Letters



*Excellence Delivered **As Promised***

Date: January 22, 2019

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019 extended to February 11, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,480.8 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 68,886 SF and the net size of Lot B is 43,564.9 SF. After the land is conveyed the net lot size of Lot A will be 59,445.2 SF and the net lot size of Lot B will be 53,995.7 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018 and last revised 12/24/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
2. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
4. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicant has indicated that the deed is incorrect and will be corrected at the time the new deeds are recorded.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.

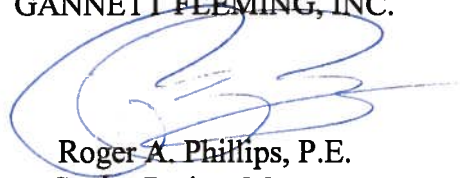
S. Norcini
521/525 S. Roberts Road
January 22, 2019

The applicant appeared before the Planning Commission on December 11, 2018. The Planning Commission recommended approval of the plan subject to the recommended changes (comments 1, 2, 4 and 8) from the Gannett Fleming letter.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



*Excellence Delivered **As Promised***

Date: November 26, 2018

To: Steve Norcini, PE Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 521 and 525 S. Roberts Road– Minor Final Plan
Paul Bloomfield – Applicant

Date Accepted: November 5, 2018

90 Day Review: February 3, 2019

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to convey 9,959.7 SF of land from 525 S. Roberts Road (Lot A) to 521 S. Roberts Road (Lot B). Prior to conveying the land the net size of Lot A is 69,952.2 SF and the net size of Lot B is 43,567.3 SF. After the land is conveyed the net lot size of Lot A will be 59,992.5 SF and the net lot size of Lot B will be 53,527 SF. This project is in the R-1 district of the Township. No improvements are proposed at this time.

Proposed Lot Line Revision 521 and 525 S. Roberts Road

Plans Prepared By: Bloomfield Architects

Dated: 10/29/2018

The applicant has indicated on the Subdivision and Land Development application and subsequent e-mail that they are requesting waivers from the following requirements:

1. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans.
2. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans.
3. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United



States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required.

4. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations.
5. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans.

Zoning

None

Subdivision and Land Development

1. 255-22-B.1(c) – The plan must show the name, address and seal of the engineer or surveyor responsible for the plan. A Professional Engineer or Registered Surveyor must sign and seal the final plan.
2. 255-22-B.1(d)[7] – Steep slope areas must be shown on the plans. The applicant has requested a waiver from this requirement.
3. 255-22-B.1(f) – The north point must be shown on the plans.
4. 255-22-B.1(k) - Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets) must be shown on the plans. The applicant has requested a waiver from this requirement.
5. 255-22-B.1(p) - Contour lines measured at vertical intervals of two feet must be shown on the plans. Such elevations shall be determined by on-site survey, not interpolation of United States Government Survey maps. In the case of relatively flat or level areas, a lesser interval may be required. The applicant has requested a waiver from this requirement.
6. 255-22-B.1(q) - Datum to which contour lines refer must be shown on the plans. Where practicable, data shall refer to established elevations. The applicant has requested a waiver from this requirement.
7. 255-22-B.1(r) - Large trees over six inches in caliper must be shown on the plans. The applicant has requested a waiver from this requirement.

S. Norcini
521/525 S. Roberts Road
November 26, 2018

8. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. Roberts Road is a local street. The right-of-way requirement is 60 feet and the cartway is 28 feet. The right-of-way must be shown on the plans.

General

1. The bearing shown on the plans along the Perrulli property (S62°56'E) is not the same as in the deeds submitted (N62°56'E). The applicants engineer must explain the discrepancy.
2. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.
3. The final plans for recording must have signature blocks for the owners for 525 and 521 S. Roberts Road.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: November 14, 2018

To: Stephen F. Norcini, P.E.
Radnor Township Engineer

From: Amy B. Kaminski, P.E., PTOE, Gilmore & Associates, Inc.

Cc: Superintendent Christopher Flanagan, Radnor Township Police Department
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: 521-525 S. Roberts Road Lot Line Adjustment 2016-D-02
Final Minor Land Development Review 1
Radnor Township, Delaware County, PA
G&A No. 18-11030

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

I. PROJECT DESCRIPTION

The Applicant proposes to perform a lot line adjustment for the existing lot line between 521 S. Roberts Road (TMP #36-05-02877-0, identified in the plan as Lot B) and 525 S. Roberts Road (TMP #36-05-02877-00, identified in the plan as Lot A) and transfer 9,959 SF from Lot A to Lot B. The parcel is zoned in the R-1 Residence District and the Applicant indicates no improvements or earth disturbances are planned for either parcel. It appears that 521 S. Roberts Road (Lot B), 525 S. Roberts Road (Lot A) and several adjacent parcels share one driveway access to S. Roberts Road. It is unclear as to the purpose of the lot line adjustment.

II. SUBMISSION MATERIALS

1. Proposed Lot Line Revision Minor Final Land Development Plan for 521 S. Roberts Road, Bryn Mawr, PA, prepared by Bloomfield Architects, dated October 29, 2018.
2. Delaware County Planning Commission Application, prepared by Bloomfield Architects, prepared for 521 S. Roberts Road (Lot B), undated.

III. ZONING COMMENTS

We defer to the Radnor Township Zoning Officer and Solicitor regarding the need for the Applicant to address the below comments:

1. §280-14.D(2) – Accessory uses include home occupations, require compliance with provisions of §280-103 related to off-street parking and subject to the provisions of Article XX, §280-115.1. Based on the information provided on the Delaware County Planning Commission Application accompanying this plan, the Applicant and owner of record at 521 S. Roberts Road (Lot B) currently includes an accessory home occupation use for the Applicant's firm Bloomfield Architects.
2. §280-103 – Off-street parking. The size of the structure allocated for the home occupation use was not identified on the plan therefore it is unclear if adequate off-street parking is available.
3. §280-115.1.B(5) – Traffic home occupation. A traffic home occupation which requires a nonresident employee and/or attracts customers, clients, patients, agents or other commercial invitees shall be permitted when authorized as a special exception by the Zoning Hearing Board.... There shall be off-street parking to accommodate at least two vehicles for the home occupation use unless found to be unnecessary by the Zoning Hearing Board. As indication in the foregoing, it is unclear if adequate off-street parking is available.
4. §280-115.1.B(6) – No traffic home occupation shall be located within 500 feet of any other traffic home occupation, measure by the shortest distance between the lot on which the proposed use will be located and the lot or lots which contain the existing use. It should be verified with the Applicant and Township the lot line adjustment does not create a non-conforming traffic home occupation use with the adjacent properties.

IV. TRANSPORTATION COMMENTS

We have no additional comments aside from the above; please let us know if you have any questions or require further clarification.

2018-D-06

RADNOR TOWNSHIP
301 IVEN AVE
WAYNE PA 19087
P) 610 688-5600
F) 610 971-0450
WWW.RADNOR.COM

LOT LINE REVISION

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property 525 S. ROBERTS RD. + 521 S. ROBERTS RD.

Zoning District R-1

Application No. _____
(Twp. Use)

Fee _____

Ward No. 5

Is property in HARB District NO

Applicant: (Choose one) Owner _____

Equitable Owner

Name PAUL BLOOMFIELD

Address 521 S. ROBERTS RD.

Telephone _____ Fax _____ Cell 484.680.5225

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Designer: (Choose one) Engineer _____ Surveyor _____

Name BLOOMFIELD ARCHITECTS

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Telephone 484.380.3400 Fax 888.930.6617

Email PAUL@BLOOMFIELDARCHITECTURE.COM

Area of property 2.636 ACRES

Area of disturbance 0

Number of ~~proposed~~ ^{EXISTING} buildings 2

Proposed use of property RES. (EX TO REMAIN)

Number of ~~proposed~~ ^{EXISTING} lots 2

BOUNDARY ADJUSTMENT ONLY BETWEEN EXISTING PARCELS.

Plan Status: Sketch Plan _____ Preliminary _____ Final Revised _____
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?
Explain the reason for noncompliance.

REQUEST WAIVERS FROM 255-22 B.1k & 255-22 B.1p-r
BOUNDARY ADJUSTMENT ONLY. NO EXISTING OR PROPOSED IMPROVEMENTS, GRADING,
UTILITIES, EASEMENTS, REMOVAL OF TREES, OR DISTURBANCE IN AREA TO BE TRANSFERRED.

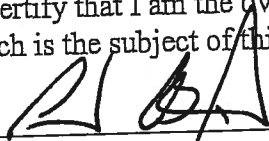
Are there any infringements of Chapter 280 (Zoning), and if so what and why?

NONE

Individual/Corporation/Partnership Name

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

PAUL BLOOMFIELD

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name PAUL BLOOMFIELD E-mail PAULBLOOMFIELD@COMCAST.NET

Address 521 S. ROBERTS RD. BRYN MAWR 19010 Phone 484.680.5225

Name of Development N/A

Municipality RADNOR

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm BLOOMFIELD ARCHITECTS Phone 484.380.3400

Address 521 S. ROBERTS RD. BRYN MAWR PA 19010

Contact PAUL BLOOMFIELD E-mail PAUL@BLOOMFIELDARCHITECTURE.CO

Table with 5 columns: Type of Review, Plan Status, Existing Utilities, Proposed Utilities, Environmental Characteristics. Includes checkboxes for Zoning Change, Land Development, Subdivision, PRD, Sketch, Preliminary, Final, Tentative, Public/Private Sewerage/Water, Wetlands, Floodplain, Steep Slopes.

Zoning District R-1

Tax Map # 36/45/082 #521

Tax Folio #36/05/02877/01

36-45-078 # 525 # 36-05-02877-00

STATEMENT OF INTENT
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

EXISTING RESIDENCE ON EACH PARCEL TO REMAIN AS IS.
NO PROPOSED IMPROVEMENTS OR DISTURBANCE.

Total Site Area 2.636 Acres
Size of All Existing Buildings 5,384.5 Square Feet
Size of All Proposed Buildings 5,384.5 Square Feet (E.T.R.)
Size of Buildings to be Demolished 0 Square Feet

PAUL BLOOMFIELD
Print Developer's Name

[Signature]
Developer's Signature

MUNICIPAL SECTION
ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____

Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Print Name and Title of Designated Municipal Official Phone Number

Official's Signature Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.

1170

RD BK04254-0602

DT-DEED

2007102684 12/03/2007 11:04:46 AM:7

RCD FEE \$69.00 POL SUB TAX: \$5,925.00 ST TAX: \$3,950.00



DELAWARE COUNTY

Fee Simple Deed

Prepared By:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

LFS 07-5559PA

Original

(1/3)

Return To:

Long & Foster Settlement Services, LLC

92 Lancaster Avenue, Suite 250

Devon, PA 19333

(610)225-6050

TAX ID: 36-05-02877-01

This Indenture made the 30th day of October, 2007

Between

ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE

(hereinafter called the Grantor(s), of the one part, and

PAUL F. BLOOMFIELD AND MIA BLOOMFIELD, HUSBAND AND WIFE

(hereinafter called the Grantee(s), of the other part,

Witnesseth That the said Grantor for and in consideration of the sum of **THREE HUNDRED NINETY FIVE THOUSAND AND 00/100(\$395,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantee(s), granted, bargained and sold, released and confirmed, and by these presents do(es) grant, bargain and sell, release and confirm unto the said Grantee(s) their heirs and assigns,

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd., made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated June 7, 1965 and revised June 26, 1965, as follows, to wit:

BEGINNING at a point on the Southwesterly side of a proposed Forty feet wide driveway measured the three following courses along the Southwest side of said proposed driveway from a point in the bed of Roberts Road (said point in Roberts Road being at the distance of Five hundred eighty six and eighty seven one-hundredths feet measured Southwestwardly along the title line of Roberts Road from the title line in Hill Road): (1) South two degrees, eleven minutes, thirty seconds East, One hundred seventeen and sixty four one-hundredths feet; (2) South twenty degrees, five minutes East, One hundred twenty three and ninety three one-hundredths feet; (3) South forty five degrees, thirty five minutes East, Twenty and ninety five one-hundredths feet; thence from said point of beginning through said proposed driveway along Lot No. 3, South forty five degrees, thirty five minutes East, Forty four and fifty four one-hundredths feet to a point in the center of said driveway; thence

along Lot No. 3 and for a part of the distance along the middle of said driveway, South eighteen degrees, fifty four minutes East, two hundred forty seven and twenty one one-hundredths feet to a point; thence still by Lot No. 3, the three following courses and distances: (1) South fourteen degrees, twenty one minutes, thirty seconds West, Seventy feet to a point; (2) South fifty seven degrees, twenty five minutes, thirty seconds West, One hundred forty two and ninety seven one-hundredths feet to a point; (3) North sixty two degrees, fifty six minutes East, Two hundred fifty four and thirty five one-hundredths feet to a point in line of Lot No.4; thence along Lot No. 4, crossing a Twenty feet wide utility easement and by Lot No. 1, North seventy four degrees, fifty nine minutes East, Three hundred thirty four and eighty five one-hundredths feet to a point on the Southwest side of said Forty feet wide proposed driveway; thence still by Lot No. 1 and along the Southwest side of said driveway, North eighteen degrees, fifty four minutes West, Two hundred nineteen and thirteen one-hundredths feet to the first mentioned point and place of beginning.

BEING Lot No. 2 on said Plan.

BEING Folio #36-05-02877-01

BEING the same premises which William L. Rhoads, III and Anne H. Rhoads, his wife, by Deed dated 02/16/1979 and recorded at Media in the Office for the Recorder of Deeds in and for the County of Delaware on 02/22/1979 in Deed Book 2685 page 1182 granted and conveyed unto Robert M. Maggetti and Janice W. Maggetti, his wife, their heirs and assigns, as tenants by the entireties, in fee.

Together with all and singular the buildings, improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantor(s), as well at law as in equity, of, in, and to the same.

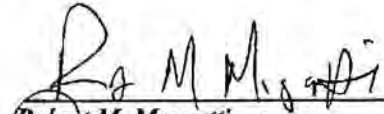
To have and to hold the said lot or piece of ground described together with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s), their heirs and assigns, to and for the only proper use and behoof of the said Grantee(s), their heirs and assigns forever, as first above written.

And the said Grantor(s), their heirs and assigns, executors and administrators do covenant, promise and agree, to and with the said Grantee(s), their heirs and assigns, by these presents, that the said Grantor(s) and their heirs, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee(s) their heirs and assigns, against the said Grantor(s) and their heirs, and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, them, or any of them, shall and will

WARRANT and forever DEFEND.

In Witness Whereof, the party/parties of the first part have hereunto set their hand and seal.
Dated the day and year first above written.

Sealed and Delivered
In the presence of us.

 (Seal)
Robert M. Maggetti
 (Seal)
Janice W. Maggetti

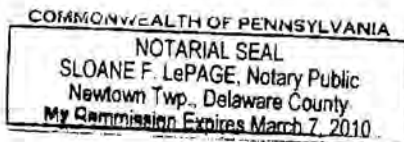
Commonwealth of Pennsylvania

ss:

County of Delaware

On this, the 30th day of October, 2007, before me, a Notary Public for the Commonwealth of Pennsylvania, the undersigned Officer, personally appeared
ROBERT M. MAGGETTI AND JANICE W. MAGGETTI, HUSBAND AND WIFE
Known to me or satisfactorily proven to be the person(s) whose name(s) is (are) subscribed to the within instrument, and acknowledged that he/she/they executed the same for the purposes therein contained.

I hereunto set my hand and official seal.





, NOTARY PUBLIC

After Recording Return to:

Long & Foster Settlement Services, LLC

92 Lancaster Ave., Ste 250

Devon, PA 19333

LFS 07-5559PA

GRANTOR(S):

Robert M. Maggetti and Janice W. Maggetti, Husband and Wife

GRANTEE(S):

Paul F. Bloomfield and Mia Bloomfield, Husband and Wife

FOLIO/PARCEL:

36-05-02877-01

PREMISES:

521 South Roberts Road
Bryn Mawr, PA 19010



ADDRESS OF GRANTEE(S)/
MAIL TAX BILLS TO:

521 South Roberts Road
Bryn Mawr, PA 19010



Prepared by and Return to:

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082

File No. 16264

UPI # 36-05-02877 & 36-05-02877-03

This Indenture, made the 27th day of October, 2016,

Between

DAVID SUH AND JENNIFER SUH, HUSBAND AND WIFE

(hereinafter called the Grantors), of the one part, and

VINCENT FALCONE AND SCOTT BOHRER

(hereinafter called the Grantees), of the other part,

Witnesseth, that the said Grantors for and in consideration of the sum of **Six Hundred Twenty-Five Thousand And 00/100 Dollars (\$625,000.00)** lawful money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantees, as tenants in common

See Attached Exhibit A

PREMISES: 525 ROBERTS ROAD, BRYN MAWR, PA 19010
RADNOR TOWNSHIP, DELAWARE COUNTY, PA


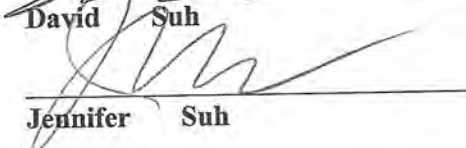
Together with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of them, the said grantors, as well at law as in equity, of, in and to the same.

To have and to hold the said lot or piece of ground described above, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantees, their heirs and assigns, forever.

And the said Grantors, for themselves and their heirs, executors and administrators, do, by these presents, covenant, grant and agree, to and with the said Grantees, their heirs and assigns, that they, the said Grantors, and their heirs, all and singular the hereditaments and premises herein described and granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against them, the said Grantors, and their heirs, will warrant and defend against the lawful claims of all persons claiming by, through or under the said Grantors but not otherwise.

In Witness Whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

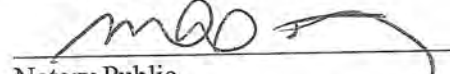
Sealed and Delivered
IN THE PRESENCE OF US:

 _____ {SEAL}
David Suh
 _____ {SEAL}
Jennifer Suh

Commonwealth of Pennsylvania } ss
County of

On this, the 27th day of October, 2016, before me, the undersigned Notary Public, personally appeared **David Suh and Jennifer Suh, husband and wife**, known to me (or satisfactorily proven) to be the persons whose names are subscribed to the within instrument, and acknowledged that they executed the same for the purposes therein contained.

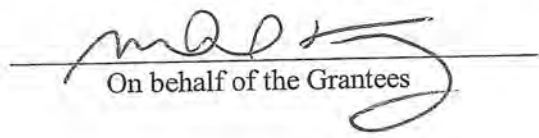
IN WITNESS WHEREOF, I hereunto set my hand and official seal.

 _____
Notary Public
My commission expires _____

The precise residence and the complete post office address of the above-named Grantees is:

140 WEST EAGLE ROAD
HAVERTOWN PA 19083

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
MICHAEL T. MOSCONY, Notary Public
Upper Darby Twp., Delaware County
My Commission Expires July 20, 2018

 _____
On behalf of the Grantees

Description and Recital

ALL THAT CERTAIN lot or piece of ground with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, described in accordance with a Map of Property of Benjamin S. Beall, 3rd, made by Yerkes Engineering Co., Bryn Mawr, Pennsylvania, dated 6-7-1965 and revised 6-26-1965, as follows, to wit:

BEGINNING at a point on the title line in the bed of Roberts Road, at the distance of 586.87 feet measured Southwestwardly along the title line in the bed of Roberts Road from the title line in Mill Road, a corner of Lot #3, being the Southwest side of a proposed 40 feet wide proposed driveway; **thence** along the Southwest side of said driveway the four following courses and distances: (1) South 2 degrees, 11 minutes, 30 seconds East 117.64 feet to a point; (2) South 20 degrees, 5 minutes East 123.93 feet to a point; (3) South 45 degrees, 35 minutes East 20.95 feet to a point; (4) South 18 degrees, 54 minutes East 219.13 feet to point; **thence** by Lot #2, South 74 degrees, 59 minutes West 232.15 feet to a corner of Lot #4; **thence** along Lot #4, the two following courses and distances: (1) North 1 degree, 34 minutes East 203.77 feet to a point; (2) North 1 degree, 30 minutes West 305.01 feet to a point in the title line in Roberts Road; **thence** along the title line in Roberts Road, **thence** along the title line in Roberts Road, North 85 degrees, 25 minutes East 93.94 feet to the first mentioned point and place of beginning.

BEING Lot #1 on said Plan.

BEING known as 525 South Roberts Road.

Tax ID/Parcel No. 36-05-02877-00

TOGETHER with the free common and uninterrupted use, liberty and privilege of and passage in and along a certain strip of ground, 40 feet in width extending out of and from Roberts Road 262.52 feet along the Northeast side of the premises hereinabove described with free ingress, egress and regress in and for the grantees herein their heirs and assigns at all times and seasons forever hereafter in common with others having like use of the same. Subject nevertheless to the proportionate part of all necessary charges and expenses which shall from time to time accrue in the construction, paving, mending, repairing and cleansing said strip of land.

BEING part of the same premises which Margaret M. Zitch, by Deed dated 12-12-2011 and recorded 1-5-2012 in Delaware County in Volume 5045, Page 2089 conveyed unto David Suh and Jennifer Suh, husband and wife, in fee.

Deed

UPI # 36-05-02877 & 36-05-02877-03

David Suh and
Jennifer Suh

TO

VINCENT FALCONE and
SCOTT BOHRER

Suburban Abstract Agency, Inc.
1418 Bywood Ave
Upper Darby, PA 19082
610-734-2300



Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010



U.S. POSTAGE PAID
WAYNE, PA
19087
NOV 19 18
AMOUNT

\$3.20

R2304E105271-10

USPS Tracking/Article Number	Check type of mail or service	Addressee (Name, Street, City, State, & ZIP Code™)	Posta	SH Fee	SCRD Fee
1.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery	HARLEY WILLIAM M JR 504 FOX RUN LN BRYN MAWR, PA 19010	0000		
2.		SILVERS WILYS K 520 FOX RUN LA BRYN MAWR, PA 19010			
3.		CORDELL LARRY KENNETH & KATHLEEN 517 FOX RUN LN BRYN MAWR, PA 19010			
4.		WOLF JOSEPH M & AMY I 828 MILL RD BRYN MAWR, PA 19010			
5.		GIORDANO DAVID 516 S BRYN MAWR AVE BRYN MAWR, PA 19010			
6.		MARCH HOWARD & 540 BRYN MAWR AVE BRYN MAWR, PA 19010			
7.		DILLON LAWRENCE P 354 W LANCASTER AVE HAVERFORD, PA 19041			
8.		AGGARWAL SUJDIR & RITU 808 MILL RD BRYN MAWR, PA 19010			



Total Number of Pieces Received at Post Office

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

Complete in Ink

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Firm Mailing Book For Accountable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010



U.S. POSTAGE PAID
WAYNE, PA
19087
NOV 19, 18
AMOUNT

\$3.20
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USPS Tracking/Article Number	Check type of mail or service <input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail	Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation Restricted Delivery	Postage \$	Affix (for a Postmark)	RD	SH Fee
1.	MALKOWICZ STANLEY BRUCE & DENISE E 816 MILL RD BRYN MAWR, PA 19010					
2.	SHIMER DALE J 508 FOX RUN LN BRYN MAWR, PA 19010					
3.	AYRE GREGORY S & DANA M 525 FOX RUN LA BRYN MAWR, PA 19010					
4.	RATHER MANZOOR & SYEED MEHMOODA 505 FOX RUN LN BRYN MAWR, PA 19010					
5.	NAGLE JOHN C & BARBARA T 850 MILL ROAD BRYN MAWR, PA 19010					
6.	HARMELIN DAVID 524 BRYN MAWR AVE BRYN MAWR, PA 19010					
7.	SNIDER LINDY L & KAISER LARRY R 408 BARBARA LA BRYN MAWR, PA 19010					
8.	KNOTT JOSEPH W & CAROL J 812 MILL RD BRYN MAWR, PA 19010					



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USPS Tracking/Article Number	Check type of mail or service	Addressee (Name, Street, City, State, & ZIP Code™)	SC Fee	SCRD Fee	SH Fee
1.	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery	MACKIN ROBERT W & ANNE S 513 S ROBERTS RD BRYN MAWR, PA 19010			
2.		SANDRINGHAM INC 537 ROBERTS RD ROSEMONT, PA 19010			
3.		VFSB LLC 140 W EAGLE RD HAVERTOWN, PA 19083			
4.		SCHMIDT ELWOOD F & MESTON JEAN THAYER HW 823 S LITHAN AVE BRYN MAWR, PA 19010			
5.		WALSH SUZANNE P 564 BRYN MAWR AVE BRYN MAWR, PA 19010			
6.		PINCUS JEFF 576 BRYN MAWR AVE BRYN MAWR, PA 19010			
7.		BERPANG JOSEPH A III & TRAN HA MY 596 BRYN MAWR AVE BRYN MAWR, PA 19010			
8.		SURETTE WILLIAM P & PATRICIA A 407 BARBARA LN BRYN MAWR, PA 19010			

NOV 19 18
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Return Receipt
Signature Confirmation
Signature Confirmation Restricted Delivery
Special Handling

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Name and Address of Sender

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Bryn Mawr, PA 19010

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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage	Fee	COU	SH Fee
1.	MARSHALL JOHN 706 GULPH RD WAYNE, PA 19087				
2.	JITHAN REALTY TRUST - BRIAN MCDEVITT TRUSTEE 325 SWEDE ST 2ND FLR NORRISTOWN, PA 19401				
3.	JAMES MACGILL & ERICA E 813 S ITHAN AVE ROSEMONT, PA 19010				
4.	PERRULLI REGINA 519 S ROBERTS RD ROSEMONT, PA 19010				
5.	MOLLI CA, BRYON 849 S ITHAN AVE BRYN MAWR, PA 19010				
6.	HABER MICHAEL & LOIS 560 BRYN MAWR AVE BRYN MAWR, PA 19010				
7.	CICHELL JANE C 590 BRYN MAWR AVE BRYN MAWR, PA 19010				
8.	MCLAUGHLIN PATRICK J & MARY LOUISE 404 BARBARA LN BRYN MAWR, PA 19010				

USPS
NOV 19 18

Postmaster, Per (Name of receiving employee)

Total Number of Pieces
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Total Number of Pieces
Received at Post Office

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Name and Address of Sender

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Bryn Mawr, PA 19010

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(for a
Postage)

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WAYNE, PA
19087
NOV 19 18
AMOUNT
\$3.20
R2304E105271-10



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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Check type of mail or service	Postage \$	SH Fee
1.	PAOLINO LOUIS & NANCY 550 ROBERTS RD BRYN MAWR, PA 19010	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Certified Mail <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Registered Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Signature Confirmation Restricted Delivery		
2.	FALCONE VINCENT & BOHRER SCOTT 140 W EAGLE RD HAVERTOWN, PA 19083			
3.	MASSEY KENT C. & JULIE S. 805 S ITHAN AVE BRYN MAWR, PA 19010			
4.	BLOOMFIELD PAUL F & MIA 521 S ROBERTS RD BRYN MAWR, PA 19010			
5.	MARCOE MICHAEL F & GABRIELLE & MICHAEL 837 S ITHAN AVE BRYN MAWR, PA 19010			
6.	RETZLER GREGORY W & PAULA L 516 FOX RUN LANE BRYN MAWR, PA 19010			
7.	KUHN JONATHAN W & CHRISTINE E 584 BRYN MAWR AVE BRYN MAWR, PA 19010			
8.	SUN QING & LIN JIANG 505 DAWN LA BRYN MAWR, PA 19010			

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee): [Signature]



Countable Mail

Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010



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19087
NOV 19, 18
AMOUNT
\$3.20
R2304E105271-10

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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Check type of mail or service	Fee	Postage	Insurance	Signature Confirmation	Restricted Delivery	Return Receipt	Adult Signature Restricted Delivery	Signature Confirmation Restricted Delivery	Special Handling	SH Fee
1.	TAYLOR RUSSELL C 767 S ITHAN AVE BRYN MAWR, PA 19101	<input type="checkbox"/> Adult Signature Required <input type="checkbox"/> Priority Mail Express <input type="checkbox"/> Adult Signature Restricted Delivery <input type="checkbox"/> Registered Mail <input type="checkbox"/> Certified Mail <input type="checkbox"/> Return Receipt for Merchandise <input type="checkbox"/> Certified Mail Restricted Delivery <input type="checkbox"/> Signature Confirmation <input type="checkbox"/> Collect on Delivery (COD) <input type="checkbox"/> Signature Confirmation Restricted Delivery <input type="checkbox"/> Insured Mail <input type="checkbox"/> Priority Mail										
2.	GOODMAN MARK S & HARTMAN RHEA 714 HAVILAND DR BRYN MAWR, PA 19010											
3.	SYDNES WILLIAM L & ROLNIK JANICE M PO BOX 1063 BRYN MAWR, PA 19010											
4.	ROSEBERRY OLGA O & CLARK M 702 HAVILAND DR BRYN MAWR, PA 19010											
5.	HEATH CHRISTIAN & EUNICE 709 HAVILAND DR BRYN MAWR, PA 19010											
6.	GRECO PETER M & KOROMVOKIS KATHERINE 715 HAVILAND DR BRYN MAWR, PA 19010											
7.	WINN ANDREW M & MICHELLE K 604 PORTLEDGE DR BRYN MAWR, PA 19010											
8.	MCGUIGAN PETER S & JANET L STONE 719 HAVILAND DR BRYN MAWR, PA 19010											



Total Number of Pieces Listed by Sender: [Signature]

Total Number of Pieces Received at Post Office: [Signature]

Postmaster, Per (Name of receiving employee)



Name and Address of Sender

Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

Check type of mail or service

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation Restricted Delivery
- Insured Mail
- Priority Mail

Affix (for a Post)



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19087
NOV 19, 18
AMOUNT

\$3.20

R2304E105271-10

USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage Service Fee	Charge if Registered	Value	Sender if COD	Fee	Fee	Fee	Fee	RD Fee	SH Fee
1.	THE HILL TOP PREP SCHOOL INC 737 S ITHAN AVE ROSEMONT, PA 19010										
2.	LEVY HOWARD M & SUSAN J 716 HAVILAND DR BRYN MAWR, PA 19010										
3.	KIM BYOUNGGON & YOO JUNG WHA 710 HAVILAND DR BRYN MAWR, PA 19010										
4.	MELVIN THOMAS O & LAURA M 704 HAVILAND DR ROSEMONT, PA 19010										
5.	MCDONALD MIRNA J & JONES STEPHEN C 705 HAVILAND DR BRYN MAWR, PA 19010										
6.	LOMAZOFF IGOR & ROZENBLIT ELENA 713 HAVILAND DR BRYN MAWR, PA 19010										
7.	ELLIS DAVID J & SALLY L 602 PORTLEDGE DR BRYN MAWR, PA 19010										
8.	SCHWARTZ MORDECAI & FISHER KATHY R 717 HAVILAND DR BRYN MAWR, PA 19010										

Total Number of Pieces Listed by Sender: 8

Postmaster, Per (Name of receiving employee)

[Signature]



UNITED STATES POSTAL SERVICE®

From Mailman Back For Accountable Mail

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Paul F. Bloomfield
521 S. Roberts Rd.
Bryn Mawr, PA 19010

- Adult Signature Required
- Priority Mail Express
- Adult Signature Restricted Delivery
- Registered Mail
- Certified Mail
- Return Receipt for Merchandise
- Certified Mail Restricted Delivery
- Signature Confirmation
- Collect on Delivery (COD)
- Signature Confirmation Restricted Delivery
- Insured Mail
- Priority Mail

Affix (for ad Postm)

U.S. POSTAGE PAID
WAYNE, PA
19087
NOV 19, 18
AMOUNT
\$3.20
R2304E105271-10



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USPS Tracking/Article Number	Addressee (Name, Street, City, State, & ZIP Code™)	Postage (if shown) Fee	COD	Signature Confirmation	Restricted Delivery	Adult Signature Required	Return Receipt	Signature Confirmation Restricted Delivery	SH Fee
1.	HILLTOP PREPARATORY SCHOOL 737 S ITHAN AVE ROSEMONT, PA 19010								
2.	RADNOR TOWNSHIP 301 IVEN AVE WAYNE, PA 19087								
3.	CHERRY LARRY D & CINDY S 712 HAVILAND DR BRYN MAWR, PA 19010								
4.	CAI JINFA & WANG NING 706 HAVILAND DR BRYN MAWR, PA 19010								
5.	ZACREP GORDON N & KENNEDY EILEEN M 700 HAVILAND DR RADNOR, PA 19087								
6.	BARBOSA JAMIE LYNN & LEONARD V 711 HAVILAND DR BRYN MAWR, PA 19010								
7.	MADANI MANSOOR & FARIDEH M 600 PORTLEDGE DR BRYN MAWR, PA 19010								
8.	VERCRUYSE TINE M & BLEYEN BART 606 PORTLEDGE DR BRYN MAWR, PA 19010								

Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee)

[Signature]

PROPOSED LOT LINE REVISION 521 & 525 S. ROBERTS RD.

