

BOARD OF COMMISSIONERS
AGENDA
Monday, March 11, 2019 - 6:30 PM

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of March 11, 2019

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| <ol style="list-style-type: none">1. Consent Agenda<ol style="list-style-type: none">a) Approval of minutes of the Board of Commissioner meeting of February 25, 2019b) Motion to Appoint Solicitor to the Code Appeals Board and Rental Housing Board of Appeals; and alternate Solicitor to the Zoning Hearing Boardc) HARB-2019-01 – 406 Woodland Avenue – Enlarge existing 2-car detached garaged) Final Staff Traffic Committee Meeting Minutes – January 16, 2019 |
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2. Public Participation - *Individual comment shall be limited to not more than five (5) minutes per Board policy*
3. Appointments to Various Boards and Commissions
4. Announcement of Boards and Commission Vacancies
5. Committee Reports

PUBLIC WORKS & ENGINEERING

- A. 415 Maplewood – Final Land Development – Settlement Agreement
- B. ***Caucus*** - Ardrossan Lot Line Change

PUBLIC SAFETY

COMMUNITY DEVELOPMENT

PERSONNEL & ADMINISTRATION

FINANCE & AUDIT

PARKS & RECREATION

LIBRARY

PUBLIC HEALTH

New Business

Old Business

Public Participation

Adjournment into Executive Session for Goal Setting Session

TOWNSHIP OF RADNOR
Minutes of the Meeting of February 25, 2019

The Radnor Township Board of Commissioners met at approximately 6:45 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087

Commissioners Present

<i>Lisa Borowski, President</i>	<i>Jack Larkin, Vice-President</i>	<i>Luke Clark</i>	<i>Jake Abel</i>
<i>Richard Booker</i>	<i>Sean Farhy</i>	<i>John Nagle</i>	

Also Present: *Robert A. Zienkowski, Township Manager/Township Secretary; John Rice, Township Solicitor; Shawn Dietrich, Lieutenant of Police; Steve Norcini, Township Engineer; Steve McNelis, Public Works Director; Kevin Kochanski, Director of Community Development; Tammy Cohen, Director of Recreation and Community Programming; Roger Philips, Township SALDO Engineer; Amy Kaminski, Traffic Engineer; and Jennifer DeStefano, Executive Assistant to the Township Manager.*

President Borowski called the meeting to order and led the assembly in the Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of February 25, 2019

There was an Executive Session on February 25, 2019 where matters of Litigation, Real Estate and Personnel were discussed all Commissioners were in attendance.

1. Consent Agenda

- a) Disbursement Review & Approval*
- b) Acceptance of Department Monthly Reports*
- c) Acceptance of Final Staff Traffic Committee Meeting Minutes – January 16, 2019*
- d) Approval of minutes of the Board of Commissioner meeting of January 28, 2019*
- e) Resolution #2019-10 - Purchase of Seed and Fertilizer*
- f) Resolution #2019-11 - Award of the (HVAC) Heating, Ventilating, and Air Conditioning Annual Maintenance and Repair Contract for the Township Building, Public Works Facility, and Radnor Activity Center*
- g) Motion to Authorize the Sale of Surplus Township Vehicles*
- h) Resolution #2019-12 – Authorizing the Receipt of Sealed Bids for the Big Tree Planting Program*

Commissioner Clark made a motion to approve excluding items c, d & h, seconded by Commissioner Larkin. Motion passed 7-0.

Approval of minutes of the Board of Commissioner meeting of January 28, 2019

Commissioner Farhy made a motion to approve, seconded by Commissioner Nagle. Motion passed 7-0.

Resolution #2019-12 - Authorizing the Receipt of Sealed Bids for the Big Tree Planting Program

Mr. Norcini explained that this year's Big Tree Program entails the planting of fifty to seventy-five trees (actual number to be determined) in Township streets Rights of Ways and possibly Parks. Shade Tree Commission members, the Township Arborist, and Staff work to determine areas that are in need of trees, areas where hazardous trees have been removed, and possibly Township Parks. The Shade Tree Commission will work with Tammy Cohen regarding any possible tree plantings in the parks.

Commissioner Booker made a motion to approve, seconded by Commissioner Clark. Motion passed 7-0.

2. Public Participation - Individual comment shall be limited to not more than five (5) minutes per Board policy

Becca Zajak, Radnor Middle School -She spoke in support of Ready 100.

Representatives of Radnor Residents for Gun Safety – They spoke regarding their group and their gun locks program as well as BSmart Program.

Roy Perry – He spoke in support of plastic bag ordinance.

Roberta Winters, LWV – She announced the next event “Shedding the Light” to be held on Wednesday here at the Township Building at 7:30 PM.

3. Appointments to Various Boards and Commissions

Commissioner Nagle made a motion to appoint Gale Morrison to RHM, seconded by Commissioner Farhy. Motion passed 7-0.

4. Announcement of Boards and Commission Vacancies

Commissioner Larkin announced the below vacancies:

- **Citizens Audit Review & Financial Advisory Committee**
5 Vacancies
- **Code Appeals Board**
1 Vacancy
Requirements: Master Electrician, Master Plumber or General Contractor
- **Radnor-Haverford-Marple Sewer Authority**
1 Vacancy
- **Rental Housing Appeals Board**
1 Vacancy (unexpired term 12/31/2022)
- **Stormwater Management Advisory Committee**
4 Vacancies
- **Zoning Hearing Board**
1 Vacancy (unexpired term 12/31/2020)

5. Resolution #2019-08 - A Vision for A 100% Clean Renewable Energy Future

Commissioner Larkin made a motion to approve, seconded by Commissioner Clark.

Commissioner Booker made a motion to strike the 1st whereas clause. Motion failed for lack of a second.

Commissioner Booker made a motion to strike the 1st and 2nd whereas clauses. Motion failed for lack of a second.

Commissioner Booker made a statement regarding his position on the resolution. There was a brief discussion amongst the Commissioners.

Public Comment

Roberta Winters – She spoke in support of the resolution.

Al Murphy, Glenmary Road – He spoke to amend the resolution that stating that 100% renewable energy is not attainable.

Ruthie – She spoke in support of the resolution.

Commissioner Borowski called the vote on the original motion, motion passed 6-1 with Commissioner Booker opposed.

6. Presentation - Recognizing and Celebrating the Month of February as Black History Month

Removed from agenda

7. Willows Park Preserve Presentation

Tish Long, President and Skip Kunda, Project Manager both Willows Park Preserve made a presentation with an update which can be found on the Township website at:

<https://www.radnor.com/910/Board-of-Commissioners-Presentations>.

There was an in-depth discussion amongst the Commissioners, staff and members of the Willows Park Preserve. The WPP requested to extend the lease length to 25 years; approve the phase approach and approve running the construction contract through the WPP to expedite execution and significantly lower costs. There was consensus of the Board for Mr. Rice and Mr. Falcone to meet and discuss the extension of lease, phasing idea and the construction concept to bring back to the Board of Commissioners.

8. Committee Reports

PUBLIC SAFETY

A. Ordinance #2019-01 – (Adoption) - No Parking Here to Corner on West side of Radnor Avenue, 30 feet from the fire hydrant located on Conestoga Road at Radnor Avenue

Commissioner Larkin made a motion to adopt, seconded by Commissioner Clark. Motion passed 6-0 with Commissioner Farhy out of the room.

B. Ordinance #2019-02 - (Adoption) - No through traffic on Woodland Court at Eagle Road

Commissioner Larkin made a motion to adopt, seconded by Commissioner Clark. Motion passed 6-0 with Commissioner Farhy out of the room.

C. Resolution #2019-13 - Authorization to Apply for Pennsylvania Commission on Crime and Delinquency's Justice Assistance Grant (JAG) Under \$10K Initiatives for the Radnor Township Police Department Body-Worn Camera Project

Commissioner Clark made a motion to approve, seconded by Commissioner Nagle.

There was a brief discussion amongst the Commissioners and Lt. Dietrich.

Commissioner Borowski called the vote, motion passed 7-0.

D. Resolution #2019-14 - Authorization to Apply for Pennsylvania Liquor Control Board Bureau of Alcohol Education's Reducing Underage Drinking and Dangerous Drinking Grant

Commissioner Clark made a motion to approve, seconded by Commissioner Nagle.

There was a brief discussion amongst the Commissioners and LT Dietrich.

Commissioner Borowski called the vote, motion passed 7-0.

PUBLIC WORKS & ENGINEERING

E. Resolution #2019-09 - Authorization to Purchase Capital Vehicles and Equipment

Commissioner Clark made a motion to approve, seconded by Commissioner Farhy. Motion passed 7-0.

F. Resolution #2019-05 - 521/525 S. Roberts Road – Final – Lot Line Adjustment

Commissioner Nagle made a motion to approve, seconded by Commissioner Farhy.

The Applicant proposes to perform a lot line adjustment for the existing tot line between 521 S. Roberts Road (TMP #36-05-02877-0, identified in the plan as Lot B) and 525 S. Roberts Road (TMP #36-05-02877-00, identified in the plan as Lot A) and transfer 9,959 SF from Lot A to Lot B. The parcel is zoned in the R-1 Residence District and the Applicant indicates no improvements or earth disturbances are planned for either parcel. It appears that 521 S. Roberts Road (Lot B), 525 S. Roberts Road (Lot A) and several adjacent parcels share one driveway access to S. Roberts Road. It is unclear as to the purpose of the lot line adjustment.

Commissioner Borowski called the vote, motion passed 7-0.

G. 106 Harvard Lane GP#19-010 – Requesting a waiver from §245-22.A(2)(c)[2] – Minimum infiltration requirement

The applicant presented that Harvard Lane is in the Woodlands II subdivision consisting of 14 lots. On lot 45 (GP Application 19-010), testing indicated that the groundwater levels would not support infiltration. When this occurs, the applicant is required to request a waiver from this portion of the Storm water Management Ordinance from the Board of Commissioners. The applicant is proposing to construct two rain gardens for volume control and water quality.

Commissioner Nagle made a motion to approve, seconded by Commissioner Clark.

There was a discussion amongst the Commissioners, staff and applicant.

Commissioner Larkin made a motion to close the debate, seconded by Commissioner Nagle.

Public Comment

Roberta Winters – She is concerned and would like there to be monitoring of rain gardens remain operational.

Commissioner Borowski called the vote, motion passed 5-2 with Commissioners Farhy and Booker opposed.

H. 527 Roberts Road – Requesting a Waiver from the Stormwater Management Ordinance

The applicant presented that the infiltration testing was performed prior to the submission of the application for above referenced Grading Permit in 2017. At that time, the testing indicated that groundwater recharge requirements could be met, for two sub-surface systems, A and B. System A has been successfully installed and is working properly. During construction of System B, groundwater was encountered at a depth of 3- 4 feet, thereby making infiltration a moot point. The applicant is requesting a waiver from the Township's Stormwater Management Ordinance (Groundwater Recharge and Rate Control). The applicant is suggesting planting 20 trees on site in lieu of System B.

Commissioner Nagle made a motion to approve, seconded by Commissioner Clark.

Public Comment

Lloyd Goodman – He inquired about inlet along the driveway.

Commissioner Borowski called the vote, motion passed 5-2 with Commissioners Farhy and Booker opposed.

I. Resolution #2019-15 - Accepting a Deed of Dedication for the Sanitary Sewer Line to 747 Conestoga Road

Commissioner Clark made a motion to approve, seconded by Commissioner Farhy.

The developer of 747 Conestoga installed a sanitary sewer main extension to this property, where the onsite system had failed. The plans, reviews, inspections, and construction costs were borne by the developer. The purpose of this legislation is for the Township to accept this line. The line was inspected and approved by QCI, the Township's appointed inspection firm.

Commissioner Borowski called the vote, motion passed 6-0 with Commissioner Larkin out of the room.

J. 820 Darby Paoli Road GP#19-001 - Requesting a waiver from §245-22.A(2)(c)[2] – Minimum infiltration requirement

Infiltration testing was performed, and zero infiltration was recorded. The Township's 2005 Stormwater Management Ordinance requires the applicant to request a waiver from the Board of Commissioners when this is encountered. There was a discussion amongst the Commissioners and applicant.

Commissioner Clark made a motion to approve, seconded by Commissioner Nagle. Motion passed 5-2 with Commissioners Farhy and Booker opposed.

COMMUNITY DEVELOPMENT

K. Ordinance #2019-03 - (Introduction) - Amending Chapter 280 Zoning, Article XV, PLO Planned Laboratory-Office District, Section 280-63, By increasing medical office parking requirements up to Eliminating Certain Approved Uses in The PLO Planned Laboratory-Office District (Requested by Commissioner Booker)

Commissioner Booker made a motion to introduce, seconded by Commissioner Abel.

Commissioner Booker briefly reviewed the proposed amendments. There was a discussion amongst the Commissioners and staff.

Commissioner Borowski called the vote, motion failed 2-5 with Commissioners Farhy, Clark, Borowski, Larkin and Nagle opposed.

Commissioner Nagle made a motion to direct the Solicitor to draft an amendment to the zoning ordinance pertaining to parking including the Planning Commission's recommendations, seconded by Commissioner Farhy. Motion passed 7-0.

PERSONNEL & ADMINISTRATION

L. Motion to Authorize the Township Solicitor to prepare legislation for an annual maintenance fee for Verizon & Comcast cable lines that are located above ground

Mr. Zienkowski briefly explained that he is requesting a motion to authorize the Township Solicitor to prepare legislation for an annual maintenance fee for Verizon & Comcast Cable that are located above ground. There was a brief discussion amongst the Commissioners, Mr. Zienkowski and the Solicitor.

Commissioner Nagle made a motion to authorize the Township Solicitor to draft an ordinance for an annual maintenance fee for Verizon & Comcast cable lines that are located above ground, seconded by Commissioner Clark.

Public Comment

Sara Pilling – She spoke regarding how esthetically bad it looks.

Commissioner Borowski called the vote, motion passed 7-0.

FINANCE & AUDIT
PARKS & RECREATION
LIBRARY

Commissioner Borowski commented regarding the Focus Group and Town Hall meetings the Library is having around their Strategic Planning. She encouraged everyone to go to the Library website and complete their survey for strategic planning as they are trying to get 1,000 people to complete it.

PUBLIC HEALTH

New Business

- *Discussion on Revising and Updating the Comprehensive Plan (Requested by Commissioner Booker)*

Commissioner Booker commented that he would like to see an updated Comprehensive Plan completed. The item will need to be discussed for budgetary means further.

- *Discussion Regarding Plastic Bag Ordinance (Requested by Commissioner Borowski & Clark)*

Commissioners Borowski and Clark discussed that they would like to have the EAC look into the possibility of a plastic bag ordinance. There was a discussion amongst the Commissioners.