OWNER'S CONTACT INFORMATION

Vincent Falcone & Scott Borher (LOT A)
525 S. Roberts Road
Bryn Mawr, PA 19010
610.608.0473

Paul F. & Mia Bloomfield (LOT B)
521 S. Roberts Road
Bryn Mawr, PA 19010
484.680.5225

ARCHITECT'S CONTACT INFORMATION

Bloomfield Architects
521 S. Roberts Road
Bryn Mawr, PA 19010
484.380.3400

ZONING INFORMATION: RADNOR TOWNSHIP (R1)

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MIN LOT WIDTH 120' AT BUILDING LINE
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REAR YARD SETBACK: 40'
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MAX IMPERVIOUS COVERAGE: 22%

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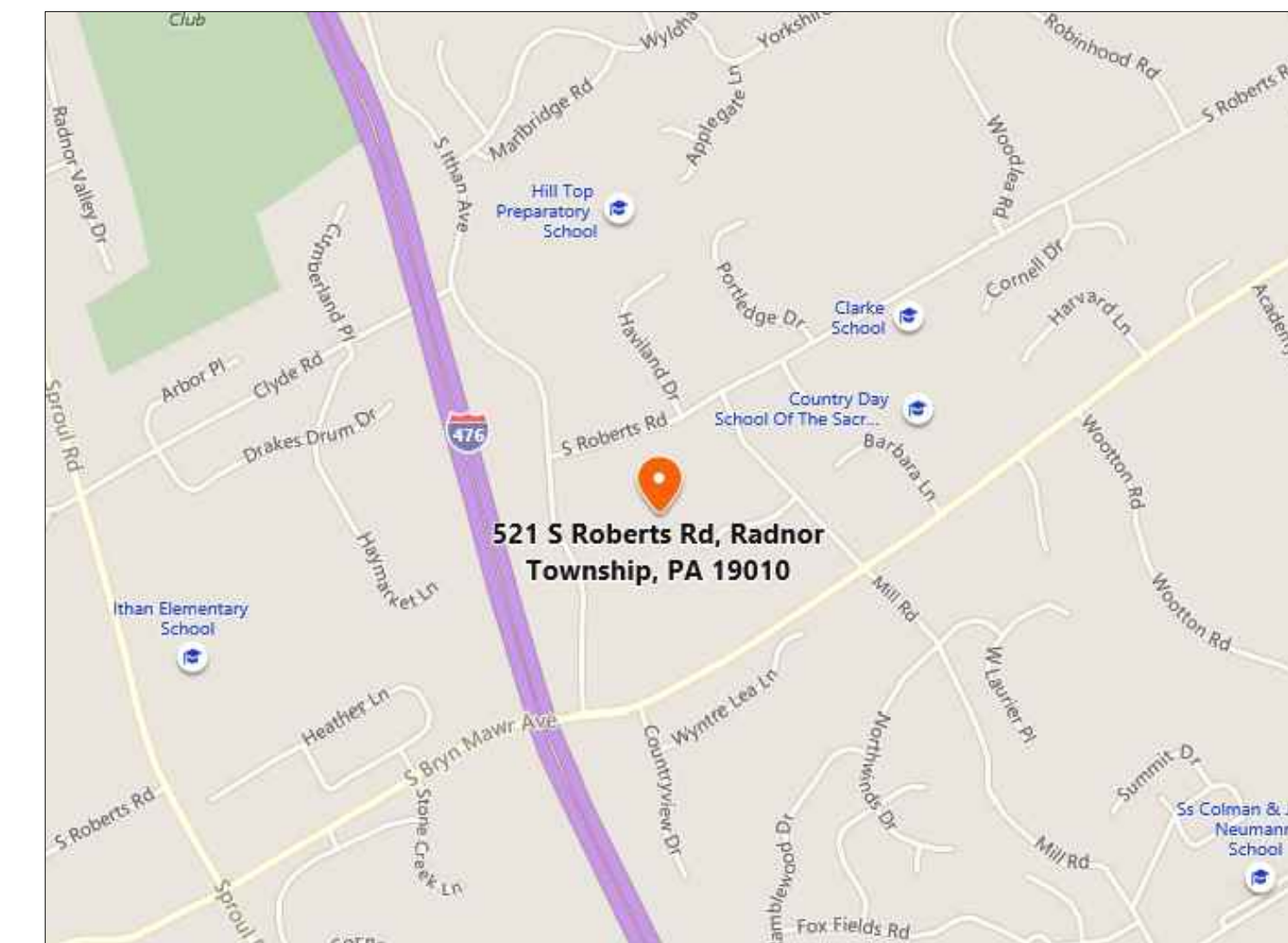
Vincent Falcone

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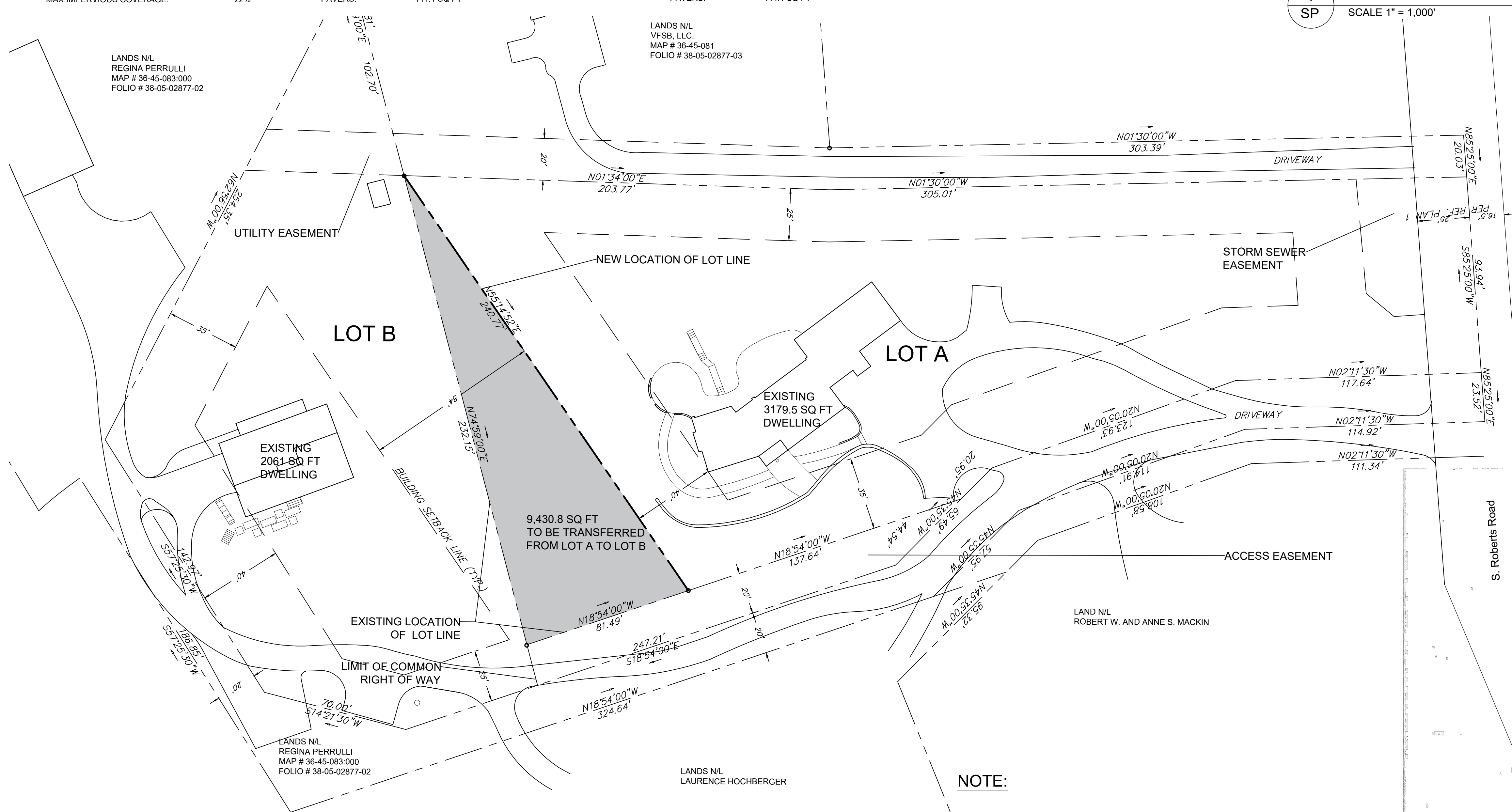
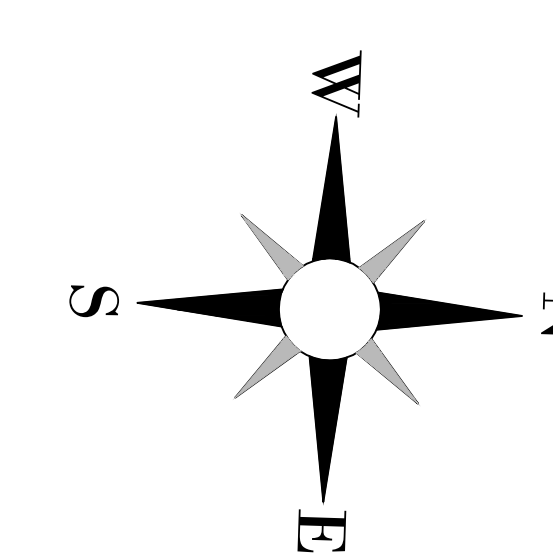
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Paul F. Bloomfield

Mia Bloomfield



1 SP LOCATION PLAN
SCALE 1" = 1,000'



1 SP PROPOSED SITE PLAN
SCALE 1" = 50'

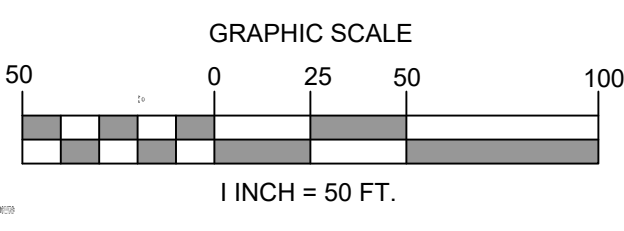
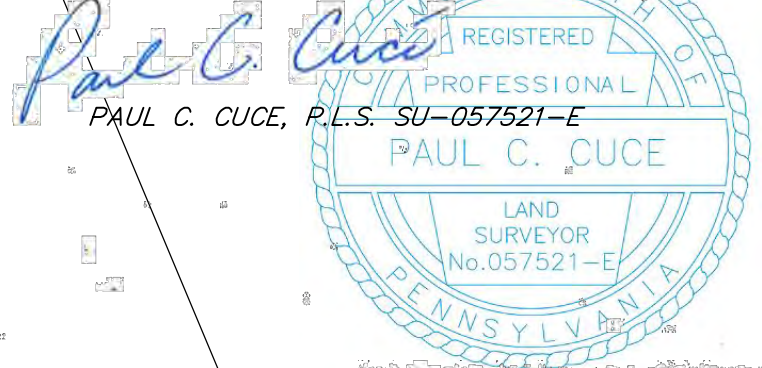
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GENERAL NOTES:
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BLOOMFIELD ARCHITECTS

484.380.3400

Residential | Commercial
New Construction
Additions
Renovations

BloomfieldArchitecture.com

PROJECT INFORMATION:

PROPOSED LOT LINE REVISION

LOT A: 525 S. Roberts Road
Bryn Mawr, PA 19010

LOT B: 521 S. Roberts Road
Bryn Mawr, PA 19010

DRAWN BY:	ASM
DATE:	10/29/2018
REV. 1 - 12/24/2018 REVISE PER TOWNSHIP REVIEW COMMENTS	

SP

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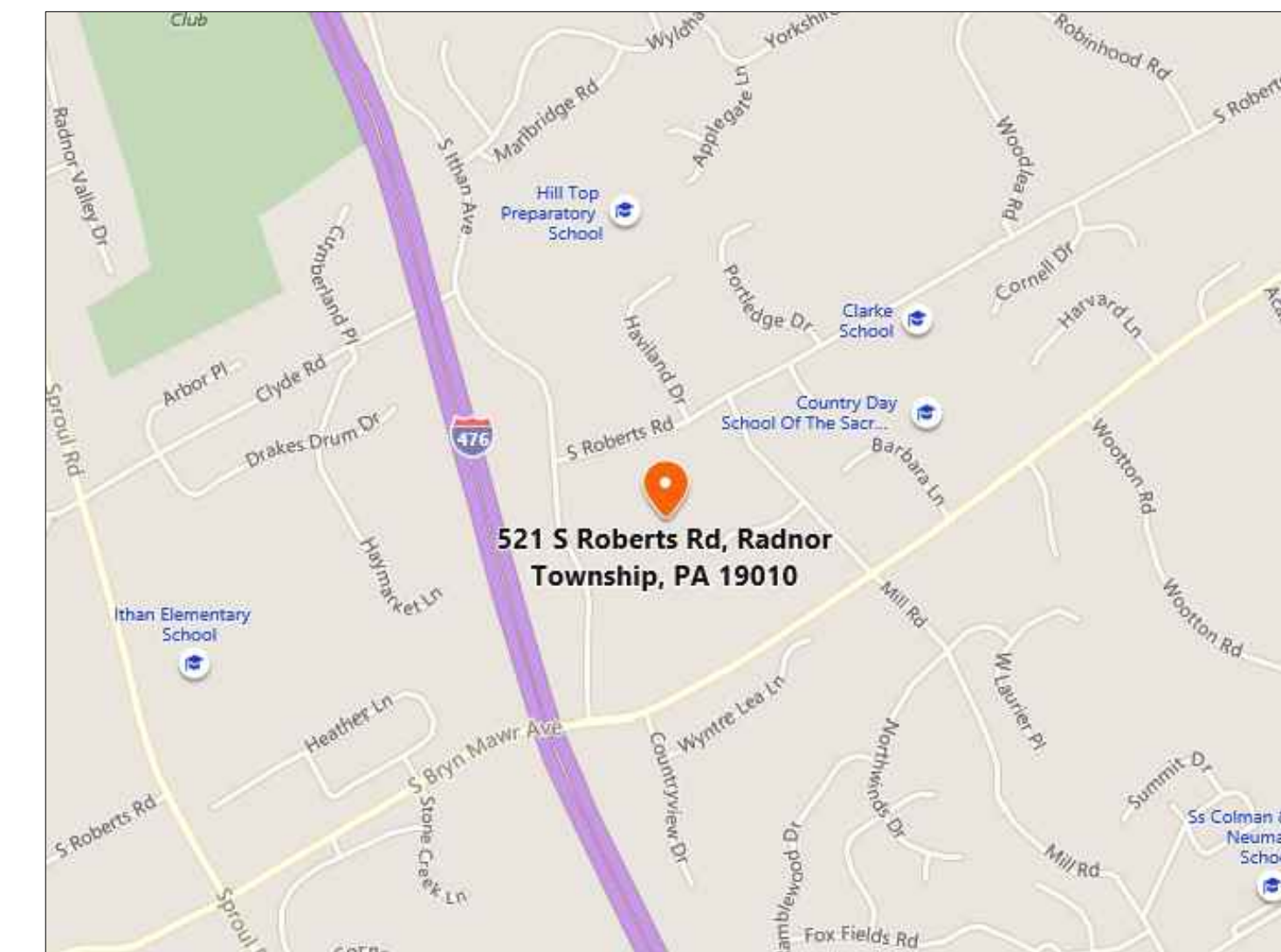
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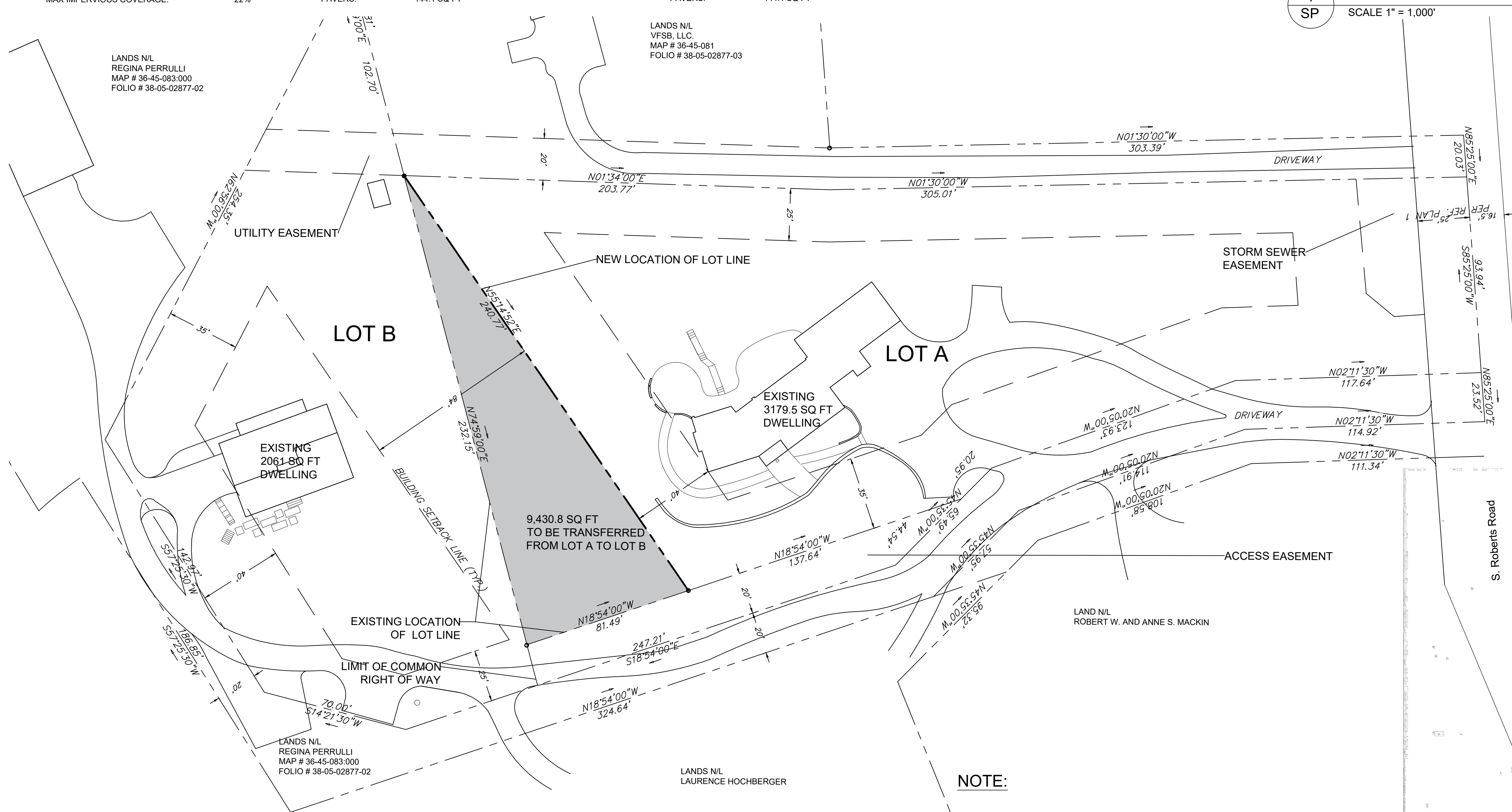
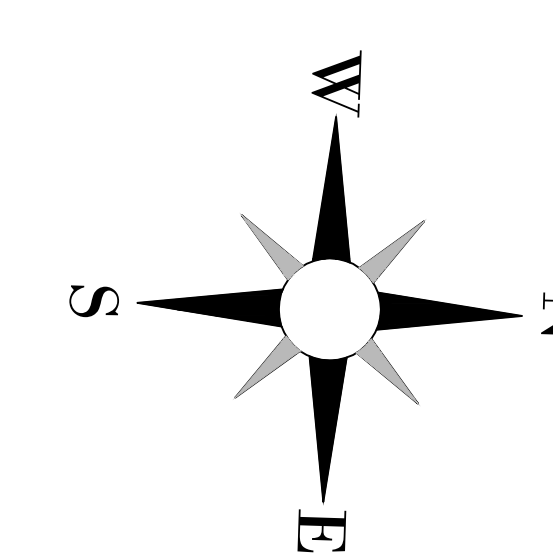
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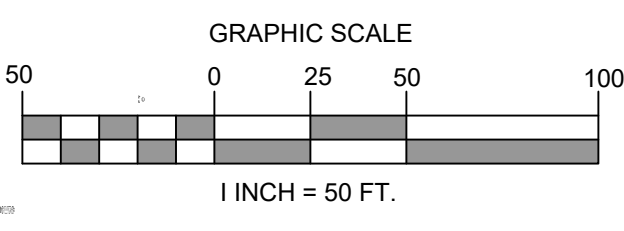
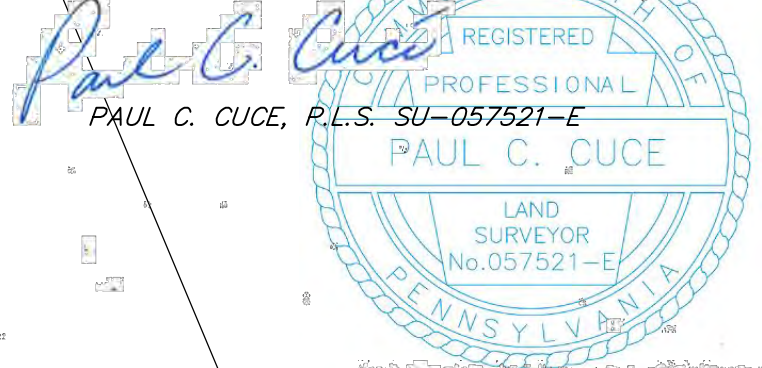
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BLOOMFIELD ARCHITECTS

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DRAWN BY:	ASM
DATE:	10/29/2018
REV. 1 - 12/24/2018 REVISE PER TOWNSHIP REVIEW COMMENTS	

SP

RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: February 4th, 2019

**Re: 106 Harvard Lane – Stormwater Management Ordinance Waiver
Request – Grading Permit Application GP 19-010**

Harvard Lane is in the Woodlands II subdivision consisting of 14 lots. On lot 45 (GP Application 19-010), testing indicated that the groundwater levels would not support infiltration. When this occurs, the applicant is required to request a waiver from this portion of the Stormwater Management Ordinance from the Board of Commissioners.

The applicant is proposing to construct two rain gardens for volume control and water quality.

Enclosures: Applicant Waiver Request, Review Letter



Gannett Fleming

Excellence Delivered *As Promised*

Date: February 1, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

RE: 106 Harvard Lane – Stormwater Waiver Request
Grading Permit Application – GP 19-010

The applicant has submitted a grading permit for the construction of a 3,066 SF building, 1,579 SF driveway, and 392 SF of walkways and patio. The applicant is requesting a waiver of §245-22.A(2)(c)[2] of the Township's Stormwater Management Ordinance. No permeability testing could be conducted due to the high water table.

The applicant conducted one test pit on the site. Soil features were similar to all test pits on the south side of Harvard Lane, which exhibited redoxymorphic features indicative of a high water table. Groundwater was encountered at 32" below grade. No permeability test was performed because the high water table would not allow a system to be installed per the PADEP isolation distance of 24 inches. The applicant is proposing two rain gardens to provide volume reduction and achieve water quality requirements.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned section of the Ordinance and the implementation of the above mentioned stormwater system.

In addition to the waiver request, the applicant must address the following item(s) prior to the issuance of the Grading Permit:

1. The applicant must address the remaining grading permit review comments per the Gannett Fleming email dated January 21, 2019.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

Roger A. Phillips, P.E.
Senior Project Manager



SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

January 8, 2019

Board of Commissioners Radnor Township
301 Iven Avenue
Wayne, PA 19087

Re: Section 245-22 , Groundwater Recharge Waiver
106 Harvard Lane, Lot 45, Woodlands at Bryn Mawr

Dear Members of the Board:

The Rockwell Bryn Mawr, L.P., respectfully requests a waiver from Section 245-22 of the Township Code requiring groundwater recharge for projects adding new or replacement impervious coverage greater than 500 square feet. As detailed in this request letter, the minimum infiltration requirement of 0.50 inches cannot be achieved and a waiver is sought from the Township in accordance with Section 245-22.A(2)(c)[2].

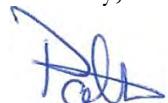
106 Harvard Road is vacant Lot 45 of the Woodlands II subdivision created in the late 1970's. Only one lot was initially developed (102 Harvard Lane) and the remaining lots have become overgrown with invasive vines and refuse over the last four decades. The current owner, Rockwell Bryn Mawr, L.P., is developing a new family home at 106 Harvard Lane with as shown on the attached plan. The proposed impervious coverage is 5,037 square feet, 21.7%. The Density Modification Development ordinance allows 27%.

Mr. Kevin Sech, P.G., P.E., of HILBEC Engineering, was retained to conduct a soil investigation of the property and surrounding lots, as required by Section 245-22. Mr. Sech evaluated the potential stormwater management areas along Harvard Lane. All test pits on the side south side of the road were similar. Each test pit exhibited redoxymorphic features indicative of a high water table. Mr. Sech concluded either no permeability testing could be conducted per PA DEP guidance due to the restrictive drainage features or the tests did not pass the minimum PA DEP infiltration requirement of 0.1 in/hr. See the soil testing report in the Post Construction Stormwater Management Narrative for 108 Harvard Lane.

In lieu of infiltration facilities, the stormwater management design proposes two rain gardens at 106 Harvard Lane to meet water quality and post development runoff peaks ordinance requirements. The rain gardens were designed using the PA DEP Managed Release Concept for bioretention basins. The proposed rain gardens will provide detention within the above ground basin and slowly infiltrate the runoff through a compost attenuation medium for water quality control. Then infiltrated runoff will discharge through a restriction orifice at a slow rate to Meadowbrook Run in the south edge of the property. Please refer to the engineering details in the Grading Permit Application.

Should the Township have any questions or require additional information, please contact me at pspellman@site-engineers.com or 610.523.9002.

Sincerely,



Patrick Spellman, P.E.

Impervious Surface

Complete the impervious surface table (required).

Location: **106 HARVARD LANE, LOT 45**

Project Description: **SINGLE FAMILY HOME**

Gross Lot Area **23240** Sq. Ft.

To be Completed by Radnor Township	
Permit Number:	<u>19-010</u>
Submission Date:	<u>1/11/19</u>
Shade Tree Approval Date:	<u>1/23/19</u>
Final Approval Date:	_____
Zoning Approval:	_____
	Zoning Officer
Grading Permit Approval:	_____
	Township Engineer

Complete All Yellow Fields						
Cover Type	Existing Area (square feet)	Percentage of existing impervious surface area of your lot	Area of Impervious Removed (square feet)	Area of Added Impervious Cover (square feet)	Total Area (square feet)	Percentage of total impervious surface of your lot, as proposed
Building	0		3,066	3,066	3,066	
Walkway/sidewalk	0		197	197	197	
Patios, decks	0		195	195	195	
Driveway	0		1,579	1,579	1,579	
Other	0		0	0	0	
Total	0		0%	5,037	5,037	

Estimated Cubic Yards of Dirt Involved **500** Will this fill be taken off site ___ Yes **X** No

Number of trees to be removed (over 6" in diameter) **19** Is Property in Historical District ___ Yes **X** No

Place a check in the box of the Zoning District applicable to your lot. (required)

Zoning Table							
Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)		Zoning District	Maximum Impervious Cover (%)
R-1	22		CO 2,3 stories	50		GH_CR	95
R-2	30		C1	60		GH-BC	50
R-3	35		C-2	70		GH-OS	15
R-4	40		C-3	65		WBOD	NA
R-5 Semi/2 family detached	40		PI	45		PB	55
R-5 Multi Dwelling	36		PA	50		PLO	55
R-6	70		GH-N	60		FC	NA
R-IA	30		GH-GA	80		PLU	45

D-M **27%** **X**

TO BE COMPLETED BY APPLICANT

Property Owner(s) **ROCKWELL BRYN MAWR, L.P.**

Address of Property **106 HARVARD LANE, LOT 45, WOODLANDS II**
C/O 124 E. STATE STREET, MEDIA, PA 19063

Phone Number **484-614-5876** Email **CFLYNN@ROCKWELLCUSTOM.COM**

Engineer/Surveyor **PATRICK SPELLMAN, SITE ENGINEERING**

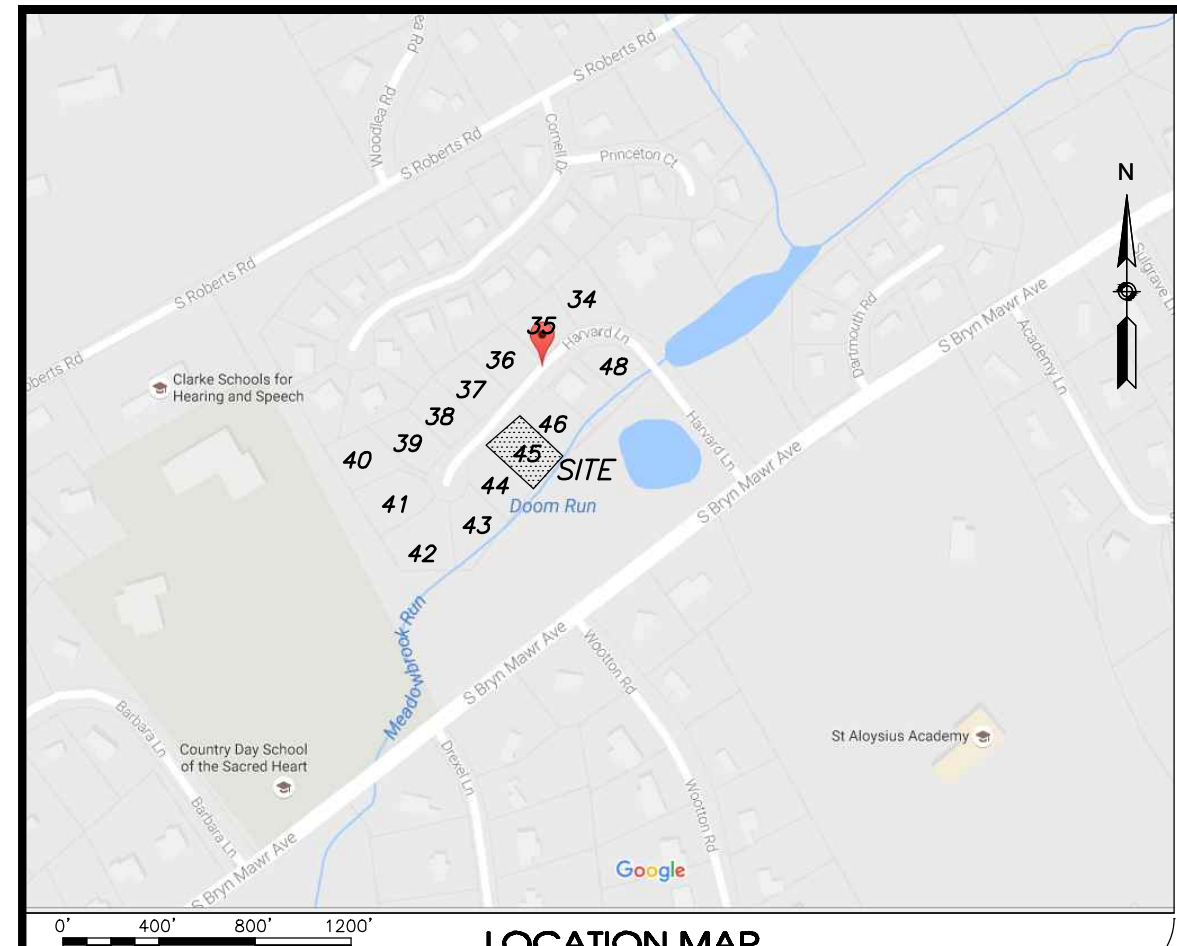
Phone Number **610.523.9002** Email **PSPELLMAN@SITE-ENGINEERING.COM**

The undersigned hereby makes application for a Permit under Chapter 175 and any amendments there of:

Signature of Applicant _____

Please note the following requirements:

1. Submit five (5) copies of the plan set with your application
2. Plans are to be no larger than 24" x 36", and shall be folded
3. Shade Tree Commission: If your project meets any of the following requirements, you will be required to attend the Shade Tree Commission Meeting, as well as submit an additional 2 (two) sets of plans and 1(one) flashdrive:
 - a. Any clearing activity which proposes the removal of six (6) or more trees with a Diameter at Breast Height (DBH) of 6" or greater
 - b. Grading in excess of 200 cubic yards, excavation in excess of 60 cubic yards
 - c. Grading for parking lots of 5 or more cars
 - d. Removal of a Heritage Tree (30" DBH or greater) in a non-emergency situation.
 - e. Forestry management and practices
 - f. Swimming pool permits
 - g. The Shade Tree Commission shall review, if directed by the Township Engineer, applications submitted to the Township for the following: Demolition permits on any building lot whereby the proposed work may impact or cause the removal of trees; and Commercial tree removal.
4. Stormwater Calculations:
 - a. Replacement of impervious surface is considered "new" impervious
 - b. There is no credit for the removal of impervious surface
 - c. Stormwater calculations are to be based on the total of all added impervious (not the net impervious surface)



LOCATION MAP

NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 2018282223



TREE REPLACEMENT CALCULATIONS

DBH	TREES TO BE REMOVED	REQUIRED REPLACEMENT PER TREE	TREES TO BE ADDED
6" TO 18"	10	1	10
19" TO 29"	8	3	24
30" OR GREATER	1	6	6
TOTAL	19		40

PLANT SCHEDULE

20 REPLACEMENT TREES PROPOSED PER LANDSCAPE PLAN. WOODLANDS ARE BRYN MAWR, PREPARED BY GLACIN THOMAS PANZAK. BALANCE OF REQUIRED TREES TO BE PLANTED ALONG HARVARD LOT WHERE SPACE IS AVAILABLE TO PROVIDE THE TOTAL REPLACEMENT TREES REQUIRED. SEE GTP PLAN FOR LOCATION AND SPECIES

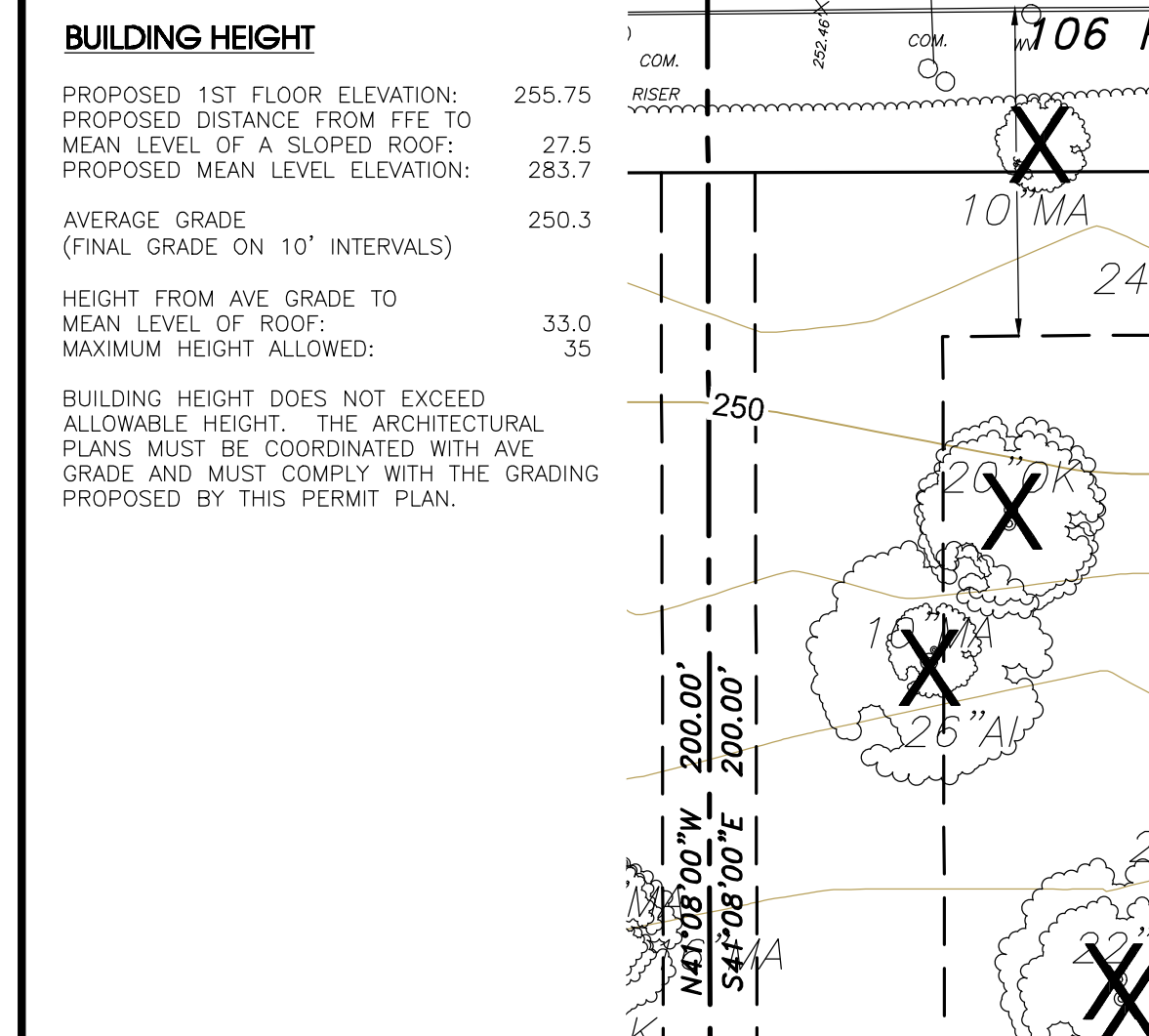
BUILDING HEIGHT

PROPOSED 1ST FLOOR ELEVATION: 255.75
 PROPOSED DISTANCE FROM FFE TO MEAN LEVEL OF A SLOPED ROOF: 27.5
 PROPOSED MEAN LEVEL ELEVATION: 283.7

AVERAGE GRADE (FINAL GRADE ON 10' INTERVALS): 250.3

HEIGHT FROM AVE GRADE TO MEAN LEVEL OF ROOF: 33.0
 MAXIMUM HEIGHT ALLOWED: 35

BUILDING HEIGHT DOES NOT EXCEED ALLOWABLE HEIGHT. THE ARCHITECTURAL PLANS MUST BE COORDINATED WITH AVE GRADE AND MUST COMPLY WITH THE GRADING PROPOSED BY THIS PERMIT PLAN.

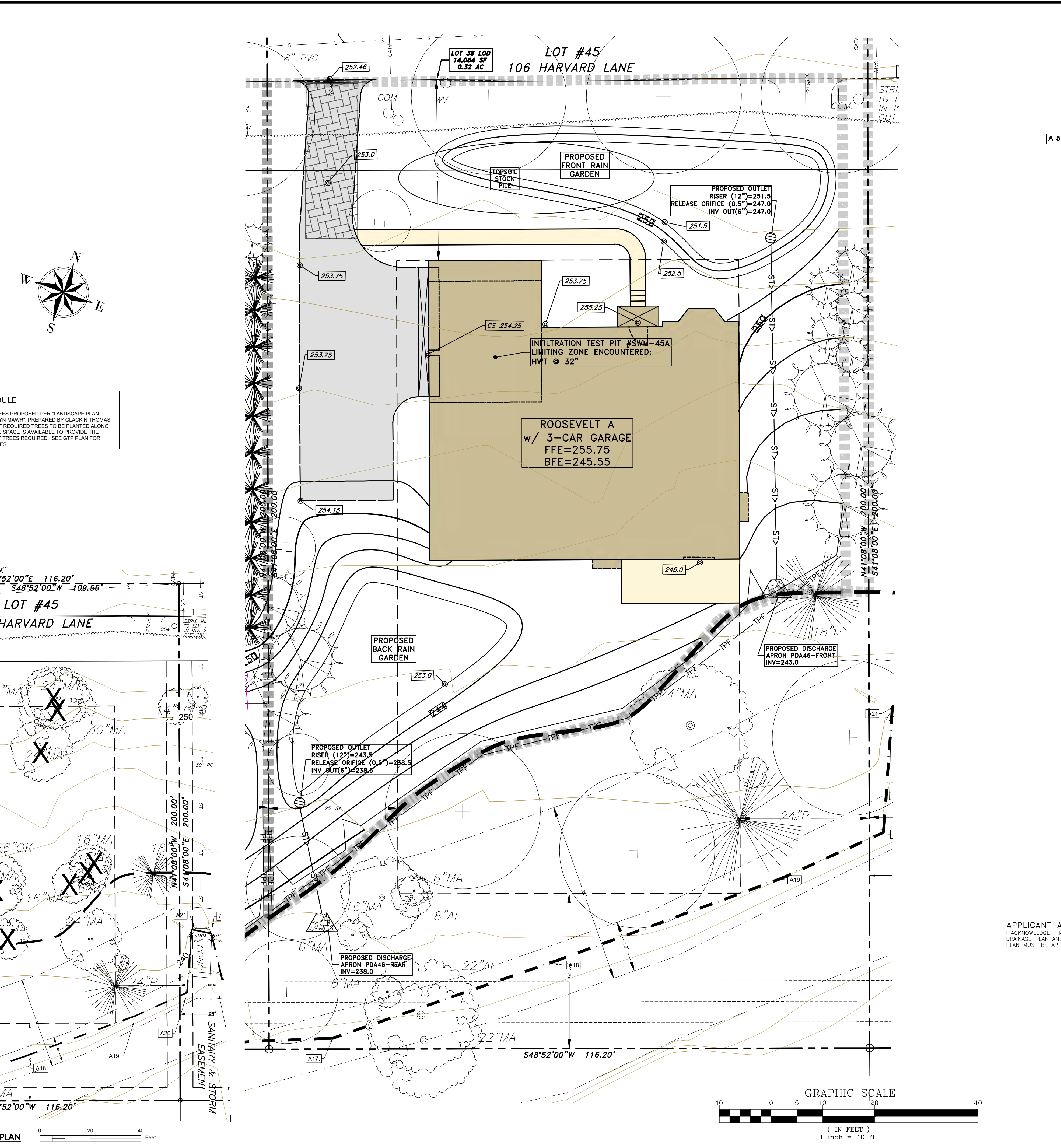


TREE LEGEND

AI	AILANTHUS	MB	MULBERRY
AV	ARBORVITAE	MG	MAGNOLIA
BE	BEECH	MA	MAPLE
BR	BIRCH	OK	OAK
CD	CEDAR	SA	SASSAFRAS
CH	CHERRY	SW	SWEETGUM
CO	CORN DOGWOOD	SP	SPIRUE
CR	CRABAPPLE	SO	SOURWOOD
EL	ELM	SY	SYCAMORE
FR	FRUIT	TU	TULIPELO
HB	HACKBERRY	WA	WALNUT
HK	HICKORY	WI	WILLOW
HM	HEMLOCK	WP	WHITE PINE
HY	HOLLY		
MA	MAPLE		
KD	KOUSSA DOGWOOD		



DEMOLITION PLAN



PLAN LEGEND

BOLD LINES: PROPOSED
FADED LINES: EXISTING

- 1" INTERVAL CONTOUR
- 5' INTERVAL CONTOUR
- STORM SEWER PIPING
- SANITARY SEWER PIPING
- GAS MAIN
- WATER MAIN / SERVICE
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- COMMUNICATIONS
- EDGE OF LANDSCAPING
- EDGE OF PAVEMENT
- PROPERTY LINE
- BUILDING SETBACK LINE
- 100 YR FLOOD BOUNDARY
- WETLANDS W/FLAGS
- TWP RIPARIAN SETBACK

BUILDINGS

ASPHALT

WALLS

WALKS & PADS

CLEAN OUT

DOWNSPOUT

MODERATELY STEEP SLOPES

VERY STEEP SLOPES

LEGEND - E & S CONTROL FEATURES

- 8" COMPOST SOCK
- TREE PROTECTION FENCING
- LIMIT OF DISTURBANCE LINE
- ROCK CONSTRUCTION ENTRANCE
- SOIL BOUNDARY
- TREE TBR
- SLOPE LENGTH CALCULATION
- SLOPE LENGTH CALCULATION

IMPERVIOUS COVERAGE SUMMARY (SQ. FT.)

	EXISTING	TO BE REMOVED	TO BE ADDED	NET	PROPOSED
BUILDINGS	0	0	3,066	3,066	3,066
WALKS	0	0	197	197	197
PATIOS & DECKS	0	0	195	195	195
DRIVES	0	0	1,579	1,579	1,579
OTHER	0	0	0	0	0
TOTAL IMPERVIOUS COVERAGE	0	0	5,037	5,037	5,037
TOTAL BUILDING %	0.0%				13.2%
TOTAL IMPERVIOUS %	0.0%				21.7%

FUTURE IMPERVIOUS

THE STORMWATER MANAGEMENT SYSTEM HAS BEEN DESIGNED TO ACCOMMODATE AN ADDITIONAL 535.5 SF OF PROPOSED IMPERVIOUS NOT SHOWN ON THIS PLAN. THE PROPOSED DESIGN REQUIRES FUTURE IMPERVIOUS TO BE CAPTURED IN THE REAR RAIN GARDEN. A SEPARATE GRADING PERMIT SUBMISSION WILL BE REQUIRED TO CONSTRUCT THE ADDITIONAL IMPERVIOUS AND FOR ANY OTHER FUTURE IMPROVEMENTS AT THE SITE IN ACCORDANCE WITH THE APPLICABLE ORDINANCES IN FORCE AT THAT TIME.

CONSTRUCTION STAGING

PERMITEE OR PERMITTEE'S DESIGNEE SHALL CONTACT THE TOWNSHIP AT 610-688-5600 TO ARRANGE THE PRE-CONSTRUCTION CONFERENCE AT THE SITE WITH THE TOWNSHIP ENGINEER. THE PRE-CONSTRUCTION CONFERENCE MUST BE HELD PRIOR TO COMMENCEMENT OF ANY WORK ASSOCIATED WITH THE GRADING PERMIT.

STAGE 1. FIELD LOCATE ALL UTILITIES.

STAGE 2. INSTALL SILT FENCE AND TREE PROTECTION FENCING. INSTALL ROCK CONSTRUCTION ENTRANCE IF CLEANING OF TIRES ON EXISTING DRIVEWAY IS INEFFECTIVE.

STAGE 3. STRIP TOPSOIL AND ROUGH GRADE AREA OF PROPOSED IMPROVEMENTS. IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH THE APPROPRIATE SEED MIXTURE. TOPSOIL STOCKPILES ARE TO BE LIMITED TO 35 FEET WITH A MAXIMUM SIDE SLOPE OF 2:1. IMMEDIATELY STABILIZE STOCKPILE.

STAGE 4. CONSTRUCT IMPROVEMENTS. DISTURBANCE SHALL BE KEPT TO A MINIMUM AT ALL TIMES. MAINTAIN ALL EROSION CONTROL FACILITIES AND DEVICES IN PROPER WORKING ORDER AT ALL TIMES. IMMEDIATELY STABILIZE DORMANT DISTURBED AREAS WITH STONE OR WITH TEMPORARY OR PERMANENT SEED MIX AS WARRANTED AND MULCH AT 3 TONS PER ACRE, AND LIME AS PRESCRIBED.

STAGE 5. CONSTRUCT THE STORMWATER BASIN AND CONVEYANCE SYSTEM. SUB-GRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC. ANY SEDIMENT THAT ACCUMULATES IN THE BASIN SHALL BE REMOVED. THE CONVEYANCE SYSTEM OR BASIN SHOULD RECEIVE RUNOFF FROM UNSTABILIZED AREAS. ALL AREAS TRIBUTARY TO THE BASIN SHALL ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER BEFORE RUNOFF IS ALLOWED TO ENTER THE STORMWATER SYSTEM.

STAGE 6. CONSTRUCT THE STORMWATER BASIN AND CONVEYANCE SYSTEM. SUB-GRADE SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC. ANY SEDIMENT THAT ACCUMULATES IN THE BASIN SHALL BE REMOVED. THE CONVEYANCE SYSTEM OR BASIN SHOULD RECEIVE RUNOFF FROM UNSTABILIZED AREAS. ALL AREAS TRIBUTARY TO THE BASIN SHALL ACHIEVE A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER BEFORE RUNOFF IS ALLOWED TO ENTER THE STORMWATER SYSTEM.

STAGE 7. A MINIMUM OF 4 INCHES OF TOPSOIL SHOULD BE PROVIDED OVER ALL DISTURBED AREAS PRIOR TO SEEDING OPERATIONS.

STAGE 8. ONCE SITE IS STABILIZED WITH 70% COVERAGE, CONTRACTOR MUST REMOVE EROSION AND SEDIMENTATION CONTROLS. AREAS DISTURBED DURING REMOVAL MUST BE STABILIZED IMMEDIATELY.

ANTICIPATED START OF CONSTRUCTION - WINTER 2018
 ANTICIPATED COMPLETION OF CONSTRUCTION - SUMMER 2019

PROJECT NARRATIVE

THE OWNER/APPLICANT, ROCKWELL BRYN MAWR, LP, PROPOSES TO CONSTRUCT A SINGLE FAMILY DWELLING ON A VACANT LOT. THE PROPOSED IMPERVIOUS COVERAGE IS 5,804 SF. THE PROPERTY IS IN THE DARBY CREEK WATERSHED, RELEASE DISTRICT B-2. THE PROPOSED STORMWATER BASIN WILL REDUCE THE POST-CONSTRUCTION STORM PEAK RUNOFF RATE TO THE PRE-CONSTRUCTION STORM PEAK RUNOFF RATES REQUIRED BY TABLE 406.1 AND PROVIDE THE REQUIRED RETENTION AND WATER QUALITY VOLUMES. THE LIMIT OF DISTURBANCE AND STORMWATER REGULATORY AREA IS 20,350 SF. DURING CONSTRUCTION EROSION AND SEDIMENT CONTROL IS ACCOMPLISHED THROUGH LIMITED DISTURBANCE, IMMEDIATE STABILIZATION, AND SILT BARRIERS.

APPLICANT ACKNOWLEDGEMENT:

I ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN AND EROSION AND SEDIMENT CONTROL PLAN MUST BE APPROVED BY RADNOR TOWNSHIP.

NUM. DATE REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTERN, PA 19399

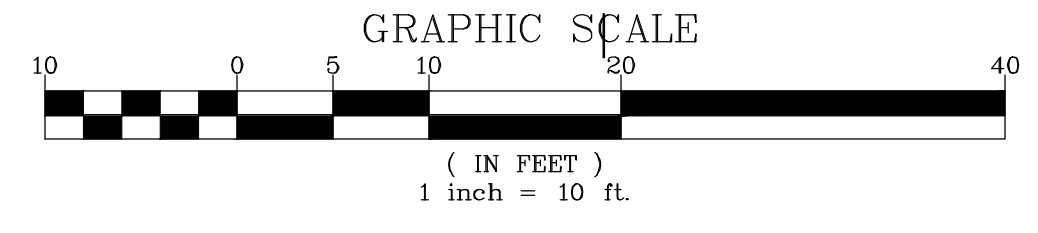
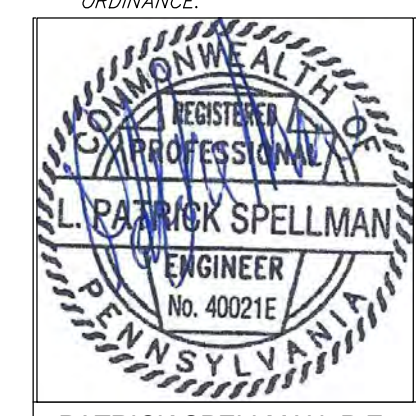
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

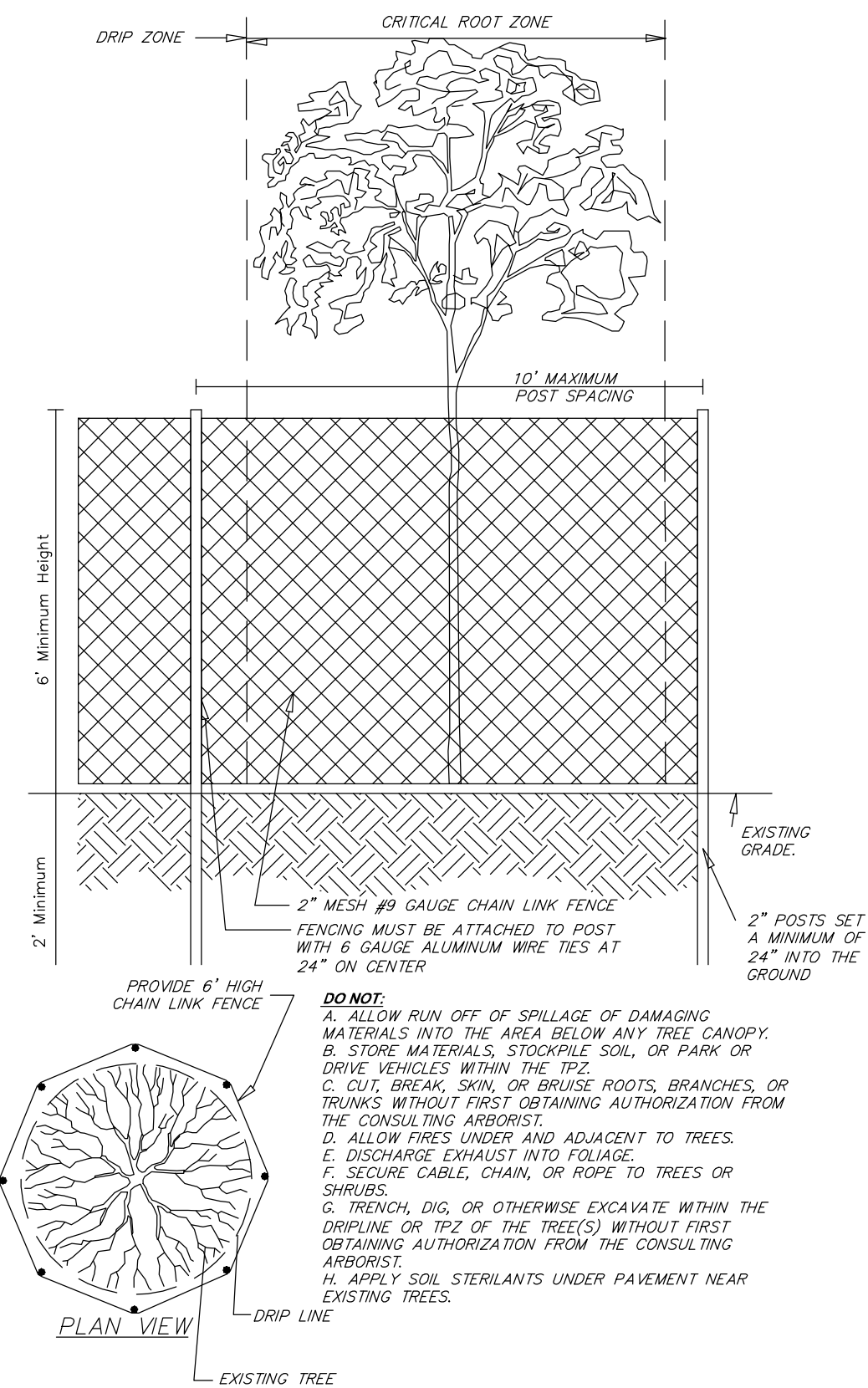
PLAN PREPARED FOR:
ROCKWELL BRYN MAWR, LP
 WOODLANDS AT BRYN MAWR
 HARVARD LANE
 BRYN MAWR, PA 19010

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
 DATE: JANUARY 8, 2019

LOT 45
106 HARVARD LANE
PROPOSED PERMIT PLAN

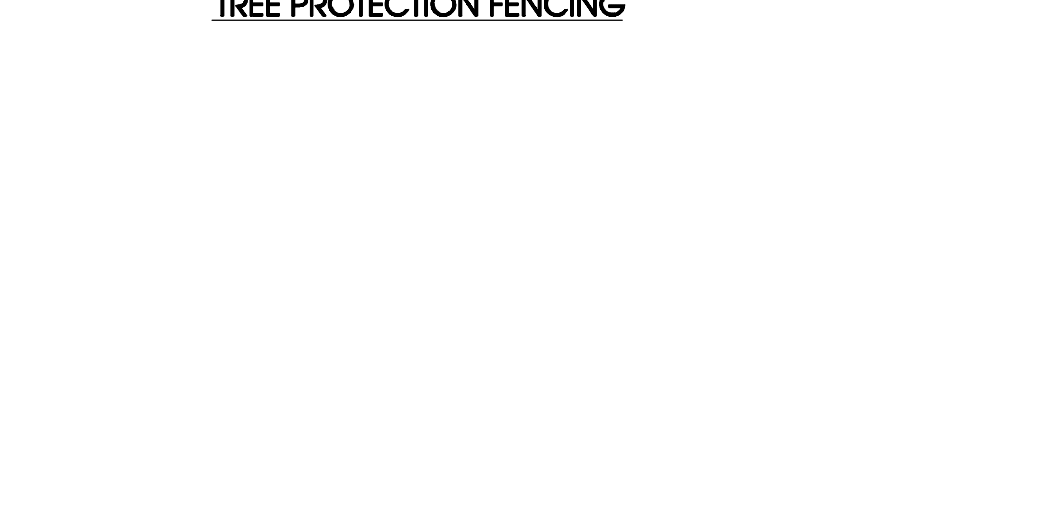
SHEET
1 of 2
 SCALE: AS NOTED





TREE PROTECTION SPECIFICATIONS

- A 4" LAYER OF COURSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIFLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
- A PROTECTIVE BARRIER OF 6" CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIFLINE OF PROTECTED TREE(S). THE FENCING CAN BE MOVED WITHIN THE DRIFLINE IF AUTHORIZED BY THE CONSULTING ARBORIST BUT NOT CLOSER THAN 2" FROM THE TRUNK OF ANY TREE. FENCE POSTS SHALL BE 2.0" IN DIAMETER AND ARE TO BE DRIVEN 2" INTO THE GROUND. THE DISTANCE BETWEEN POSTS SHALL NOT BE MORE THAN 10'. THIS ENCLOSED AREA IS THE TREE PROTECTION ZONE (TPZ).
- MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO CEMENT BLOCKS CAN BE SUBSTITUTED FOR "FIXED" FENCING IF THE CONSULTING ARBORIST AGREES THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF CONSTRUCTION. THE BUILDER MAY NOT MOVE THE FENCE WITHOUT AUTHORIZATION FROM THE CONSULTING ARBORIST.
- WHERE THE CONSULTING ARBORIST HAS DETERMINED THAT TREE PROTECTION WILL INTERFERE WITH THE SAFETY OF WORK CREWS, TREE WRAP MAY BE USED AS AN ALTERNATIVE FORM OF TREE PROTECTION. WOODEN SLATS AT LEAST ONE INCH THICK ARE TO BE BOUND SECURELY, EDGE TO EDGE, AROUND THE TRUNK. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE OUTSIDE OF THE WOODEN SLATS. MAJOR SCAFFOLD LIMBS MAY REQUIRE PROTECTION AS DETERMINED BY THE CONSULTING ARBORIST. STRAW WADDLE MAY BE USED AS A TRUNK WRAP BY COILING THE WADDLE AROUND THE TRUNK UP TO A MINIMUM HEIGHT OF SIX FEET FROM GRADE. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE STRAW WADDLE.

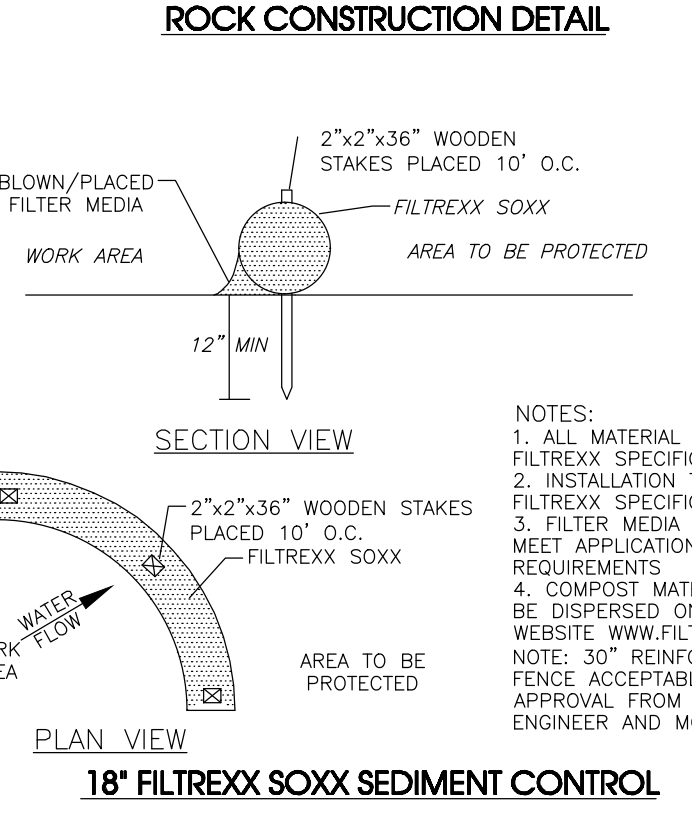


EROSION CONTROL MAINTENANCE REQUIREMENTS

- SILT BARRIER, TREE PROTECTION FENCING, AND THE ROCK CONSTRUCTION ENTRANCE MUST BE CHECKED ON A DAILY BASIS AND AFTER ALL STORM EVENTS TO ENSURE THAT THEY ARE STILL FUNCTIONING PROPERLY. IF NOT, THEY SHALL BE REPLACED OR CLEANED OF SEDIMENT.
- SEDIMENT MUST BE REMOVED FROM SILT BARRIER WHEN ACCUMULATIONS REACH 1/2 OF THE ABOVE GROUND HEIGHT OF THE FENCE.
- ANY SECTION OF SILT BARRIER WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.
- DIVERSION BERMS, STONED CONSTRUCTION STAGING AREAS, AND INLETS/PIPING SHALL BE PROVIDED AS REQUIRED OR AS DIRECTED BY THE TOWNSHIP SO AS TO ENSURE ACCEPTABLE CONDITIONS DURING THE CONSTRUCTION PHASE.

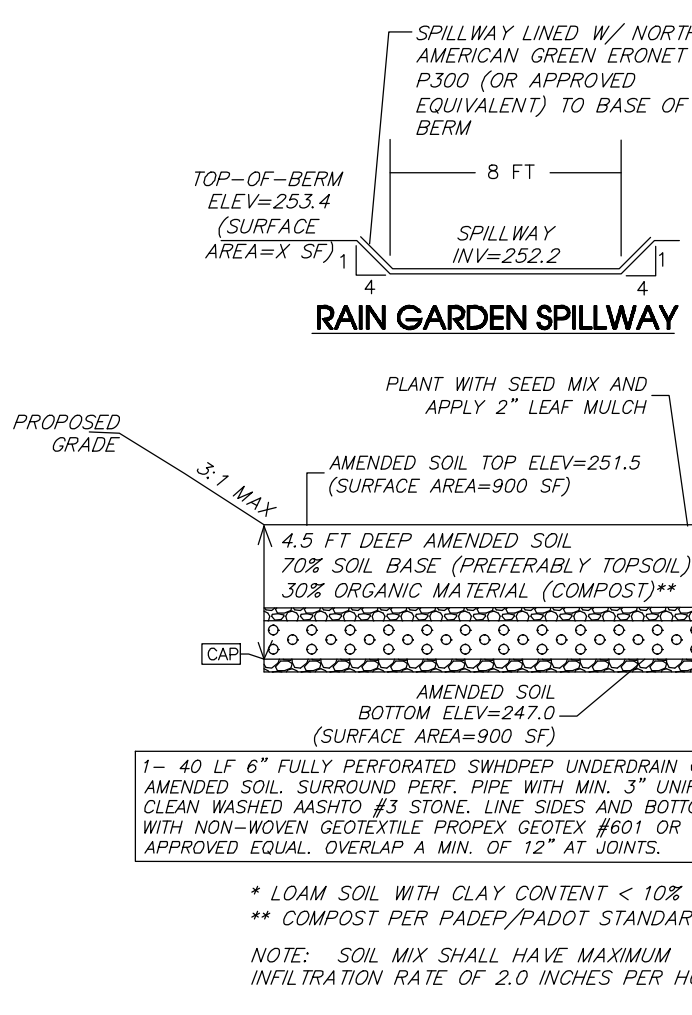
EROSION AND SEDIMENTATION CONTROL NOTES

- EROSION AND SEDIMENT BMPs MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE BEGINS WITHIN THE TRIBUTARY AREAS OF THOSE BMPs.
- AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENT BMPs MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE BMPs MUST BE STABILIZED IMMEDIATELY.
- CONTRACTOR MUST WASH VEHICLE TIRES PRIOR TO LEAVING SITE. SHOULD WASHING TIRES PROVE INEFFECTIVE, CONTRACTOR MUST INSTALL ROCK CONSTRUCTION ENTRANCE.
- CONTRACTOR MUST CLEAN DRIVEWAY AND ROAD OF ANY SEDIMENT AT THE END OF EACH WORK DAY.
- STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLORES MUST BE 2:1 OR FLATTER.
- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING AND RETINING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs, OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.



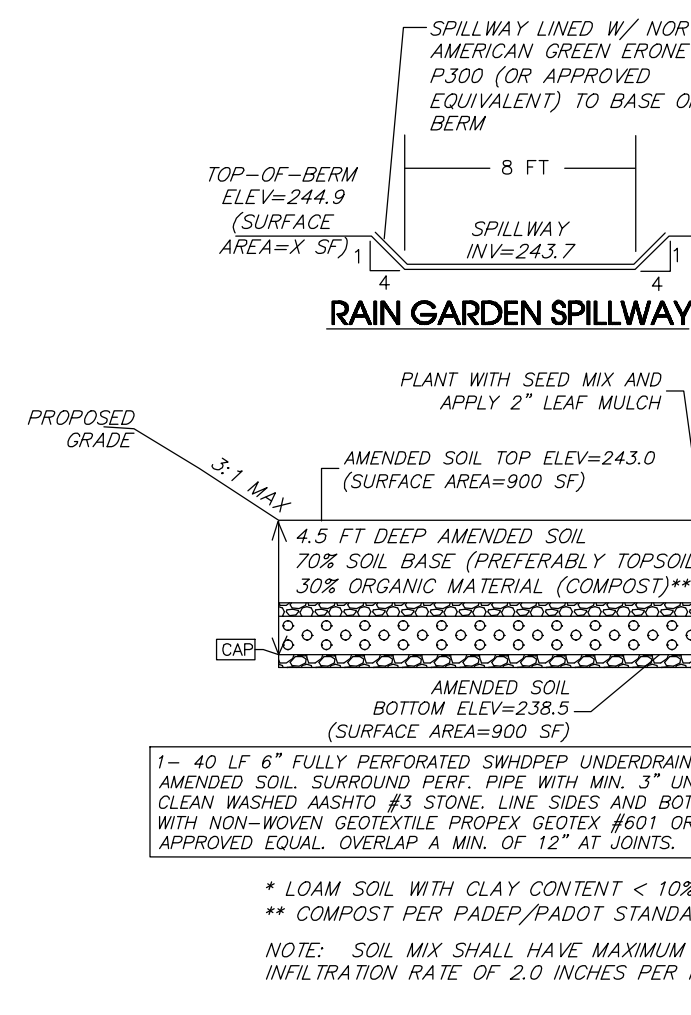
NOTES:

- ALL MATERIAL TO MEET FILTERREX SPECIFICATIONS
- INSTALLATION TO MEET FILTERREX SPECIFICATIONS
- FILTER MEDIA FILL TO MEET APPLICATION REQUIREMENTS
- COMPOST MATERIAL TO BE DISPersed ON SITE WEBSITE WWW.FILTERREX.COM NOTE: 30\"/>



PLANTING NOTES:

- PROPOSED BIORETENTION AREA SHALL BE SEEDED WITH ERNST "RAIN GARDEN MIX" ERNMX-261 (OR APPROVED EQUIVALENT).
- SEEDING RATE: 20 BULK LBS PER ACRE
- THE BIORETENTION AREA SHALL ONLY BE MOWED DURING THE DORMANT SEASON.

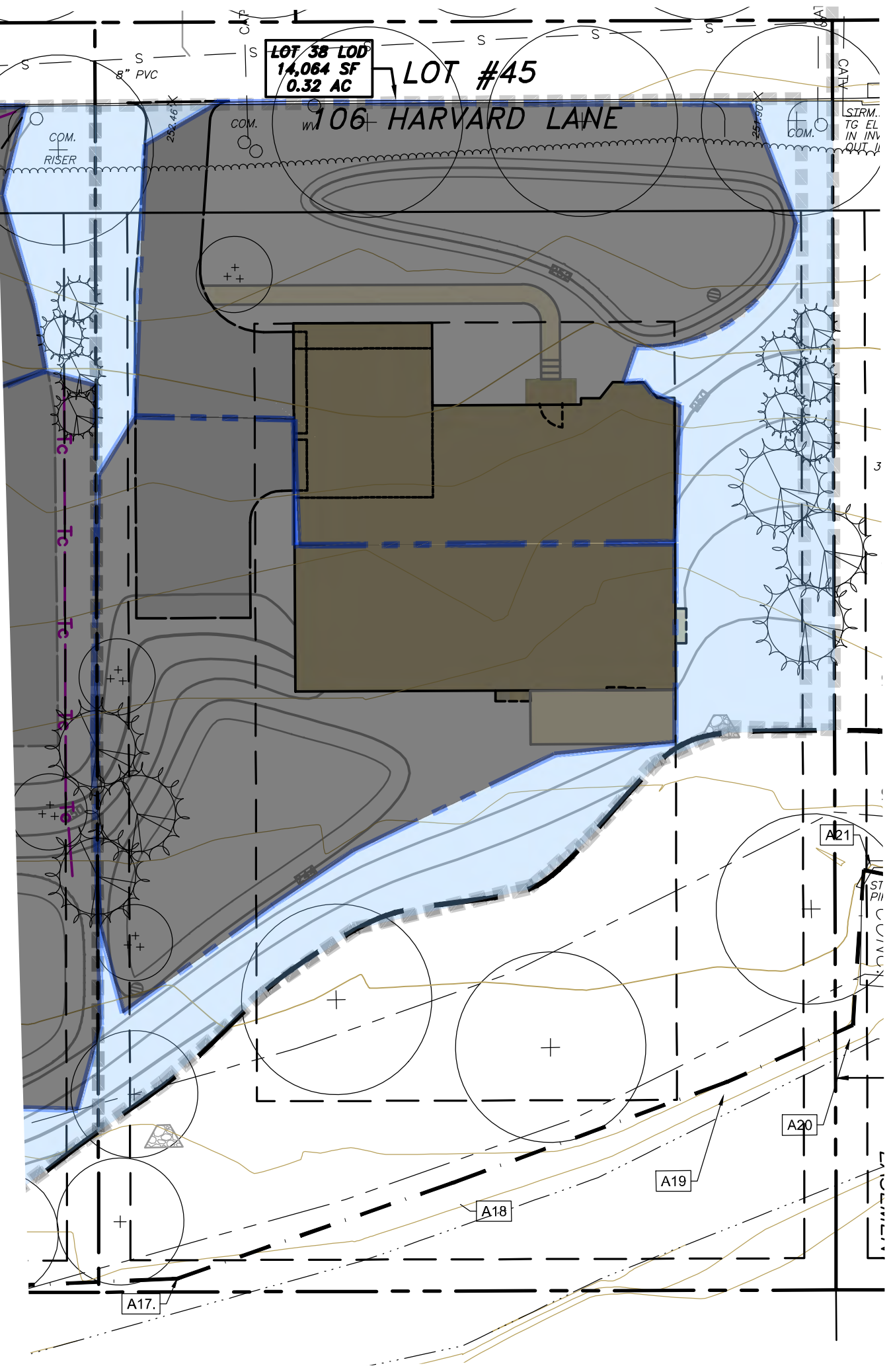


PLANTING NOTES:

- PROPOSED BIORETENTION AREA SHALL BE SEEDED WITH ERNST "RAIN GARDEN MIX" ERNMX-261 (OR APPROVED EQUIVALENT).
- SEEDING RATE: 20 BULK LBS PER ACRE
- THE BIORETENTION AREA SHALL ONLY BE MOWED DURING THE DORMANT SEASON.

RAIN GARDEN BASIN NOTES

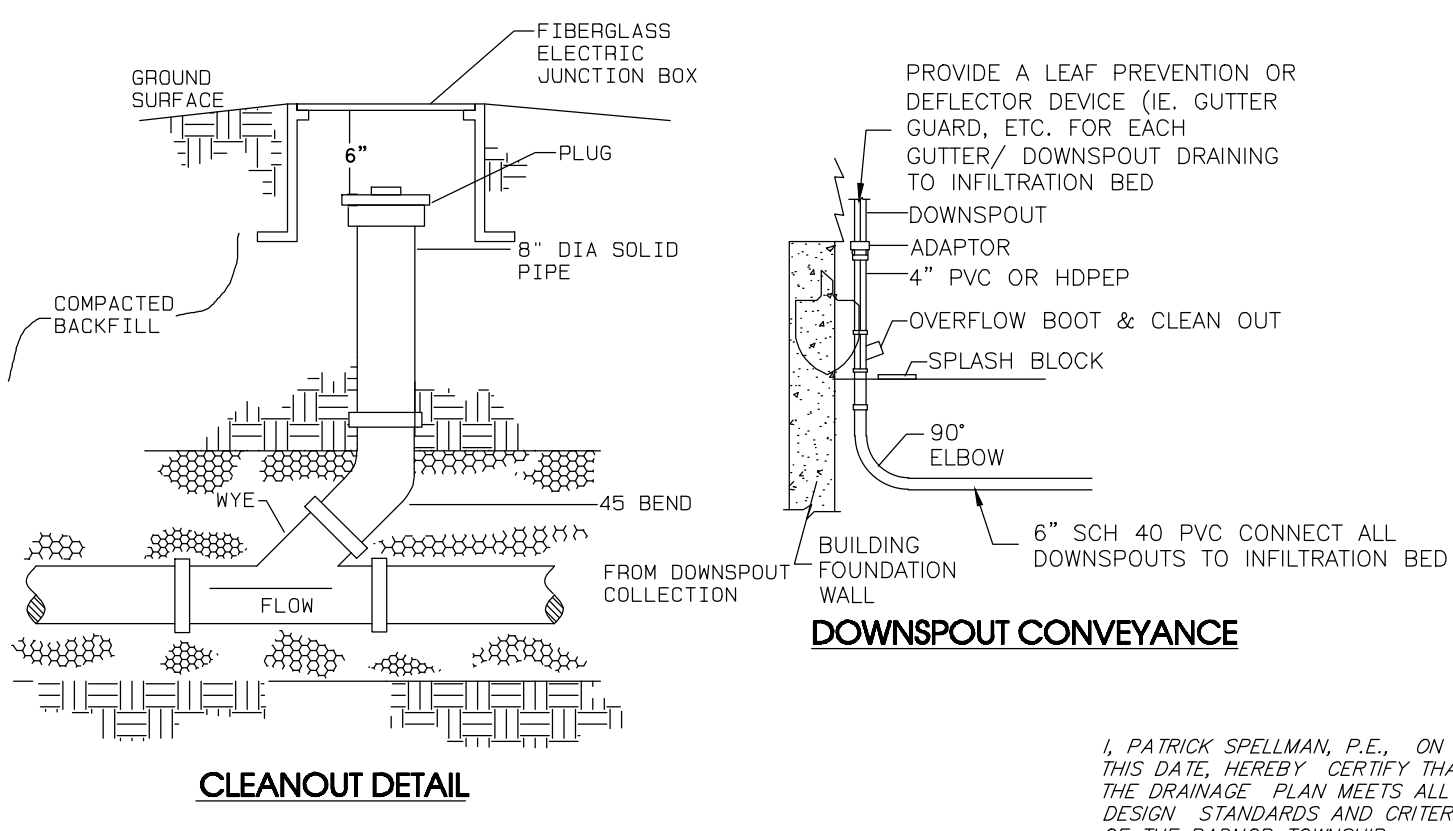
- ALL TOPSOIL AND VEGETATION SHOULD BE STRIPPED FROM THE EMBANKMENT AREA.
- EMBANKMENT AREAS WHICH ARE TO RECEIVE FILL SHOULD BE PROTECTED WITH A SEGMENTED PAD OR "SHEEPSFOOT" ROLLER PRIOR TO FILL PLACEMENT. ANY SOFT OR UNSTABLE AREAS NOTICED DURING THE PROTECTING SHALL BE UNDERCUT TO SUITABLE MATERIALS AS DIRECTED BY THE TOWNSHIP ENGINEER.
- ALL EMBANKMENT FILL SHALL CONSIST OF INORGANIC, READILY COMPACTIBLE, PREDOMINATELY CLAY SOIL FREE OF TRASH, FROZEN MATERIAL, ORGANIC INCLUSIONS, OR EXCESS MOISTURE. FILL SHALL BE PLACED IN HORIZONTAL LIFTS WITH A MAXIMUM THICKNESS OF EIGHT INCHES (8"). EACH LIFT SHALL BE COMPACTED IN ACCORDANCE AND TO THE STANDARDS OF THE STANDARD PROCTOR TEST (ASTM D698).
- PERFORATIONS SHALL MEET AASHTO CLASS II PATTERN FOR PIPE DIAMETER.
- CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE LINER AND FABRIC.
- THERE ARE NO PROVISIONS FOR THE CONNECTIONS OF SUMP PUMPS AND FOUNDATION DRAINS WILL REQUIRE A RE-DESIGN OF THE SYSTEM.