Public Comment

Sara Pilling – She commented that Narberth discourages the use of single plastic bags and if you want one it costs \$.50 per bag and the store keeps the fee.

Commissioner Clark made a motion to direct the EAC to analyze the issue of banning single use plastic bags in conjunction and feedback from the business community, seconded by Commissioner Borowski. Motion passed 6-1 with Commissioner Booker opposed.

- *Update: Recap of the County Line Road Assessment (Requested by Commissioner Farhy)*
Amy Kaminski gave a brief update on the County Line Road Assessment.

Old Business

Public Participation

There being no further business, the meeting adjourned on a motion duly made and seconded.

*Respectfully submitted,
Jennifer DeStefano*

INTEROFFICE MEMORANDUM

TO: BOARD OF COMMISSIONERS

FROM: KEVIN W. KOCHANSKI, RLA, CZO
DIRECTOR OF COMMUNITY DEVELOPMENT / BCO

SUBJECT: CODE APPEALS BOARD AND RENTAL HOUSING BOARD OF APPEALS

DATE: 2/21/2019

CC: ROBERT ZIENKOWSKI, TOWNSHIP MANAGER



Community
Development
Department

Recently, there has been a need to have an interim solicitor assist the Zoning Hearing Board in the absence of regular solicitor while he was dealing with a personal issue. In addition, from time to time, the Department has needed a solicitor to represent the Rental Housing Appeals Board and the Code Appeal Board. While there are no pending appeals to either the Rental Housing Appeals Board or the Code Appeals Board, having a solicitor appointed to represent these boards will help expedite the scheduling of any hearings should an appeal be filed. It may also be prudent to have an alternate solicitor appointed to the Zoning Hearing Board should the need arise again in the future.

I would respectfully request that the Board of Commissioners appoint Mr. Constantine Z. Economides to serve as solicitor for the Rental Housing Appeals Board and the Code Appeals Board; as well as the alternate solicitor for the Zoning Hearing Board. Mr. Economides has previously served as Solicitor to the Rental Housing Appeals Board and the Code Appeals Board. Attached, for your consideration, you will find an engagement letter prepared by Mr. Economides.

LAW OFFICES
ECONOMIDES & ECONOMIDES

ATTORNEYS AT LAW

104 S. WAYNE AVE, #7440

WAYNE, PA 19087

CONSTANTINE Z. ECONOMIDES, ESQUIRE
DIRECT DIAL & FAX:
484-367-7466
cze@EELawFirm.com

www.EELawFirm.com

February 21, 2019

Kevin W. Kochanski, RLA, CZO
Director of Community Development
301 Iven Avenue
Wayne, PA 19087

RE: Solicitor - Zoning Hearing Board, Rental Housing Appeal Board, and Code Appeals Board

Dear Mr. Kochanski:

Thank you for considering me for the appointment as Solicitor to the above referenced Boards. I appreciate the opportunity.

I look forward to working with you and the Board. In regards to my representation of Radnor Township ("Township") and the Zoning Hearing Board, I shall be guided by the following understandings and agreements:

1. In connection with the services to be performed, it is difficult and impossible at this time to specify the exact nature, extent and difficulty of the contemplated services and attorney's time involved. In addition to conferences and pretrial hearings, there may be the necessity of a trial on the merits. I shall exert effort at all times to represent the Township's interests and rights, and if possible to seek an amicable solution of all claims.

2. In connection with the services rendered, or to be rendered, it is understood and agreed that said services shall be compensated in a minimum of six minute increments at the rate of **\$165.00** an hour. Hourly charges shall include all legal research, drafts of pleadings, conferences, telephone conversations, preparation for and appearances in court and hearings, preparation of board decisions and resolutions, and other tasks necessary to handle these matters.

3. In addition, the Township will be responsible for all necessary and reasonable legal costs and expenses incurred or paid out in the performance of my services. These costs and expenses shall include: filing fees, subpoena costs, deposition costs, fees of

process servers, travel expenses, duplication expenses, and any other necessary expenses. If I advance any costs or expenses, the Township shall reimburse me upon my furnishing to the Township information as to the amount.

4. During the course of my representation, it may be necessary to hire experts such as accountants, appraisers and investigators to assist in these Matters. I may recommend certain experts, but the ultimate hiring will rest with the Township. The fees payable to any experts hired shall be paid directly by the Township.

5. Billing and accounting for my services and costs will be submitted on a regular basis. Statements shall be payable upon receipt, unless otherwise agreed upon.

In representing the Township in these matters, I cannot and do not warrant or predict results or final developments. Be assured that it is my desire to afford the Township conscientious, faithful, and diligent service, seeking at all times to achieve solutions that are just and reasonable for the Township.

If the foregoing meets with the approval of the Board of Commissioners, kindly signify their consent and approval by having an authorized representative of the Township excute this letter in the space provided below, insert the date, and return the original of this letter to me. Keep the copy of this letter for the Township's records.

Very truly yours,

Economides & Economides

By: 
Constantine Z. Economides

CZE/ev

CONSENTED TO AND APPROVED:

Radnor Township

By: _____

Witness _____

CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board
Radnor Township, Pennsylvania



NAME OF OWNER: BABIN EDWARD G
OWNER ADDRESS: 406 WOODLAND AVE, WAYNE, PA 19087
ADDRESS OF PROPERTY: 406 WOODLAND AV , WAYNE PA 19087
APPLICATION NUMBER: HARB-2019-01

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

Enlarge existing two (2) car detached garage.

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. This Approval is subject to the Applicant applying for and receiving all necessary permits and approvals; and complying with all applicable Municipal regulations. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

NOTES AND/OR CONDITIONS OF APPROVAL:

Approved as submitted.

ISSUED: Monday, March 11, 2019

TOWNSHIP OFFICIAL

ACCEPTED BY APPLICANT

RADNOR TOWNSHIP POLICE DEPARTMENT

**301 Iven Avenue
Wayne, Pennsylvania 19087-5297
(610) 688-0503 a Fax (610) 688-1238**

**Christopher B. Flanagan
Police Superintendent**

TO: Radnor Township Commissioners; Robert A. Zienkowski, Township Manager; William M. White, Director of Finance; Stephen F. Norcini, Township Engineer; Steve McNelis, Public Works Director; Tammy Cohen, Director of Recreation and Community Programming; Kevin W. Kochanski, Director of Community Development; Bill Cassidy, Field Leader; Highway Police Officer Alex Janoski; Highway Police Officer Pat Lacey, Highway Police Officer Ken Piree, Traffic Safety Unit; William Gallagher, Supervisor of Parking; Amy Kaminski, Traffic Engineer for Gilmore and Associates; Vera DiMaio and Lori DeNicola

FR: Christopher B. Flanagan

**RE: STAFF TRAFFIC COMMITTEE MEETING HELD IN THE POLICE
ROLL CALL ROOM, WEDNESDAY, JANUARY 16, 2019, 10:00 AM.**

NEW BUSINESS

1. Liz DiRusso requests speed limit signs be installed on Wootton Road

Ms. DiRusso was not present at this meeting. Currently, there is no speed limit sign posted/listed on Wootton Road. Staff Traffic Committee recommends adopting an Ordinance for a 25 mph speed limit sign on Wootton Road per Pennsylvania Vehicle Code Title 75. It is also recommended that the current Watch Children sign be updated to a fluorescent sign.

2. Commissioner Borowski would like to revisit discussions of pedestrian safety measures at Saw Mill Park

Commissioner Borowski was not present. Radnor Township Engineer, Steve Norcini, stated improvements that are currently being discussed for Saw Mill Park. The crosswalk was moved by Public Works. New design to improve safety and parking is being discussed. Township Manager directed a drawing/sketch be created and Parks Board to review the idea. After this takes place, we will proceed for Spring 2019.

3. Joan Lewers requests the following pertaining to Edgehill:

- Remove the No Parking Here to Corner sign on the right hand side of the Road (facing Brooke Road) and replace it with a No Parking This Side of Street sign
- Move the No Parking Here to Corner sign on the left hand side of the Road (facing Brooke Road) up to the other side of the rain water outlet grate
- Joan Lewers is requesting parking restrictions on Edgehill Road

Staff Traffic Committee recommends No Parking on the North Side of Brooke Road. A Petition was given to James Lewers to take to residents on Edgehill for signatures. Upon completion of the signing of the Petition and returning it to Radnor Police, if the required signatures are obtained, it is recommended that parking be restricted on the North side of Brooke Road.

4. Ms. Saravanan requests a change to the green light indicator at W. Lancaster Avenue and Sugartown Road

Ms. Saravanan was not present at this meeting. Highway Patrol Officer Ken Piree stated he did a site visit at this location. A 5-year crash history was done and results were: 1 reportable accident, 9 non reportable accidents, and 2 no report done. Staff Traffic Committee states there is adequate signage at this location and recommends no action be taken as there is not an issue at the intersection.

5. Radnor Fire Company Chief Joseph Maguire is requesting the “No Parking Here to Corner” on N Aberdeen Avenue @ Plant Avenue be extended due to AQUA relocating a fire hydrant.

Chief Maguire spoke regarding concerns. Staff Traffic Committee recommends a New Ordinance be drafted to move the No Parking Here to Corner sign 15 feet from fire hydrant on North Aberdeen and Plant Avenue.

6. Toni Bailey requests No Parking signs be removed in the area of Conestoga Village

The Highway Patrol Unit conducted a site visit and recommends no change to the existing signage. Jane Galli was provided a petition requesting the removal of the “No Parking This Side” signs. She and Toni Bailey were also advised they can contact their Ward Commissioner for further assistance.

See attached spreadsheet for pending issues



RADNOR TOWNSHIP POLICE DEPARTMENT

301 Iven Ave., Wayne, PA 19087

January 2019 Staff Traffic Status Report

Project Name	Project Information	Status Update
Radnor Fire Company requests evaluation of traffic and parking on South Wayne Avenue	12/20/2017 Radnor Fire Company is interested in: <ul style="list-style-type: none"> • Pursuing parking elimination along S. Wayne Avenue • Revising the intersection to reflect the most recent signed signal permit plan • Emergency pre-emption at the Fire Station on S. Wayne Avenue. • Concerns with parking in front of New Wayne Pizza 	This item will be a budget request for 2019
County Line Corridor Study (from Lancaster Avenue to Conestoga Road)	Staff Traffic Committee & Lower Merion Township discussions to expand study area to County Line Road corridor study	The report can be found online on our website (radnor.org) under the Engineering department. A meeting is scheduled on Tuesday, January 29, 2019 at 7pm at the Ludington Library.
King of Prussia Bridge	Strike issues	<ul style="list-style-type: none"> • Commissioner Nagle invited to Delaware County meeting regarding Bridge Strike • Superintendent Flanagan sent Letters to Garmin, Apple, Google • Letter was sent to Richard Anderson (Amtrak), Edward McBride (PECO), and Kenneth McClain (PennDot), see attached letters and pictures
Sproul Road and Conestoga Road Left turn signal improvements	RT 2017 Engineering Line Item Budget: \$300,000 to evaluate, design and construct signal improvements to include intersection left turn lanes	Contract awarded. Construction anticipated to be completed mid to late February 2019

Radnor Township Police Staff Traffic Monthly Status Report

<p>N. Wayne Ave/Poplar Ave/West Avenue Pedestrian Improvement Signal project</p>	<ul style="list-style-type: none"> • DCED MTF grant awarded; construct signal and pedestrian improvements at intersection 	<p>Funding requested in 2019 capital budget</p>
<p>King of Prussia Rd & Eagle Rd intersection improvements</p>	<p>Submit joint application for DCED MTF grant with Cabrini & Eastern for left turn lanes on King of Prussia Road at Eagle Road/Pine Tree Rd</p>	<p>Funding requested in 2019 capital budget. Meeting planned with all parties involved</p>
<p>Poplar Avenue</p>	<p>Speed related Issues on Poplar Avenue Traffic Counts</p>	<p>First Traffic Count Conducted: Combined: ADT=500 Vehicle, 85th%=26mph Second Traffic Count On Poplar Ave: Combined: ADT=547 Vehicles, 85th%=29mph</p>

Public Participation

Appointments to Various Boards and Commissions

Vacancies on Various Boards & Commissions

Citizens Audit Review & Financial Advisory Committee
5 Vacancies

Code Appeals Board
1 Vacancy
Requirements: Master Electrician, Master Plumber or General Contractor

Rental Housing Appeals Board
1 Vacancy (unexpired term 12/31/2022)

Stormwater Management Advisory Committee
4 Vacancies

Zoning Hearing Board
1 Vacancy (unexpired term 12/31/2020)

RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: March 4, 2019

Re: 415 Maplewood Road, David Semerjian – FINAL Land Development Settlement Agreement

Before the Board of Commissioners will be representatives of the applicant David Semerjian, regarding the 415 Maplewood Road FINAL Land Development Settlement Agreement.

The plan submitted consists of eight townhomes, stormwater management, a dead-end driveway/street, and emergency access through the dead end. Waivers needed are noted in the review letters.

Please find attached the proposed settlement agreement, the consultants' review letters, and the plan set.



Gannett Fleming

*Excellence Delivered **As Promised***

Date: March 1, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016

90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These plans were reviewed for conformance with Zoning, Subdivision and Land Development, other applicable codes of the Township of Radnor and the proposed Settlement agreement and stipulation.

The applicant is proposing to consolidate parcels and construct 8 town houses on the site. This project is located in the R-5 district of the Township.

The applicant has indicated on the plans that the following waivers are being requested:

- §255-27.C(1) – To maintain the existing condition right-of-way and cartway for Highland and Maplewood Avenues.
- §255-27.E(2) – To allow a 24' wide cartway for the internal drive.
- §255-27.F(2)(a) – To permit centerline radius less than 150' as the access is a private driveway to be owned and maintained by the homeowners association.
- §255-27.H(6) – To permit the proposed radii of 25' on the East and 20' on the West as the proposed drive is not a local street.
- §255-27.A(5) – To permit dead end street (driveway) as stub street without a cul-de-sac as street ownership is private.
- §255-27.A(6) – To not require a cul-de-sac and R.O.W to extend the private streets.
- §255-28 – To permit a waiver of the required sight distance of 275 feet as the existing available site distance complies with Penn Dot's required sight distances.



Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 02/04/2019

Sewage Facilities Planning

1. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant is in the process of obtaining capacity certifications.