STORMWATER INFILTRATION BED NOTES

BASIN CONSTRUCTION SHALL FOLLOW BEST CONSTRUCTION PRACTICES INCLUDING BUT NOT LIMITED TO:

- SCARIFY BOTTOM AND SIDES OF BASIN, TAKING CARE NOT TO COMPACT SOIL.
- PERFORATIONS SHALL MEET AASHTO CLASS II PATTERN FOR PIPE DIAMETER.
- ENTIRE BED, SIDES TOP AND BOTTOM, SHALL BE WRAPPED IN SYNTHETIC INDUSTRIES NON-WOVEN #801 OR ENGINEER APPROVED EQUAL. PROVIDE A MINIMUM 1" OVERLAP AT ALL SEAMS AND JOINTS WHERE PROTRUSIONS OR PENETRATIONS OCCUR. GEOTEXTILE SHALL BE PERMANENTLY AFFIXED TO OBJECT.
- CARE SHOULD BE TAKEN IN THE PLACING OF STONE ATOP THE GEOTEXTILE SO AS TO AVOID TEARING OR RIPPING OF THE FABRIC. STONE SHOULD NOT BE DUMPED UNTIL A 6" LAYER OF STONE IS IN PLACE.
- BED TO ACCEPT RUNOFF ONLY FROM DESIGNATED DOWNSPOUTS AND ONLY AFTER LEAF GUARDS ARE IN-PLACE AND OPERATIONAL.



NUM.	DATE	REVISION
		PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC		
P.O. BOX 1992 SOUTHEASTERN, PA 19399		
P: 610-240-0450		F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM
PLAN PREPARED FOR:		
ROCKWELL BRYN MAWR, LP		
WOODLANDS AT BRYN MAWR HARVARD LANE BRYN MAWR, PA 19010		
RADNOR TOWNSHIP	DELAWARE COUNTY	PENNSYLVANIA
LOT 45		SHEET 2 of 2
106 HARVARD LANE		
DETAILS		SCALE: NTS



RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: February 4th, 2019

Re: 527 Roberts Road – Stormwater Management Ordinance Waiver Request – Grading Permit Application GP 17-022

Infiltration testing was performed prior to the submission of the application for above referenced Grading Permit in 2017. At that time, the testing indicated that groundwater recharge requirements could be met, for two sub-surface systems, A and B. System A has been successfully installed and is working properly.

During construction of System B, groundwater was encountered at a depth of 3-4 feet, thereby making infiltration a moot point. The applicant is requesting a waiver from the Township's Stormwater Management Ordinance (Groundwater Recharge and Rate Control). The applicant is suggesting planting 20 trees on site in lieu of System B.

Attached is the detailed Gannett Fleming review letter, the applicant's waiver request, and plan.



Gannett Fleming

*Excellence Delivered **As Promised***

Date: February 5, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

RE: 527 Roberts Road – Stormwater Waiver Request
Grading Permit Application – GP 17-022

The applicant submitted a grading permit in February 2017 for the construction of a 2,387 SF building, 5,367 SF driveway, and 447 SF of walkways and deck. The applicant completed infiltration testing and designed a stormwater system to meet Ordinance requirements during the grading permit review process and a permit was issued in July 2018. This approved stormwater system consisted of two separate systems, Basin A and Basin B. Basin A controls drainage for 21,265 SF and Basin B controls drainage for 6,040 SF. During construction of the approved Basin B, groundwater was encountered 3-4 feet below ground surface as opposed to the 8.5 feet found during infiltration testing in 2017. The applicant is requesting a waiver from any necessary sections of the Township's Stormwater Management Ordinance such as §245-22 Groundwater Recharge, §245-23 Water Quality, and §245-25 Rate Control.

Basin B was to control the portion of the driveway in the "flag pole" portion of the lot. Due to a utility easement created at the time of the subdivision creating the lot, Basin B cannot be relocated on the site to capture the same drainage area as was approved during the grading permit process. Basin A controls the drainage area for the house and majority of the driveway. This basin was installed without an issue and is sufficiently sized to provide the required water quality volume for both drainage areas. In addition, significant landscaping including 20 trees will be planted on the site.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned sections of the Ordinance to complete construction of the proposed building and associated improvements as allowed under approved grading permit 17-022 with the installation of only Basin A of the above mentioned stormwater system.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

Roger A. Phillips, P.E.
Senior Project Manager



610-356-9550
FAX 610-356-5032

Herbert E. MacCombie, Jr., P.E.
CONSULTING ENGINEERS & SURVEYORS, INC.
1000 PALMERS MILL ROAD
MEDIA, PA 19063

James W. MacCombie, P.E., P.L.S.
Herbert E. MacCombie, III, Technician

REPLY TO:
P.O. BOX 118
BROOMALL, PA 19008-0118

January 31, 2019

Stephen F. Norcini, P.E., Township Engineer
Radnor Township
301 Iven Avenue
Wayne, PA 19087

RE: Stormwater Management Waiver Request
VFSB, LLC
527 Roberts Road
Radnor Township, Delaware County, PA

Dear Mr. Norcini:

On behalf of our client, VFSB, LLC, we respectfully request consideration of waivers to the pertinent Stormwater Management Regulations that require stormwater management for the long narrow portion of the lot containing a portion of the driveway draining to the north towards Roberts Road. The area draining to this proposed facility is 6,040 S.F. or 0.1357 Acres. During construction of the approved stormwater management facility, significant ground water was encountered within the proposed subsurface spread basin. Our office prepared a stormwater design, which was reviewed and approved by the Township Consultants, that included soil test pits that demonstrated the ground water table, at the time of the testing, to be approximately 8.5 feet below the ground elevation. The limiting zone was surveyed to be at elevation 240.38. The subsurface spread basin was designed to provide rate control and water quality for the area draining within the "flag pole" portion of the lot. The basin was designed with a bottom elevation of 242.50, slightly higher than the recommended 2-foot separation between the limiting zone and the bottom of a subsurface facility.

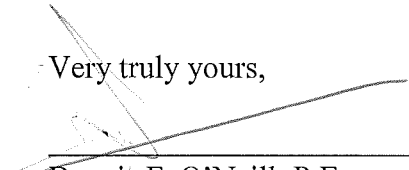
During excavation for the basin, ground water was encountered at approximately elevation 248.00, or 3 to 4 feet below the surface elevation. Our office has reviewed various alternatives. However, due to restrictions from a utility easement created at the time of the subdivision creating the lot, no subsurface stormwater management facilities can be installed in the "flag pole" portion of the lot that would prevent future utilities such as sanitary sewer, water, electric, and gas from being extended from Roberts Road to adjoining lots.

The proposed subsurface infiltration basin for the southern drainage area, which contains the proposed house and most of the driveway improvements has been installed without encountering ground water and does not show any signs of ground water infiltration. This basin provides rate control and water quality improvements for 21,265 SF. or 0.4882 acres.

As requested, our office made a thorough review of the stormwater management design to determine if any additional water quality facilities could be added on the site to compensate for the basin which is not to be installed. It is noted, based on the calculation that Basin A, which has been installed, provided 1,203 cubic feet of stormwater capture and infiltration. This is more than double the required 537 cubic feet of water quality volume required by the Township Water Quality Analysis. The water quality requirements for Basin B, which is the subject of this waiver request, is 235 cubic feet. Basin A provides sufficient water quality for both drainage areas. In addition, a significant landscape plan for foundation plants is proposed that will provide water runoff quality improvements and 20 trees are proposed to be planted on the site. It is also noted, due to current issues with sewer connections within the sanitary sewershed, connection to the public sewer cannot be permitted at this time. The applicant has designed and has been issued a permit for an on-site sewage system for sewage disposal. The area of this system takes up a large area of land that could be used for additional water quality facilities although because of its uphill location would have a very small drainage area draining to it.

I have attached a copy of the soil test pits for both basins, as well a copy of the water quality analysis confirming the volume of water quality provided. Please feel free to contact me if you require any additional support information or if you have any additional questions.

Very truly yours,



Dennis F. O'Neill, P.E.

Copy: Vincent Falcone, VFSB, LLC



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER STANDARDS AND FACILITY REGULATION

**SITE INVESTIGATION AND PERCOLATION
TEST REPORT FOR ONLOT DISPOSAL OF SEWAGE**

INSTRUCTIONS FOR COMPLETION OF THIS FORM ARE LOCATED ON THE REVERSE SIDE

Application No. 525 Roberts Road Municipality Radnor Township County Delaware

Site Location Test Pit #B (Near Road) Subdivision Name VFSB, LLC

- SUITABLE Soil Type Glenelg Slope 5% Depth to Limiting Zone 102" + Ave. Perc. Rate 58.00
 UNSUITABLE Mottling Seeps or Ponded Water Bedrock Fractures Coarse Fragments
 Perc. Rate Slope Unstabilized Fill Floodplain Other _____

SOILS DESCRIPTION:

Soils Description Completed by: Christopher Mulvey Date: 2/2/17

Inches	Description of Horizon
<u>0</u> TO <u>3</u>	<u>10YR3/2, Silt Loam, Granular, Loose</u>
<u>3</u> TO <u>64</u>	<u>10YR3/6, Clay Loam, Subangular, Blocky, Firm w/ 20% Rock > or = 2"</u>
<u>64</u> TO <u>102</u>	<u>10YR4/6, Sandy Silt Loam, Granular, Very Loose</u>
<u>102</u> TO <u>108</u>	<u>Water</u>
_____ TO _____	_____
_____ TO _____	_____

PERCOLATION TEST:

Percolation Test Completed by: Kevin Porter Date: 2/2/17

- Weather Conditions: Below 40°F 40°F or above Dry Rain, Sleet, Snow (last 24 hours)
 Soil Conditions: Wet Dry Frozen

Hole No.	***		Reading Interval	Reading No. 1: Inches of drop	Reading No. 2: Inches of drop	Reading No. 3: Inches of drop	Reading No. 4: Inches of drop	Reading No. 5: Inches of drop	Reading No. 6: Inches of drop	Reading No. 7: Inches of drop	Reading No. 8: Inches of drop
	Yes	No									
<u>4</u>	<u>X</u>		<u>10 / 30</u>	<u>1.50</u>	<u>1.25</u>	<u>1.25</u>	<u>1.25</u>				
<u>5</u>	<u>X</u>		<u>10 / 30</u>	<u>1.25</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>				
<u>6</u>	<u>X</u>		<u>10 / 30</u>	<u>0.50</u>	<u>0.25</u>	<u>0.25</u>	<u>0.25</u>				
			<u>10 / 30</u>								
			<u>10 / 30</u>								
			<u>10 / 30</u>								

***Water remaining in the hole at the end of the final 30-minute presoak? Yes, use 30-minute interval; No, use 10-minute interval.

Calculation of Average Percolation Rate:

Hole No.	Drop during final period	Perc. Rate as Minutes/Inch	Depth of Hole
<u>4</u>	<u>1.25</u> "	<u>24.00</u>	<u>148</u> "
<u>5</u>	<u>1.00</u> "	<u>30.00</u>	<u>164</u> "
<u>6</u>	<u>0.25</u> "	<u>120.0</u>	<u>178</u> "
_____	_____ "	_____	_____ "
_____	_____ "	_____	_____ "
_____	_____ "	_____	_____ "
TOTAL OF MIN / IN →		<u>174.0</u>	= <u>58.0</u> ^{Min} / _{Inch}
TOTAL NO. OF HOLES →		<u>3</u>	

The information provided is the true and correct result of tests conducted by me, performed under my personal supervision, or verified in a manner approved by DEP.
 (S) _____
 Sewage Enforcement Officer



COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
BUREAU OF WATER STANDARDS AND FACILITY REGULATION

**SITE INVESTIGATION AND PERCOLATION
TEST REPORT FOR ONLOT DISPOSAL OF SEWAGE**

INSTRUCTIONS FOR COMPLETION OF THIS FORM ARE LOCATED ON THE REVERSE SIDE

Application No. 525 Roberts Road Municipality Radnor Township County Delaware

Site Location Test Pit #A Subdivision Name VFSB, LLC

SUITABLE Soil Type Glenelg Slope 5% Depth to Limiting Zone 108" + Ave. Perc. Rate 16.00

UNSUITABLE Mottling Seeps or Poned Water Bedrock Fractures Coarse Fragments
 Perc. Rate Slope Unstabilized Fill Floodplain Other _____

SOILS DESCRIPTION:

Soils Description Completed by: Christopher Mulvey Date: 2/2/17

Inches	Description of Horizon
<u>0</u> TO <u>12</u>	<u>10YR3/2, Silt Loam (Topsoil), Granular, Loose</u>
<u>12</u> TO <u>42</u>	<u>10YR3/6, Silt Loam, Granular, Friable</u>
<u>42</u> TO <u>108</u>	<u>10YR3/4, Silt Loam, Granular, Loose, Small Amount of Rock</u>
_____ TO _____	_____
_____ TO _____	_____
_____ TO _____	_____

PERCOLATION TEST:

Percolation Test Completed by: Robert Atkinson Date: 2/2/17

Weather Conditions: Below 40°F 40°F or above Dry Rain, Sleet, Snow (last 24 hours)

Soil Conditions: Wet Dry Frozen

Hole No.	***		Reading Interval	Reading No. 1: Inches of drop	Reading No. 2: Inches of drop	Reading No. 3: Inches of drop	Reading No. 4: Inches of drop	Reading No. 5: Inches of drop	Reading No. 6: Inches of drop	Reading No. 7: Inches of drop	Reading No. 8: Inches of drop
	Yes	No									
<u>1</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>10 / 30</u>	<u>3.25</u>	<u>3.125</u>	<u>3.125</u>	<u>3.00</u>				
<u>2</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>10 / 30</u>	<u>4.00</u>	<u>3.875</u>	<u>3.75</u>	<u>3.75</u>				
<u>3</u>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>10 / 30</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>	<u>1.00</u>				
			<u>10 / 30</u>								
			<u>10 / 30</u>								
			<u>10 / 30</u>								

***Water remaining in the hole at the end of the final 30-minute presoak? Yes, use 30-minute interval; No, use 10-minute interval.

Calculation of Average Percolation Rate:

Hole No.	Drop during final period	Perc. Rate as Minutes/Inch	Depth of Hole
<u>1</u>	<u>3.00</u> "	<u>10.0</u>	<u>90</u> "
<u>2</u>	<u>3.75</u> "	<u>8.00</u>	<u>85</u> "
<u>3</u>	<u>1.00</u> "	<u>30.0</u>	<u>83</u> "
TOTAL OF MIN / IN →		<u>48.0</u>	= <u>16.0</u>
TOTAL NO. OF HOLES →		<u>3</u>	

The information provided is the true and correct result of tests conducted by me, performed under my personal supervision, or verified in a manner approved by DEP.

(S) _____
Sewage Enforcement Officer

**NET 2-YEAR INFILTRATION ANALYSIS
AREA 'A'
FOR
VFSB, LLC
525 ROBERTS ROAD**

NET 2-YEAR STORM INFILTRATION CALCULATIONS

PRE-DEVELOPMENT -

DIRECT RUNOFF 0.30 IN. (SHT A-72)
DRAINAGE AREA 0.5349 AC. (SHT A-72)

VOLUME OF RUNOFF = (0.30 IN) (1 FT / 12 IN)(0.5349 AC)(43,560 S.F./AC.)

PRE-DEVELOPMENT 2-YEAR STORM EVENT = 583 C.F.

POST – DEVELOPMENT -

DIRECT RUNOFF 0.92 IN. (SHT A-75)
DRAINAGE AREA 0.5349 AC. (SHT A-75)

VOLUME OF RUNOFF = (0.92 IN) (1 FT / 12 IN)(0.5349 AC)(43,560 S.F./AC.)

POST DEVELOPMENT 2-YEAR STORM EVENT = 1,786 C.F.

NET 2-YEAR INFILTRATION PROVIDED = 1,203 C.F.

WATER QUALITY ANALYSIS – RADNOR TOWNSHIP CODE §245-23.(D)

$$WQV = [(P)(Rv)(A)] / 12$$

WQV = WATER QUALITY VOLUME (ACRE-FEET)

P = 1 INCH

A = AREA OF PROJECT CONTRIBUTING TO WATER QUALITY BMP (ACRES)

Rv = 0.05+0.009(I)

I = PERCENT OF AREA THAT IS IMPERVIOUS

BASIN A

$$I = [(0.0513 + 0.0659 + 0.0057) / 0.4882] * 100 = 25.17\%$$

$$Rv = 0.05 + (0.009) (25.17) = 0.2765$$

$$WQV = [(1)(0.2765)(0.5349)] / 12 = 0.021325 \text{ AC. FT.} = 537 \text{ C.F.}$$

NET 2-YEAR INFILTRATION PROVIDED = 1,203 C.F. > 537 C.F. → OK

**NET 2-YEAR INFILTRATION ANALYSIS
AREA 'B'
FOR
VFSB, LLC
525 ROBERTS ROAD**

NET 2-YEAR STORM INFILTRATION CALCULATIONS

PRE-DEVELOPMENT –

DIRECT RUNOFF 0.30 IN. (SHT B-76)
DRAINAGE AREA 0.1358 AC. (SHT B-76)

VOLUME OF RUNOFF = (0.30 IN) (1 FT / 12 IN)(0.1358 AC)(43,560 S.F./AC.)

PRE-DEVELOPMENT 2-YEAR STORM EVENT = 148 C.F.

POST – DEVELOPMENT –

DIRECT RUNOFF 1.39 IN. (SHT B-78)
DRAINAGE AREA 0.1358 AC. (SHT B-78)

VOLUME OF RUNOFF = (1.39 IN) (1 FT / 12 IN)(0.1358 AC)(43,560 S.F./AC.)

POST DEVELOPMENT 2-YEAR STORM EVENT = 685 C.F.

NET 2-YEAR INFILTRATION = 537 C.F.

WATER QUALITY ANALYSIS – RADNOR TOWNSHIP CODE §245-23.(D)

$$WQ_v = [(P)(R_v)(A)] / 12$$

WQ_v = WATER QUALITY VOLUME (ACRE-FEET)

P = 1 INCH

A = AREA OF PROJECT CONTRIBUTING TO WATER QUALITY BMP (ACRES)

R_v = 0.05+0.009(I)

I = PERCENT OF AREA THAT IS IMPERVIOUS

BASIN A

$$I = [(0.0642) / 0.1358] * 100 = 47.28\%$$

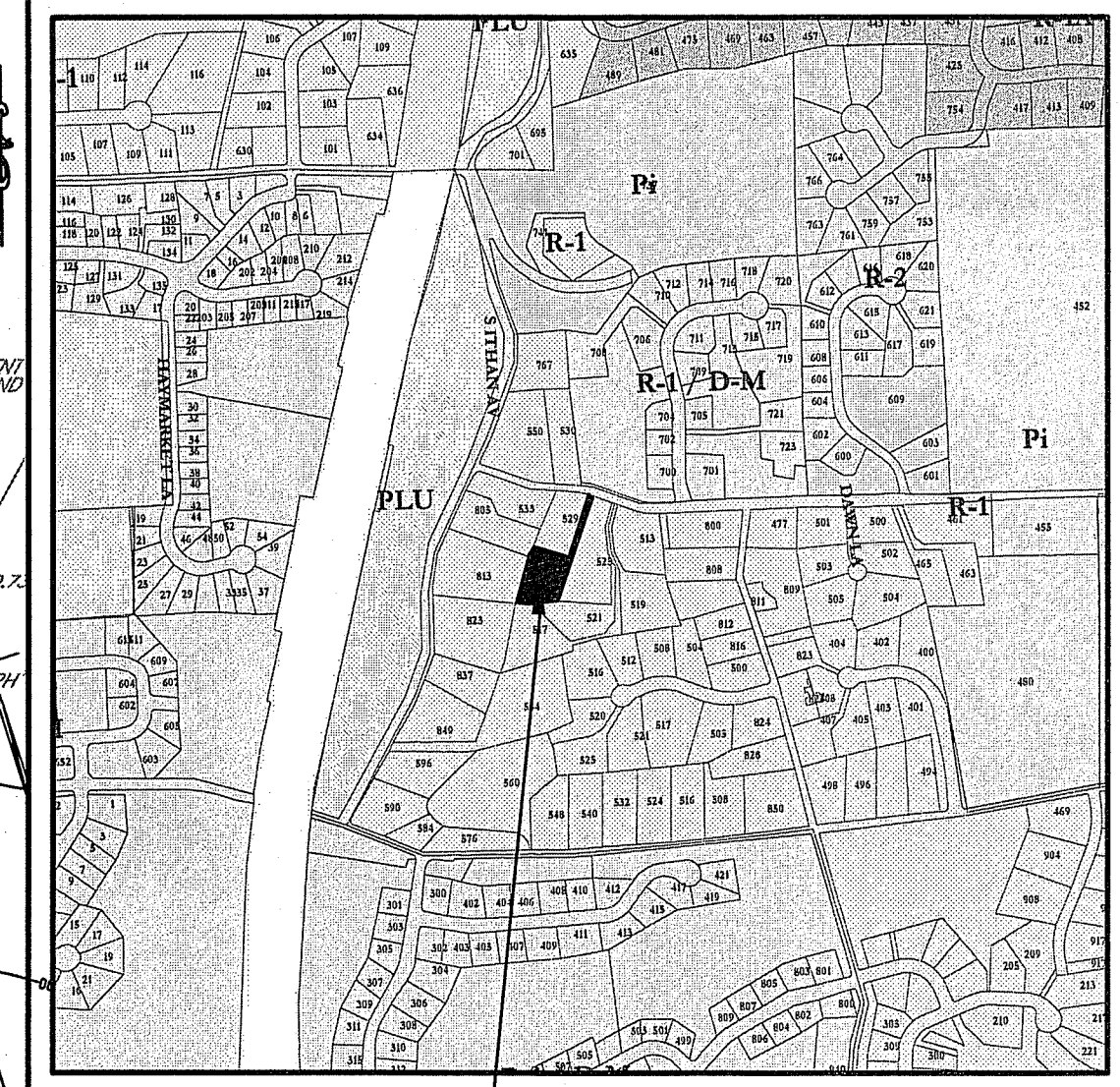
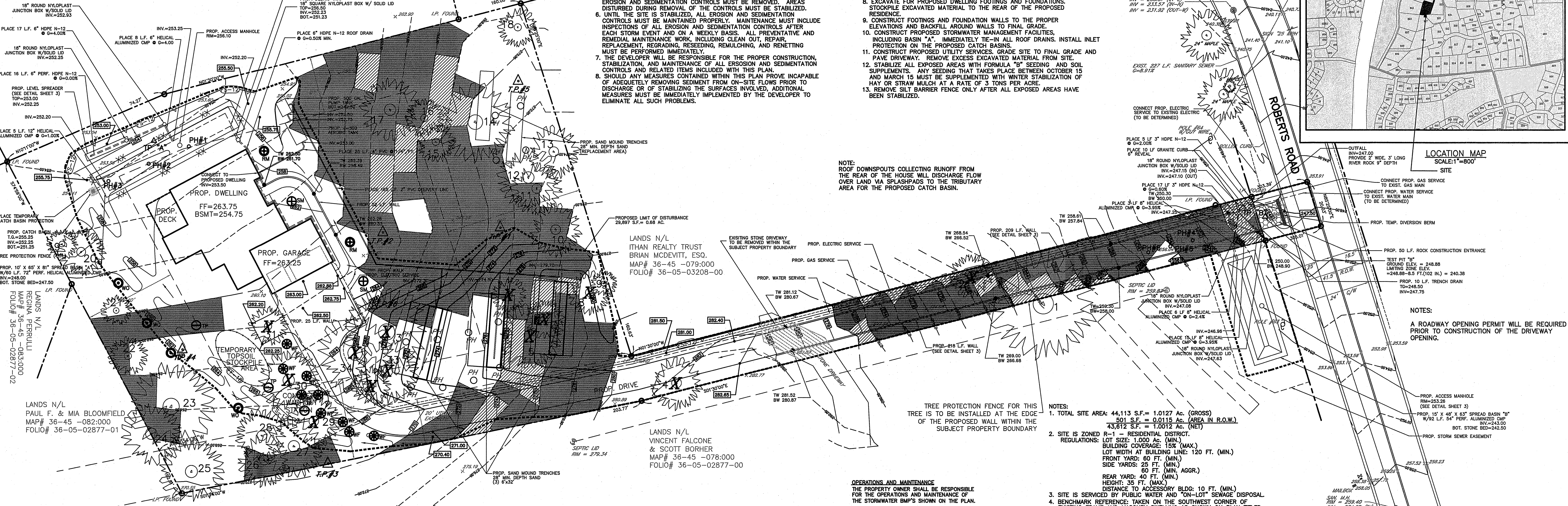
$$R_v = 0.05 + (0.009) (47.28) = 0.4755$$

$$WQ_v = [(1)(0.4755)(0.1358)] / 12 = 0.005381 \text{ AC. FT.} = 235 \text{ C.F.}$$

NET 2-YEAR INFILTRATION PROVIDED = 537 C.F. > 235 C.F. → OK

LANDS N/L
ANGELA B. DEELSE
MAP# 36-45-080:002
FOLIO# 36-05-03109-00

LANDS N/L
KENT C. & JULIE S. MASSEY
MAP# 36-45-080:000
FOLIO# 36-05-03110-00



- EROSION AND SEDIMENTATION CONTROL MEASURES:**
1. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
 2. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL RESOURCES, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE III, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
 3. A COPY OF THE EROSION AND SEDIMENTATION CONTROL PLAN MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.
 4. JUTE MATTING & FORMULA B SEEDING SHALL BE PLACED IN SWALES, DIVERSIONS AND CHANNELS OF CONVEYANCE WHICH WILL BE RECEIVING WATER IMMEDIATELY AFTER CONSTRUCTION.
 5. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY EROSION AND SEDIMENTATION CONTROLS MUST BE REMOVED. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED.
 6. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH STORM EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING MUST BE PERFORMED IMMEDIATELY.
 7. THE DEVELOPER WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION, AND MAINTENANCE OF ALL EROSION AND SEDIMENTATION CONTROLS AND RELATED ITEMS INCLUDED WITH THIS PLAN.
 8. SHOULD ANY MEASURES CONTAINED WITHIN THIS PLAN PROVE INCAPABLE OF ADEQUATELY REMOVING SEEDING FROM ON-SITE FLOODING PRIOR TO DISCHARGE OR STABILIZING THE SURFACES INVOLVED, ADDITIONAL MEASURES MUST BE IMMEDIATELY IMPLEMENTED BY THE DEVELOPER TO ELIMINATE ALL SUCH PROBLEMS.

- GRADING AND EROSION CONTROL MEASURES:**
1. PLACE AND PROPERLY SECURE TREE PROTECTION FENCE AT THE LOCATIONS SHOWN ON THE PLAN. TREE PROTECTION FENCE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.
 2. PLACE AND PROPERLY SECURE COMPOST FILTER SOCKS AT THE LOCATIONS SHOWN ON THE PLAN. CHECK FILTER SOCKS WEEKLY AND AFTER EACH RAINFALL FOR SERVICEABILITY. REPAIR OR REPLACE ANY DAMAGED SECTION IMMEDIATELY.
 3. IMMEDIATELY PLACE DIVERSION BERM AT LOCATION SHOWN ON THE PLAN TO PREVENT CONTAMINATED RUNOFF FROM LEAVING THE SITE.
 4. INSTALL CONSTRUCTION ENTRANCE AS SHOWN ON THE PLAN. USE ASHTO #1 STONE AT 12 INCH DEPTH.
 5. CONSTRUCT PROPOSED STORMWATER MANAGEMENT FACILITIES ASSOCIATED WITH AND INCLUDING BASIN "B". INSTALL INLET PROTECTION ON THE PROPOSED TRENCH DRAIN.
 6. EXCAVATE FOR AND INSTALL WALLS ALONG EDGE OF THE DRIVEWAY AND ROUGH GRADE REMAINDER OF DRIVEWAY. PLACE DRIVEWAY STONE BASE.
 7. REMOVE EXISTING STRUCTURES AND PAVING WITHIN THE PROPOSED ACCESS TRACT.
 8. EXCAVATE FOR PROPOSED DWELLING FOOTINGS AND FOUNDATIONS. STOCKPILE EXCAVATED MATERIAL TO THE REAR OF THE PROPOSED RESIDENCE.
 9. CONSTRUCT FOOTINGS AND FOUNDATION WALLS TO THE PROPER ELEVATIONS AND BACKFILL AROUND WALLS TO FINAL GRADE.
 10. CONSTRUCT PROPOSED STORMWATER MANAGEMENT FACILITIES, INCLUDING BASIN "A". IMMEDIATELY TIE-IN ALL ROOF DRAINS. INSTALL INLET PROTECTION ON THE PROPOSED CATCH BASIN.
 11. CONSTRUCT PROPOSED UTILITY SERVICES. GRADE SITE TO FINAL GRADE AND PAVE DRIVEWAY. REMOVE EXCESS EXCAVATED MATERIAL FROM SITE.
 12. STABILIZE ALL EXPOSED AREAS WITH FORMULA "B" SEEDING AND SOIL SUPPLEMENTS. ANY SEEDING THAT TAKES PLACE BETWEEN OCTOBER 15 AND MARCH 15 MUST BE SUPPLEMENTED WITH WINTER STABILIZATION OF HAY OR STRAW MULCH AT A RATE OF 3 TONS PER ACRE.
 13. REMOVE SILT BARRIER FENCE ONLY AFTER ALL EXPOSED AREAS HAVE BEEN STABILIZED.

NOTE:
ROOF DOWNSPOUTS COLLECTING RUNOFF FROM THE REAR OF THE HOUSE WILL DISCHARGE FLOW OVER LAND VIA SPLASHPADS TO THE TRIBUTARY AREA FOR THE PROPOSED CATCH BASIN.

- NOTES:**
1. TOTAL SITE AREA: 44,113 S.F. = 1.0127 Ac. (GROSS)
501 S.F. = 0.0115 Ac. (AREA IN R.O.W.)
43,612 S.F. = 1.0012 Ac. (NET)
 2. SITE IS ZONED R-1 - RESIDENTIAL DISTRICT.
REGULATIONS: LOT SIZE: 1,000 Ac. (MIN.)
BUILDING COVERAGE: 15% (MAX.)
LOT WIDTH AT BUILDING LINE: 120 FT. (MIN.)
FRONT YARD: 60 FT. (MIN.)
SIDE YARDS: 25 FT. (MIN.)
60 FT. (MIN. AGGR.)
REAR YARD: 40 FT. (MIN.)
HEIGHT: 35 FT. (MAX.)
DISTANCE TO ACCESSORY BLDG: 10 FT. (MIN.)
 3. SITE IS SERVICED BY PUBLIC WATER AND "ON-LOT" SEWAGE DISPOSAL.
 4. BENCHMARK REFERENCE: TAKEN ON THE SOUTHWEST CORNER OF EXISTING FRAME AND MASONRY DWELLING AS SHOWN ON PLAN TITLED "MAP OF PROPERTY OF BENJAMIN S. BEALL, III," PREPARED BY YERKES ENGINEERING COMPANY, BRYN MAWR, PA. PLAN DATED JUNE 7, 1985, LAST REVISED JUNE 26, 1985. CONTOURS TAKEN FROM U.S.G.S. MAP. ELEVATION ASSUMED TO BE 290.00.
 5. EXISTING SOIL TYPES:
GnC - GLENELG CHANNERY SILT LOAM, 8 TO 15 PERCENT SLOPES.
Gae - GLENELG CHANNERY SILT LOAM, 25 TO 35 PERCENT SLOPES.
 6. PRIOR TO THE START OF ANY CONSTRUCTION THE CONTRACTOR SHALL HAVE THE LOCATION OF ANY UNDERGROUND UTILITIES WITHIN THE AREA OF WORK VERIFIED IN THE FIELD IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 181 OF 2008, 73 P.S. 176 ET. SEQ.
PA ONE CALL DESIGN SERIAL # = 2017030981
 7. BY LAW A COPY OF THIS APPROVED PLAN SHALL BE ON-SITE AT ALL TIMES DURING CONSTRUCTION.
 8. SITE DOES NOT CONTAIN ANY FLOOD PLAIN OR FLOOD HAZARD AREAS.
 9. LEGEND:

STEEP SLOPE TABLE

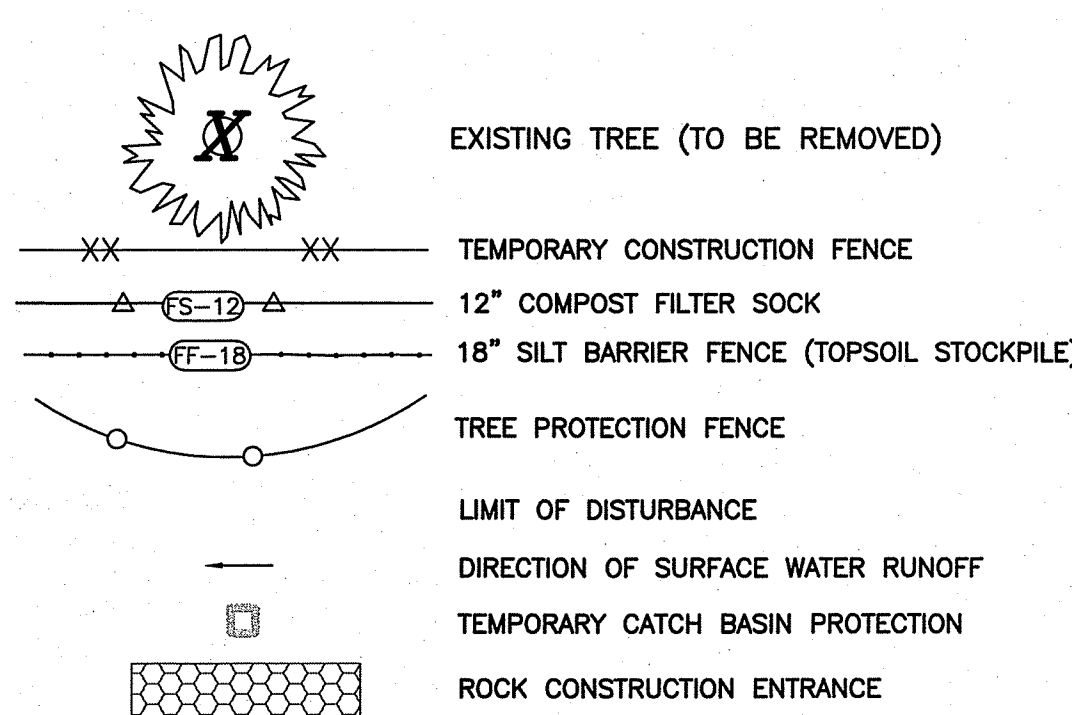
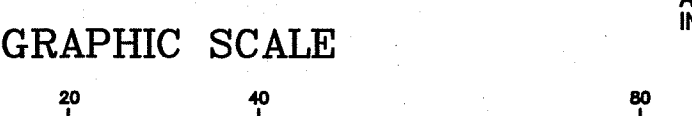
SLOPE	AREA
STEEP SLOPES	13,877 S.F.
VERY STEEP SLOPES	2,302 S.F.

DARBY CREEK STORMWATER MANAGEMENT DISTRICT:

POST	PRE DEVELOPMENT	DEVELOPMENT
B-2	2 YEAR	1 YEAR
	5 YEAR	2 YEAR
	25 YEAR	5 YEAR
	50 YEAR	10 YEAR
	100 YEAR	100 YEAR

OPERATIONS AND MAINTENANCE
THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE OPERATIONS AND MAINTENANCE OF THE STORMWATER BMP'S SHOWN ON THE PLAN.
NO BMP SHALL BE ALTERED OR REMOVED WITHOUT PRIOR TOWNSHIP APPROVAL.
ALL GUTTERS, DOWNSPOUTS, TRENCH DRAINS, JUNCTION BOXES, SPREAD BASINS, LEVEL SPREADERS, CATCH BASINS AND GRASS SWALES SHALL BE INSPECTED AND CLEANED ON AN ANNUAL BASIS.
THE OVERLYING VEGETATION OF THE SUBSURFACE INFILTRATION BASIN AND THE CONTRIBUTORY AREA OF THE PROPOSED SWALES SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS IMMEDIATELY REVEGETATED.
VEHICULAR ACCESS ON SUBSURFACE INFILTRATION BASIN "A" SHOULD BE MINIMIZED TO THE GREATEST EXTENT POSSIBLE, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.

NOTE:
PROPOSED ROCK CONSTRUCTION ENTRANCE SHALL HAVE A LINER TO PROTECT UNDERLYING FUTURE SPREAD BASIN FROM COMPACTION. ADDITIONAL PERCOLATION TESTING SHALL BE PERFORMED PRIOR TO INSTALLATION TO CONFIRM DESIGN INFILTRATION RATES.



NOTE:
THIS PLAN SHALL BE A BLUE OR BLACKLINE PRINT WITH A RED OR GREEN REGISTRATION SEAL TO BE CONSIDERED A VALID PLAN. REPRODUCTION OF THIS PLAN FOR ANY PURPOSE WITHOUT THE APPROVAL OF HERBERT E. MACCOMBIE, JR., P.E. CONSULTING ENGINEERS AND SURVEYORS, INC. IS STRICTLY PROHIBITED.

REPLACEMENT TREES:

REPLACEMENT OF ANY TREE REMOVED OR RECOMMENDED TO BE REMOVED BY THE SHADE TREE COMMISSION AS FOLLOWS:
6 TO 18 INCH DBH REMOVED = 1 REPLACEMENT TREE
19 TO 29 INCH DBH REMOVED = 3 REPLACEMENT TREES, 2 BEING LARGE CANOPY TREES.
30 INCH DBH OR GREATER = 6 REPLACEMENT TREES, 4 BEING LARGE CANOPY TREES.

BASED ON THE ABOVE FORMULA, THE TREES PROPOSED TO BE REMOVED SHALL BE REPLACED WITH A TOTAL OF 43 TREES, 28 BEING LARGE CANOPY TREES.

TREE REPLACEMENT PLANTING SCHEDULE

QTY/KEY	SCIENTIFIC NAME	COMMON NAME	SIZE & NOTES
2 (SM)	ACER SACCHARUM	SUGAR MAPLE - LARGE CANOPY	2 1/2"-3" CALIPER B & B
4 (WO)	QUERCUS BICOLOR	SWAMP WHITE OAK - LARGE CANOPY	2 1/2"-3" CALIPER B & B
9 (WF)	ABIES CONCOLOR	WHITE FIR - EVERGREEN	6"-8" HEIGHT B & B
2 (RM)	ACER RUBRUM	RED MAPLE - LARGE CANOPY	2 1/2"-3" CALIPER B & B
3 (TP)	LIRIODENDRON TULIPIFERA	TULIP POPLAR - LARGE CANOPY	2 1/2"-3" CALIPER B & B
20 TOTAL			

NOTE: A DONATION WILL BE MADE TO THE RADNOR TOWNSHIP COMMEMORATIVE SHADE TREE FUND FOR THE REMAINING 23 TREES.

ZONING COMPLIANCE TABLE

LOT SIZE	REQUIRED	EXISTING	PROPOSED
LOT WIDTH AT BUILDING LINE	1.00 Ac. (MIN.)	44,113 S.F.	44,113 S.F.
BUILDING COVERAGE	15% (MAX.)	N/A	174.76 FT.
FRONT YARD	60 FT. (MIN.)	N/A	111.35 FT.
SIDE YARD (MIN. EACH)	25 FT. (MIN.)	N/A	31.84 FT.
SIDE YARD (MIN. AGGREGATE)	60 FT. (MIN.)	N/A	101.52 FT.
REAR YARD	40 FT. (MIN.)	N/A	44.16 FT.
BUILDING HEIGHT	35 FT. (MAX.)	N/A	<35 FT.
DISTANCE TO ACCESSORY BLDG.	10 FT. (MIN.)	N/A	N/A
ACCESSORY STRUCTURE SETBACK	10 FT. (MIN.)	N/A	N/A

BUILDING AND IMPERVIOUS COVERAGES

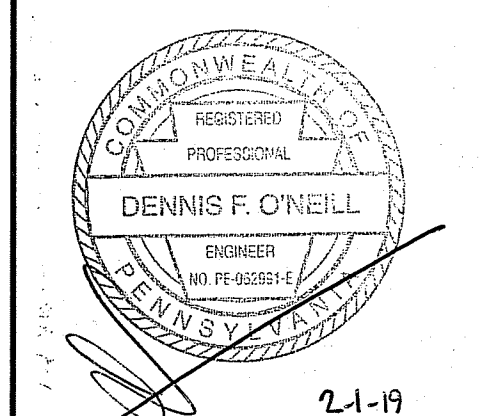
	EXISTING	PROPOSED
SITE AREA	44,113 S.F.	44,113 S.F.
DWELLING	N/A	2,387 S.F.
SHED	0 S.F.	0 S.F.
TOTAL BUILDING AREA	0 S.F.	2,387 S.F.
DRIVE	345 S.F.	5,367 S.F.
DECK	N/A	192 S.F.
WALK	N/A	255 S.F.
TOTAL IMPERVIOUS IMPERVIOUS COVERAGE	345 S.F.	8,201 S.F.
BUILDING COVERAGE	0.78%	18.60%
	N/A	5.41%

NOTES:

TOTAL SITE AREA (EXISTING)	TRACT: GROSS AREA IN LEGAL R.O.W.	TRACT: NET
44,113 S.F.	44,113 S.F. = 1.0127 Ac.	43,612 S.F. = 1.0012 Ac.
	501 S.F. = 0.0115 Ac.	
	44,113 S.F. = 1.0127 Ac.	43,612 S.F. = 1.0012 Ac.
	501 S.F. = 0.0115 Ac.	

EXCAVATION, TRENCHING, AND SHORING
ALL EXCAVATIONS, TRENCHING, AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF ALL UNITED STATES DEPARTMENT OF LABOR OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA) PUBLICATIONS OR THE LATEST REVISIONS.

CALL BEFORE YOU DIG
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE - STOP CALL
Pennsylvania One Call System, Inc.
1-800-242-1776



GRADING & EROSION CONTROL PLAN

FOR
VFSB, LLC
527 ROBERTS ROAD

RADNOR TOWNSHIP DELAWARE COUNTY, PA.

SCALE: 1"=20' OCTOBER 28, 2016

HERBERT E. MACCOMBIE, JR., P.E.
CONSULTING ENGINEERS AND SURVEYORS, INC.
P.O. BOX 118
BROOMALL, PA. 19008

REVISION DATE
5-25-18
4-20-18
3-26-18
5-28-17
4-12-17

SHEET 1 OF 4
SDSK FILE "VFRRTT" MISC. FILE #1238

RESOLUTION NO. 2019 - 15

A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, ACCEPTING A DEED OF DEDICATION FOR THE SANITARY SEWER LINE TO 747 CONESTOGA ROAD

WHEREAS, 747 Conestoga Road, LP, has installed a sanitary sewer line on Boxwood Road, a Township Road, and a connection across Conestoga Road in order to provide public sanitary sewer to a single family dwelling at 747 Conestoga Road; and

WHEREAS, Developer has completed the project in accordance with Township regulations and now desires to dedicate the sanitary sewer line to Radnor Township.

NOW, THEREFORE, be it *RESOLVED* that the Board of Commissioners of Radnor Township does hereby accept and execute the Deed of Dedication for the sanitary sewer line as described on **Exhibit "A"**.


SO RESOLVED, this 25TH day of February, A.D. 2019.

RADNOR TOWNSHIP

By _____
Name: Lisa A. Borowski
Title: President

ATTEST: _____
Robert A. Zienkowski, Secretary

Radnor Township
PROPOSED LEGISLATION

DATE: February 19, 2019
TO: Radnor Township Board of Commissioners
FROM: Stephen F. Norcini, P.E., Township Engineer 
CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Township Manager/Finance Director

LEGISLATION: Resolution #2019-15: Accepting a Deed of Dedication for the Sanitary Sewer Line to 747 Conestoga Road

LEGISLATIVE HISTORY: This request has not been before the Board of Commissioners previously.

PURPOSE AND EXPLANATION: The developer of 747 Conestoga installed a sanitary sewer main extension to this property, where the onsite system had failed. The plans, reviews, inspections, and construction costs were borne by the developer. The purpose of this legislation is for the Township to accept this line. The line was inspected and approved by QCI, the Township's appointed inspection firm.

IMPLEMENTATION SCHEDULE: The line has been constructed; pending Board of Commissioners approval, the Township will accept dedication of the line.

FISCAL IMPACT: There is no fiscal impact to the Township.

RECOMMENDED ACTION: *Staff respectfully requests the Township Accept the Deed of Dedication for the Sanitary Sewer Line to 747 Conestoga Road*

Prepared By: John B. Rice, Esquire
Grim, Biehn & Thatcher
104 S. Sixth Street, P.O. Box 215
Perkasie, PA 18944

Return To: John B. Rice, Esquire
Grim, Biehn & Thatcher
104 S. Sixth Street, P.O. Box 215
Perkasie, PA 18944

CPN # 36-07-04388-00

DEED OF DEDICATION
(747 Conestoga Rd LP)

THIS INDENTURE made this day of , A.D., 2018 by and between *747 CONESTOGA RD LP*, a Pennsylvania Limited Partnership Company, having a mailing address of P.O. Box 222, Ardmore, Pennsylvania 19003 (hereinafter referred to as "Grantor") and the *TOWNSHIP OF RADNOR*, a Home Rule Municipality, so designated under the laws of the Commonwealth of Pennsylvania, with offices located at 301 Iven Avenue, Wayne, PA 19087 (hereinafter referred to as "Grantee").

WITNESS, that the said Grantor, for and in consideration of the advantages to it accruing as well as for diverse other considerations affecting the public welfare which it seeks to advance, has granted, bargained, sold, aliened, released and conveyed unto the said Grantee, its successors and assigns, all that certain strip of land situate within the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania as described on the legal description attached hereto and incorporated herein in as *Exhibit "A"* for the purpose of constructing, repairing and maintaining a sanitary sewer line and related facilities associated therewith.

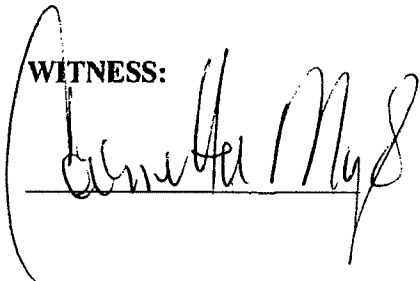
TO HAVE AND TO HOLD, the said tract or piece of ground above described unto the said Grantee, to and for the only proper use and behoof of said Grantee, its successors and assigns,

forever as and for the purpose of constructing a sanitary sewer line and its related facilities to serve the proposed public sewer project as well as to permit the continued maintenance of the said improvement thereafter.

AND THE SAID GRANTOR, for itself, its successors and assigns, does by these presents further covenant, promise and agree to and with the said Grantee, its successors and assigns, that the said tract of ground herein described hereby granted, or mentioned, or intended so to be unto the said Grantee, its successors and assigns, against it, the said Grantor, its successors and assigns, and against all and any person or persons whomever lawfully claiming or to claim the same or any part hereof, by, from and under it or them, or any of them, shall and will warrant and forever defend.

IN WITNESS WHEREOF, the said Grantor has hereunto set its hand and seal the day and year first above written.

WITNESS:



GRANTOR:

747 Conestoga Rd. L.P.
747 CONESTOGA RD LP
Name: Maureen Farley
Title: Partner

WITNESS:

GRANTEE:

RADNOR TOWNSHIP

Name: Lisa Borowski

Title: President

ACKNOWLEDGMENT

COMMONWEALTH OF PENNSYLVANIA :
COUNTY OF Montgomery **: SS.**
:

ON THIS 18th **day of** January, **A.D.,** ~~2018~~ ²⁰¹⁹, before me, a Notary Public in and for the County of Delaware, Commonwealth of Pennsylvania, the undersigned officer, personally appeared Mark Farley, Partner of **747 CONESTOGA RD LP** known to me, (or satisfactorily proven) to be the persons whose name is subscribed to the within instrument, and acknowledged, that he executed the same for the purpose therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and Notarial Seal.

Brandi Lindsay (SEAL)
Notary Public

My Commission Expires:

07-14-2019

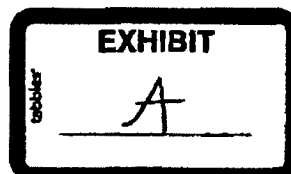
Commonwealth of Pennsylvania-Notary Seal
BRANDI L LINDSAY, NOTARY PUBLIC
MONTGOMERY COUNTY
MY COMMISSION EXPIRES JULY 14, 2019
COMMISSION NUMBER 1291153



Robert K. Wager, P.E.
1610 Pelham Avenue
Havertown, PA 19083

Sanitary Sewer Easement
747 Conestoga Road
Radnor Township

BEGINNING at a point in the line of land of Lot No. 2, which point is measured North 9°17'00" East 12 feet along the line of Lot No. 2 from a point in the title line of Conestoga Road (50 feet wide), a corner of Lot No. 2; thence, from said point of beginning, North 9°17'00" East, crossing the northerly side of Conestoga Road North 9°17'00" East 20 feet to a point; thence; South 79°08'00" East 162.47 feet to a point on the easterly line of Lot No. 2; thence along the line of Lot No. 2, crossing the northerly side of Conestoga Road, South 9°17'00" West 20 feet to a point; thence North 79°08'00" West 162.47 feet to a point and place of beginning.



RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: February 25th, 2019

Re: 820 Darby Paoli Road – Stormwater Management Ordinance Waiver Request – Grading Permit Application GP 19-001

Infiltration testing was performed, and zero infiltration was recorded. The Township's 2005 Stormwater Management Ordinance requires the applicant to request a waiver from the Board of Commissioners when this is encountered.

Attached is the detailed Gannett Fleming review letter, the applicant's waiver request.



Gannett Fleming

Excellence Delivered *As Promised*

Date: February 11, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

RE: 820 Darby Paoli Road – Stormwater Waiver Request
Grading Permit Application – GP 19-001

The applicant has submitted a grading permit for the construction of a 3,641 SF building, 4,179 SF driveway, and 857 SF of walkways and patio. The applicant is requesting a waiver of §245-22.A(2)(c)[2] of the Township's Stormwater Management Ordinance. The minimum infiltration requirement of 0.50 inches cannot be achieved.

The applicant has performed infiltration testing at one (1) location on the site. The required infiltration is not feasible due to the infiltration testing results of zero inches per hour. The applicant is proposing a perforated pipe system along with two rain gardens to control the increase in runoff and achieve water quality requirements.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above-mentioned section of the Ordinance and the implementation of the above mentioned stormwater system.

In addition to the waiver request, the applicant must address the following item(s) prior to the issuance of the Grading Permit:

1. The applicant must address the remaining grading permit review comments per the Gannett Fleming email dated January 30, 2019.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

Roger A. Phillips, P.E.
Senior Project Manager



January 23, 2019

Mr. Steve Norcini, PE
Township Engineer
Radnor Township
301 Iven Avenue
Wayne, PA 19087-5297

**RE: 820 Darby Paoli Road
Radnor Township, Delaware County**

Our File # 18-086

Dear Steve:

On behalf of Josie Scarpelli, we are requesting a waiver from section §245-22, Groundwater Recharge of the Radnor Township Stormwater Management ordinance.

Percolation testing at the site performed as part of the application produced zero infiltration rates. In order to satisfy the requirements for water quality and volume control, a rain garden was designed for the lot. The rain garden provides the required volume reduction and provides the means to achieve the required water quality.

The improvements at 820 Darby Paoli Road are under review as part of a grading permit submitted in January 2019.

I have included a copy of the plans with this waiver request. Please let me know if you have any questions or need any additional information.

Very truly yours,
MOMENEE, INC.


Brian D. Madsen, P.E.

Enclosures
18086L02_Waiver Request

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

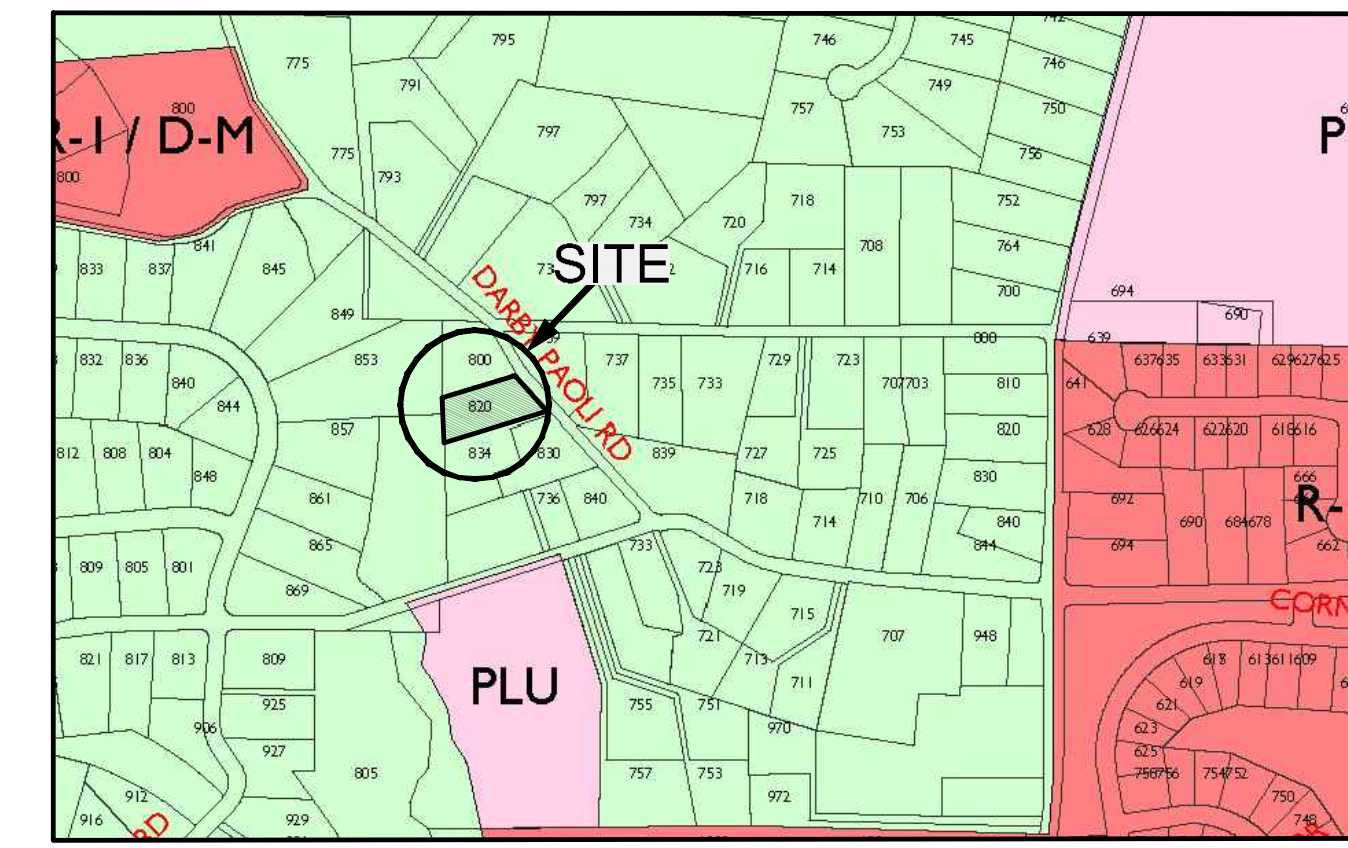
ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.

ZONING DISTRICT R-1 REGULATIONS

LOT AREA	43,560 S.F. MIN.
LOT WIDTH AT BLDG. LINE	120 FEET MIN.
BLDG. AREA	15% MAX.
FRONT YARD	60 FEET MIN.
SIDE YARD	60 FEET AGG. (25 FEET MIN.)
REAR YARD	40 FEET MIN.
HEIGHT	35 FEET MAX.
IMPERVIOUS SURFACE	22% MAX.
RIPARIAN BUFFER SETBACK	35' MIN.

FOR MORE DETAILED INFORMATION YOUR ATTENTION IS CALLED TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.



LOCATION MAP
SCALE: 1" = 600'

LOT DATA:

GROSS LOT AREA	= 43,574 S.F. (1.00 ACRES)
NET LOT AREA	= 41,305 S.F. (0.95 ACRES)

EXISTING IMPERVIOUS COVERAGE:

RESIDENCE	1,884 SF **
PORCHES	396 SF **
ACCESSORY BUILDINGS	414 SF **
ASPHALT DRIVEWAY	2,003 SF **
WALKS/STEPS	686 SF
TOTAL	5,383 SF (13.03%)
**BUILDING COVERAGE	2,964 SF (7.18%)

GENERAL NOTES:

- OWNER/APPLICANT:
JOSIE SCARPELLI
820 DARBY-PAOLI ROAD
WAYNE, PA 19087
- BOUNDARY AND IMPERVIOUS DATA TAKEN FROM A PLAN ENTITLED "EXISTING CONDITIONS PLAN FOR JOSIE SCARPELLI - 820 DARBY-PAOLI ROAD" PREPARED BY EDWARD B. WALSH & ASSOCIATES INC. DATED 03/15/2015, PROJECT NO. 4047.
- SURVEY NOTES:
a. SITE ADDRESS: 820 DARBY-PAOLI ROAD WAYNE, PA 19087
b. SOURCE OF TITLE: DEED BOOK 4211, PAGE 1871.
c. IMPROVEMENTS SHOWN BY PHYSICAL FIELD SURVEY PERFORMED IN SEPTEMBER, 2014.
d. DATUM: ASSUMED F.F. = 220.00
- TREE SPECIES INFORMATION AND CONVERSION OF DATUM TO NAVD-88 BY MOMENEE INC, DATED APRIL 26, 2018
- PORTION OF THE SITE IS LOCATED IN FLOOD ZONE AE PER DELAWARE COUNTY, PENNSYLVANIA FIRM FLOOD INSURANCE RATE MAP NUMBER 42045C0038F, EFFECTIVE DATE NOVEMBER 18, 2009.
- THERE ARE NO WETLAND AREAS LOCATED ON THIS SITE PER THE NATIONAL WETLANDS INVENTORY MAPS.
- SOILS SHOWN PER THE UNITED STATES DEPARTMENT OF AGRICULTURE WEB SOIL SURVEY.
- ACCORDING TO THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES OF PENNSYLVANIA, THE UNDERLYING GEOLOGIC FORMATION FOR THIS SITE IS MAFIC GNEISS, (MGP)
- COMPLETENESS AND ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES OR STRUCTURES CANNOT BE GUARANTEED. LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES AND FACILITIES MUST BE VERIFIED PRIOR TO ANY EARTHMOVING ACTIVITIES.
- FOLIO NUMBER: 36-04-02202-00, BLOCK 49, UNIT 12.
- THE INTENT OF THESE PLANS IS TO DEPICT THE DEMOLITION AND REMOVAL OF THE EXISTING RESIDENCE, DRIVEWAY, AND ASSOCIATED FEATURES TOGETHER WITH THE CONSTRUCTION OF A NEW SINGLE FAMILY DWELLING, DRIVEWAY, TERRACE AND WALKWAYS. IN ADDITION, IT IS PROPOSED TO EXTEND THE SANITARY SEWER MAIN TO PROVIDE PUBLIC SEWER SERVICE IN THE REAR OF THE PROPERTY.
- THIS LOT IS CURRENTLY SERVED BY ON-SITE WATER AND SEWER.
- THE EXISTENCE AND/OR LOCATION OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ANY DISCREPANCIES THAT MAY AFFECT THE PUBLIC SAFETY OR PROJECT COST, MUST BE IDENTIFIED TO THE ENGINEER IN WRITING IMMEDIATELY. PROCEEDING WITH CONSTRUCTION WITH DESIGN DISCREPANCIES IS DONE SO AT THE CONTRACTOR'S OWN RISK.
- THE STORMWATER MANAGEMENT DETENTION AND COLLECTION SYSTEM AND INLETS ARE TO BE OWNED AND MAINTAINED BY THE LOT OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
- THE GROUND IMMEDIATELY ADJACENT TO THE PROPOSED FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN FIVE (5%) PERCENT FOR A MINIMUM DISTANCE OF TEN (10') FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL. IMPERVIOUS SURFACES WITHIN TEN (10') FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF TWO (2%) PERCENT AWAY FROM THE BUILDING.
- ALL WOODY VEGETATION TO BE RETAINED WITHIN TWENTY-FIVE FEET OF A BUILDING SITE OR DISTURBED AREA SHALL BE PROTECTED FROM EQUIPMENT DAMAGE BY FENCING PLACED AT THE DRIPLINES.
- GRADE CHANGES AROUND THE DRIPLINES OF TREES TO BE RETAINED SHALL BE MINIMIZED. TREATMENT OF THE TREES PRIOR TO CONSTRUCTION TO PROTECT THE ROOT SYSTEM SHALL BE PERFORMED.
- ALL DISTURBED ROOTS MUST BE CUT AS CLEANLY AS POSSIBLE. THE TRENCH MUST BE BACKFILLED AS QUICKLY AS POSSIBLE, AVOIDING COMPACTION. TREE LIMBS MUST BE CUT BACK IN PROPORTION TO THE ROOT AREA LOSS.
- THE TOWNSHIP ARBORIST SHALL BE ADVISED OF ANY DAMAGE TO THE REMAINING TREES ON THE SITE AS A RESULT OF CONSTRUCTION ACTIVITY DURING THE COURSE OF THE PROJECT.

AS THE APPLICANT, I HEREBY ACKNOWLEDGE THAT ANY REVISION TO THE APPROVED DRAINAGE PLAN MUST BE APPROVED BY THE TOWNSHIP, AND THAT A REVISED EROSION AND SEDIMENT CONTROL PLAN MUST BE SUBMITTED FOR A DETERMINATION OF ADEQUACY.

APPLICANT _____ DATE _____

I HEREBY CERTIFY THAT TO THE BEST OF MY KNOWLEDGE THE EXISTING CONDITIONS ARE AS SHOWN AND THAT THIS DRAINAGE PLAN COMPLIES WITH ALL THE DESIGN STANDARDS AND CRITERIA OF THE RADNOR TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

DAVID R. FIORELLO, P.E. _____ DATE _____

REQUIREMENTS FOR DEMOLITION PERMITS

SEWER SEAL PERMIT FROM RADNOR TOWNSHIP PUBLIC WORKS DEPARTMENT.

RODENT CERTIFICATE/LETTER FROM A LICENCED PEST CONTROL OPERATOR STATING THE PROPERTY IS RODENT FREE.

LETTER FROM PECO STATING THE ELECTRIC AND GAS SERVICES HAVE BEEN TERMINATED.

LETTER FROM AQUA PENNSYLVANIA STATING THE WATER SERVICE HAS BEEN TERMINATED.

CLEARING PERMIT.

BUILDING DIRECTOR APPROVAL.

UTILITY SERVICE TERMINATION NOTE:

ALL UTILITY SERVICES TO THE EXISTING BUILDING BEING DEMOLISHED SHALL BE SHUT OFF AT THE STREET IN ACCORDANCE WITH THE STANDARD MEANS AND METHODS APPROVED BY THE INDIVIDUAL UTILITY COMPANIES.

CARE OF EXISTING TREES:

- TREE PROTECTION FENCING SHALL BE INSTALLED TO PROTECT ALL EXISTING TREES FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES, AND OTHERS. MAINTAIN PROTECTION FENCING FOR THE DURATION OF PROJECT.
- SELECTIVELY PRUNE EXISTING TREES AT THE EDGE OF ALL TREE PROTECTION ZONES, AND OTHER EXISTING TREES AFFECTED BY CONSTRUCTION, UNDER LANDSCAPE ARCHITECT'S DIRECTION. REMOVE SUCKER SHOOTS, DEAD, RUBBING AND DAMAGED BRANCHES.
- ANY EXCAVATION NEAR ADJACENT ROOT SYSTEMS WILL REQUIRE ROOT PRUNING OF AFFECTED TREE(S).
- FERTILIZE PRUNED EXISTING TREES WITH 3 TO 4 LBS. OF LIQUID FERTILIZER PER 1,000 SQUARE FEET OF DRIP AREA, OR, 5 GALLONS OF LIQUID FERTILIZER PER CALIPER INCH OF TRUNK DIAMETER.
- FERTILIZE IN EARLY SPRING BEFORE GROWTH BEGINS.
- FERTILIZE BEGINNING 2' FROM TRUNK AT INTERVALS 2' TO 3' ON CENTER IN A GRID-LIKE PATTERN TO A DEPTH OF 6-18" WITHIN THE DRIPLINE AND BEYOND WHERE POSSIBLE. INJECTION FERTILIZATION METHOD SHALL BE ACCEPTABLE SUBJECT TO LANDSCAPE ARCHITECT'S APPROVAL.

SOILS INFORMATION (ENTIRE SITE)

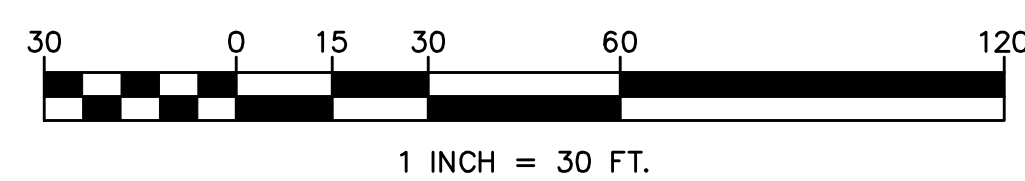
NAME	% SLOPE	DEPTH TO S. H. WATER	DEPTH TO BEDROCK	HYDRO ERODIBILITY	HYDRO GROUP	SOIL LIMITATIONS
GnB2 Glenville Silt Loam	3-8	1.74	6.6	5	C	Moderate to severe

LINE/TYPE LEGEND

---	PROPERTY LINE
---	ROW LINE
---	BUILDING SETBACK
X-X-X	FENCE LINE
///	OVERHEAD ELECTRIC
---	WATER LINE
SS	SANITARY LINE
G	GAS LINE
---	EXISTING 1' CONTOUR
---	EXISTING 5' CONTOUR
---	FEMA FLOODPLAIN

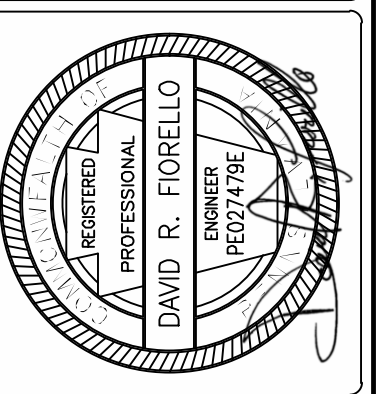
⊕	UTILITY POLE	⊕	STREET SIGN
⊙	IRON PIN	⊕	DOWNSPOUT
⊕	WATER VALVE	⊕	GAS METER
⊕	SANITARY MANHOLE	⊕	ELECTRIC METER
⊕	FIRE HYDRANT	⊕	DOOR SILL ELEVATION

IMPERVIOUS TO BE REMOVED



THE INFORMATION, DESIGN AND CONTENT OF THIS PLAN SHALL NOT BE COPIED OR REPRODUCED IN ANY MANNER WITHOUT THE WRITTEN AUTHORIZATION FROM MOMENEE, INC. APPROVED AND SEALED FOR UTILIZATION FOR CONSTRUCTION PURPOSES.
© MOMENEE, INC. 2018

Serial Number: 20181022734
CALL BEFORE YOU DIG:
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



MOMENEE, INC.
a karns Company
ENGINEERING | PLANNING | SURVEYING
924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

EXISTING CONDITIONS
GRADING PERMIT PLAN
820 DARBY-PAOLI ROAD
RADNOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA
OWNER/APPLICANT: JOSIE SCARPELLI
820 DARBY-PAOLI ROAD WAYNE, PA 19087
ONE-CALL: 20181022734
DRAWN BY: BDM
CHECKED BY: DRF

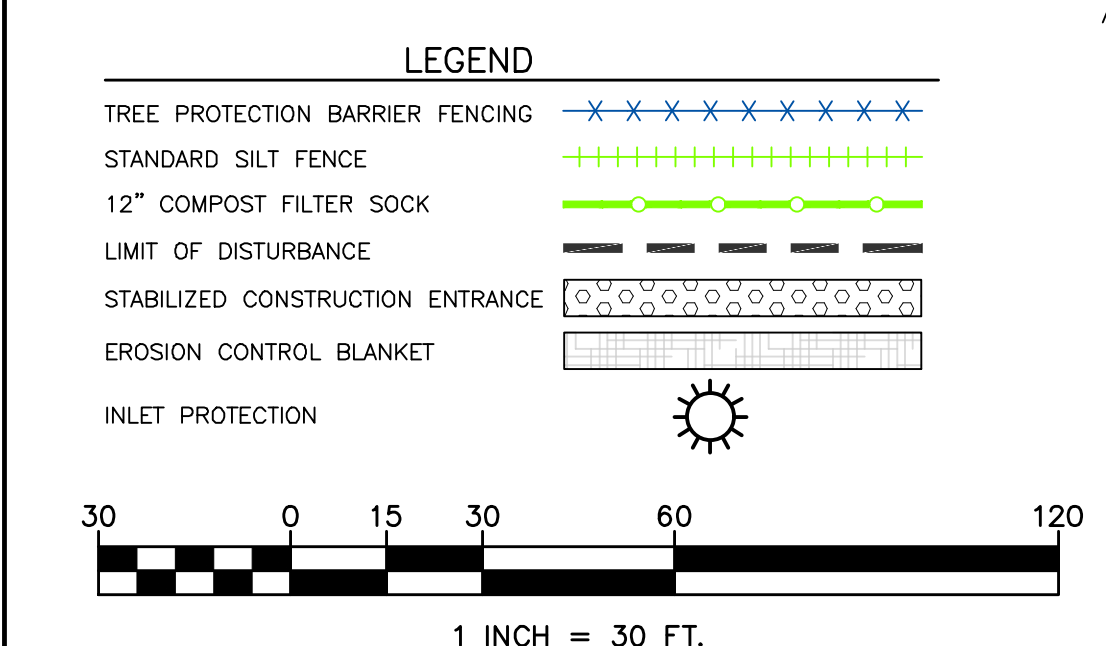
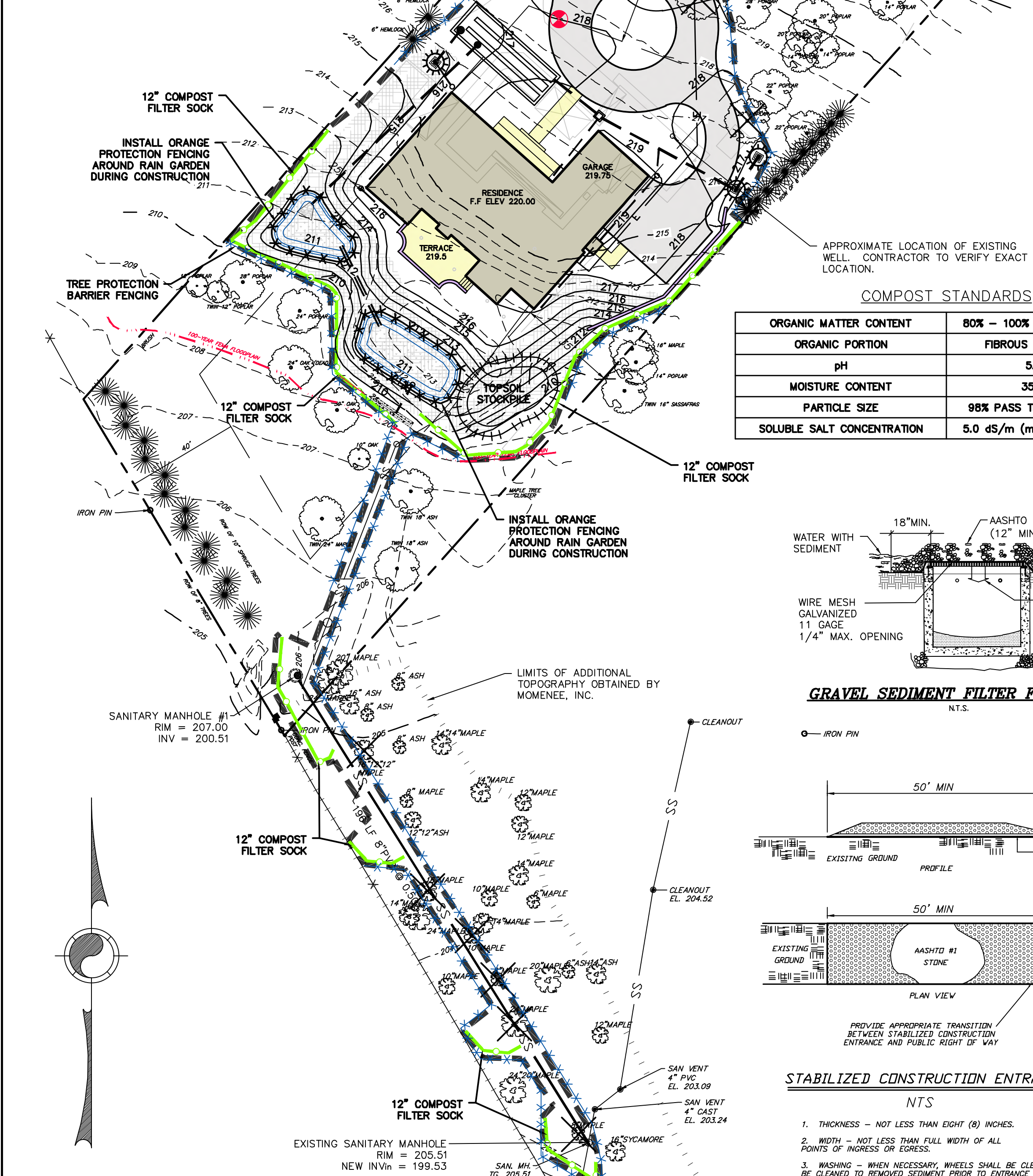
FILE NO.:	18-086
SHEET	1 of 5
DATE:	DECEMBER 12, 2018
SCALE:	1" = 30'

REVISIONS	DATE	COMMENTS

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1 INCH = 30 FT.