Zoning

1. §280-4.B – Parking space is defined as an outdoor or garage space used for parking motor vehicles, which shall measure not less than 9 feet six inches x 20 feet, accessible from a street, alley or driveway and surfaced with a Township approved durable dustproof and all-weather surface. The applicant must clearly demonstrate that there is adequate parking in the driveway and garage of each unit for 2 parking spaces. The width of each drive way is dimensioned on the plans as 18 feet. **The driveway length for unit 7 and 8 is shown as less than 20 feet on the plans.** The applicant has indicated that the dimensions and size of parking spaces in the garage will be provided with the building permit submission. We believe this should be provided prior to plan approval.
2. §280-4.B – The dimensions of the over flow parking spaces must be shown on the plans.
3. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The plans indicate that the total impervious provided is 34.76% with using a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage.
4. §280-103.B – The parking data shown on the plans must be updated to reflect the change in the number of dwelling units and the increase in overflow parking spaces.

Subdivision and Land Development

1. §255-27.A(5) – Dead-end streets shall be prohibited, except as stubs to permit future street extension into adjoining tracts or when designated culs-de-sac. Stub streets shall be properly closed to through traffic until such time as the street is extended. The applicant is requesting a waiver from this requirement.

2. §255-27.A(6) – Stub streets greater in length than one lot width shall be provided with a turnaround designated to meet the standards required for culs-de-sac and shall be provided with sufficient right-of-way to permit the future extension of the street into the adjacent property. The applicant is requesting a waiver from this requirement.
3. §255-27.C(1) – Maplewood Avenue is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. The applicant has provided right-of-way 25 feet from the centerline of Maplewood Avenue. The existing legal right of way along Highland Avenue is 50 feet. The applicant is requesting a waiver from this requirement.
4. §255-27.E(2) – The private street shall have a right-of-way width and a horizontal and vertical alignment consistent of the requirements for public streets. The applicant is requesting a waiver from this section to allow a 24' wide cartway for the internal drive.
5. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves for local collector streets and courts shall be 150 feet. The applicant is requesting a waiver from this requirement.
6. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. The applicant has indicated a 20-foot curb radii on the plans. The applicant is requesting a waiver from this requirement.
7. §255-28 – The required sight distance of 275 feet is not met for the entrance road and Maplewood Ave. However we note that the provided sight distance of 250' is adequate under PennDOT Regulations. The applicant is requesting a waiver from this requirement.
8. §255-35 – A sanitary sewer easement description must be provided prior to recording the final plans.
9. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. The applicant has provided 7 street lights along the proposed private driveway.
10. §255-38 – Sheet 12 of 18 indicates that there will be plantings located in the existing private street and interfering with the proposed 12' emergency access. This must be revised.
11. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The applicant has provided a 12' emergency access from the private street. Significant concern exists as to the ability to access the

proposed houses from the single driveway. This must be reviewed and approved by the Township Code Official/Fire Marshall.

12. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards. The applicant is intending to utilize pavers for the driveways.
13. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
14. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

Stormwater

1. It appears that while the water quality volume calculations were not updated to reflect the changes in drainage area going to the BMPs. The revised contributory area should be 1.66 acres. Please revise the water quality volume calculations.
2. There appears to be a mathematical error in calculating the water quality volume (WQ_v). Please review the calculation.
3. The Stormwater BMP Information POI #2 table on Sheet 8 of the plans is inconsistent with the information provided in Worksheet 5B in the stormwater report (page 142). Please revise this discrepancy. In addition, the POI #1 required infiltration listed on Sheet 8 shall be updated to be consistent with the stormwater report.
4. The Bed #3 Outlet Structure Detail on Sheet 7 lists the top of weir wall at El. 460.93 whereas the pond report for hydrograph 18 lists the crest elevation as 460.53. Please revise this discrepancy.
5. We note that the applicant will include gas and electric crossings on the profiles when the respective utility companies have laid out the utility locations.
6. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. Notes throughout the plan set must be revised to indicate the number of dwellings has been reduced from 10 to 8.

The applicant appeared before the Planning Commission on March 5, 2018. The Planning Commission recommended approval of the plans and requested waivers along with the additional waivers of:

- §255-27.I(7) – No common driveway shall provide access to more than three lots or single family dwellings.
- §255-29.A(2) – Parking areas shall be designed to permit each motor vehicle to proceed to and from the parking spaces provided for it without requiring the moving of any other motor vehicles.
- §255-29.A(3) – All parking spaces shall be marked so as to provide for orderly and safe parking.
- §255-29.A(15) – All dead-end parking areas shall be designated to provide sufficient backup area for the end stalls of a parking area.

Along with these additional waivers, the Planning Commission recommended that the applicant add the following information to the Home Owners Association documents:

- Garages cannot be converted to living space
- There shall be one contracted trash service for the development
- No parking of cars shall overhang on the sidewalks
- There shall be one contracted snow removal service and snow must not be placed on any other property
- Ingress and Egress will be provided for the 4 properties

Additionally, all Township Zoning requirements must be met.

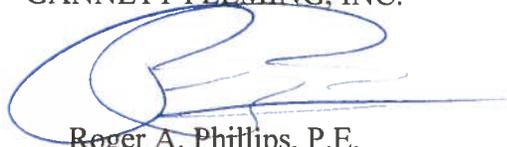
The applicant was before the Planning Commission again on June 2, 2018 due to numerous changes on the plan. The Planning Commission approved the plan and requested waivers. Also, the Planning Commission requested a stop sign on the private street and to limit access except for emergency vehicles.

Steve Norcini
415 Maplewood Avenue
March 1, 2019

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in blue ink, appearing to read 'R. Phillips', with a large, stylized initial 'R'.

Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: February 22, 2019

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: Superintendent Christopher Flanagan, Radnor Township Police Department
John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue 2016-SD-10
Preliminary Subdivision Plan Review #7
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for an eight (8) unit residential townhouse development at 415 Maplewood Avenue. The Applicant proposes to remove two (2) existing dwelling units, construct four (4) residential buildings consisting of a total of eight (8) townhouse units, and terminate Central Avenue near Highland Avenue on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue from a modified existing private access identified as Central Avenue.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 19 sheets, dated December 8, 2014, last revised February 4, 2019.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-27.A(5) – Dead-end streets shall be prohibited, except as stubs to permit future street extension into adjoining tracts or when designed as cul-de-sac. The application creates two Central Avenue dead-end streets by eliminating the continuous connection between both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**

2. §255-27.A(6) – Stub streets greater in length than one lot width shall be provided with a turnaround designed to meet the standards required for cul-de-sac and shall be provided with sufficient rights-of-way to permit future extension of the street into the adjacent property. The application creates two Central Avenue dead-end streets by eliminating the continuous connection between both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**
3. §255-27.C(1) Maplewood Avenue shall be provided the required dimensional standards for a minor collector including a 60 foot right-of-way (30 foot half-width right-of-way), 36 foot cartway width (18 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. **The Applicant is requesting a waiver from this requirement.**
4. §255-27.E(1) – No more than five lots may be permitted to front on a private street. The Applicant indicates that the plan is designed as condominiums with one proposed lot. Although the HOA will maintain the overall property outside the residential structures, each residential unit structure will be individually owned and is considered an individual lot with a tax map parcel number. We defer to the Township Solicitor regarding this comment.
5. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design is required to meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and is **requesting a waiver from this section.**
6. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. **The Applicant is requesting a waiver from this requirement.**
7. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets. The Applicant is providing a 20 foot radius and is **requesting a waiver from this requirement.** We note the truck turning templates indicate sanitation trucks are unable to maneuver the site without encroaching into opposing lanes.
8. §255-28 – Section 255-27.B(3)(d) indicates that Maplewood Avenue is classified as a minor collector street and therefore requires a stopping sight distance of 275 feet. We note the Applicant is providing adequate sight distance per PA Code 441.8(h)(1) (195' right and 250' left). **The Applicant is requesting a waiver from this requirement.**
9. §255-29.A(1) – The minimum dimensions of parking stalls shall be 9 ½ feet wide by 20 feet deep. It appears the width of the spaces in the visitor parking area are only 8 feet wide at the sidewalk. Modify the design of the deficient parking stalls that do not meet the required dimensions of 9 ½ feet wide by 20 feet deep or request a waiver from this section of the ordinance.

10. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. Revise the truck turning templates to include the fire truck accessing the site via the emergency access drive. In addition to providing the revised truck turning templates, we recommend the Applicant discuss the Township preference for deterring motorists from using this emergency access with the Township Code Official.

IN THE COURT OF COMMON PLEAS OF DELAWARE COUNTY, PENNSYLVANIA
CIVIL ACTION - LAW

DAVID SEMERJIAN BUILDERS, LLC : NO. CV-2018-008262
2425 White Horse Road
Berwyn, Pennsylvania
Appellant :

vs. : Land Use Appeal

BOARD OF COMMISSIONERS OF THE :
TOWNSHIP OF RADNOR
130 North Radnor Chester Road
Radnor, PA 19087
Appellee :

SETTLEMENT AGREEMENT AND STIPULATION

Intending to be legally bound, David Semerjian Builders, LLC (“Semerjian”) enters into this Settlement Agreement and Stipulation (“Settlement Agreement”) with the Board of Commissioners of the Township of Radnor (the “Township”) in settlement of the Land Use Appeal filed by Semerjian docketed at CV-2018-008262 in the Court of Common Pleas of Delaware County, Pennsylvania (the “Appeal”).

WHEREAS, Appellant, Semerjian, is the owner or equitable owner of seven (7) existing lots, each a separate tax parcel with separate Folio Numbers, consisting of 1.969 acres of land located on Maplewood Avenue, Wayne, Radnor Township, Delaware County, Pennsylvania (the “Property”); and

WHEREAS, Appellee, Township, is a Township of the First Class with its principal place of business and administrative offices at 301 Iven Avenue, Wayne, Pennsylvania; and

WHEREAS, Semerjian filed a Land Development Plan proposing the merger of the seven

(7) individual lots into one (1) lot and the construction of ten (10) townhomes on the Property (the “Plan”); and

WHEREAS, on March 5, 2018 the Radnor Township Planning Commission recommended approval of the Plan; and

WHEREAS, on September 24, 2018 the Radnor Township Board of Commissioners denied the Plan; and

WHEREAS, on October 22, 2018 Semerjian filed a timely Notice of Land Use appeal to the Court of Common Pleas of Delaware County where it is currently docketed as indicated in the above caption; and

WHEREAS, the Township and Semerjian desire to settle the matter without awaiting the results of court actions and appeals; and

WHEREAS, the Parties wish to eliminate all existing non-conformities (use, setbacks, and impervious coverage); have Semerjian construct and establish a storm-water management system which conforms to all municipal and state requirements and regulations; and, approve a revised plan which will comply with all the requirements of the Radnor Township Zoning Code; and

WHEREAS, the Parties have agreed to settle and compromise all disputes between them and be legally bound by the terms of the Settlement Agreement.

NOW, THEREFORE, intending to be legally bound hereby, with the above recitals incorporated herein by reference as an integral part hereof, the Parties hereby stipulate and agree to settle all issues raised in the Land Use Appeal in accordance with the following terms and conditions as set forth below, which shall become an Order of the Court:

1. The Parties agree that Semerjian shall be permitted to construct an eight (8)

townhome development on the Property, with the same subdivision ordinance modifications as previously requested on the Plan, in conformity with the revised plan (the “Revised Plan”) prepared by Edward B. Walsh & Associates, Inc. dated 12-8-14 and last revised 2-4-19 (the “Revised Plan”) and the Township hereby approves the Revised Plan. A true and correct copy of the Revised Plan is attached hereto and incorporated herein as Exhibit “A”.

2. The Revised Plan modifies the Plan in the following respects:
 - a. The number of townhomes is reduced from ten (10) to eight (8);
 - b. The Building Coverage of the Property is reduced from 13.29% to 12.37%
 - c. The Impervious Coverage of the Property is reduced from 35.84% to 34.78%
 - d. In addition to providing two (2) parking spaces for each residence, the number of over flow parking spaces is increased from 3 to 8.

3. The Revised Plan shall be subject to the following conditions:
 - a. Pursuant to §255-43.1 of the Subdivision Ordinance of the Township (the “SALDO”), Semerjian shall pay a Park and Recreation fee (the “Park and Rec Fee”) in lieu of open space dedication to the Township in the amount of \$26,456.00 (8 dwelling units at \$3,307.00 per unit);
 - b. In addition to the required Park and Recreation Fee, Semerjian shall pay the sum of \$125,000.00 as a contribution to the Township’s Park and Recreation fund;
 - c. Payment of the Park and Recreation Fee and additional contribution to the Township’s Park and Recreation fund shall be made prior to recording of the Revised Plan.

- d. The garages for the residences cannot be converted to living space;
- e. Semerjian shall execute a Stormwater Management Operation and Maintenance Agreement in form and manner approved by the Township Solicitor;
- f. Semerjian shall obtain all required approvals from various agencies having jurisdiction over the Project, including, but not limited to: Pennsylvania Department of Environmental Protection, Delaware County Conservation District, and Pennsylvania Department of Transportation.
- g. Semerjian shall execute Development Agreements and all other development documents in form and manner to be approved by the Township Solicitor;
- h. Semerjian shall post sufficient financial security in a form acceptable to the Township;
- i. Semerjian shall comply with all other applicable Township Ordinances with respect to sewage, stormwater management, grading, zoning, and building codes, as well as comply with all other applicable Township, County, Commonwealth, and Federal rules, regulations, codes, ordinances, and statutes.

4. Upon approval by the Board of Commissioners of this Settlement Agreement and Stipulation, Semerjian shall provide to the Township a Final Plan in conformance with the Revised Plan and the SALDO, to be reviewed by the Township staff and consultants for completeness. No further approvals by the Township shall be required.

5. Upon satisfactory review by Township staff and consultants of the Final Plan, the Final

Plan shall be recorded in the office of the Recorder of Deeds for Delaware County as the Record Plan.

6. Any amendment, revision, or other change to this Settlement Agreement must be in writing and signed by all parties to be valid.

7. This Settlement Agreement is made under and shall be governed by the laws of the Commonwealth of Pennsylvania. Any legal action arising out of this Settlement Agreement must be filed in the Court of Common Pleas of Delaware County.

8. Any notice of violation under this Settlement Agreement, requests, demands and other communications shall be in writing and delivered personally, sent by certified mail, return receipt requested, or sent by national overnight courier, and shall be deemed given when delivered to the parties, if delivered personally, two days after being deposited with the United States Post Office, if mailed, or one day after being sent by overnight courier, at the following address, or such other address as a party may have specified by notice given to the other parties pursuant to this provision must be in writing and given by mail to the following addresses:

- a. David Semerjian Builders LLC
c/o David Semerjian
2425 Whitehorse Road
Berwyn, PA 19312

With a copy sent to:

Nicholas J. Caniglia, Esquire
125 Strafford Avenue, Suite 110
Wayne, PA 19087

- b. Robert Zienkowski, Township Manager
Township of Radnor
301 Iven Avenue
Wayne, PA 19087

With a copy to:

John B. Rice, Esquire
Grim, Biehn & Thatcher
104 South 6th Street
P.O. Box 215
Perkasie, PA 18944

9. The Parties agree this Settlement Agreement contains the entirety of the agreements between the Parties, and there are no other agreements or representations made by either of them. Any representations, oral or written, not contained herein are without effect.