EROSION AND SEDIMENTATION CONTROL PLAN

DISTURBED AREA = 25,500 SF± (0.59 AC)

COMPOST SOCK FABRIC MINIMUM SPECIFICATIONS

MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPF)	HEAVY DUTY MULTI-FILAMENT POLYPROPYLENE (HDMFPF)
MATERIAL CHARACTERISTICS	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE	BIO-DEGRADABLE	PHOTO-DEGRADABLE	PHOTO-DEGRADABLE
SOCK DIAMETERS	12"	12"	12"	12"	12"
	18"	24"	24"	24"	24"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PSI
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% AT 1000 HR.
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEARS

TWO-PLY SYSTEMS

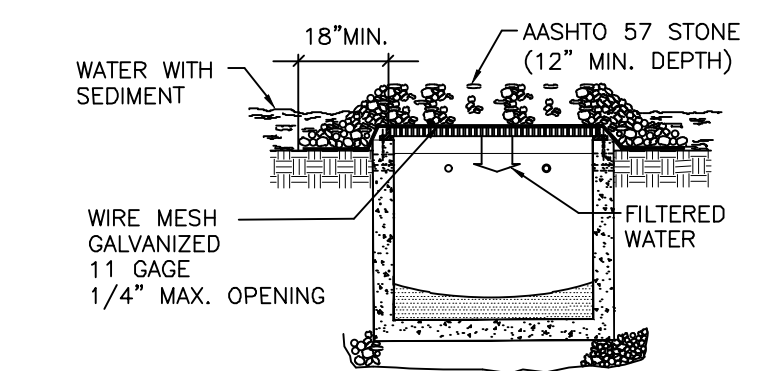
INNER CONTAINMENT NETTING	HDPE BIAXIAL NET
	CONTINUOUSLY WOUND
	FUSION-WELDING JUNCTURES
	3/4"x3/4" MAX. APERTURE SIZE

OUTER FILTRATION MESH	COMPOSITE POLYPROPYLENE FABRIC (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)
	3/16" MAX. APERTURE SIZE

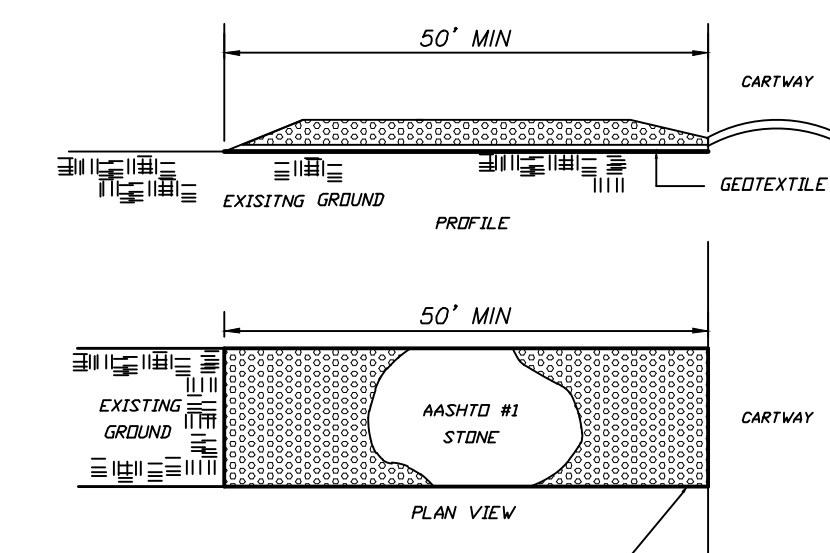
SOCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

COMPOST STANDARDS

ORGANIC MATTER CONTENT	80% - 100% (DRY WEIGHT BASIS)
ORGANIC PORTION	FIBROUS AND ELONGATED
pH	5.5 - 8.0
MOISTURE CONTENT	35% - 55%
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM



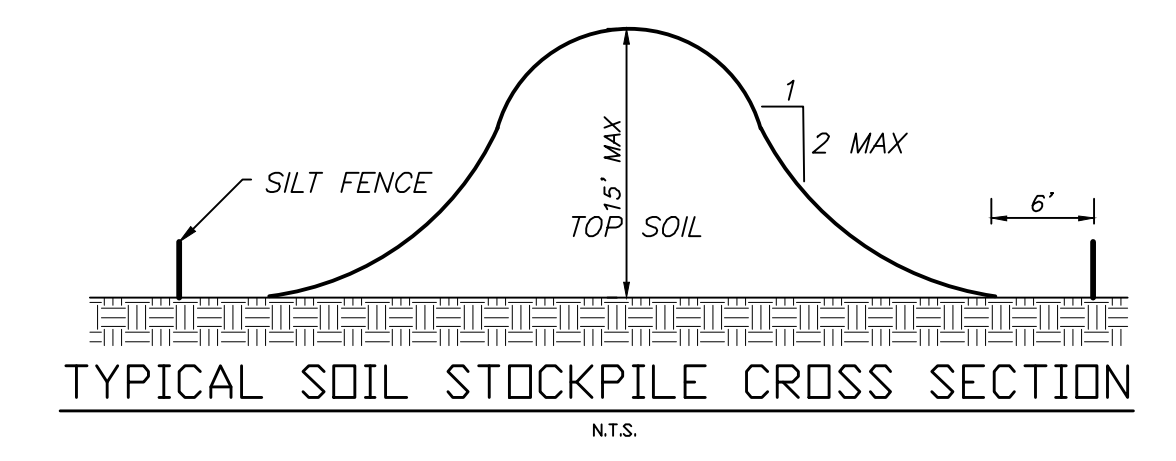
GRAVEL SEDIMENT FILTER FOR INLET
NTS.



STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK
NOT TO SCALE

STABILIZED CONSTRUCTION ENTRANCE
NTS

- THICKNESS - NOT LESS THAN EIGHT (8) INCHES.
- WIDTH - NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- WASHING - WHEN NECESSARY, WHEELS SHALL BE CLEANED TO BE CLEANED TO REMOVED SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SOILED, DIRTYED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.



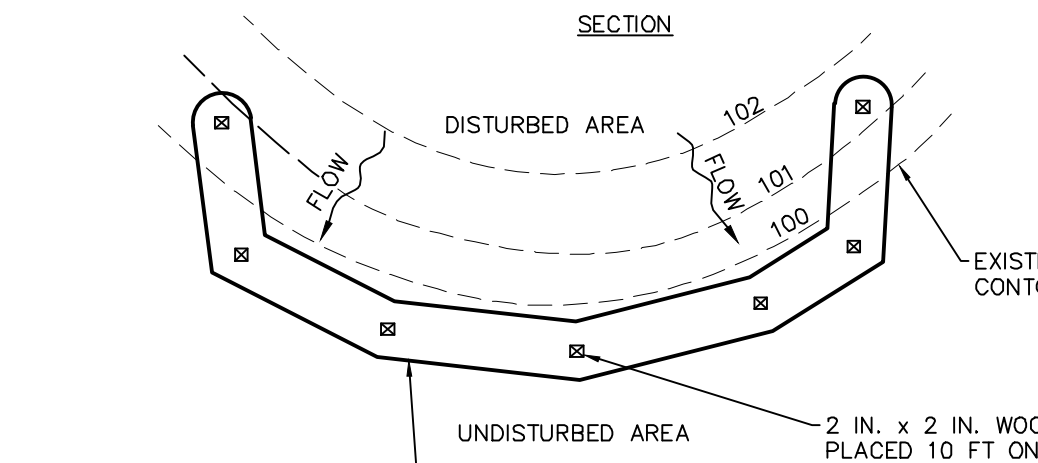
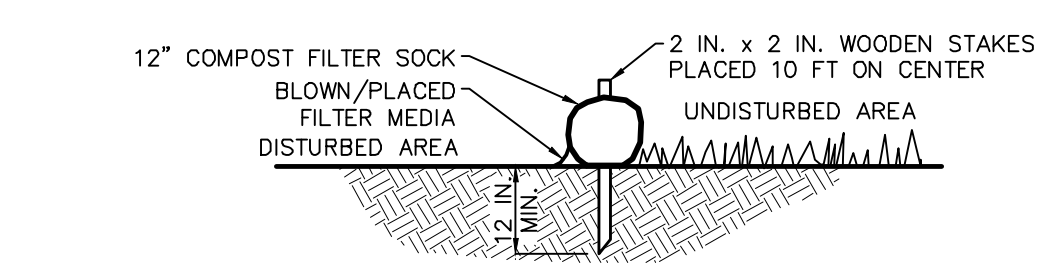
TYPICAL SOIL STOCKPILE CROSS SECTION
NTS.

TOP SOIL PROTECTION:
TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL. TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY. THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE. UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

DO NOT:

- ALLOW RUNOFF OF SPILLAGE DAMAGING MATERIALS INTO THE AREA BELOW ANY TREE CANOPY.
- STORE MATERIALS, STOCKPILE SOIL, OR PARK OR DRIVE VEHICLES WITHIN THE TREE PROTECTION ZONE.
- CUT, BREAK SKIN, OR BRUISE ROOTS, BRANCHES, OR TRUNKS WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CONSULTING ARBORIST.
- ALLOW FIRES UNDER AND ADJACENT TO TREES.
- DISCHARGE EXHAUST INTO FOLIAGE.
- SECURE CABLE, CHAIN, OR ROPE TO TREES OR SHRUBS.
- TRENCH, DIG, OR OTHERWISE EXCAVATE WITHIN THE DRIPLINE OR PROTECTION ZONE OF THE TREE(S) WITHOUT FIRST OBTAINING AUTHORIZATION FROM THE CONSULTING ARBORIST.
- APPLY SOIL STERILANTS UNDER PAVEMENT NEAR EXISTING TREES.

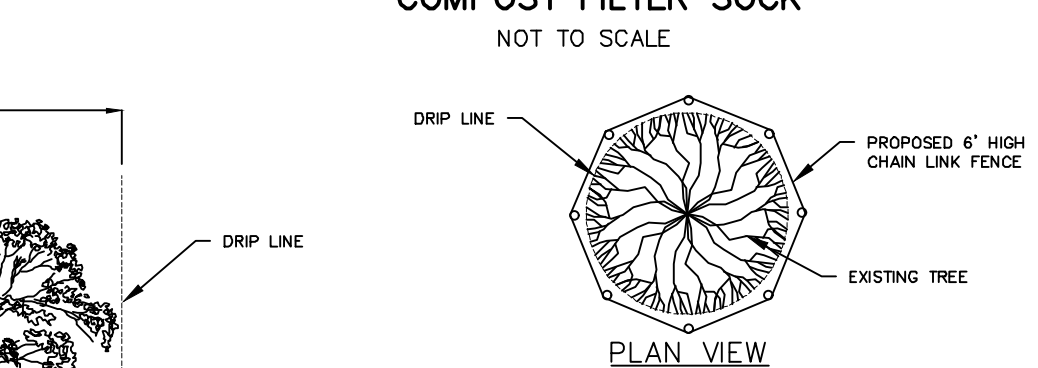
TREE PROTECTION DETAIL
NTS



12\"/>

- NOTES:**
- SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.
 - COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.
 - TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.
 - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
 - COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
 - BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.
 - UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED IN THE LATTER CASE. THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK
NOT TO SCALE



TREE PROTECTION SPECIFICATIONS

- A 4" LAYER OF COARSE MULCH OR WOODCHIPS IS TO BE PLACED BENEATH THE DRIPLINE OF THE PROTECTED TREES. MULCH IS TO BE KEPT 12" FROM THE TRUNK.
- A PROTECTIVE BARRIER OF 6" CHAIN LINK FENCING SHALL BE INSTALLED AROUND THE DRIPLINE OF PROTECTED TREES. THE FENCING CAN BE MOVED WITHIN THE DRIPLINE IF AUTHORIZED BY THE CONSULTING ARBORIST BUT NOT CLOSER THAN 2' INTO THE GROUND. FENCE POSTS SHALL BE 2" IN DIAMETER AND ARE TO BE DRIVEN 2' INTO THE GROUND. THE DISTANCE BETWEEN FENCE POSTS SHALL NOT BE MORE THAN 10'. THIS ENCLOSED AREA IS THE TREE PROTECTION ZONE (TPZ).
- MOVABLE BARRIERS OF CHAIN LINK FENCING SECURED TO CEMENT BLOCKS CAN BE SUBSTITUTED FOR "FIXED" FENCING IF THE CONSULTING ARBORIST AGREES THAT THE FENCING WILL HAVE TO BE MOVED TO ACCOMMODATE CERTAIN PHASES OF CONSTRUCTION. THE BUILDER MAY NOT MOVE THE FENCE WITHOUT AUTHORIZATION FROM THE CONSULTING ARBORIST.
- WHERE THE CONSULTING ARBORIST HAS DETERMINED THAT TREE PROTECTION FENCING WILL INTERFERE WITH THE SAFETY OF WORK CREWS, TREE WRAP MAY BE USED AS AN ALTERNATIVE FORM OF TREE PROTECTION. WOODEN SLATS AT LEAST ONE INCH THICK ARE TO BE BOUND SECURELY EDGE TO EDGE, AROUND THE TRUNK. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE OUTSIDE OF THE WOODEN SLATS. MAJOR SCAFFOLD LIMBS MAY REQUIRE PROTECTION AS DETERMINED BY THE CONSULTING ARBORIST. STRAW WADDLE MAY ALSO BE USED AS A TRUNK WRAP BY COLLING THE WADDLE AROUND THE TRUNK UP TO A MINIMUM HEIGHT OF SIX FEET FROM GRADE. A SINGLE LAYER OR MORE OF ORANGE PLASTIC CONSTRUCTION FENCING IS TO BE WRAPPED AND SECURED AROUND THE STRAW WADDLE.

PLACING TOPSOIL OR TOPSOIL MIXTURE

PREPARATION OF AREAS TO BE TOPSOILED

GRADE THE AREAS TO BE COVERED BY TOPSOIL, USING ACCEPTABLE METHODS, LOOSEN SOIL TO A DEPTH OF 2 INCHES BEFORE PLACING THE TOPSOIL. REMOVE STONES AND OTHER FOREIGN MATERIAL 2 INCHES OR LARGER IN LENGTH. REMOVE AND SATISFACTORILY DISPOSE OF UNSUITABLE AND SURPLUS MATERIAL.

PLACING AND SPREADING TOPSOIL

PLACE TOPSOIL ON THE PREPARED AREAS AND, UNLESS OTHERWISE INDICATED, SPREAD AND COMPACT TO A 4-INCH UNIFORM DEPTH ± 1/2 INCHES. COMPACT WITH A ROLLER WEIGHING NOT OVER 120 POUNDS PER FOOT WIDTH OF ROLLER OR BY OTHER ACCEPTABLE METHODS, AS DIRECTED. REMOVE OVERDEPTH TOPSOIL, UNLESS OTHERWISE AGREED UPON IN WRITING. DO NOT PLACE TOPSOIL IN A WET OR FROZEN CONDITION.

SEEDING SPECIFICATIONS:

- WHERE DENURED AREAS ARE DESIRED TO BE LAWN:
- PERFORM ALL CULTURAL OPERATION AT RIGHT ANGLES TO THE SLOPE.
 - APPLY LIME ACCORDING TO TEST OR AT THE RATE OF 25 LBS. OF GROUND LIMESTONE PER 1,000 SQ. FT.
 - APPLY FERTILIZER ACCORDING TO SOIL TEST OR WORK IN DEEPLY 20 LBS. OF 0-20-20 OR EQUIVALENT PER 1,000 SQ. FT. AND AT THE TIME OF SEEDING, WORK INTO THE SURFACE 10 LBS. OF 10-10-10 OR EQUIVALENT PER 1,000 SQ. FT. OR OTHER APPROVED MIXTURE.
 - SMOOTH AND FIRM SEEDS PRIOR TO SEEDING.
 - SEED USING A MIXTURE OF 60% PENNSTAR KENTUCKY BLUEGRASS, 30% PENNLAWN RED RESCUE AND 10% PENNFINE PERENNIAL RYEGRASS AT THE RATE OF FIVE (5) POUNDS PER 1,000 SQ. FT. OR OTHER APPROVED MIXTURE.
 - COVER GRASS AND LEGUME SEEDS WITH 1/4" OF SOIL WITH SOIL EQUIPMENT, MULCH, USING 2 BALES/1,000 SQ. FT.
 - MOW AS REQUIRED.
 - WHERE SLOPES EXCEED 25% JUTE NETTING OR OTHER APPROVED (EQUAL) SLOPE STABILIZATION MEASURES SHALL BE UTILIZED. IN ADDITION, THE SEEDING SPECIFICATIONS FOR STEEP SLOPES SHALL BE INCREASED TO INCLUDE 3 LBS./1,000 SQ. FT. OF ANNUAL RYEGRASS FOR RAPID VEGETAL ESTABLISHMENT.

HYDROSEEDING SPECIFICATIONS

DEFINITION: STABILIZING SEDIMENT PRODUCING AND SEVERELY ERODED AREAS BY ESTABLISHING PERMANENT GRASS COVER.

PURPOSE: TO PROVIDE PERMANENT VEGETATIVE COVER TO CONTROL RAPID RUN-OFF AND EROSION.

PROCEDURE: SURFACE TO BE HYDRO-SEEDED SHALL BE CLEANED OF ALL DEBRIS AND OTHER MATTER HARMFUL TO UNIFORM GERMINATION. A WATER-SLURRY MIXTURE COMPOSED OF THE BELOW MENTIONED "MATERIALS" SHALL BE SPRAYED UNIFORMLY OVER THE AREAS TO BE HYDRO-SEEDED.

MATERIALS: APPLICATION RATE

NAME	DESCRIPTION	(PER ACRE)
1) SEED MIXTURE	60% PENNSTAR KENTUCKY BLUEGRASS 30% PENNLAWN RED RESCUE 10% PENNFINE PERENNIAL RYEGRASS	260 LBS.
2) COMMERCIAL FERTILIZER		1,000 LBS.
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	2 TONS
4) MULCH	HAY OR STRAW	3 TONS
5) SOIL STABILIZER	TERRA TACK OR EQUIVALENT	20 LBS.
1) SEED	ANNUAL RYEGRASS (95% PURE)	40 LBS.
2) COMMERCIAL FERTILIZER		1,000 LBS.
3) LIME	GROUND AGRICULTURAL LIMESTONE (MAY BE APPLIED SEPARATELY)	1 TON
4) MULCH	HAY OR STRAW	3 TONS

MAINTENANCE OF TEMPORARY SEDIMENTATION CONTROL STRUCTURES

STABILIZED CONSTRUCTION ENTRANCE: THE STABILIZED CONSTRUCTION ENTRANCES ARE TO BE CONSTRUCTED PER THE DETAIL. THE STABILIZED CONSTRUCTION ENTRANCES SHALL BE MAINTAINED SO THAT TREE SCRUBBING ACTIVITY DOES NOT BECOME INEFFECTIVE. ANY BUILDUP OF MUD OR SOIL ON THE STREET SHALL BE CLEANED AT THE END OF EACH WORKING DAY.

INLET SILT TRAPS: INLET SILT TRAPS SHALL BE CONSTRUCTED PER THE DETAIL AND CLEANED AFTER EACH STORM EVENT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER.

SILT FENCE: SILT FENCE SHALL BE INSTALLED PER THE DETAIL WITH ROCK FILTER OUTLETS PROVIDED EVERY 100 FEET AND AT EXISTING AND GRADED LOW POINTS. SEDIMENT SHALL BE REMOVED FROM SILT FENCES WHEN IT REACHES 1/2 THE FENCE HEIGHT OR AS DIRECTED BY THE CONSERVATION DISTRICT OR TOWNSHIP ENGINEER. SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED WILL BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY.

SEDIMENT DISPOSAL: SILT REMOVED FROM TEMPORARY SEDIMENT CONTROL STRUCTURES SHALL BE DISPOSED OF ON-SITE IN LANDSCAPED AREAS LOCATED OUTSIDE OF FLOOD PLANS, WETLANDS, STEEP SLOPES AND DRAINAGE SWALES.

DUST CONTROL: DUST AND OTHER PARTICULATES SHALL BE KEPT WITHIN TOLERABLE LIMITS BY USING WATER. APPLICATION SHALL BE AS NEEDED OR AS DIRECTED BY THE TOWNSHIP ENGINEER OR THE CONSERVATION DISTRICT.



STANDARD FILTER FABRIC FENCE
NTS.

FILTER FABRIC FENCE MUST BE PLACED AT LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8' UP SLOPE AT 45° TO THE MAIN BARRIER ALIGNMENT.

ANY SILT FENCING WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE REPLACED WITH ROCK FILTER OUTLETS IMMEDIATELY. SEE ROCK FILTER OUTLET DETAIL.

SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

CONSTRUCTION TIMING AND SEQUENCE

NOTE: THE TOWNSHIP ENGINEER SHALL BE NOTIFIED 48 HOURS PRIOR TO THE INSTALLATION OF THE SEEPAGE BED AND PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

- NOTIFY THE TOWNSHIP THAT CONSTRUCTION IS GOING TO COMMENCE. ANTICIPATED DATE: MARCH 2019.
- INSTALL THE STABILIZED CONSTRUCTION ENTRANCE AS SHOWN. ALL CONSTRUCTION VEHICLES EXITING THE SITE MUST USE THIS ENTRANCE.
- INSTALL TREE PROTECTION BARRIER FENCING AS INDICATED ON THE PLAN. PLACE PROTECTION FENCING AROUND THE PROPOSED RAIN GARDEN AREAS.
- INSTALL COMPOST FILTER SOCK AS SHOWN ON THE PLAN AND ON THE DOWNHILL SLOPE OF ANY EXCAVATION OR ANTICIPATED DISTURBANCE.
- PRIOR TO EARTH DISTURBANCE, NOTIFY THE TOWNSHIP ENGINEER THAT CONSTRUCTION IS GOING TO BEGIN.
- ONCE THE EROSION AND SEDIMENT CONTROLS ARE IN PLACE AND FUNCTIONING, BEGIN TO ABANDON THE EXISTING SAND MOUND SYSTEM. REMOVE THE SANITARY DISPOSAL PIPING AND TANKS AND PROPERLY DISPOSE OF THE CONTAMINATED SOIL.
- BEGIN TO DEMOLISH AND REMOVE THE BUILDING, PORTIONS OF THE DRIVEWAY, WALKS, SHEDS, AND OTHER IMPERVIOUS FEATURES DESIGNATED FOR REMOVAL. PROPERLY DISPOSE OF DEMOLITION MATERIALS OFF THE SITE.
- CLEAR AND GRUB THE AREAS AS NECESSARY WITHIN THE LIMITS OF DISTURBANCE OF EXISTING VEGETATION. STRIP TOPSOIL FROM AREAS OF CONSTRUCTION AND STOCKPILE SUITABLE MATERIAL FOR FUTURE USE. UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SURROUND TOPSOIL WITH SILT FENCE AND SEED TO ESTABLISH TEMPORARY VEGETATIVE COVER.
- EXCAVATE FOR AND BEGIN TO CONSTRUCT THE FOUNDATIONS FOR THE NEW BUILDING. UPON COMPLETION OF FOUNDATION WALLS, BACKFILL FOUNDATIONS AND ROUGH GRADE AROUND THE HOUSE. ANY GRADED OR DISTURBED AREA MUST BE TEMPORARILY SEEDDED IF NO FURTHER EARTH MOVING IS ANTICIPATED IMMEDIATELY.
- IN CONJUNCTION WITH THE BUILDING CONSTRUCTION, INSTALL THE NEW SANITARY MANHOLE AND MAIN EXTENSION. CONNECT THE NEW 4" SANITARY LATERAL TO THE NEW MAIN. IMMEDIATELY STABILIZE THE AREAS DISTURBED BY THE SEWER EXTENSION.
- INSTALL THE NEW INLETS, ROOF RAINWATER COLLECTION PIPING, AND THE ASSOCIATED CONVEYANCE PIPING. INSTALL INLET PROTECTION ON THE INLETS.
- INSPECT SEDIMENT BARRIERS FREQUENTLY, ESPECIALLY AFTER HEAVY STORMS. REPLACE AND REPAIR SEDIMENT BARRIERS AS NECESSARY.
- INSTALL STONE BASE COURSE FOR NEW DRIVEWAY AREAS. CONTINUE WITH CONSTRUCTION OF THE NEW RETAINING WALLS.
- UPON FINAL STABILIZATION OF THE CONTRIBUTORY AREA, INSTALL THE PERMANENT STORMWATER MANAGEMENT SYSTEM, AND THE ASSOCIATED CONVEYANCE PIPING. CONNECT THE NEW INLETS TO THE SYSTEM. THE STORMWATER MANAGEMENT SYSTEMS SHALL NOT RECEIVE ANY RUNOFF UNTIL THE ENTIRE CONTRIBUTORY AREA TO THE SYSTEM IS STABILIZED AND UPON APPROVAL OF THE TOWNSHIP ENGINEER.
- UPON FINAL STABILIZATION OF THE CONTRIBUTORY AREAS, INSTALL THE PERMANENT STORMWATER MANAGEMENT SYSTEM, AND THE ASSOCIATED CONVEYANCE PIPING. CONNECT THE NEW INLETS TO THE SYSTEM. THE STORMWATER MANAGEMENT SYSTEMS SHALL NOT RECEIVE ANY RUNOFF UNTIL THE ENTIRE CONTRIBUTORY AREA TO THE SYSTEM IS STABILIZED AND UPON APPROVAL OF THE TOWNSHIP ENGINEER.
- INSTALL TOP COURSES FOR THE NEW DRIVEWAY AREAS.
- FINAL GRADE DENURED AREAS, SPREAD STOCKPILED TOPSOIL AND SEED GRADED AREAS TO REESTABLISH PERMANENT VEGETATION. STABILIZE SLOPES IN EXCESS OF 4:1 WITH SOD OR EROSION CONTROL NETTING AND MULCH.
- INSTALL FINAL LANDSCAPE FEATURES, AND COMPLETE CONSTRUCTION.
- UPON PERMANENT STABILIZATION, REMOVE THE SEDIMENT BARRIERS. IMMEDIATELY SEED ANY DENURED AREAS DUE TO THEIR REMOVAL.
- CONSTRUCTION COMPLETED. ANTICIPATED DATE: MARCH 2020.

NOTES:

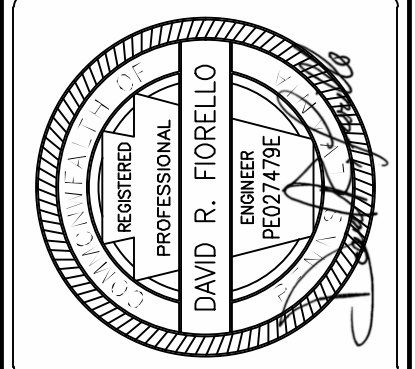
- NEWLY GRADED SLOPES TWENTY FIVE PERCENT (25% OR GREATER) SHALL BE SOODED OR STABILIZED WITH EROSION CONTROL NETTING.
- GEOTEXTILE FABRIC SHALL BE CLASS 1. GEOTEXTILE FABRIC IN ACCORDANCE WITH PENNDOT SPECIFICATION FROM 408. THE TYPE AND/OR THICKNESS SHALL BE DUMPON TYPAR #3401, AMOCO PROPER #4545 OR APPROVED EQUAL OR AS OTHERWISE INDICATED ON THE PLAN.
- TO ALL AREA WHICH REMAIN DISTURBED FOR MORE THAN 4 DAYS AND WILL BE SUBJECT TO THE ACTION OF EARTHMOVING AND OTHER EQUIPMENT, APPLY A MULCH (WOODCHIP-20 TONS PER ACRE; HAY OR STRAW-3 TONS PER ACRE). ALL OTHER DISTURBED AREAS REMAINING OPEN FOR MORE THAN 4 DAYS SHALL BE TEMPORARILY SEEDDED AND MULCHED.
- ALL TREES AND BRUSH WITHIN THE SIGHT TRIANGLE SHALL BE TRIMMED AND/OR REMOVED AS NECESSARY TO OBTAIN CLEAR SIGHT DISTANCE WITH THE APPROVAL OF THE TOWNSHIP ARBORIST.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF/AND/OR SEDIMENT DISPLACEMENT. STOCKPILES OF WOODCHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- THE CONTRACTOR SHALL, BY SCHEDULING THE CONSTRUCTION, UTILIZE NEW PLANTINGS AND PROPERLY INSTALL EROSION CONTROL FENCING, HAY BALES AND OTHER EROSION CONTROL MEASURES TO MINIMIZE EROSION DAMAGE.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED FOR MORE THAN 4 DAYS MUST BE SEEDDED AND MULCHED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE SEEDDED AND MULCHED WITH A PERMANENT SEED MIXTURE AND MULCH DIVERSIONS, CHANNELS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOCKPILES MUST BE SEEDDED AND MULCHED IMMEDIATELY.
- A ROUTINE "END-OF-DAY-CHECK" SHALL BE MADE DURING CONSTRUCTION TO MAKE SURE THAT ALL CONTROL MEASURES ARE WORKING PROPERLY. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL DESIGN, IMPLEMENT, AND MAINTAIN CONTROL MEASURES WHICH PREVENT ACCELERATED EROSION AND SEDIMENTATION. THERE SHALL BE NO ADVERSE DISCHARGE OF THE SEDIMENT OR OTHER SOLID MATERIALS FROM THE SITE AS THE RESULT OF STORMWATER RUNOFF.
- TEMPORARY EROSION CONTROL MEASURES MAY BE REMOVED ONLY AFTER THE CONSTRUCTION AREA AND CONTAINED SILT IS STABILIZED AND THE LAWN AREA ESTABLISHED.

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Serial Number: 20181022734

CALL BEFORE YOU DIG!
3 WORKING DAYS NOTICE PERIOD FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL

PAID BY: MOMENEE, INC.
1-800-242-1776



MOMENEE, INC.
a karns Company

ENGINEERING | PLANNING | SURVEYING

924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

EROSION & SEDIMENTATION CONTROL PLAN

GRADING PERMIT PLAN

820 DARBY-PAOLI ROAD

OWNER/APPLICANT: JOSIE SCARPELLI
820 DARBY-PAOLI ROAD
WAYNE, PA 19087

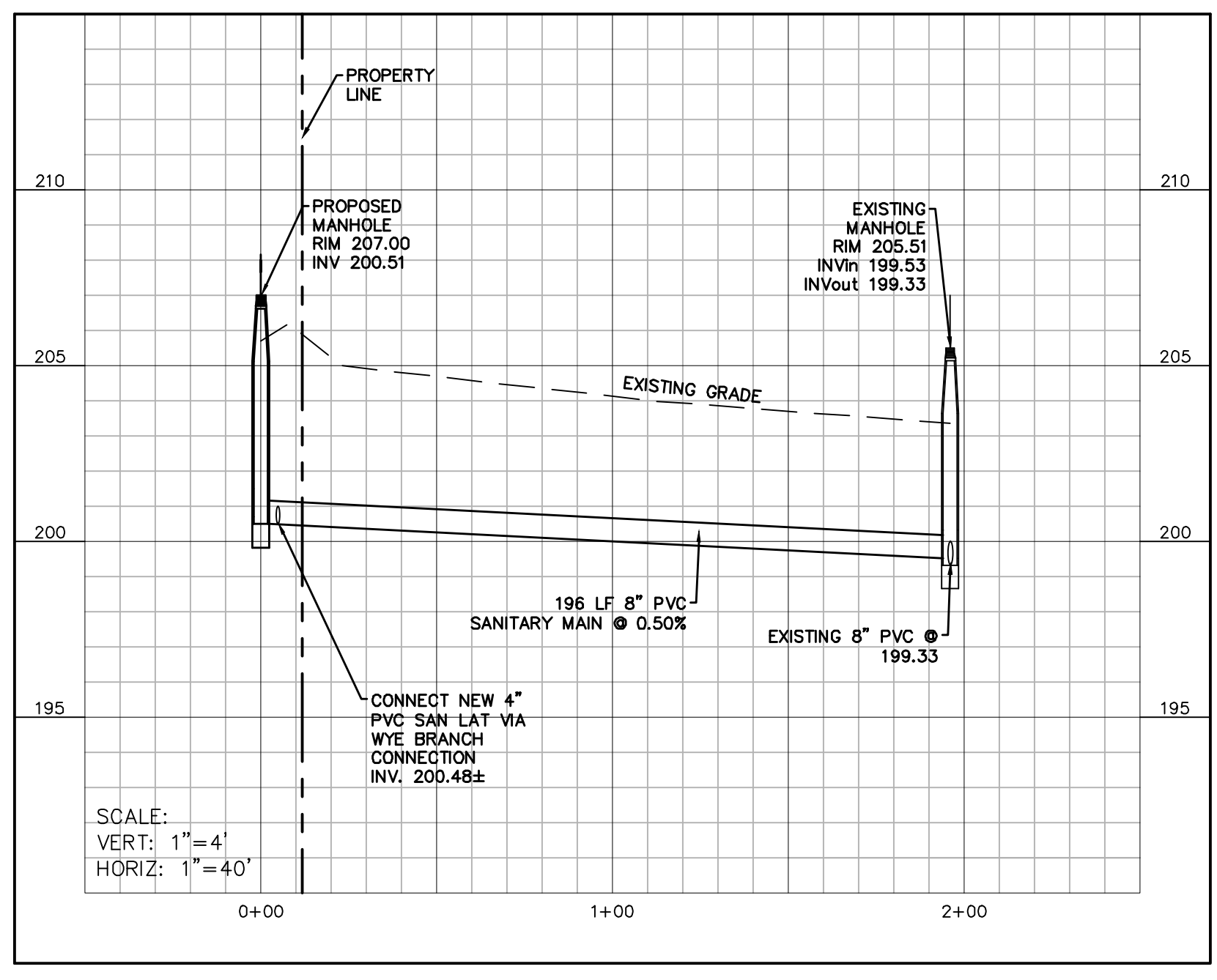
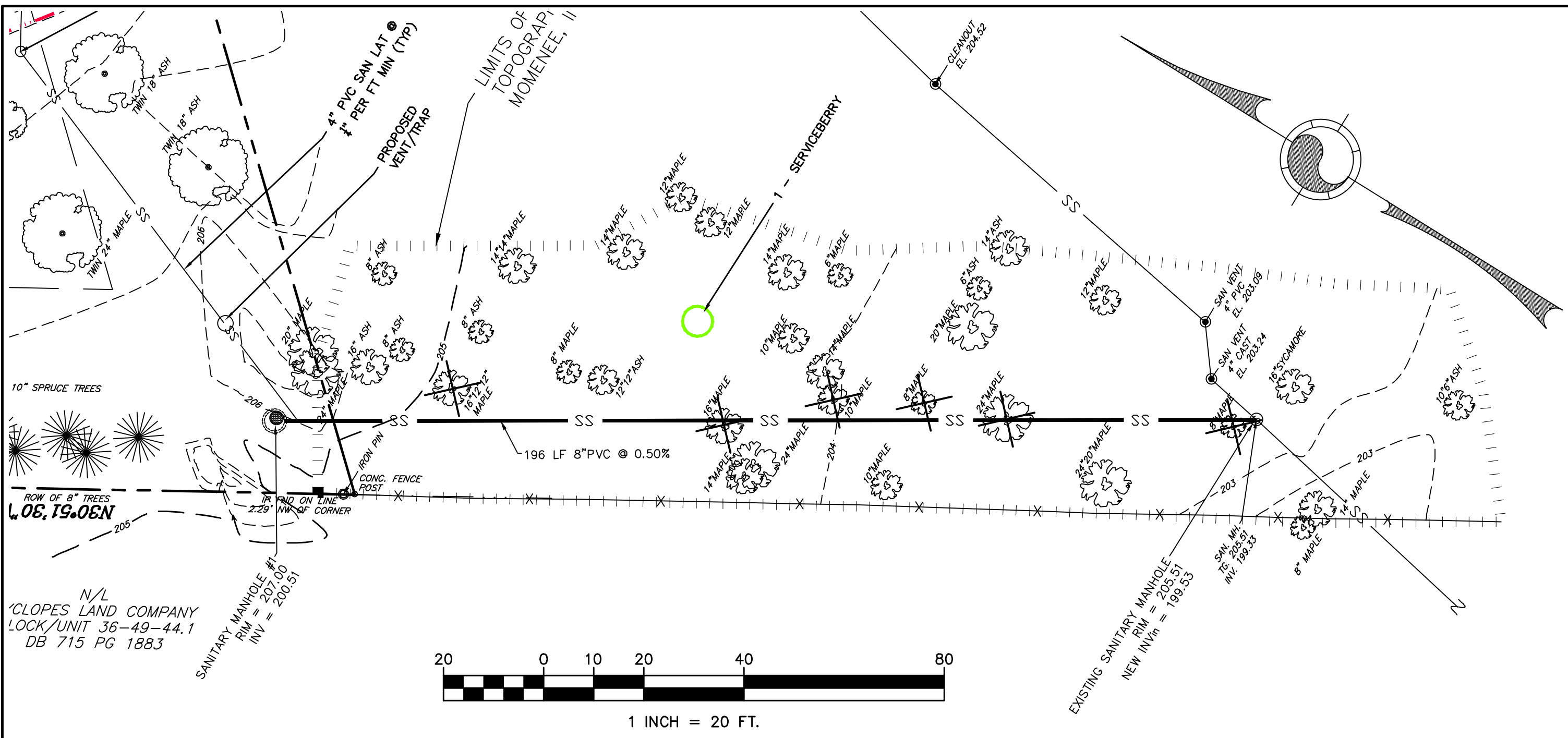
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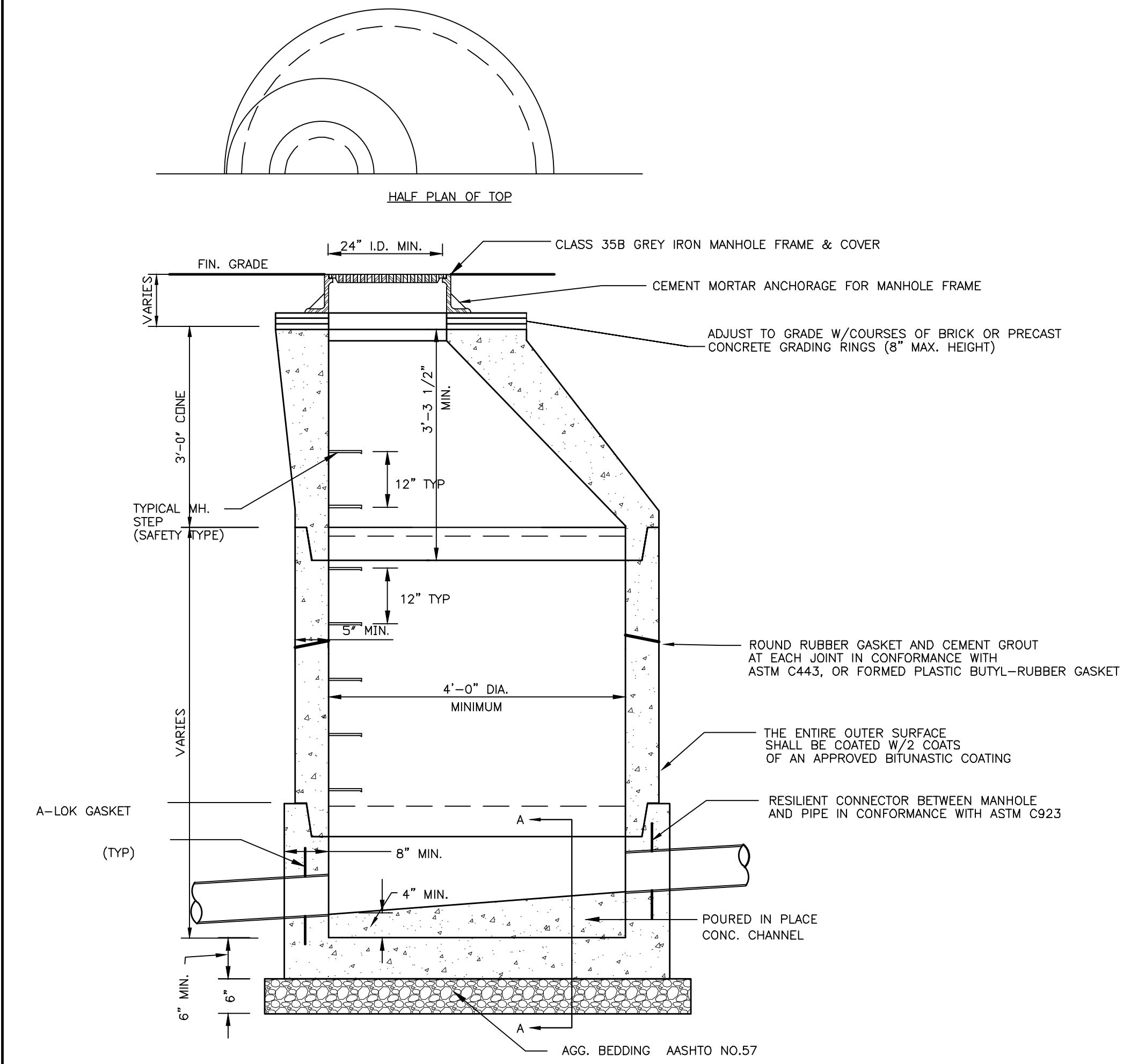
SHEET 3 OF 5

DATE: DECEMBER 12, 2018

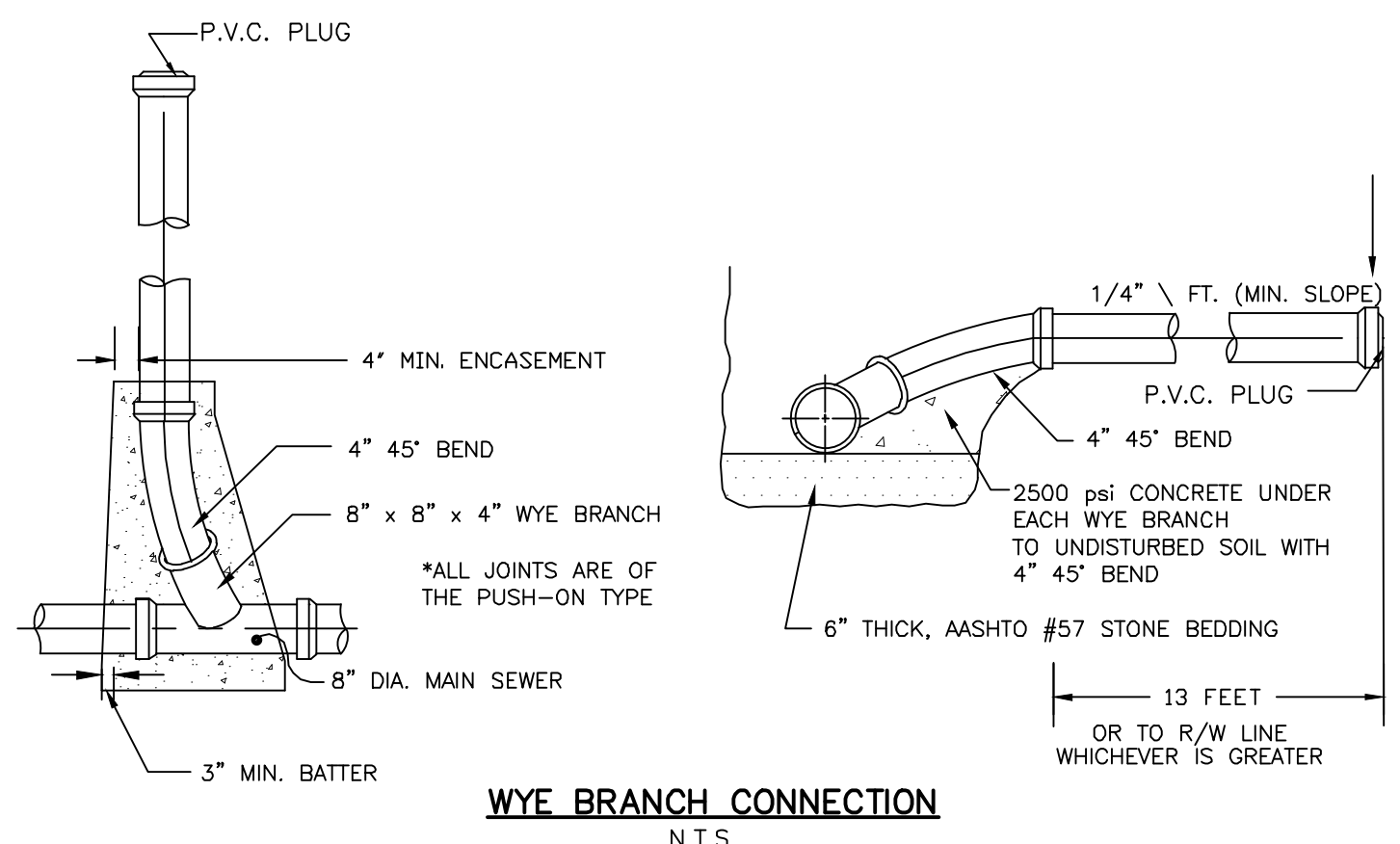
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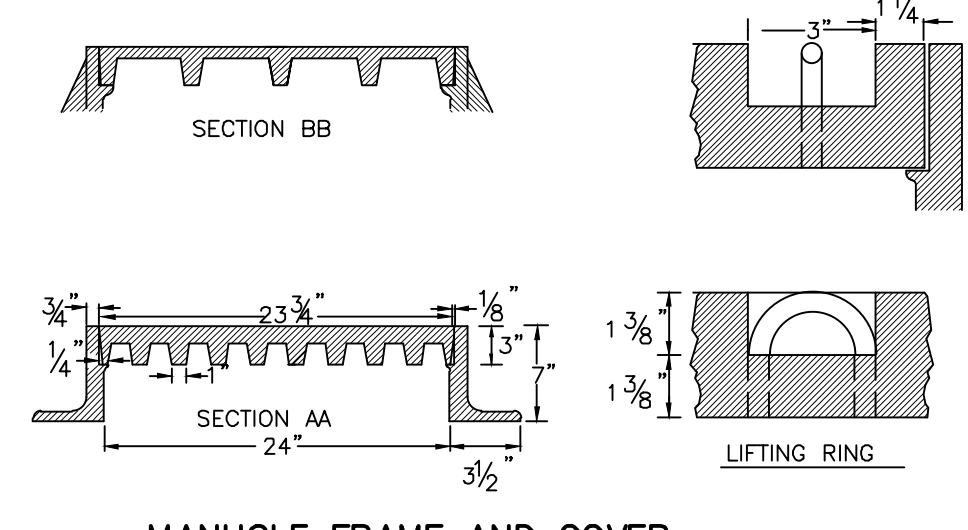
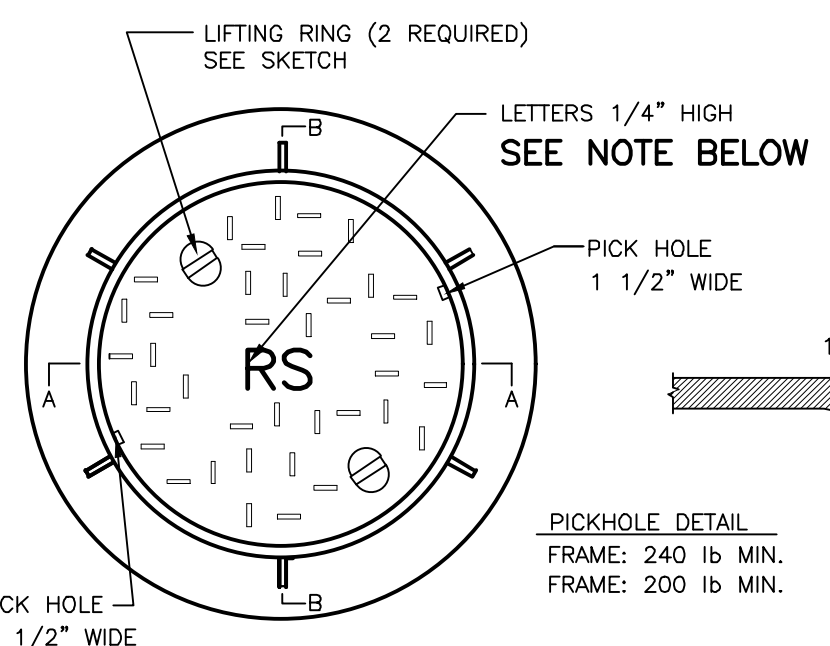
SANITARY SEWER PROFILE



PRECAST CONCRETE MANHOLE (SANITARY SEWER)
N.T.S.



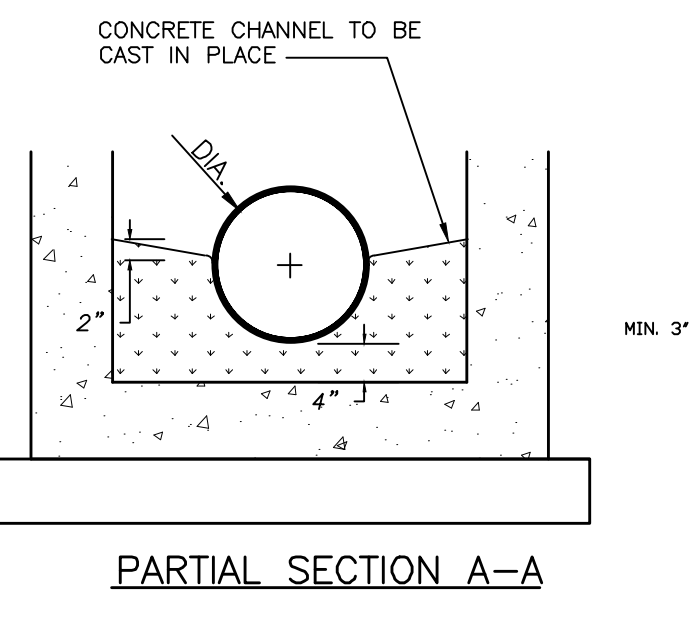
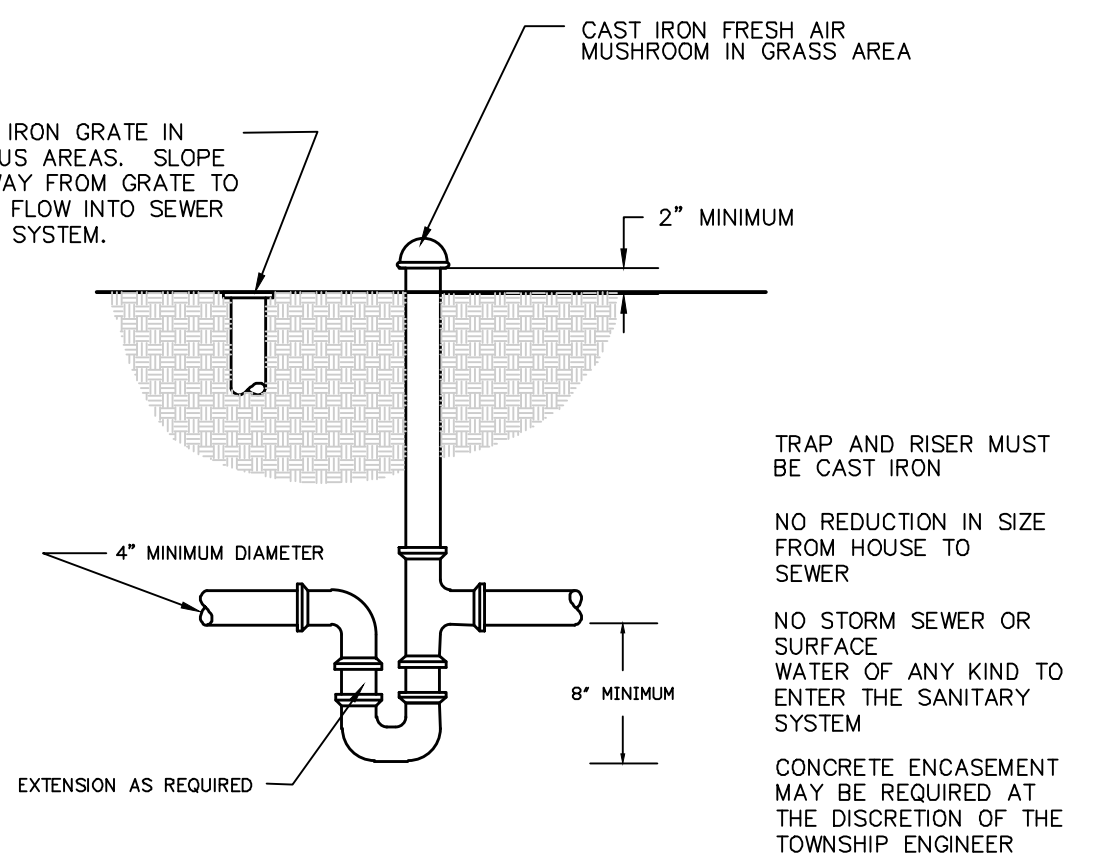
- SANITARY LATERAL NOTES**
- WYE CONNECTIONS AND LATERAL STUBS ARE TO BE INSTALLED AS PART OF THE SEWER MAIN CONSTRUCTION.
 - LATERALS ARE TO BE EXTENDED A MINIMUM OF 10- FEET INTO THE AS MEASURED FROM THE R/W LINE OR ADJACENT LOT LINE.
 - LATERALS ARE TO BE CAPPED FOR FUTURE CONNECTION BY LOT DEVELOPER AND ENDS OF LATERAL SHALL BE MARKED WITH A 2X4 STAKE.
 - CLEANOUTS ARE TO BE PROVIDED AT ALL BENDS ON SANITARY LATERALS.
 - THERE SHALL BE A MINIMUM DISTANCE OF 5- FEET BETWEEN LATERALS AND BETWEEN LATERALS AND MANHOLES.



LETTERING NOTE:
ALL NEW SANITARY MANHOLE LIDS TO BE LABELED "RS"

STANDARD MANHOLE: NEENAH FOUNDRY COMPANY, TYPE N FRAMED, MANHOLE FRAME AND COVER - CATALOG NUMBER R-1788-A1, SOLID FRAME, HEAVY DUTY. FURNISH WITH FOUR 7/8 INCH ANCHOR HOLES ON 27-15/16 INCH DIAMETER BOLT CIRCLE.

WATERTIGHT MANHOLE: NEENAH FOUNDRY COMPANY, CATALOG NUMBER R-1916-D, SOLID FRAME, HEAVY DUTY. FURNISH WITH FOUR 7/8 INCH ANCHOR HOLES ON 27-15/16 INCH DIAMETER BOLT CIRCLE. ALL MANHOLES NOT LOCATED IN PAVED AREAS ARE TO BE EQUIPPED WITH WATERTIGHT FRAMES AND COVERS.



ANCHOR BOLT DETAIL FOR PRE-CAST MANHOLE
N.T.S.

- SANITARY SEWER NOTES:**
1. THE CONTRACTOR IS TO VERIFY THE EXISTING SANITARY LINES BEFORE CONSTRUCTION.
 2. EXFILTRATION TESTS TO BE PERFORMED ON ALL 8" SANITARY SEWER LINES IN ACCORDANCE WITH PA DEPARTMENT OF ENVIRONMENTAL PROTECTION.
 3. CONSTRUCTION IN ACCORDANCE WITH TOWNSHIP STANDARDS AND SPECIFICATIONS.

MANHOLE DESIGN SPECIFICATIONS CONFORMS TO: PRECAST REINFORCED CONCRETE MANHOLE SECTIONS: A.S.T.M. DESIGNATION C478, LATEST REVISION, DESIGNED TO MEET RESILIENT CONNECTORS REQUIREMENTS OF A.S.T.M. C-923.

ALL LOCATIONS OF EXISTING UTILITIES, SHOWN ON THIS PLAN, HAVE BEEN DEVELOPED FROM FIELD LOCATIONS OF VISIBLE ABOVE GROUND UTILITY STRUCTURES AND INFORMATION FURNISHED BY THE UTILITY COMPANIES.

ALL LOCATIONS SHOULD BE CONSIDERED APPROXIMATE. COMPLETENESS OR ACCURACY OF THE LOCATIONS AND DEPTH OF ALL STRUCTURES CANNOT BE GUARANTEED. CONTRACTORS MUST VERIFY ALL LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND FACILITIES BEFORE THE START OF ANY WORK.

AS PER ACT 187 HOUSE BILL 2627, BEFORE THE START OF ANY EXCAVATION WORK THE CONTRACTOR SHALL NOTIFY THE AFFECTED UTILITY COMPANIES THROUGH THE PENNSYLVANIA "ONE CALL SYSTEM" 1-800-242-1776 THREE DAYS PRIOR TO THE START OF ANY EXCAVATION. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION.

LINETYPE LEGEND

---	PROPERTY LINE
- - -	ROW LINE
- . - .	BUILDING SETBACK
- x - x	FENCE LINE
- / - /	OVERHEAD ELECTRIC
- w - w	WATER LINE
- s - s	SANITARY LINE
- g - g	GAS LINE
- 2'-0"	EXISTING 2' CONTOUR
- 10'	EXISTING 10' CONTOUR
- 360	PROPOSED CONTOUR
- SS	PROPOSED SANITARY LINE
- U	UTILITY POLE
- I	IRON PIN
- M	SANITARY MANHOLE

Serial Number: 20181022734

CALL BEFORE YOU DIG!
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

DAVID R. FIORELLO
PROFESSIONAL ENGINEER
NOV 2017

MI MOMENEE, INC.
a Kams Company

ENGINEERING | PLANNING | SURVEYING

924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

SANITARY SEWER PLAN AND PROFILE

GRADING PERMIT PLAN

820 DARBY-PAOLI ROAD

RAVENOR TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA

OWNER/APPLICANT
JOSE SCARPELLI
820 DARBY PAOLI ROAD
WAYNE, PA 19087

ONE-CALL: 20181022734

DRAWN BY: BDM

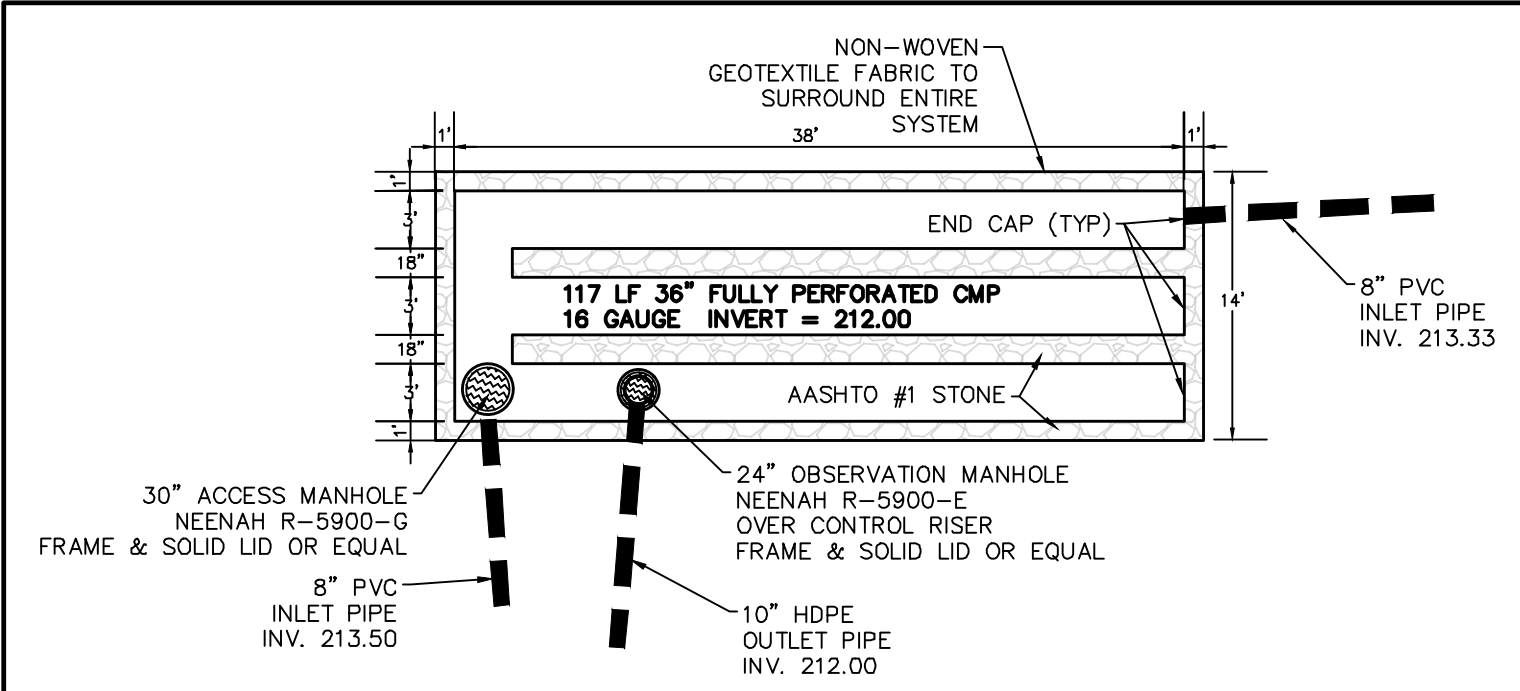
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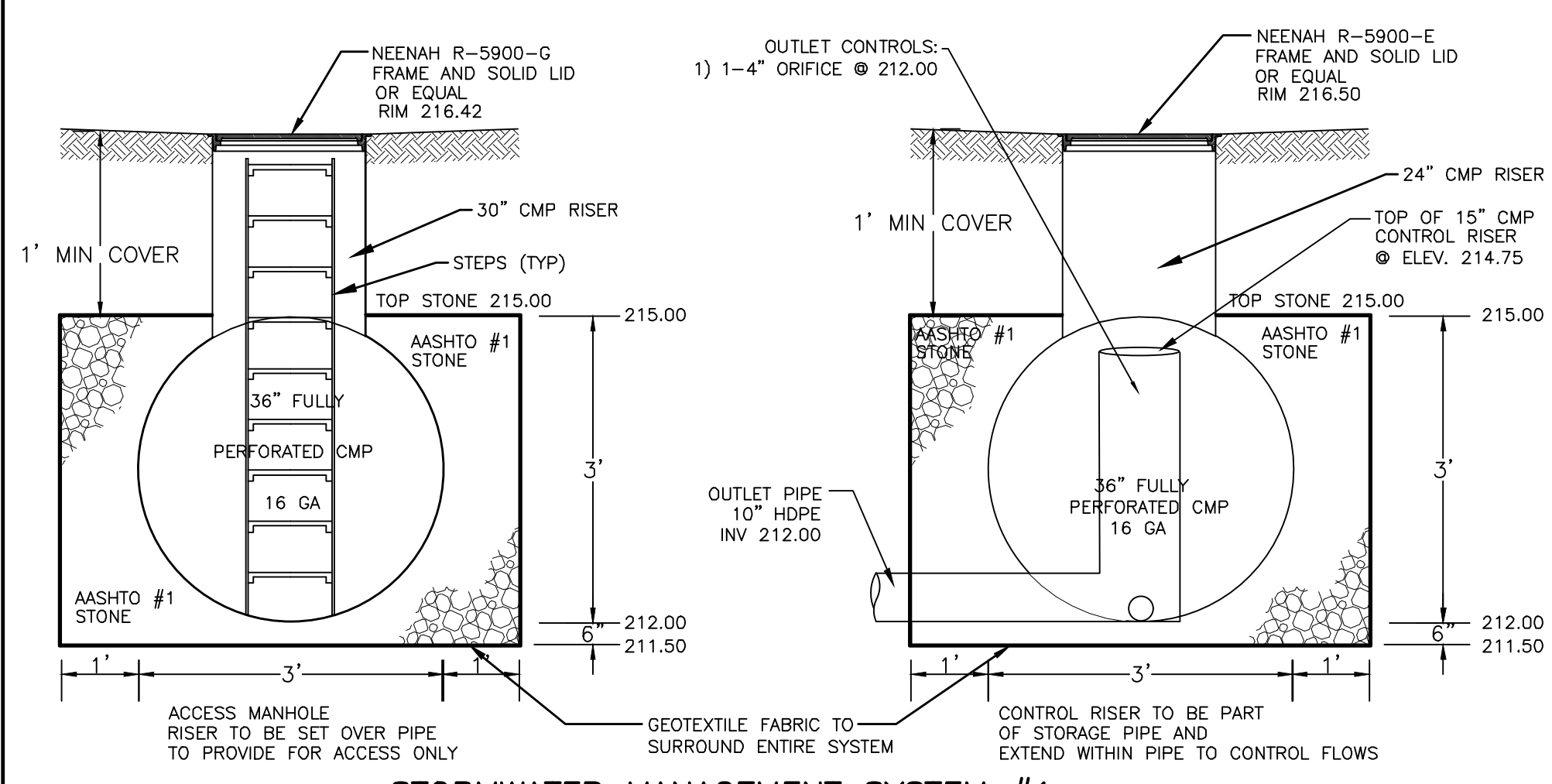
SHEET 4 OF 5

DATE: DECEMBER 12, 2018

SCALE: 1" = 20'



STORMWATER MANAGEMENT SYSTEM #1
117 LF 36" FULLY PERFORATED CMP
1.0' OF STONE ON EITHER SIDE OF SYSTEM
6" OF STONE BENEATH SYSTEM



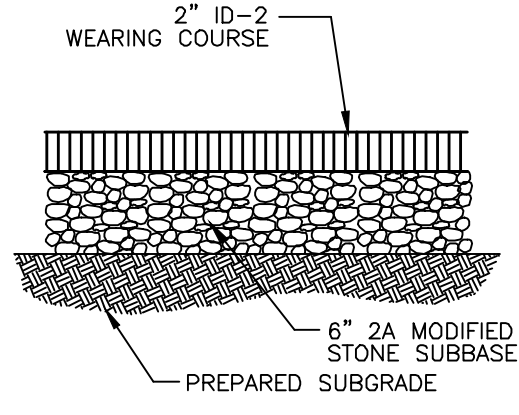
STORMWATER MANAGEMENT SYSTEM #1

CONSTRUCTION SPECIFICATIONS STORMWATER DETENTION SYSTEMS

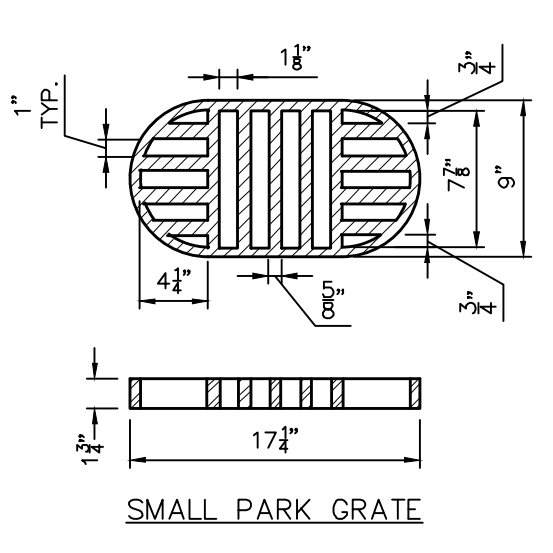
- ALTER AND REFINE THE GRADES AS NECESSARY TO BRING SUBGRADE TO REQUIRED GRADES AND SECTIONS AS SHOWN IN THE DRAWINGS.
- THE TYPE OF EQUIPMENT USED IN SUBGRADE PREPARATION CONSTRUCTION SHALL NOT CAUSE UNDUE SUBGRADE COMPACTION. TRAFFIC OVER SUBGRADE SHALL BE KEPT AT A MINIMUM.
- INSTALL POLYPROPYLENE GEOTEXTILE FABRIC (I.E., DUPONT TYPAR #3401, AMOCO PROPEX #4545, OR APPROVED EQUAL) ON BOTTOM OF BED AREAS AND TACK UP SIDES OF EXCAVATION, WHERE EDGES OF ROLLS OVERLAP, THEY SHALL DO SO BY AT LEAST TWO FEET. ADEQUATE FABRIC SHALL BE LEFT ON THE ROLLS (NOT CUT FROM SITE INSTALLATION) TO FACILITATE OVERTOPPING THE STONE AT COMPLETION OF BED AREA.
- ALL STONE USED SHALL BE CLEAN, WASHED, CRUSHED STONE AGGREGATE MEETING PENNDOT/AASHTO #1 SPECIFICATIONS.
- STONE BASE COURSE SHALL BE LAID OVER A DRY SUBGRADE, TO A DEPTH SHOWN IN DRAWINGS, IN LIFTS TO LAY NATURALLY COMPACTED. DO NOT ROLL OR COMPACT THE STONE BASE COURSE. KEEP THE BASE COURSE CLEAN FROM DEBRIS, CLAY AND ERODING SOIL.
- COVER STONE BED WITH REMAINING FABRIC.
- STONE BED TO BE TOTALLY ENCLOSED IN THE GEOTEXTILE FABRIC.
- ALL CMP TO BE ALUMINIZED STEEL PIPE.
- STORMWATER RISER ACCESS LADDER WILL BE USED.