10. This Settlement Agreement and Stipulation shall be entered as an Order of the Court and a memorandum of the agreement shall be recorded in the office of the Delaware County Recorder of Deeds.

IN WITNESS WHEREOF, and intending to be legally bound hereby, we have set our hands seal the day and year first above written.

TOWNSHIP OF RADNOR:

Attest: _____

By: _____

DAVID SEMERJIAN BUILDERS LLC

Attest: _____

By: _____
DAVID SEMERJIAN

J. LAWRENCE GRIM, JR.
MARY C. EBERLE
JOHN B. RICE
DIANNE C. MAGEE *
DALE EDWARD CAYA
DAVID P. CARO ♦
DANIEL J. PACI ♦ †
JONATHAN J. REISS ◊
GREGORY E. GRIM †
PETER NELSON *
PATRICK M. ARMSTRONG
SEAN M. GRESH
KELLY L. EBERLE *
COLBY S. GRIM
JOEL STEINMAN
MATTHEW E. HOOVER
MICHAEL K. MARTIN
JULIEANNE E. BATEMAN
MITCHELL H. BAYLARIAN

* ALSO ADMITTED IN NEW JERSEY
◊ ALSO ADMITTED IN NEW YORK
† MASTERS IN TAXATION
♦ ALSO A CERTIFIED PUBLIC ACCOUNTANT

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RESPECTIVELY
123ND ANNIVERSARY 1895-2018

www.grimlaw.com

Peter Nelson
e-mail: pnelson@grimlaw.com

JOHN FREDERIC GRIM, OF COUNSEL

104 S. SIXTH STREET
P.O. BOX 215
PERKASIE, PA. 18944-0215
FAX (215) 257-5374
(215) 536-1200
FAX (215) 538-9588
(215) 348-2199
FAX (215) 348-2520

RT #16-25

September 27, 2018

Sent via Certified Mail No. 7015 1520 0000 5979 3653

Nicholas Caniglia, Esquire
PIERCE, CANIGLIA & TAYLOR
125 Strafford Avenue, Suite 110
P.O. Box 312
Wayne, PA 19087

**RE: Radnor Township - Semerjian Builders L.D. Plan Denial
415 Maplewood Avenue/SALDO App. #2016-SD-10**

Dear Mr. Caniglia:

At its regularly scheduled public meeting of September 24, 2018, the Radnor Township Board of Commissioners denied preliminary plan approval of the Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared by Edward B. Walsh & Associates, Inc., consisting of eighteen (18) sheets, dated December 8, 2014, last revised June 6, 2018 ("Plans"), based upon the following reasons:

1. Failure to comply with all the comments and requirements set forth in the Gannett Fleming review letter, dated July 9, 2018. A copy of this July 9, 2018 letter is attached hereto and incorporated herein as Exhibit "A".
2. Failure to comply with all the comments and requirements set forth in the Gilmore & Associates, Inc. review letter, dated July 5, 2018. A copy of this July 5, 2018 letter is attached hereto and incorporated herein as Exhibit "B".
3. Failure to comply with the following requirements of the Code of the Township of Radnor:
 - a. Subsection 255-27.A(5) of the Code of the Township of Radnor prohibits dead-end streets, except as stubs to permit future street extension into adjoining tracts

or when designed as a cul-de-sac. The Plans propose two dead-end streets without a cul-de-sac or a planned future extension in violation of this Subsection.

- b. Subsection 255-27.A(6) of the Code of the Township of Radnor requires stub streets greater in length than one lot width have a turnaround designed to meet the standards required for a cul-de-sac and shall provide sufficient rights-of-way to permit the future extension of the street into the adjacent property. The Plans propose two stub streets greater in length than one lot width without the required turnarounds nor sufficient rights-of-way in violation of this Subsection.
- c. Subsection 255-27.C(1) of the Code of the Township of Radnor requires a 60 foot right-of-way and 36 foot cartway for minor collector streets. Under Subsection 255-27.B(3)(d) of the Code of the Township of Radnor, Maplewood Avenue is classified as a minor collector street. The Plans fail to meet the required right-of-way and cartway width requirements for Maplewood Avenue.
- d. Subsection 255-27.C(1) of the Code of the Township of Radnor requires a 60 foot right-of-way and 28 foot cartway for local streets. Under Subsection 255-27.B(3)(d) of the Code of the Township of Radnor, Highland Avenue is classified as a local street. The Plans fail to meet the required right-of-way and cartway width requirements for Highland Avenue.
- e. Subsections 255-27.C(1) and 255-36 of the Code of the Township of Radnor requires curbs along all minor collector and local streets. Under Subsection 255-27.B(3)(d) of the Code of the Township of Radnor, Maplewood Avenue is classified as a minor collector street and Highland Avenue is classified as a local street. The Plans fail to provide the required curbing along these streets.
- f. Subsection 255-27.E(1) of the Code of the Township of Radnor prohibits more than five lots to front a private street. The Plans propose having 10 lots front on the proposed private street in violation of this Subsection.
- g. Subsection 255-27.E(2) of the Code of the Township of Radnor requires private streets to have the right-of-way width and horizontal and vertical alignment consistent with the requirements for public streets. The Plans fail to meet the 28 foot cartway width requirement imposed upon local streets under Subsection 255-27.C(1) of the Code of the Township of Radnor.
- h. Subsection 255-27.F(2)(a) of the Code of the Township of Radnor requires the minimum center-line radii for horizontal curves on local roads to be 150 feet. The proposed private road shown on the Plans fails to meet this requirement.
- i. Subsection 255-27.H(6) of the Code of the Township of Radnor requires the minimum curb radii at street intersections to be 25 feet for local streets. The

Plans fail to meet this requirement at the intersection of the proposed private road and Maplewood Avenue.

- j. Subsection 255-27.I(7) of the Code of the Township of Radnor prohibits common driveways from providing access to more than three lots or three single-family dwellings. The proposed private road provides access to 10 single-family dwellings. If the proposed private road is viewed as a common driveway, then it violates this Subsection.
- k. Subsection 255-28 of the Code of the Township of Radnor requires a stopping sight distance of 275 feet for minor collector streets. Under Subsection 255-27.B(3)(d) of the Code of the Township of Radnor, Maplewood Avenue is classified as a minor collector street. The Plans do not provide for a sight stopping distance of 275 feet at the intersection of the proposed private road and Maplewood Avenue in violation of Subsection 255-28.
- l. Subsection 255-29.A(2) of the Code of the Township of Radnor Parking requires parking areas to be designed to permit each motor vehicle to proceed to and from the parking space provided for it without requiring the moving of any other motor vehicles. The Plans fail to comply with this Subsection by using parking areas to meet the Code's parking requirements which require the moving of one vehicle to allow another motor vehicle to proceed to and from other parking spaces.
- m. Subsection 255-29.A(3) of the Code of the Township of Radnor requires all parking spaces to be marked so as to provide for orderly and safe parking. The Plans fail to comply with this Subsection.
- n. Subsection 255-29.A(15) of the Code of the Township of Radnor requires all dead-end parking areas to be designed to provide sufficient backup area for the end stalls of a parking area. The Plans fail to comply with this Subsection by failing to provide sufficient backup areas for the proposed dead-end parking areas.
- o. Subsection 255-40.C(2) of the Code of the Township of Radnor requires the proposed access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal to be planned for efficient operation and convenience. The Plans fail to comply with this Subsection by not providing adequate access and circulation for emergency equipment, garbage trucks, and other large vehicles throughout the site.
- p. Subsection 255-40.E(3) of the Code of the Township of Radnor requires all driveways to be paved and constructed in accordance with Township standards. The Plans propose pavers instead of paving for the unit driveways and thus fail to comply with this Subsection.

- q. Subsection 280-103.B(1) of the Code of the Township of Radnor requires two (2) off-street parking spaces for each dwelling unit and Subsection 280-4.B of the Code of the Township of Radnor defines a "parking space" as "[a]n outdoor space or a garage space used for parking motor vehicles, which shall measure not less than nine feet six inches by 20 feet...." The Plans fail to comply with these Subsections because driveway lengths for units 9 and 10 are less than 20 feet and thus do not meet the definition of parking spaces. Moreover, the Plans do not show the garages for these units are large enough to provide two code-compliant parking spaces.

In addition to violating Subsection 255-27.I(7) of the Code of the Township of Radnor as listed in Paragraph 3.j above, if the private roadway is viewed as a driveway, the Plans violate Subsection 255-29.A(12)(b) of the Code of the Township of Radnor by proposing an entrance and exit drive of less than 25 feet in width and Subsection 255-29.A(21) of the Code of the Township of Radnor by failing to proposing curbing along the perimeter of the entire parking area proposed to serve the 10 dwelling units.

Sincerely,

GRIM, BIEHN & THATCHER

By: 

Peter Nelson

HPN/bf

cc: Robert Zienkowski, Township Manager
Steve Norcini, P.E., Township Engineer
Kevin W. Kochanski, RLA, CZO, Director of Community Development
Roger Phillips, P.E., Township Engineer
Amy B. Kaminsky, P.E., PTOE, Township Traffic Engineer
John B. Rice, Esquire, Township Solicitor
David Semerjian

EXHIBIT A



Excellence Delivered As Promised

Date: July 9, 2018

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016
90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 10 town houses on the site. This project is located in the R-5 district of the Township.

The applicant has indicated on the plans that the following waivers are being requested:

- §255-27.C(1) – To maintain the existing condition right-of-way and cartway for Highland and Maplewood Avenues.
- §255-27.E(2) – To allow a 24' wide cartway for the internal drive.
- §255-27.F(2)(a) – To permit centerline radius less than 150' as the access is a private driveway to be owned and maintained by the homeowners association.
- §255-27.H(6) – To permit the proposed radii of 15' as the proposed drive is not a local street.

Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 06/06/2018



Sewage Facilities Planning

- I. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant is in the process of obtaining capacity certifications.

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1. §280-4.B – Parking space is defined as an outdoor or garage space used for parking motor vehicles, which shall measure not less than 9 feet six inches x 20 feet, accessible from a street, alley or driveway and surfaced with a Township approved durable dustproof and all-weather surface. The applicant must clearly demonstrate that there is adequate parking in the driveway and garage of each unit for 2 parking spaces. The width of each drive way is dimensioned on the plans as 18 feet. **The driveway length for unit 9 and 10 is shown as less than 20 feet on the plans.** The applicant has indicated that the dimensions and size of parking spaces in the garage will be provided with the building permit submission. We believe this should be provided prior to plan approval.
2. §280-4.B – The dimensions of the over flow parking spaces must be shown on the plans.
3. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The plans indicate that the total impervious provided is 36% with using a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage.

Subdivision and Land Development

1. §255-27.C(1) – Maplewood Avenue is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. The applicant has provided right-of-way 25 feet from the centerline of Maplewood Avenue. The existing legal right of way along Highland Avenue is 50 feet. The applicant is requesting a waiver from this requirement.
2. §255-27.E(2) – The private street shall have a right-of-way width and a horizontal and vertical alignment consistent of the requirements for public streets. The applicant is requesting a waiver from this section to allow a 24' wide cartway for the internal drive.
3. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves for local collector streets and courts shall be 150 feet. The applicant has requested a waiver to this requirement.



4. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. The applicant has indicated a 15-foot curb radii on the plans. The applicant is requesting a waiver from this requirement.
5. §255-35 – A sanitary sewer easement description must be provided prior to recording the final plans.
6. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. The applicant has provided 5 street lights along the proposed private driveway.
7. §255-38 – Sheet 12 of 18 indicates that there will be plantings located in the existing private street and interfering with the proposed 12' emergency access. This must be revised.
8. §255-38.H – All street trees provided on the plans must be in accordance with this section. There are trees listed on sheet 12 of the plans that are not listed in this section. This must be revised or a waiver requested. The applicant has indicated that due to the changes of the plan, they are required to go back to shade tree.
9. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The applicant has provided a 12' emergency access from the private street. Significant concern exists as to the ability to access the proposed houses from the single driveway. This must be reviewed and approved by the Township Code Official/Fire Marshall.
10. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards. The applicant is intending to utilize pavers for the driveways.
11. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
12. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.



Stormwater

1. The Infiltration Bed #1 detail shows 4 sections of 55 LF of pipe; however, the stormwater report is based on 5 sections of 55 LF of pipe. This discrepancy must be revised.
2. There appears to be a mathematical error in calculating the water quality volume (WQ_v). The WQ_v should be 0.0666 ac-ft or 2901 cf. This equation must be revised.
3. The pre-development drainage area encompasses 2.61 acres whereas the post-development drainage area encompasses 2.51 acres. These two areas should be of equivalent size. In addition, the leader for Post-Developed Drainage Area to POI #1 appears to be pointing to the existing private street off Highland Avenue, which is not included within the project drainage area. Based on the proposed contours, there is a high point elevation of 462 in the northern corner of the site which would send runoff east to the bypass drainage area and west to presumably POI #1. The drainage area maps must be revised.
4. Worksheet 5 (page 142) and the Stormwater BMP Information tables in the plans list the volume to be infiltrated for Bed #2 as 1393 cf whereas the hydrographs show 1383 cf to be infiltrated. This discrepancy must be revised.
5. We note that the applicant will include gas and electric crossings on the profiles when the respective utility companies have laid out the utility locations.
6. The Stormwater BMP Information POI #2 table on sheet 8 must be updated to be consistent with the infiltration bed details and stormwater report.
7. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. We note that there are 2 trees proposed in the snow disposal area by the overflow parking spaces. These must be relocated.

The applicant appeared before the Planning Commission on March 5, 2018. The Planning Commission recommended approval of the plans and requested waivers along with the additional waivers of:

- §255-27.I(7) – No common driveway shall provide access to more than three lots or single family dwellings.
- §255-29.A(2) – Parking areas shall be designed to permit each motor vehicle to proceed to and from the parking spaces provided for it without requiring the moving of any other motor vehicles.



Gannett Fleming

Steve Norcini
415 Maplewood Avenue
July 9, 2018

- §255-29.A(3) – All parking spaces shall be marked so as to provide for orderly and safe parking.
- §255-29.A(15) – All dead-end parking areas shall be designated to provide sufficient backup area for the end stalls of a parking area.

Along with these additional waivers, the Planning Commission recommended that the applicant add the following information to the Home Owners Association documents:

- Garages cannot be converted to living space
- There shall be one contracted trash service for the development
- No parking of cars shall overhang on the sidewalks
- There shall be one contracted snow removal service and snow must not be placed on any other property
- Ingress and Egress will be provided for the 4 properties

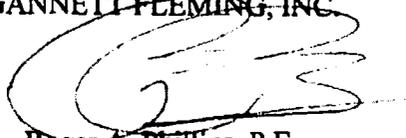
Additionally, all Township Zoning requirements must be met.

The applicant was before the Planning Commission again on June 2, 2018 due to numerous changes on the plan. The Planning Commission approved the plan and requested waivers. Also the Planning Commission requested a stop sign on the private street and to limit access except for emergency vehicles.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





EXHIBIT B

MEMORANDUM

Date: July 5, 2018

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue 2016-SD-10
Preliminary Subdivision Plan Review #5
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a ten (10) unit residential townhouse development at 415 Maplewood Avenue. The Applicant proposes to remove two (2) existing dwelling units, construct five (5) residential buildings consisting of a total of ten (10) townhouse units, and terminate Central Avenue near Highland Avenue on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue from a modified existing private access identified as Central Avenue.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 18 sheets, dated December 8, 2014, last revised June 6, 2018.
2. Response letter prepared by Edward B. Walsh & Associates, Inc., dated June 8, 2018.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-27.A(5) – Dead-end streets shall be prohibited, except as stubs to permit future street extension into adjoining tracts or when designed as cul-de-sac. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**
2. §255-27.A(6) – Stub streets greater in length than one lot width shall be provided with a turnaround designed to meet the standards required for cul-de-sac and shall be

provided with sufficient rights-of-way to permit future extension of the street into the adjacent property. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**

3. §255-27.C(1) Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. **The Applicant is requesting a waiver from this requirement.**
4. §255-27.E(1) – No more than five lots may be permitted to front on a private street. The Applicant indicates that the plan is designed as condominiums with one proposed lot. Although the HOA will maintain the overall property outside the residential structures, each residential unit structure will be individually owned and is considered an individual lot with a tax map parcel number. We defer to the Township Solicitor regarding this comment.
5. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and is **requesting a waiver from this section.**
6. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. **The Applicant is requesting a waiver from this requirement.**
7. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets. The Applicant is providing 15 foot radii and is **requesting a waiver from this requirement.** We note that sanitation trucks cannot maneuver the site without encroaching into opposing lanes.
8. §255-28 – Section 255-27.B(3)(d) indicates that Maplewood Avenue is classified as a minor collector street and therefore requires a stopping sight distance of 275 feet. We note the Applicant is providing adequate sight distance per PA Code 441.8(h)(1) (195' right and 250' left). The Applicant is requesting a waiver from this requirement.
9. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. Revise the truck turning templates to include the fire truck accessing the site via the emergency access drive. We recommend the Applicant discuss with the Township Code Official as to the Township preference for deterring motorists from using this emergency access.

PIERCE, CANIGLIA & TAYLOR

ATTORNEYS AT LAW

125 STRAFFORD AVENUE - SUITE 110

P. O. Box 318

WAYNE, PENNSYLVANIA 19087

JAMES M. PIERCE
NICHOLAS J. CANIGLIA
KENNETH C. TAYLOR

TELEPHONE
(610) 688-2626
FAX
(610) 688-5761

August 10, 2018

Steve Norcini, P.E.
Engineering Department
Township of Radnor
301 Iven Avenue
Wayne, Pa. 19087

**RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
Number: 2016-SD-10**

Dear Steve:

The above required 90-day review by the Township on the above was extended indefinitely by the engineer on the project by letter dated November 29, 2016. This Plan has been pending before the Township since January of 2018. Due to the length of time already transpired, the Applicant hereby grants the Board of Commissioners until September 25, 2018 to take action on the Application.

I understand that the Staff Traffic Committee may consider traffic on Maplewood Avenue adjacent to the proposed development at its August 15th meeting. Both David Semerjian and I will be on vacation that week and will be unable to attend that meeting. We are willing to meet with Staff Traffic at its September 19th meeting.

Thank you for your time and consideration.

Very truly yours,



NICHOLAS J. CANIGLIA

c. John Rice, Esquire
Roger Phillips, P.E.



*Excellence Delivered **As Promised***

Date: July 9, 2018

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016

90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 10 town houses on the site. This project is located in the R-5 district of the Township.

The applicant has indicated on the plans that the following waivers are being requested:

- §255-27.C(1) – To maintain the existing condition right-of-way and cartway for Highland and Maplewood Avenues.
- §255-27.E(2) – To allow a 24' wide cartway for the internal drive.
- §255-27.F(2)(a) – To permit centerline radius less than 150' as the access is a private driveway to be owned and maintained by the homeowners association.
- §255-27.H(6) – To permit the proposed radii of 15' as the proposed drive is not a local street.

Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 06/06/2018



Sewage Facilities Planning

- I. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant is in the process of obtaining capacity certifications.

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1. §280-4.B – Parking space is defined as an outdoor or garage space used for parking motor vehicles, which shall measure not less than 9 feet six inches x 20 feet, accessible from a street, alley or driveway and surfaced with a Township approved durable dustproof and all-weather surface. The applicant must clearly demonstrate that there is adequate parking in the driveway and garage of each unit for 2 parking spaces. The width of each drive way is dimensioned on the plans as 18 feet. **The driveway length for unit 9 and 10 is shown as less than 20 feet on the plans.** The applicant has indicated that the dimensions and size of parking spaces in the garage will be provided with the building permit submission. We believe this should be provided prior to plan approval.
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Steve Norcini
415 Maplewood Avenue
July 9, 2018

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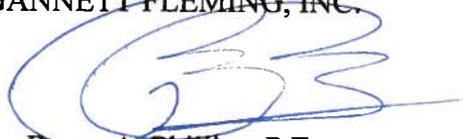
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Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: July 5, 2018

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue 2016-SD-10
Preliminary Subdivision Plan Review #5
Radnor Township, Delaware County, PA
G&A 15-01021

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BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901
Phone: 215-345-4330 | Fax: 215-345-8606

www.gilmore-assoc.com

provided with sufficient rights-of-way to permit future extension of the street into the adjacent property. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**

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EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

June 8, 2018

Roger Phillips, P.E. /Patricia Kaufman
Gannett Fleming
P.O. Box 80794
Valley Forge, Pa. 19484

Dear Roger and Patricia;

As you aware we received a recommendation for approval from the Radnor Township Planning Commission for the revised 10 unit 415 Maplewood Road Development plan. This submission has incorporated revisions as requested within your May 25, 2018 review letter and those requested by the Planning Commission. Thos comments that are related to zoning and waiver items or that did not require plan revisions have not been addressed and are not part of this letter. Its enumeration will be that as presented in your review letter.

We have not made any changes relative to the Gilmore and Associates letter as their comments were all relative to the waiver requests.

Gannett Fleming Letter

Sewage Facilities Planning

1. We concur that Radnor Township will not issue Final approval until we receive Planning Module approval. To that end the modules have been submitted to the Municipalities, Municipal Authorities and agencies that are required to sign off on the modules. That process is currently on going.

Zoning

1. My client will provide documentation within the building permit submission that dimensions and shows the size of the parking spaces within each garage.
2. We reviewed the impervious cover reduction information with the zoning officer prior to submission and received concurrence from him that the reductions relative to impervious coverage were acceptable. Stormwater management has been designed without the reductions. This item has not changed.

Subdivision

1-4. These comments are referencing the waiver requests. We are not sure if they are still necessary but we have left them on the plan.
5. We have added a Sanitary Sewer easement plan to the set.
6. Commentary. The lighting plan has only been changed to remove the lights along the access to Highland Avenue.
7. The Landscape plan has been adjusted to remove the trees from the Emergency access.
8. The street trees proposed were placed there because our Landscape architect felt that they were more appropriate to the setting within this project. We are required to go back before the Tree Commission to review this plan as some components have changed since they originally approved it. We will discuss the tree choices with them and adjust the plan as needed. The replacement tree note did not belong on this plan

June 8, 2018
415 Maplewood response letter

it was from a prior version before the arborist reviewed the trees on site and got permission to remove them.

9. The truck turning templates have been reviewed and found to be adequate by the traffic consultant. We were told the planning commission that they were going to be doing the review until a new Fire marshal is in place.

10. We believe that the driveways are being constructed in accordance with the Township standards. The standard requires stable and dust free.

11. We added a buffer screen along the eastern property line.

12. We concur.

13. The plan shows the proposed water main and fire hydrants. We believe their spacing to be compliant with the National Fire Protection Association. However if the Fire Marshal wants them adjusted we make the necessary adjustments. To date we have not received a review from the Fire Marshal.

Stormwater

1. Infiltration bed detail has been adjusted.

2. The bed three detail has been corrected.

3. We have modified the Outlet structure detail to match the calculations.

4. The Stormwater narrative has been modified to state that an emergency access will be provided to Highland Avenue.

5. The reference to the credit for vegetation has been removed.

6. The flow chart has been revised.

7. We corrected the WQV calculation within the report.

8. The label for POI 1 has been adjusted and the leader for the bypass area has been shifted.

9. We have adjusted the profiles to show all the specific crossing that were listed and revised the invert elevations of the inlets as necessary.

10. We do not know the location of the proposed gas and electric at this time. We will add that data when it is received. Both of these utilities are laid out by the respective utility companies and that has not occurred yet.

Sanitary Sewer

1. We were told that the Sanitary will most likely be owned by the township so we have added an easement plan to the set.

2. We have made an effort to keep the trees as far away from the laterals and sewer lines as possible and made every effort to maintain a minimum separation of 5'. Additionally we have added a note directing the contractor to maintain that separation if possible. See note 37 on the Landscape plan.

3. The label for the sewer should have been MH 5. We have revised it.

4. We added the laterals for units 3 and 4.

5. The lateral for unit 4 has been shifted.

General

1. We removed the retaining wall reference from the legend.

2. The signature block has been adjusted.

The other item that has been adjusted is that the planning commission requested that we increase the radius of the driveway at Maplewood to have a 25' radius on the eastern side and a 20' radius on the western side. We revised the plan and the ramps and sidewalk accordingly.

I believe we have addressed all of your concerns within this submission. If you have any questions or need any additional information please contact me.

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.

Andrew Eberwein
Project Manager
Cc David Sermerjian

RADNOR TOWNSHIP

ENGINEERING DEPARTMENT

Memorandum

To: Radnor Township Planning Commission

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager

Date: May 29, 2018

Re: **415 Maplewood Avenue**. Preliminary Subdivision Plan, David Semerjian Builders.
#2016-SD-10
Plans by Edward B. Walsh Associates, sheets 1-16, dated 12/08/2014,
last revised 04/11/2018.
Ninety Day Review Period: October 3, 2016, extended indefinitely

This application was originally before the Planning Commission in 2016. The first iteration of plans depicted twelve dwelling units. The Planning Commission may recall that at previous Commission meetings, residents attended and voiced concerns over the project. A few of the concerns raised were:

- Disturbance of the properties on Highland Avenue and the private street
- Stormwater runoff regarding the properties on Maplewood Avenue
- Access/egress
- Snow removal

To this end, Commissioner Jacob Abel is convening a Town Hall Meeting on Wednesday, May 30, 2018, so the applicant can meet with the surrounding residents. Staff and our consultants will also be in attendance. Staff will update the Planning Commission on the outcome of the meeting.

The plan before the Planning Commission now puts forth ten dwelling units, and the driveway now terminates at the western end of the subdivision. There is an emergency access constructed of grass pavers proposed, to allow access to Highland Avenue. The detailed review letters and plans are attached for your review.



*Excellence Delivered **As Promised***

Date: May 25, 2018

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department
Andy Pancoast – Radnor Township Code Official

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016

90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 10 town houses on the site. This project is located in the R-5 district of the Township.

The applicant has indicated on the plans that the following waivers are being requested:

- §255-27.C(1) – To maintain the existing condition right-of-way and cartway for Highland and Maplewood Avenues.
- §255-27.E(2) – To allow a 24' wide cartway for the internal drive.
- §255-27.F(2)(a) – To permit centerline radius less than 150' as the access is a private driveway to be owned and maintained by the homeowners association.
- §255-27.H(6) – To permit the proposed radii of 15' as the proposed drive is not a local street.

Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 05/02/2018



Sewage Facilities Planning

- I. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

Zoning

1. §280-4.B – Parking space is defined as an outdoor or garage space used for parking motor vehicles, which shall measure not less than 9 feet six inches x 20 feet, accessible from a street, alley or driveway and surfaced with a Township approved durable dustproof and all-weather surface. The applicant must clearly demonstrate that there is adequate parking in the driveway and garage of each unit for 2 parking spaces. The width of each drive way is dimensioned on the plans as 18 feet. The driveway length for unit 9 and 10 is less than 20 feet. Also, the dimensions of the over flow parking spaces must be shown on the plans.
2. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The plans indicate that the total impervious provided is 36% with using a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage.

Subdivision and Land Development

1. §255-27.C(1) – Maplewood Avenue is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. The applicant has provided right-of-way 25 feet from the centerline of Maplewood Avenue. The existing legal right of way along Highland Avenue is 50 feet. The applicant is requesting a waiver from this requirement.
2. §255-27.E(2) – The private street shall have a right-of-way width and a horizontal and vertical alignment consistent of the requirements for public streets. The applicant is requesting a waiver from this section to allow a 24' wide cartway for the internal drive.
3. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves for local collector streets and courts shall be 150 feet. The applicant has requested a waiver to this requirement.
4. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. The applicant has indicated a 15-foot curb radii on the plans. The applicant is requesting a waiver from this requirement.