NOTES:

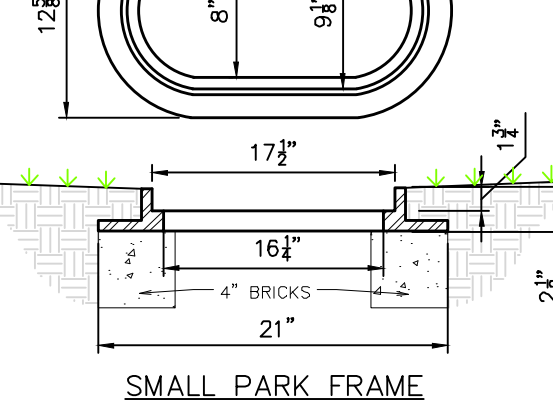
- ALL CMP TO BE ALUMINUM OR ALUMINIZED STEEL.
- PERFORATIONS FOR 36" CMP SHALL SATISFY AASHTO DESIGNATION M36/M36-90 FOR CLASS 2 PERFORATIONS. THE PERFORATIONS SHALL BE CIRCULAR HOLES WITH NOMINAL DIAMETERS OF 5/16 TO 3/8 INCH. THE PERFORATIONS SHALL BE UNIFORMLY SPACED AROUND THE FULL PERIPHERY OF THE PIPE. THE PERFORATIONS SHALL PROVIDE AN OPENING AREA OF NOT LESS THAN 3.3 SQ. IN. PER SQ. FT. OF PIPE SURFACE BASED ON NOMINAL DIAMETER AND LENGTH OF PIPE. 30 PERFORATIONS, 3/8 INCH DIAMETER, PER SQUARE FOOT OR 565 PERFORATIONS PER LINEAR FOOT SATISFIES THIS REQUIREMENT.



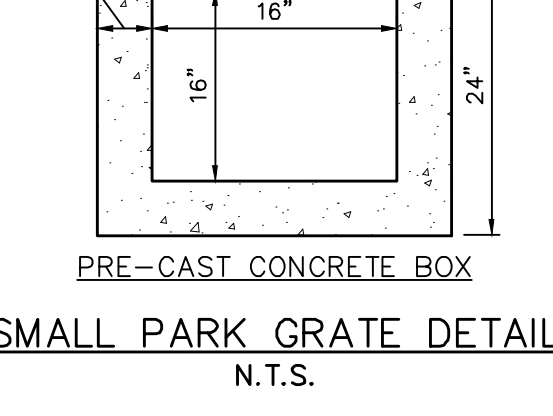
DRIVEWAY CROSS SECTION
N.T.S.



SMALL PARK GRATE
N.T.S.



SMALL PARK FRAME
N.T.S.



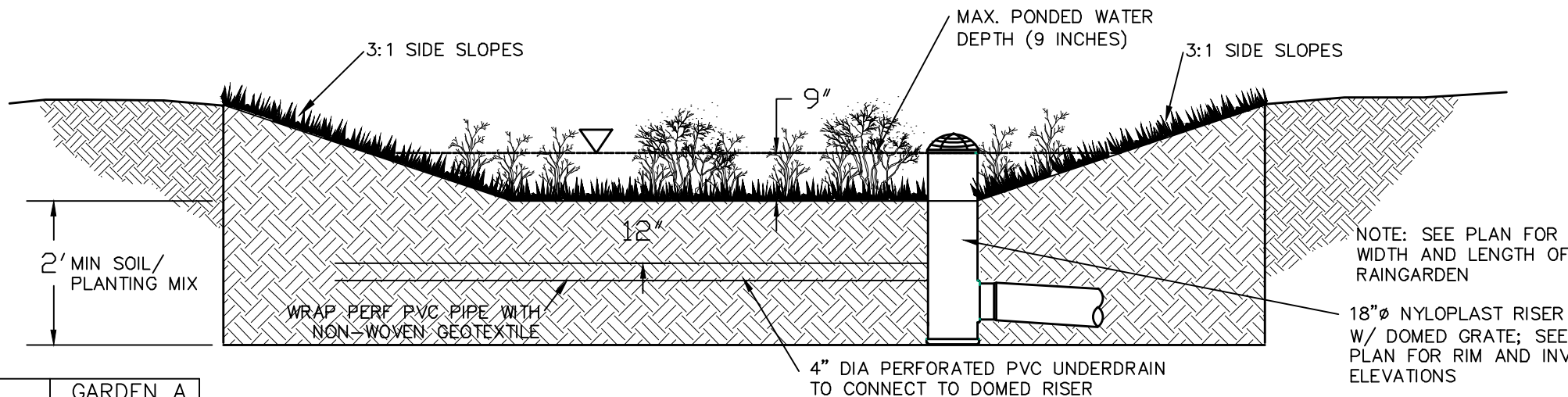
SMALL PARK GRATE DETAIL
N.T.S.

RAIN GARDEN SYSTEM	GARDEN A
TOP OF RAIN GARDEN/BERM ELEV.	212.00
TOP OF INLET/WATER ELEV.	211.75
BOTTOM OF GARDEN/TOP OF SOIL ELEV.	211.00
BOTTOM OF SOIL ELEV.	209.00
OUTLET PIPE INVERT	209.25

BIORETENTION AREA INSTALLATION

- SUBGRADE PREPARATION**
- EXISTING SUB-GRADE IN BIORETENTION AREAS SHALL NOT BE COMPACTED OR SUBJECT TO EXCESSIVE CONSTRUCTION EQUIPMENT TRAFFIC.
 - INITIAL EXCAVATION MAY BE PERFORMED DURING ROUGH SITE GRADING BUT SHALL NOT BE CARRIED TO WITHIN ONE FOOT OF THE FINAL BOTTOM ELEVATION. FINAL EXCAVATION SHALL NOT TAKE PLACE UNTIL ALL DISTURBED AREAS IN THE DRAINAGE AREA HAVE BEEN STABILIZED.
 - WHERE EROSION OF SUB-GRADE HAS CAUSED ACCUMULATION OF FINE MATERIALS AND/OR SURFACE PONDING IN THE GRADED BOTTOM, THIS MATERIAL SHALL BE REMOVED WITH LIGHT EQUIPMENT AND THE UNDERLYING SOILS SCARIFIED TO A MINIMUM DEPTH OF 6 INCHES WITH A YORK RAKE OR EQUIVALENT BY LIGHT TRACTOR.
 - BRING SUB-GRADE OF BIORETENTION AREA TO LINE, GRADE, AND ELEVATIONS INDICATED, FILL AND LIGHTLY REGRADE ANY AREAS DAMAGED BY EROSION, FONDING, OR TRAFFIC COMPACTION. ALL BIORETENTION AREAS SHALL BE LEVEL GRADE ON THE BOTTOM.
 - HALT EXCAVATION AND NOTIFY ENGINEER IMMEDIATELY IF EVIDENCE OF SINKHOLE ACTIVITY OR PINNACLES OF CARBONATE BEDROCK ARE ENCOUNTERED IN THE BIORETENTION AREA.

- RAIN GARDEN INSTALLATION**
- UPON COMPLETION OF SUB-GRADE WORK, THE ENGINEER SHALL BE NOTIFIED AND SHALL INSPECT AT HIS/HER DISCRETION BEFORE PROCEEDING WITH BIORETENTION INSTALLATION.
 - FOR THE SUBSURFACE STORAGE/INFILTRATION BED INSTALLATION, AMENDED SOILS SHOULD BE PLACED ON THE BOTTOM TO THE SPECIFIED DEPTH.
 - PLANTING SOIL SHALL BE PLACED IMMEDIATELY AFTER APPROVAL OF SUB-GRADE PREPARATION/BED INSTALLATION. ANY ACCUMULATION OF DEBRIS OR SEDIMENT THAT TAKES PLACE AFTER APPROVAL OF SUB-GRADE SHALL BE REMOVED PRIOR TO INSTALLATION OF PLANTING SOIL AT NO EXTRA COST TO THE OWNER.
 - INSTALL PLANTING SOIL (EXCEEDING ALL CRITERIA) IN 18-INCH MAXIMUM LIFTS AND LIGHTLY COMPACT (TAMP WITH BACKHOE BUCKET OR BY HAND), KEEP EQUIPMENT MOVEMENT OVER PLANTING SOIL TO A MINIMUM - DO NOT OVER COMPACT. INSTALL PLANTING SOIL TO GRADES INDICATED ON THE DRAWINGS.
 - PLANT TREES AND SHRUBS ACCORDING TO SUPPLIER'S RECOMMENDATIONS AND ONLY FROM MID-MARCH THROUGH THE END OF JUNE OR FROM MID-SEPTEMBER THROUGH MID-NOVEMBER.
 - INSTALL 2-3" SHREDDED HARDWOOD MULCH (MINIMUM AGE 6 MONTHS) OR COMPOST MULCH EVENLY AS SHOWN ON PLANS. DO NOT APPLY MULCH IN AREAS WHERE GROUND COVER IS TO BE GRASS OR WHERE COVER WILL BE ESTABLISHED BY SEEDING.
 - PROTECT RAIN GARDENS FROM SEDIMENT AT ALL TIMES DURING CONSTRUCTION, HAY BALES, DIVERSION BERMS AND/OR OTHER APPROPRIATE MEASURES SHALL BE USED AT THE TOE OF SLOPES THAT ARE ADJACENT TO RAIN GARDENS TO PREVENT SEDIMENT FROM WASHING INTO THESE AREAS DURING SITE DEVELOPMENT.
 - WHEN THE SITE IS FULLY VEGETATED AND THE SOIL MANTLE STABILIZED THE PLAN DESIGNER SHALL BE NOTIFIED AND SHALL INSPECT THE RAIN GARDEN DRAINAGE AREA AT HIS/HER DISCRETION BEFORE THE AREA IS BROUGHT ONLINE AND SEDIMENT CONTROL DEVICES REMOVED.
 - WATER VEGETATION AT THE END OF EACH DAY FOR TWO WEEKS AFTER PLANTING IS COMPLETED.



TYPICAL RAINGARDEN DETAIL
NTS

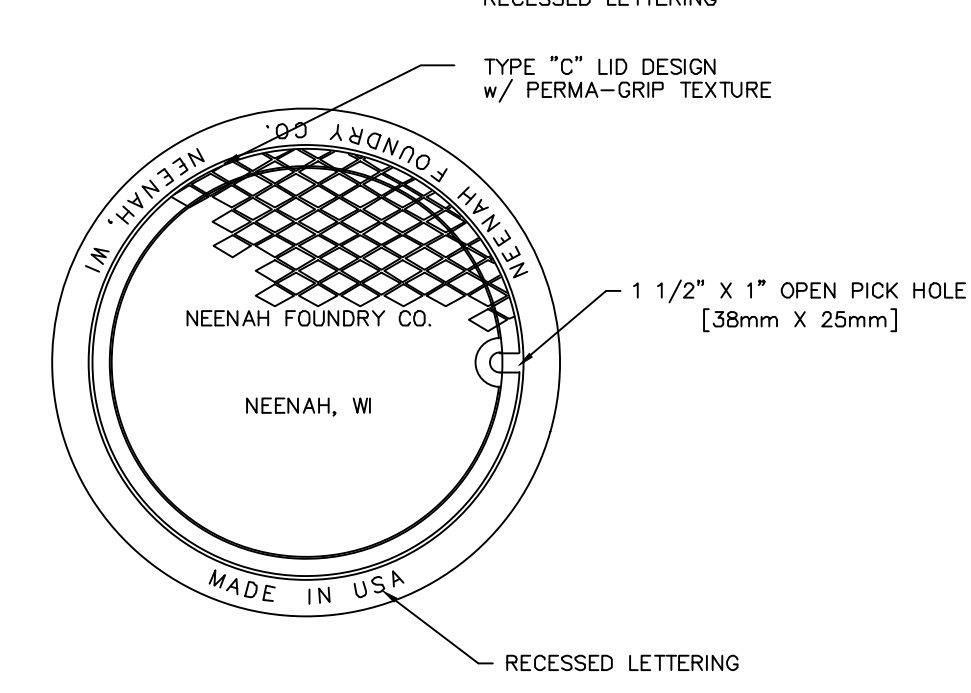
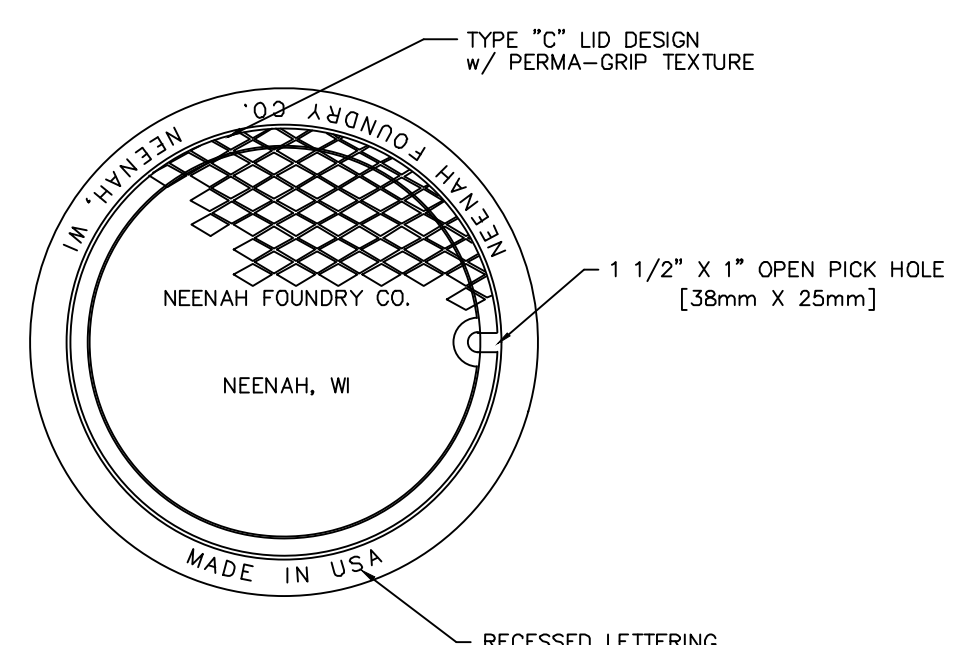
BIORETENTION SPECIFICATIONS

- GRASS MIX:**
 - CHEWINGS FESCUE FESTUCA RUBRA 20 LB/AC.
 - AUTUMN BENTGRASS AGROSTIS PERENNANS 10 LB/AC.
 - SAND LOVEGRASS ERAGROSTIS TRICHODES 2 LB/AC.
 - MODIFIED SOIL/PLANTING MIX SHALL BE A LOAM SOIL CAPABLE OF SUPPORTING A HEALTHY VEGETATIVE COVER. SOILS SHALL BE COMPOSED OF SUPPORTING A MATERIAL. A TYPICAL ORGANIC AMENDED SOIL IS COMBINED WITH 20-30% ORGANIC MATERIAL (COMPOST), AND 70-80% SOIL BASE (TOPSOIL). PLANTING SOIL SHALL BE APPROXIMATELY 4 INCHES DEEPER THAN THE BOTTOM OF THE LARGEST ROOT BALL.
 - VOLUME STORAGE SOILS SHOULD ALSO HAVE A PH OF BETWEEN 5.5 AND 6.5, A CLAY CONTENT LESS THAN 10%, BE FREE OF TOXIC SUBSTANCES AND UNWANTED PLANT MATERIAL AND HAVE A 5-10% ORGANIC MATTER CONTENT. ADDITIONAL ORGANIC MATTER MAY BE ADDED TO INCREASE WATER HOLDING CAPACITY.
- PROPERTY REQUIREMENT**
- | | |
|----------------|----------|
| PH | 5.5-6.0 |
| ORGANIC MATTER | 5-10% * |
| SAND | 40-50% * |
| SILT | 30-40% * |
| CLAY | <10% * |
- * ALL PERCENTAGES BY WEIGHT
NOTE: ORGANIC CONTENT IS 20-30% BY VOLUME - SEE BELOW

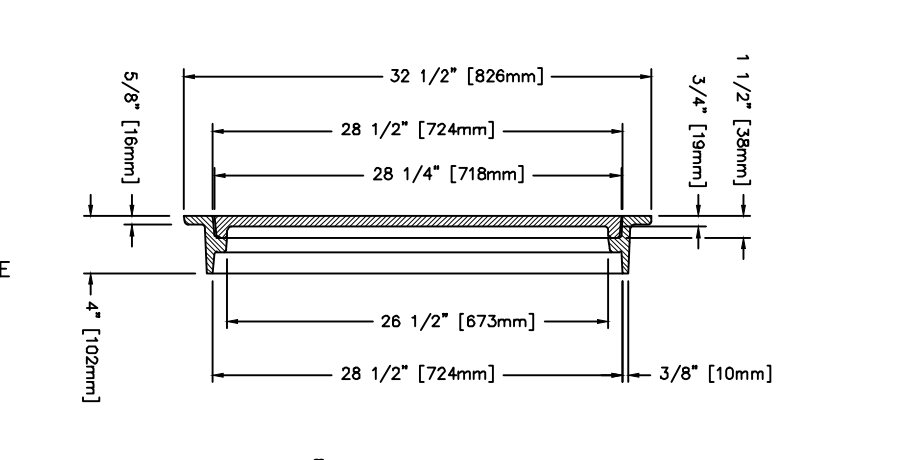
BIORETENTION AREA: TYPICAL PLANT SPECIES LIST:

SHRUBS & GRASSES	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	Clethra alnifolia	Summersweet	24"-30" ht.	Cont.
	Cornus alba "Elegantissima"	Variiegated Red Twig Dogwood	24"-30" ht.	Cont.
	Ilex verticillata "Winter Red"	Winter Red Winterberry Holly	24"-30" ht.	Cont. one male per massing
	Itea virginica "Henry's Garnet"	Henry's Garnet Sweetspire	24"-30" ht.	Cont.
	Myrica pennsylvanica	Northern Bayberry	24"-30" ht.	Cont.
	Viburnum nudum "Winterflour"	Smooth Winterod Viburnum	24"-30" ht.	Cont. one male per massing

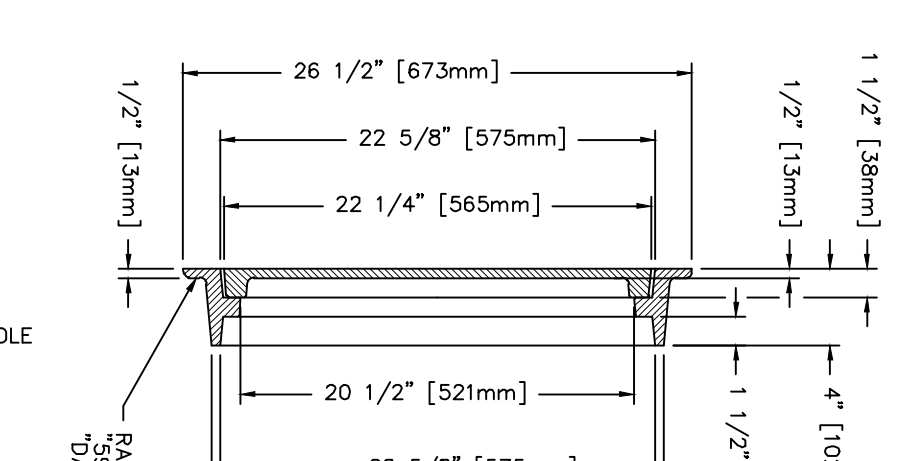
PERENNIALS & GROUNDCOVERS	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
	Carex stricta	Tussock Sedge	1 gal. cont.	18" o.c.
	Andropogon scoparius	Little Bluestem	1 gal. cont.	18" o.c.
	Aquilegia canadensis	Wild Columbine	Deep Root Plugs	18" o.c.
	Asclepias incarnate	Swamp Milkweed	1 gal. cont.	18" o.c.
	Asclepias tuberosa	Swamp Milkweed	Deep Root Plugs	18" o.c.
	Aster novae-angliae	New England Aster	Deep Root Plugs	18" o.c.
	Cheone glabra	Turtlehead	1 gal. cont.	18" o.c.
	Cheone glabra	Turtlehead	Deep Root Plugs	18" o.c.
	Echinacea purpurea	Purple Coneflower	Deep Root Plugs	18" o.c.
	Eupatorium fistulosum	Joe Pye Weed	1 gal. cont.	24" o.c.
	Helium autumnalis	Screechweed	1 gal. cont.	18" o.c.
	Iris versicolor	Blue Flag Iris	1 gal. cont.	15" o.c.
	Juncus effusus	Soft Rush	1 gal. cont.	18" o.c.
	Monarda fistulosa	Wild Bergamot	1 gal. cont.	24" o.c.
	Monarda fistulosa	Wild Bergamot	Deep Root Plugs	18" o.c.
	Panicum virgatum "Haense Herms"	Haense Herms Switch Grass	1 gal. cont.	24" o.c.
	Rudbeckia fulgida "Goldstrum"	Blackeyed Susan	Deep Root Plugs	18" o.c.
	Veronica novaboracensis	Ironweed	1 gal. cont.	18" o.c.



STORMWATER MANHOLE DETAILS
N.T.S.

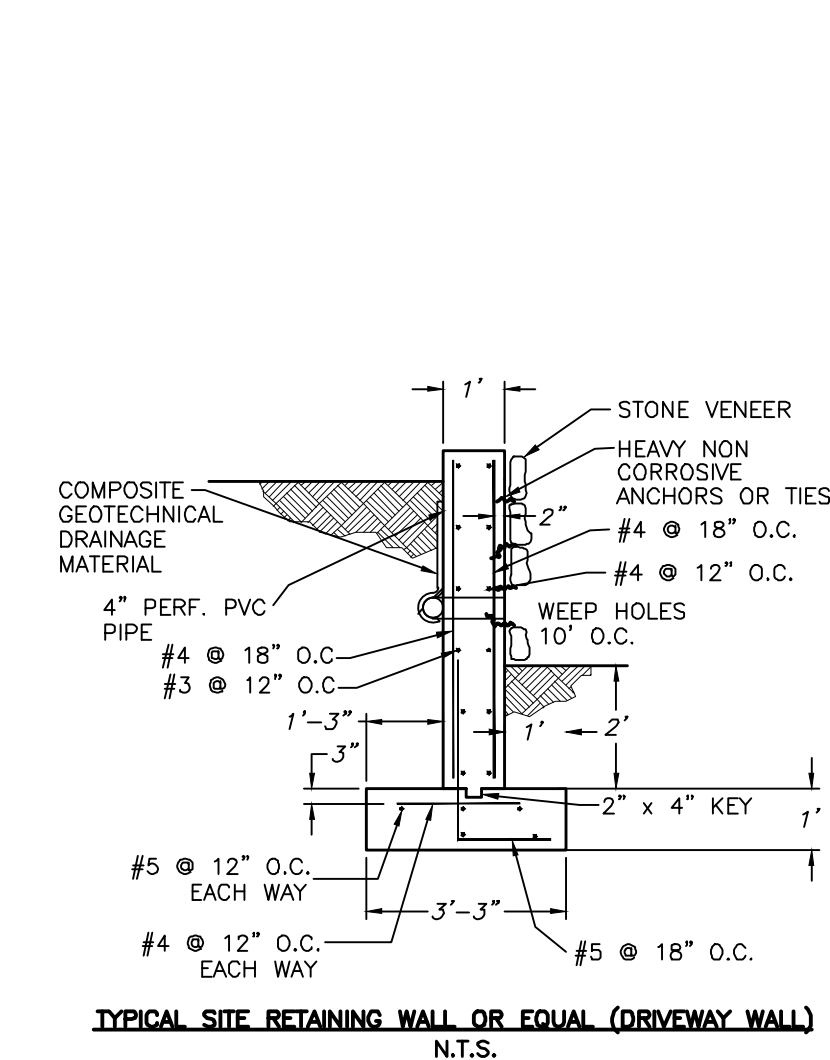


30" ACCESS MANHOLE
FRAME AND LID

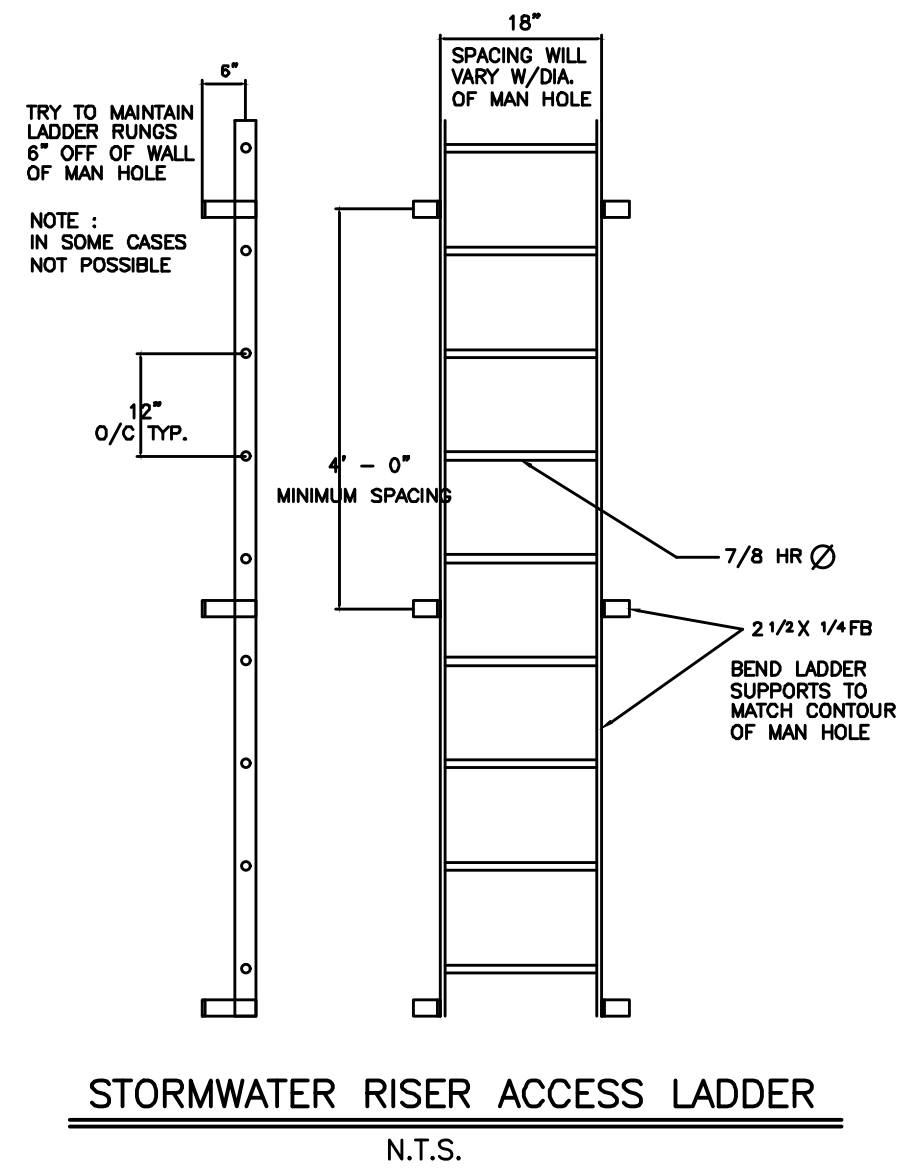


24" MANHOLE OVER RISER
FRAME AND LID

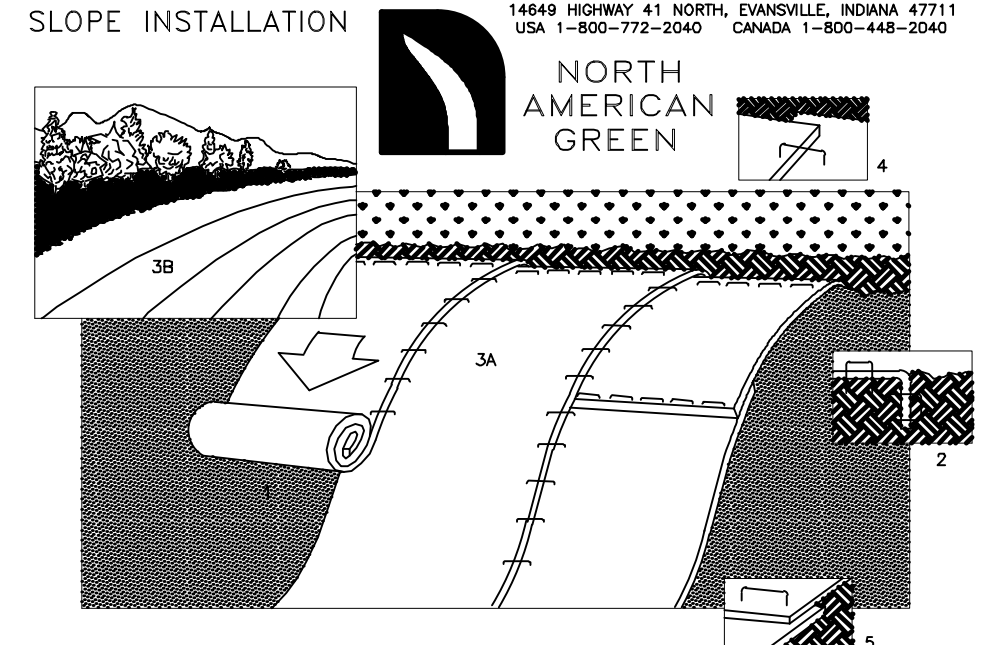
MATERIAL: CAST GRAY IRON ASTM A-48, CLASS 35B
FOR CORRUGATED METAL PIPE SIZED TO FIT SINGLY INTO OPENING OF DRILLED HOLES IN THE SLEEVE OR BARREL PORTION OF THE FRAME AND RISING IN PLACE. FRAMES CAN BE FURNISHED DRILLED FOR THIS PURPOSE ON SPECIAL ORDER.



TYPICAL SITE RETAINING WALL OR EQUAL (DRIVEWAY WALL)
N.T.S.



STORMWATER RISER ACCESS LADDER
N.T.S.



- INSTALLATION INSTRUCTIONS**
- PREPARE SOIL BEFORE INSTALLING BLANKETS, INCLUDING APPLICATION OF LIMING, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
 - BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE BLANKET IN 6" DEEP X 6" WIDE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING.
 - ROLL THE BLANKETS (A) DOWN OR (B) HORIZONTALLY ACROSS THE SLOPE.
 - THE EDGES OF PARALLEL BLANKETS MUST BE STAPLED WITH APPROXIMATELY 2" OVERLAP.
 - WHEN BLANKETS MUST BE SPICED DOWN THE SLOPE, PLACE BLANKETS END OVER END (SHINGLE STILES) WITH APPROXIMATELY 4" OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" APART.

Hi-Velocity Curlex Blankets
American Excelsior Company

Designed to control erosion in areas of high-velocity water runoff, the Excelsior Hi-Velocity Curlex Blanket is a geotextile-geogrid mat of curled wood excelsior of 80% six inch or larger fiber length with consistent thickness and fiber evenly distributed over its entire area. Each side is covered with 500% extra-heavy-duty extruded plastic mesh netting designed to last for years and reinforce the root system after the excelsior mat has decomposed. They are smother-resistant-no chemical additives.

STAPLING INSTRUCTIONS FOR AMKO HI-VELOCITY CURLEX BLANKETS

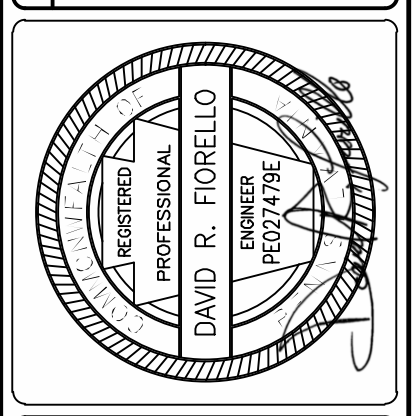
Use wire staples, .091" in diameter or greater, 1/2" shaped with legs 4" long or longer and 1" to 2" crown. Size and gauge of staples used will vary with soil types. Use four staples across the start of each roll and continue to staple along the length of the roll at 2 ft. intervals. When blankets are placed along-side of each other, staple on to catch the edge of each roll. In addition to stapling the side of the blanket, staple on to catch the edge or dig anchor ditches if specified. Blankets may be installed horizontally or vertically, whichever is easier.

Typical Stapping Pattern for High-Velocity Ditches and Slopes

Use 4 staples across the start of each roll and continue to staple throughout the length of the roll at 2 ft. intervals.

Serial Number: 20181022734

CALL BEFORE YOU DIG!
3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE STOP CALL
Pennywood One Call System, Inc.
1-800-242-1776



MOMENEY, INC.
a karns COMPANY
ENGINEERING | PLANNING | SURVEYING

924 COUNTY LINE ROAD - BRYN MAWR - PA - 19010 610-527-3030

CONSTRUCTION PERMIT PLAN

820 DARBY-PAOLI ROAD

RAVING TOWNSHIP - DELAWARE COUNTY - PENNSYLVANIA

OWNER/APPLICANT: JOSE SCARPELLI
DRAWN BY: BDM
CHECKED BY: DRF

FILE NO.: 18-086

SHEET 5 OF 5

DATE: DECEMBER 12, 2018

SCALE: AS NOTED

ORDINANCE No. 2019-03

AN ORDINANCE AMENDMENT OF RADNOR TOWNSHIP, DELAWARE COUNTY PENNSYLVANIA, AMENDING CHAPTER 280 ZONING, ARTICLE XV, PLO PLANNED LABORATORY-OFFICE DISTRICT, SECTION 280-63, BY ELIMINATING CERTAIN APPROVED USES IN THE PLO PLANNED LABORATORY-OFFICE DISTRICT.

“Section 280-63 Use regulations” subsection A.(2) is amended to state in it’s entirety as follows (deleted language denoted by strikethrough text in brackets, new language in **bold** and underlined):

(2) Office Building, including **professional offices, but excluding medical, dental and sales.** [~~medical, dental, professional and sales.~~]

Medical Office Parking – The Planning Commission recommends that the parking standard be revised. The restrictions we have most commonly seen are either four spaces for each doctor within the office plus one space for every other employee or one space for every 150 square feet of gross floor area in the office. It is recommended that, if the Township wants to enact a specific parking requirement for medical office, to use the 150 square foot requirement since it is much easier to calculate and enforce. This new parking standard would be added at Section 280-103 (11) of the Zoning Ordinance.

Radnor Township Planning Commission
Minutes of the Meeting of January 8, 2019

Present: Mr. David Natt; Mr. Skip Kunda; Mr. John Lord; Mr. Steve Varenhorst, Mr. Charlie Falcone; Mr. Matt Golas; Ms. Elizabeth Springer.

The meeting started at 7:00pm

- John Lord, Chair, called the meeting to order.
- The Pledge of Allegiance was recited.
- Reorganization/Confirmation of Chair and Vice Chair
 - Chair – John Lord **Approved 7-0**
 - Vice Chair – Skip Kunda **Approved 7-0**
 - Notice that BOC reappointed Elizabeth Springer and Charles Falcone to 4-year term
 - Notice that BOC appointed Lane Vines to 4-year term
- Meeting Minutes for December 11, 2018:
Recommendation to Approve Minutes: **Approved 7-0**
Approved: Mr. David Natt; Mr. Skip Kunda; Mr. John Lord; Mr. Steve Varenhorst, Mr. Charlie Falcone; Mr. Matt Golas; Ms. Elizabeth Springer

- An Ordinance Amendment of Radnor Township, Delaware County Pennsylvania, amending chapter 280 zoning, article xv, PLO planned laboratory-office district, section 280-63, by eliminating certain approved uses in the PLO planned laboratory-office district.

Public Comment - none

Motion to reject the acceptance of the proposed amended Ordinance **Approved 7-0**
Approved: Mr. David Natt; Mr. Skip Kunda; Mr. John Lord; Mr. Steve Varenhorst, Mr. Charlie Falcone; Mr. Matt Golas; Ms. Elizabeth Springer

- Old Business
 - Skip Kunda discussed the March 3, 2017 Memo for Peter Nelson, Esq & John Rice, Esq regarding the PLO Ordinance

Recommendation: to send March 3, 2017 memo along with the January 8, 2019 recommendation to the Radnor Township Board of Commissioners and ask them again to take a position of yes or no on these recommendations, specifically their medical office parking and clarification of parking garage in the PLO **Approved 6 – Abstention 1**
Approved: Mr. David Natt; Mr. Skip Kunda; Mr. John Lord; Mr. Steve Varenhorst, Mr. Matt Golas; Ms. Elizabeth Springer
Abstained: Mr. Charlie Falcone

- New Business - none
- Adjournment

The meeting ended at 7:19pm
Next regular scheduled Planning Commission February 4, 2019

Motion to Authorize the
Township Solicitor to
prepare legislation for an
annual maintenance fee
for Verizon & Comcast
cable lines that are
located above ground

New Business

Discussion on Revising and Updating the Comprehensive Plan

(Requested by Commissioner Booker)

Discussion Regarding Plastic Bag Ordinance (Requested by

Commissioner Borowski & Clark)

Update: Recap of the County Line Road Assessment

(Requested by Commissioner Farhy)