5. §255-35 – If the sanitary sewer system is to be dedicated to the Township, an easement in accordance with this section must be provided.
6. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. The applicant has provided 4 street lights along the proposed driveway. There is no additional lighting proposed at the intersection of Maplewood.
7. §255-38 – Sheet 12 of 18 indicates that there will be plantings located in the existing private street and interfering with the proposed 12' emergency access. This must be revised.
8. §255-38.H – All street trees provided on the plans must be in accordance with this section. There are trees listed on sheet 12 of the plans that are not listed in this section. This must be revised or a waiver requested. The applicant has provided street trees and buffer trees. The last plan submission indicated that 53 replacement trees were provided, but have been removed from this submission. An explanation must be provided to why the 53 replacement trees are no longer being provided.
9. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The applicant has provided a 12' emergency access from the private street. Significant concern exists as to the ability to access the proposed houses from the single driveway. This must be reviewed and approved by the Township Code Official/Fire Marshall.
10. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards. The applicant is intending to utilize pavers for the driveways.
11. §255-42 – Buffer screens shall be provided along the easterly property line in accordance with this section and Table 1 Determination of Buffer Yard Class.
12. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
13. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

Stormwater

1. The profile of Infiltration Bed #1 shows 4 sections of 36" pipe; however, the plan view lists 5 sections of pipe. This discrepancy must be revised.
2. The Post Construction Stormwater Management Plan shows Pipe Storage Bed #3 to consist of various pipe lengths. Infiltration Bed #3 on the detail sheet indicates uniform pipe length. This discrepancy must be revised and the naming convention made consistent.
3. The Bed #3 Outlet Structure Detail on Sheet 10 and the orifice structures listed in the hydrograph (page 35) are not consistent. This inconsistency must be revised.
4. The stormwater narrative "Project Summary" references the entrance on Highland Avenue. The project summary must be updated.
5. The stormwater narrative "Infiltration" states that volume credits for native vegetation are utilized to meet the net two-year infiltration volume. We note that the native vegetation credit is not counted for the Radnor Township infiltration. This should be clarified in the summary.
6. In the Flow Chart (page 2) the "allowable out for POI #2" for the 2-year storm event should be the sum of the 1-year pre-developed onsite and the 2-year pre-developed offsite. There is not a rate control requirement for the 1-year post-developed storm. This discrepancy must be revised.
7. There appears to be a mathematical error in calculating the impervious area for the water quality volume. The sum of the impervious areas contributing to the BMPs is 0.8 acres (0.18 + 0.13 + 0.49). In addition, it is unclear how the 3044 cf of infiltration provided was calculated. The water quality volume sheet must be revised.
8. The Post Developed Drainage Area Plan must be revised to clearly show the 0.10-acre drainage area to POI #1.
9. The following profiles must be revised to correct the following:
 - a. There is a water crossing between the existing sanitary manhole and SAN MH 1 which is not shown on the plans.
 - b. There is a water crossing between SAN MH 3 and SAN MH 4 which is not shown on the plans.
 - c. Profile Inlet 4 to Bed 3 does not show a sanitary sewer crossing.
 - d. Profile Inlet 2 to Bed 3 does not show a sanitary sewer crossing.
 - e. Profile Bed 3 to Level Spreader does not show a sanitary sewer crossing.
 - f. The inverts for the inlets shown in the stormwater profiles do not match the inlet inverts shown in the Profile Proposed Driveway.

- g. All other utility crossings, such as gas or electric, must be shown on the plan and in the profiles.
10. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

Sanitary Sewer

1. Will the sanitary sewers be dedicated to the Township? If so, a sanitary sewer easement must be provided.
2. All plantings must be a minimum of 5 feet away from the proposed sanitary sewer laterals. There are numerous locations where there are trees proposed less than 5 feet.
3. There are two manholes numbered as sanitary sewer manhole #3 on the plan sheet. This must be revised.
4. The sanitary sewer lateral connections for units 3 and 4 must be shown on the plans.
5. There is zero horizontal clearance shown between the sanitary sewer lateral for unit 7 and proposed storm inlet 4. This must be revised.

General

1. The legend on sheet 1 indicates a proposed retaining wall. If a retaining wall is proposed, it must be clearly shown on the plans.
2. The signature block on sheet 1 refers to Supervisors instead of Commissioners.

The applicant appeared before the Planning Commission on March 5, 2018. The Planning Commission recommended approval of the plans and requested waivers along with the additional waivers of:

- §255-27.I(7) – No common driveway shall provide access to more than three lots or single family dwellings.
- §255-29.A(2) – Parking areas shall be designed to permit each motor vehicle to proceed to and from the parking spaces provided for it without requiring the moving of any other motor vehicles.
- §255-29.A(3) – All parking spaces shall be marked so as to provide for orderly and safe parking.

Steve Norcini
415 Maplewood Avenue
May 25, 2018

- §255-29.A(15) – All dead-end parking areas shall be designated to provide sufficient backup area for the end stalls of a parking area.

Along with these additional waivers, the Planning Commission recommended that the applicant add the following information to the Home Owners Association documents:

- Garages cannot be converted to living space
- There shall be one contracted trash service for the development
- No parking of cars shall overhang on the sidewalks
- There shall be one contracted snow removal service and snow must not be placed on any other property
- Ingress and Egress will be provided for the 4 properties

Additionally, all Township Zoning requirements must be met.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager

SUBDIVISION OF LAND

255 Attachment 2

Township of Radnor

Table 1: Determination of Buffer Yard Class

Adjacent land use:	Single-Family Detached	Planned Cluster Development	Multifamily	Institutional	Proposed Land Use				Nonresidential Off-Street Parking	Proposed Street				
					Office	Retail and Consumer Service	Utilities, Public Service	Industrial		Expressway	Arterial	Major Collector	Minor Collector	Local/Court
Single-family detached	—	—	A	B	B	B	B	B	B	B	B	A	A	*
Planned cluster development	—	—	A	B	B	B	B	B	B	B	B	A	A	*
Multifamily	—	A	—	B	B	B	B	B	B	B	B	A	A	*
Institutional	—	B	B	—	—	A	A	A	B	B	A	A	A	*
Office	—	B	B	—	—	—	—	A	B	*	*	*	*	*
Retail and consumer service	—	B	B	A	—	—	—	A	*	*	*	*	*	*
Utilities, public service	—	B	B	A	—	—	—	A	*	*	*	*	*	*
Industrial	—	B	B	A	—	—	—	A	A	*	*	*	*	*
Nonresidential off-street parking	B	B	B	B	A	A	A	—	A	A	A	A	A	A
Vacant land:														
A-1, A-2, R-1, R-2, R-3, R-4, R-5 and PA Districts	—	—	A	B	B	B	B	B	B	B	B	A	A	A
CO, C-1, C-2, C-3, and PB Districts	—	—	A	—	—	—	—	—	—	—	—	—	—	—
PLO and PI Districts	—	A	A	—	—	—	—	—	—	—	—	—	—	—
Adjacent street classification:														
Expressway	B	B	B	B	B	B	B	B	B	B	B	A	A	A
Arterial	B	B	B	A	A	A	A	A	A	A	A	A	A	A
Major collector	A	A	A	A	A	A	A	A	A	A	A	A	A	A
Minor collector	A	A	A	A	A	A	A	A	A	A	A	A	A	A
Local/court	*	*	*	*	*	*	*	*	*	*	*	*	*	*

NOTES:
*Street trees as required by § 255-38.



MEMORANDUM

Date: May 16, 2018

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue 2016-SD-10
Preliminary Subdivision Plan Review #5
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a ten (10) unit residential townhouse development at 415 Maplewood Avenue. The Applicant proposes to remove two (2) existing dwelling units, construct five (5) residential buildings consisting of a total of ten (10) townhouse units, and terminate Central Avenue near Highland Avenue on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue from a modified existing private access identified as Central Avenue.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 18 sheets, dated December 8, 2014, last revised May 14, 2018.
2. Response letter prepared by Edward B. Walsh & Associates, Inc., dated May 4, 2018.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-27.A(5) – Dead-end streets shall be prohibited, except as stubs to permit future street extension into adjoining tracts or when designed as cul-de-sac. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. In addition, we recommend signage to adequately identify the Maplewood and Highland Avenue intersections with Central Avenue are not through streets. **The Applicant is requesting a waiver from this requirement.**

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2. §255-27.A(6) – Stub streets greater in length than one lot width shall be provided with a turnaround designed to meet the standards required for cul-de-sac and shall be provided with sufficient rights-of-way to permit future extension of the street into the adjacent property. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. **The Applicant is requesting a waiver from this requirement.**
3. §255-27.C(1) Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. **The Applicant is requesting a waiver from this requirement.**
4. 255-27.E(1) – No more than five lots may be permitted to front on a private street. The Applicant indicates that the plan is designed as condominiums with one proposed lot. Although the HOA will maintain the overall property outside the residential structures, each residential unit structure will be individually owned and is considered an individual lot with a tax map parcel number. We defer to the Township Solicitor regarding this comment.
5. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and is **requesting a waiver from this section.**
6. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. **The Applicant is requesting a waiver from this requirement.**
7. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets. The Applicant is providing 15 foot radii and is **requesting a waiver from this requirement.** We note that sanitation trucks cannot maneuver the site without encroaching into opposing lanes.
8. §255-28 – The Applicant shall revise the preliminary and final plans to label the available and required sight distance for the terminus of the access street to Maplewood Avenue in accordance with this section. §255-27.B(3)(d) indicates that Maplewood Avenue is classified as a minor collector street and thus requires a stopping sight distance of 275 feet. We note the Applicant is providing adequate sight distance per PA Code 441.8(h)(1) (195' right and 250' left); however, a waiver is required if the sight distance requirements of the Township cannot be met.
9. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. We recommend the Applicant discuss with the Township Code Official as to the Township preference for deterring motorists from using this emergency access.



EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

May 4, 2018

Amy Kaminski, P.E.
Gilmore and Associates
65 E. Butler Avenue
Suite 100
New Britain, Pa. 18901

Dear Amy;

We have revised the 415 Maplewood Avenue plans in accordance with your April 25, 2018 memorandum. This letters enumeration follows that of your memorandum.

Gilmore & Associates

Subdivision

1. We have added a waiver request to sheet 1 of the plan set to permit the creation of a private driveway access for the condominium development we are proposing and a stub Private street that provides access to parking for two lots. Waiver request 5.
2. We have added a waiver request to sheet 1 of the plan set to permit the driveway and Private stub street without cul-de-sacs. We have also added proposed signs to both identifying them as not being through streets.
3. A waiver has been requested.
4. We do not believe a waiver is required for private access to one lot. However, if the solicitor believes that the eight unit condominium constitutes eight lots than we will request a waiver of this provision and add it to sheet 1.
5. A waiver has been requested.
6. A waiver has been requested.
7. We have provided an additional truck turning plan to the plan set (sheet 16) that demonstrates the trash trucks ability to access and maneuver through the site.
8. The sight distance was inadvertently left off of the last submission. They are now shown on sheet 1.
9. We concur.
10. a. We looked at the grades on the sidewalks mentioned in the comment and have revised the elevation on the sidewalk in front of unit 2. Units 1 and 8 reflect a grade

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May 4, 2018
415 Maplewood response letter

difference of .1 feet in 5 feet of sidewalk which represents 2%. We did not modify those grades.

10. b. The concrete hatching has been removed.
11. a. We have added a detail of the grass paver to sheet 18. Additionally we show a sign restricting access to emergency vehicles and two bollards and a chain across the access. We will provide whatever the township needs in place of or in addition too our suggested delineation and restrictions.
- b. We have added snow disposal areas to the plan and note 16 dealing with snow removal.
- ci. We revised the truck turning plans on sheets 15 and 16. The plan shows the trucks entering from both directions in the existing directional appropriate lanes.
- cii. See comment above.
- ciii. We have added sheet 16 that shows sanitation trucks.
- Civ. The turn around proposed between lots 2 and 3 was made slightly larger so that the fire truck can make the turn around maneuver in one movement.
12. We have added the depressed curb detail to sheet 10.

General Comments

1. We have added sign details on sheet 18 and a description of each sign to sheet 1.
2. The relocated utility pole will have 1.5' of clearance. The graphics on the plan show the pole larger than it will be so it can be seen.
3. A No Parking sign has been added to the turnaround as requested.
4. See note 15 on sheet 1.

I believe we have addressed all of your concerns within this submission. If you have any questions or need any additional information please contact me.

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.



Andrew Eberwein
Project Manager
Cc David Sermerjian



MEMORANDUM

Date: April 25, 2018

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue 2016-SD-10
Preliminary Subdivision Plan Review #4
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a ten (10) unit residential townhouse development at 415 Maplewood Avenue. The Applicant proposes to remove two (2) existing dwelling units, construct five (5) residential buildings consisting of a total of ten (10) townhouse units, and terminate Central Avenue near Highland Avenue on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue from a modified existing private access identified as Central Avenue.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 16 sheets, dated June 30, 2016, last revised April 11, 2018.
2. Response letter prepared by Edward B. Walsh & Associates, Inc., dated April 12, 2018.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-27.A(5) – Dead-end streets shall be prohibited, except as stubs to permit future street extension into adjoining tracts or when designed as cul-de-sac. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. In addition, we recommend signage to adequately identify the Maplewood and Highland Avenue intersections with Central Avenue are not through streets.

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2. §255-27.A(6) – Stub streets greater in length than one lot width shall be provided with a turnaround designed to meet the standards required for cul-de-sac and shall be provided with sufficient rights-of-way to permit future extension of the street into the adjacent property. The application creates two Central Avenue dead-end streets by eliminating the continuous connection to both Highland Avenue and Maplewood Avenue. Both roadway terminations of Central Avenue require a cul-de-sac end treatment. In addition, we recommend signage to adequately identify the Maplewood and Highland Avenue intersections with Central Avenue are not through streets.
3. §255-27.C(1) Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. **The Applicant is requesting a waiver from this requirement.**
4. 255-27.E(1) – No more than five lots may be permitted to front on a private street. The Applicant indicates that the plan is designed as condominiums with one proposed lot. Although the HOA will maintain the overall property outside the residential structures, each residential unit structure will be individually owned and is considered an individual lot with a tax map parcel number. We defer to the Township Solicitor regarding this comment.
5. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and is **requesting a waiver from this section.**
6. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. **The Applicant is requesting a waiver from this requirement.**
7. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets. The Applicant is providing 15 foot radii and is requesting a waiver from this requirement. Whether the waiver is accepted or not, the Applicant must provide turning templates for the largest anticipated vehicle (minimally a sanitation truck) demonstrating the vehicle can safely enter, exit and navigate through the site without encroaching beyond the centerline of the roadways.
8. §255-28 – The Applicant shall revise the preliminary and final plans to label the available and required sight distance for the terminus of the access street to Maplewood Avenue in accordance with this section. The sight distance was not provided as indicated in the response letter.
9. §255-29 – We note that the driveway provided for dwelling lot 8 does not have sufficient length to park two vehicles in the driveway.
10. §255-37.F - The Applicant shall address the following comments regarding ADA compliant ramps for pedestrian crossings on driveways at the Central Avenue intersection with Maplewood Avenue and the sidewalk along Central Avenue:
 - a. Sheet 7 of 16: Verify that all sidewalks have a maximum 2.00% cross slope. The spot elevations at Lots 1, 2 and 8 appear to exceed the 2.00% maximum.

- b. Sheet 14 of 16: Remove the extra concrete hatch shown on the northern end of the Type 4 perpendicular ramp adjacent to the sidewalk and flare. This area is intended to be grass and should be shown as such.
11. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience.
 - a. Provide a detail for the proposed grass pavers at the emergency access. In addition, the Applicant shall discuss this comment further with the Township Code Official as to the Township preference for deterring motorists from using this emergency access..
 - b. The applicant shall revise the plans to indicate the location(s) for snow disposal.
 - c. The Applicant shall demonstrate through truck turning templates that adequate onsite circulation for the identified vehicles is provided. Revise the truck turning template as follows:
 - i. The fire truck should be shown turning into the site from the appropriate lane along Maplewood Avenue.
 - ii. All movements should be shown entering and exiting the site. Currently the plans only show the left-in movement and should be revised accordingly.
 - iii. Provide turning maneuvers for a sanitation truck in addition to the fire truck templates shown.
 - iv. The truck turn-around maneuver should be shown as one movement, approaching and departing the turn-around point. It appears the stall size between lots 2 and 3 may need to be increased.
12. §255-40.E (1) – Driveway details for each unit shall be provided to include the grade as well as the width. We were unable to verify the proposed curb reveal for the depressed curb at all driveways. Additional grading elevations or a detail should be provided ensuring that the curb height does not exceed 1 ½ inches along the length of the depressed curb. See PennDOT Publication RC-64M for further guidance

C. GENERAL COMMENTS

1. Provide details, including size, for all proposed signage. Although the response letter indicates sign details were provide in this submission; no sign details were provided on the plans.
2. Verify that the relocated utility pole will have a minimum 1½ foot horizontal clearance between the face of curb and the utility pole.
3. Include a NO PARKING sign to deter motorists from parking in the emergency turnaround area between Lots 2 and 3.
4. We recommend the Township require the Applicant include a note on the plans indicating that garages may not be converted into living spaces so as to avoid a reduction in the number of parking spaces.

..18

Chris and Chad Welsh
503 Maplewood Avenue
Wayne, PA 19087



Dear *Kevin*:

We, the residents of Maplewood Avenue and Highland Avenue, are sending you a copy of a neighborhood meeting held last Monday night to discuss the pending construction of townhomes at 415 Maplewood Avenue.

Our minutes reflect our concerns regarding this project. We feel it is important for you to know that we intend on staying actively involved with this project going forward. Several of us within the closest proximity to 415 have stayed informed since the project was initially brought to the township. But many neighbors have not ever received one letter informing them of meetings about the project. More importantly, the builder, Mr. Smerjian was asked to meet with neighbors months ago and has not made any effort to do so.

The minutes from the meeting address all of the issues we feel need to be addressed and the questions that we feel remain unanswered. After you've had a chance to review them, we hope you will contact us to set up a meeting with the builder so that we can continue the discussion and keep all of the neighbors on Maplewood and Highland "in the loop".

Sincerely,

Chris Welsh

**Proposed Townhome Development at 415 Maplewood Avenue
Minutes from Neighbors Meeting - March 26, 2018 - At the home of Chris & Chad Welsh 503 Maplewood Ave.**

In attendance:

Chris and Chad Welsh: 503 Maplewood Avenue
Leslie Clifton and Paul Leufkens: 414 Maplewood Avenue
Ann and Bill Higgins: 411 Maplewood Avenue
Agnes Whyte: 505 Maplewood Avenue
Lou Londrillo: 257 Highland Avenue
Bob and Denise Bryan: 265 Highland Avenue
Greg Hunger: 255 Highland Avenue
Lisa Horstmann: 263 Highland Avenue
Betty Phillips (Brown) 255 Highland Avenue
Brittany Pierce: 311 Maplewood Avenue

At the March 5, 2018 Planning Commission Meeting, plans for the townhome development were discussed, and the Commission approved the plans, with a few changes/additional requirements, by a 5-4 vote. The Commissioners mentioned that, at a previous meeting, they had asked Mr. D'Antonio, the owner of the property, and Mr. Semerjian, the builder, to hold a meeting with neighbors to discuss concerns and answer questions. The Commissioners seemed concerned that neither Mr. D'Antonio nor Mr. Semerjian have arranged this meeting, and neighbors have many concerns and feel left "out of the loop." Neighbors decided to hold a meeting to discuss questions and concerns regarding the proposed townhome development.

- 1. The status of the road through the property at 415 Maplewood:** At a previous Planning Commission meeting, residents objected to the property owner's claim that the road through the property was his "private" road. The residents at the Highland end of that road had been using the roadway for years, and they are in possession of deed granting them the rights to use it in perpetuity. At the March 5, 2018 Planning Commission meeting, the issue was raised, and residents were informed that the owner or builder had gone to court and obtained a judgment, called an "Order of Quiet Title" to have the road deemed as "private." At the meeting, the roadway was referred to as a "private driveway" or "private cart way." Residents with houses on this road were never given notice of the hearing, and therefore did not attend and could not raise an objection. Because of this ruling, the residents have lost the right to park on the roadway in front of their houses. They will lose property and landscaping that was theirs to use, and that they maintained, for years. The builder said the homeowners will still be permitted to drive down the roadway to access their homes and then park in their own driveways. The Commissioners stated that the only recourse for those neighbors at this point is for them to *hire their own attorney*. This raises several questions: Why weren't neighbors notified so they could attend the hearing? Why should they be expected to pay for an attorney when the builder and possibly the township deprived them of their due process? Can the homeowners drive the whole length of the driveway, using both the Highland and Maplewood entrances, as they have in the past?
- 2. Water run-off from the site:** We would like further clarification on storm water issues. The builder assured everyone at the meeting that his water management plans will be sufficient. Residents are concerned there may still be a run-off issue, particularly down the slope to the right of the driveway on Maplewood, an area that will not be served by a retention basin or by the underground pipe-field. This is a special concern if the retaining wall on Maplewood is removed and in the event of heavy downpours. Also, the plan to discharge the overflow pipe from the pipe-field at a location above the Art Center driveway could cause a flooding problem there. Run-off already flows down Maplewood Avenue (where there are no storm sewers) and collects down near the Art Center, where it creates flooding, ice, and erosion issues.

3. **Parking:** Parking is a huge concern for residents on Maplewood and Highland Avenues. The builder has provided only 3 “visitor” spaces on site, and parking will not be allowed on the development’s driveway. The builder claims that two cars can fit in each garage and two cars on each house’s driveway. We believe this is not realistic. Units 2, 3, and 8 can’t fit two cars in their driveways under the current configuration. The townhomes’ garages and garage doors are too narrow to realistically fit two vehicles of the type typically driven by local residents. Overflow parking would end up on Highland and Maplewood, which already suffer from congestion, impaired visibility, and traffic flow problems with the current amount of parking. The builder has suggested that only older people and young, childless professionals will be buying these townhomes, so a lot of parking will not be needed. But the townhome community is not going to be age-restricted, so the builder cannot control who purchases the homes. Suggestions: The builder should turn the 3-space on-site lot into 4 spaces and ensure they are kept available for visitors, rather than occupied by residents’ vehicles. The builder should try to find space on-site for additional parking for a few more cars. Residents would like to meet with the township traffic and safety manager to discuss other possibilities, such as rules or permits to limit use of some street parking to homeowners on Maplewood and Highland Avenues and their guests. Perhaps the development’s driveway could be designated one way, and parking allowed on one side. We would like to request a meeting with township officials to further discuss these issues.
4. **Access for large trucks and emergency vehicles:** Residents are concerned that Maplewood and Highland Avenue entry-ways to the development will not have the space needed by large trucks and emergency equipment to turn in and out of the townhome development (especially when cars are parked on the street). Also, the Maplewood Avenue entry slope is too steep, and large vehicles bottom out on it. The builder says the streets and the development driveway are wide enough for trucks and emergency vehicles to get in and out, although he said he would widen the entry-ways. A variance was already given to him, so he can build the driveway narrower than code. According to the National Fire Code, structures as tall as these townhomes need to be accessible by an aerial platform fire truck. Residents question whether the two entry-ways to the site can accommodate the approximately 50-ft. radius curve that such equipment needs. At the meeting, it was stated that the Fire Commissioner is the final arbiter on this. Residents would like confirmation from the township that emergency equipment and large trucks will be able to get in and out of the townhome site, even when vehicles are parked on the street. We do not want vehicles driving over our lawns to get in or out of the townhouse site, and we do not want to find out after the development is built that we can no longer park in front of our properties because emergency vehicles can’t get in and out.
5. **Lighting:** We have been told that all lighting on the townhouse site will be from 5 or 6 down-facing LED spots, the light will not leave the property, and that there will be no additional street lighting or illuminated signage on Maplewood or Highland. We would like to know how many total lumens of light will be emitted by the development’s lights.
6. **Snow Removal:** Residents are concerned about where snow from the townhouse site will be dumped. At the meeting, the Commissioners said they want the builder to identify where the snow will be dumped on the site. Residents would like confirmation that adequate provision has been made for snow from the development to be dumped on the development’s site.
7. **Aesthetics:** The builder has not shown residents what the proposed houses and retaining walls will look like. We are concerned about the aesthetics of the townhome property, as it will dominate the view from many of our homes and it will also affect our property values. What material is going to be used for the townhome siding, for example? (Cement board should be used, not vinyl siding.) Regarding retaining walls: The current wall and hedge that front on Maplewood Ave. interfere with visibility of cars exiting the driveway. If the current wall is removed, a new retaining wall should be built to decrease run-off from that slope, but the wall would need to be moved back inside the front yard setback, and it should not exceed a

height of 2 feet. What material would it be built of? What material will the wall be along the existing properties located on the Highland end of the townhome driveway?

8. **Water and sewer:** Will the sewer be private on-site or hooked in to the township sewer system? We want to make sure that the sewer system has adequate capacity for the proposed new townhomes. Also, will the township maintain the sewer lines? Residents of Maplewood and Highland do not want to end up with a sewage problem because of the townhomes. Also, we are concerned about being assessed to build increased sewer capacity if the builder's proposed system is inadequate. Is there adequate water service to maintain water pressure in the existing neighborhood homes?
9. **Park land requirement:** The documents handed out at the Planning Commission meeting state that the builder must provide on-site park and recreation land, or money, to the township. For the 10 properties, the builder is required to provide 1,140 square feet of park land *per dwelling* or he must pay \$3,307 per dwelling unit. Which has he done? We do not see park and recreation land on the plans. If he intends to build it, can people who do not live in the townhomes (area residents) use it for recreation and/or trail access? If the builder opted to pay the fee, has he paid it, and will it be used to make improvements for our neighborhood?
10. **Homeowners' Association rules:** At the Planning Commission meeting, the Commissioners told the builder to include a stipulation in the Homeowners' contract that garages not be turned into living spaces. The residents would like to request that the following additional prohibitions also be included in the Homeowners' contract: No professional offices in homes (as that would create additional traffic and would result in a need for more parking); no repaving of private driveways with impervious surfaces such as asphalt, pavers set in concrete, or concrete; no parking of boats, RVs, or trailers on site or on the street, and no parking of residents' vehicles in the on-site "public" parking spaces (which would prevent visitors from parking on-site). Patios and decks should not be permitted to be expanded, which would create more area of impervious surface.
11. **Landscaping and buffer zones:** At the Planning Commission meeting, there was discussion about the need for an 8-foot-wide buffer zone with landscape plantings required under zoning laws wherever a new development abuts existing residential properties. The buffer zone is not on the builder's current plans, and the design does not leave room for it. Neighbors with properties abutting the new townhome development would like clarification about this.
12. **Adequate financing to complete the project:** Residents would like assurance from the township that the builder has adequate funding and ability to complete the entire construction process within a reasonable timeframe. Several nearby developments have not been completed in a timely fashion due to issues such as this, which has impacted neighborhood aesthetics, safety, and property values.
13. **Construction Process:** We would like to request that entry/exit of construction vehicles, and construction itself, be limited to the hours between 7:00 a.m. and 5:00 PM on weekdays, and that no weekend or holiday construction be permitted. We would also like to request that the driveway be made *one way* for construction vehicles, with entry at one end of the driveway and exit at the other, so that construction traffic and noise are equitably divided between Maplewood and Highland Avenues. Furthermore, the property owners at 503 Maplewood have specific concerns about precautions being taken to protect their house and property during construction, as their property abuts 501 Maplewood, where the existing house will be torn down and where the groundwater "pipe-field" is going to be constructed.
14. **Meetings:** The residents of Maplewood Avenue and Highland Avenue are requesting to be notified in a timely manner of all meetings, going forward, regarding this project.

The concerns discussed at the neighbors' meeting on March 26, 2018 will be presented to officials of Radnor Township for their consideration and response. We will try to arrange meetings with township officials to discuss our concerns. As new information about the project is learned, Maplewood and Highland Avenue neighbors will be notified. Another neighbors' meeting will be arranged, if needed. Please contact Chris Welsh (chris@secret-ingredient.com , 610-322-3160) or Leslie Clifton (lesliec414@gmail.com , 610-639-3222) if you have questions or additional concerns.

Respectfully,

Chris & Leslie



EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

April 12, 2018

Roger Phillips, P.E. /Patricia Kaufman
Gannett Fleming
P.O. Box 80794
Valley Forge, Pa. 19484

Dear Roger and Patricia;

As you aware we received a recommendation for approval from the Radnor Township Planning Commission for the 10 unit 415 Maplewood Road Development plan. The recommendation was a one vote differential approval and many of the neighbors were present and not in favor of the plan because of its modification to the access on Highland Avenue. Since that meeting we have reevaluated the plan and my client has advised me to make modifications to the plan eliminating the continuation out to Highland Avenue and therefore eliminating many of the neighbors concerns and issues. The plan that we are submitting now is substantially the same plan with the exception of the Highland Avenue link. In order to make this work we shifted the location of units 1 and 2 and the access to those units to the Northwest; rotated the orientation of units 3 and 4 and designed an emergency Vehicle turn around between until 2 and three. The plan allows for the movement of Radnor Fire trucks into and out of the development and as an added protection we are proposing a 12' wide emergency access off of the existing Private Street. This allows the project to be autonomous form Highland Avenue and allows those residents utilizing the existing private street to do in the exact manor that they are today. We have added additional Landscaping along the adjacent highland Avenue residences and continue that buffer along that entire side of the new project.

Along with theses revisions we have made revisions to the plans in accordance with your February 27, 2018 review letter and the Gilmore Associates February 16, 2018 review Memorandum. The following letter will help you follow those revisions. Its enumeration will follow those of the two cited letters.

Gannett Fleming Letter

Sewage Facilities Planning

1. We concur that Radnor Township will not issue Final approval until we receive Planning Module approval. To that end the modules have been submitted to the Municipalities, Municipal Authorities and agencies that are required to sign off on the modules. That process is currently on going.

Zoning

1. We have amended the zoning table on sheet one to include a column for the existing conditions.
2. We reviewed the impervious cover reduction information with the zoning officer prior to submission and received concurrence from him that the reductions relative to impervious coverage were acceptable. Stormwater management has been designed without the reductions. This item has not changed.
3. The wall that was being proposed along the access to Highland Avenue has been removed.

Subdivision

1-4. These comments are referencing the waiver requests. We are not sure if they are still necessary but we have left them on the plan.

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5. The access to Maplewood Avenue has been increased to 25' and is labeled on the plan.
6. We concur and if the township takes ownership of the sewer system we will create the necessary easements. At this time we have been informed that it is going to be privately owned.
7. Commentary. The lighting plan has only been changed to remove the lights along the access to Highland Avenue.
8. The Landscape plan has been adjusted to include additional trees and to address this comment.
9. A truck turning plan has been added to the plan set showing that a Radnor fire truck can maneuver through the proposed driveway. We have added signs restricting parking along the driveway.
10. We believe that the driveways are being constructed in accordance with the Township standards. The standard requires stable and dust free.
11. The buffer screen has been expanded and modified to comply with this comment. The adjacent land uses have been labeled on the landscape plan and an aerial plan is provided as sheet 4 of the plan set.
12. See note 13 on sheet 1.
13. The plan shows the proposed water main and fire hydrants. We believe their spacing to be compliant with the National Fire Protection Association. However if the Fire Marshal wants them adjusted we make the necessary adjustments. To date we have not received a review from the Fire Marshal.

Stormwater

1. The Unit hydrographs for the 1 year storm have been included in the revised calculations.
2. The Chart on sheet 7 and the calculations have been adjusted for consistency.
3. The water main crossings have been added to the profiles as necessary.
4. The drainage area plans have been modified to remove the extra drainage lines.
5. The drainage area plans have been made consistent with the calculations.
6. We revised the calculation for WQV to be consistent as requested.
7. Additional area has been added to infiltration system 1 and it has been increased in size so that we can infiltrate the additional volume to comply with the volume credits for trees.
8. We have submitted stormwater calculations with this submission that we believe demonstrate compliance with the Stormwater Ordinance. These calculations will be submitted with all subsequent grading permit submissions and final plan submission.

Sanitary Sewer

1. The Sanitary sewer has been modified to include the two Radnor specific details and any erroneous references to other municipalities have been removed from the remaining details.
2. We are not sure if it has been fully determined if the township will be the owner of the sewer system. If it is determined that they will own it, we will add the easement.
3. We have made an effort to keep the trees as far away from the laterals and sewer lines as possible and made every effort to maintain a minimum separation of 5'. Additionally we have added a note directing the contractor to maintain that separation if possible.

Gilmore & Associates

Subdivision

1. A waiver has been requested.
2. The plan is designed as a condominium and there is only one lot proposed. Additionally they access is via a private driveway.
3. A waiver has been requested.
4. A waiver has been requested.
5. We have modified the development driveway to comply with the geometric difference.
6. The Highland Avenue access and wall is no longer proposed.
7. There are no longer any intrusions with the sight triangle as the Highland Avenue access and wall is no longer proposed.
8. A waiver has been requested.
9. The sight distances are provided on sheet 4.
10. The plan has been revised to show additional spot grades and an expanded leveling area on the Maplewood ramps depicted on sheet 7. We have also added the Penn dot type 4 ramp detail to the plan set. The ramps on Highland Avenue are no longer necessary as the access through to Highland has been removed.
11. A fire truck movement plan is part of the plan set. The developments driveway has No Parking signs placed on both sides.

April 12, 2018
415 Maplewood response letter

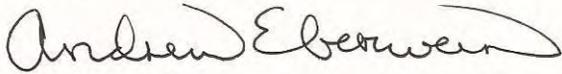
12. We have added driveway details to sheet 14.

General Comments

1. We have added sign details to the plan set.
2. Only one pole is proposed to be relocated along Maplewood Avenue and we have added a label to that pole and shown its new location.
3. a. In accordance with our conversation, the internal pavers are concrete pavers and not brick. We have modified the labels accordingly.
b. The centerline and R.O.W of Maplewood Avenue have been added to the profile.

I believe we have addressed all of your concerns within this submission. If you have any questions or need any additional information please contact me.

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.



Andrew Eberwein
Project Manager
Cc David Sermerjian



DELAWARE COUNTY PLANNING DEPARTMENT

COURT HOUSE/GOVERNMENT CENTER
201 W. Front St. Media, PA 19063

COUNCIL

JOHN F. McBLAIN
CHAIRMAN

COLLEEN P. MORRONE
VICE CHAIRMAN

MICHAEL F. CULP
KEVIN M. MADDEN
BRIAN F. ZIDEK

Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063
Phone: (610) 891-5200 FAX: (610) 891-5203
E-mail: planning_department@co.delaware.pa.us

LINDA E. HILL
DIRECTOR

March 6, 2018

Robert A. Zienkowski, Manager
Radnor Township
301 Iven Avenue
Wayne, PA 19087

RE: Act 537 Review
415 Maplewood Avenue
Radnor Township
1-23013-256-3J

Dear Mr. Zienkowski:

The Delaware County Planning Department (DCPD) has completed its review of the planning module for 415 Maplewood Avenue. The proposed plan calls for the replacement of two single-family dwellings and two commercial buildings with 10 duplex dwellings on an approximately 2.7-acre site. The project will raze and replace the existing uses, which currently utilize public sewer to dispose of 3 EDU's of sewage. The new development is expected to generate 2,625 gallons per day (GPD), or 10 EDU's of wastewater to be disposed of via a connection to public sewer and treated at the Philadelphia Southwest Water Pollution Control Facility. This is a net increase in flow of 7 EDU's or 1,837.50 GPD.

Because of a self-imposed connection management plan set in place by Springfield Township for the RHM Springfield Township sewer service area, no connections are being allowed that will require flow through Springfield Township. A separate approval will be needed from Springfield Township as long as this limit on connections is in place. The development will connect to public sewer after these connection issues are resolved and planning approval is obtained by DEP.

Understanding this, DCPD has no objection to the proposed method of wastewater disposal. Enclosed is the completed DEP Component 4B County Planning Agency Review Form. If you have any questions or require additional information, please do not hesitate to contact me at (610) 891-5214.

Sincerely,

Steven R. Beckley, AICP
Senior Planner

Enclosures: (1) Completed DEP Review Form

cc: PA Department of Environmental Protection
Scott J. Andress, Edward B. Walsh and Associates, Inc.
David Semerjian, David Semerjian Builders





**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
(or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name
415 Maplewood Avenue

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

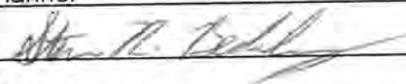
1. Date plan received by county planning agency January 18, 2018
2. Date plan received by planning agency with areawide jurisdiction Not applicable
Agency name _____
3. Date review completed by agency March 6, 2018

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i>)? <i>Delaware County 2035 was adopted on November 27, 2013. Responses to #2, #3, #4, & #5 are based on this plan.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use? _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan? _____
If no, describe goals and objectives that are not met _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?
If no, describe inconsistencies: _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands? <i>Response based on information contained in the National Wetlands Inventory Maps and review of the site development plan.</i>
If yes, describe impact _____ |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project? <i>Response based on information contained in the Delaware County Preservation Planning files and documents.</i>
If yes, describe impacts <u>One building to be demolished appears of local significance. See additional comments.</u> |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? <i>Response based on information from the Natural Heritage Inventory of Delaware County.</i>
If yes, describe impacts _____ |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? |

If no, describe inconsistencies Not applicable

SECTION C. AGENCY REVIEW (continued)

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	11. Have all applicable zoning approvals been obtained? <u>Unknown, subject to municipal approval.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	12. Is there a county or areawide subdivision and land development ordinance? <i>The Delaware County Subdivision & Land Development Ordinance is used by some, but not all municipalities. It is <u>not</u> applicable to this municipality.</i>
<input type="checkbox"/>	<input type="checkbox"/>	13. Does this proposal meet the requirements of the ordinance? <u>Not applicable</u> If no, describe which requirements are not met _____
<input checked="" type="checkbox"/>	<input type="checkbox"/>	14. Is this proposal consistent with the municipal Official Sewage Facilities Plan? If no, describe inconsistency _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? If yes, describe _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision? _____
<input type="checkbox"/>	<input type="checkbox"/>	If yes, is the proposed waiver consistent with applicable ordinances. If no, describe the inconsistencies <u>Not applicable</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	17. Does the county have a stormwater management plan as required by the Stormwater Management Act? <i>Only for the Ridley, Chester, Darby, and Crum Creek watersheds. This project is located in the <u>Darby Creek watershed.</u></i>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	If yes, will this project plan require the implementation of storm water management measures?
18. Name, Title and signature of person completing this section:		
Name: <u>Steven R. Beckley, AICP</u>		
Title: <u>Senior Planner</u>		
Signature: 		
Date: <u>March 6, 2018</u>		
Name of County or Areawide Planning Agency: <u>Delaware County Planning Department</u>		
Address: <u>Court House & Government Center, 201 W. Front Street, Media, PA 19063</u>		
Telephone Number: <u>610-891-5214</u>		

SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)

This component does not limit county planning agencies from making additional comments concerning the relevancy of the proposed plan to other plans or ordinances. If additional comments are needed, attach additional sheets.

The county planning agency must complete this component within 60 days.
This component and any additional comments are to be returned to the applicant.

Comments begin on the next page.

Section C.7 Will any known historical or archeological resources be impacted by this project? Response based on information contained in the Delaware County Preservation Planning files and documents.

The proposed development will occur in a zone that has a low potential for underground archaeological resources. Plans are to demolish two single family dwellings and a series of attached commercial/garage units. One of the homes is a Colonial Revival home that is stucco with a stone foundation, built in 1934, according to the County Tax Assessor's Database. It appears of local significance and though it is not on the Radnor Historic Resource Survey, may have been an overlooked addition. The second dwelling unit is a smaller stucco bungalow, and is attached to a long series of garage units. It does not appear of historic significance, although some of the garage units do appear to meet the age criteria for being considered historic. No National Register-eligible or listed resources will be affected by this development.



*Excellence Delivered **As Promised***

Date: February 27, 2018

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department
Ray Daly – Radnor Township Codes Official
Steve Gabriel - Rettew

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016
90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 10 town houses on the site. This project is located in the R-5 district of the Township. The proposed development includes the private road Central Avenue. The deeds for the properties refer to Central Avenue as a Private Road and “together with the free and common use, right, liberty, and privilege of the above referred to 40 feet wide private road, with ingress and egress of same at all time hereafter forever in common with the owners, tenants and occupiers of the other lots bounding thereon.

The applicant has indicated on the plans that the following waivers are being requested:

- §255-27.C(1) – To maintain the existing condition right-of-way and cartway for Highland and Maplewood Avenues.
- §255-27.E(2) – To allow a 24’ wide cartway for the internal drive.
- §255-27.F(2)(a) – To permit centerline radius less than 150’ as the access is a private driveway to be owned and maintained by the homeowners association.
- §255-27.H(6) – To permit the proposed radii of 15’ as the proposed drive is not a local street.



Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 01/29/2018

Sewage Facilities Planning

- I. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

Zoning

1. A zoning table provided on the plans must indicate the existing zoning information for the existing properties.
2. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The plans indicate that the total impervious provided is 36% with using a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage.
3. §280-109.A – No fence or wall, except for retaining walls or the walls of a building as permitted under the terms of this chapter, shall exceed a height of six feet, provided further that within R-4 and R-5 Districts, no fence or wall erected within the required front yard setback. The applicant has indicated that they are not designing the proposed wall and a detail will be provided prior to construction for review.

Subdivision and Land Development

1. §255-27.C(1) – Maplewood Avenue is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. The applicant has provided right-of-way 25 feet from the centerline of Maplewood Avenue. The existing legal right of way along Highland Avenue is 50 feet. The applicant is requesting a waiver from this requirement.
2. §255-27.E(2) – The private street shall have a right-of-way width and a horizontal and vertical alignment consistent of the requirements for public streets. The applicant has requested a waiver to this requirement, but it does not appear to be applicable since this is not considered a private street.

3. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves for local collector streets and courts shall be 150 feet. The applicant has requested a waiver to this requirement, but it does not appear to be applicable since this is not considered a private street.
4. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. The applicant has indicated a 15-foot curb radii on the plans. The applicant is requesting a waiver from this requirement, but it does not appear to be applicable since this is not considered a private street.
5. §255-29.A(12)(b) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. This must be revised or a waiver must be requested.
6. §255-35 – If the sanitary sewer system is to be dedicated to the Township, an easement in accordance with this section must be provided.
7. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. The applicant has provided 6 street lights along the proposed driveway. There is no additional lighting proposed at the intersection of Highland or Maplewood.
8. §255-38.H – All street trees provided on the plans must be in accordance with this section. There are trees listed on sheet 12 of the plans that are not listed in this section. This must be revised or a waiver requested. Additionally, the number of trees provided must clearly be indicated. There are 51 Street Trees, 17 Canopy Trees and 24 Evergreen Trees required according to code. The plan also indicates that there are 53 total replacement trees. The total number of plans provided in the evergreen and deciduous planting schedules is 100 total trees. An explanation must be provided.
9. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. This must be reviewed and approved by the Township Code Official/Fire Marshall. Significant concern exists as to the ability to access the proposed houses from the single driveway. Additionally, on street parking is prohibited along the private driveway.
10. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards. The applicant is intending to utilize pavers for the driveways.
11. §255-42.A – Buffer screens are required between subdivisions and land developments and along existing streets to soften visual impact, to screen glare and to create a visual barrier between conflicting land use. Information regarding the adjacent land uses must be provided on the landscape plan.

12. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
13. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

Stormwater

1. Applicant must provide unit hydrographs for the 1-year storm event for both POI #1 and POI #2.
2. The volume to be infiltrated or permanently removed listed in the BMP Information Table on Sheet 7 does not match the Stormwater BMP Information Chart on page 136 of the stormwater report. This discrepancy must be revised.
3. The applicant must show the water line crossings on the stormwater profiles on Sheet 10, specifically between Inlets #3 and #4, Inlets #1 and #2, and between Bed #3 and the level spreader.
4. The Post-Developed Drainage Area Plan appears to have extra drainage area boundary lines. Drainage area to Bed #3 POI #2 appears to be broken into parts. Please remove excess boundary lines such as the one running from the corner of the townhome south to the drainage boundary, the line running along the centerline of the road, and the pre-development boundary line running along the southern property line.
5. The Post-Development Drainage Area Plan calls out drainage area for Bed #3 POI #2 as 1.37 acres in contrast with the 1.42 acres used in the stormwater report. This discrepancy must be revised.
6. We note that the applicant is using 1.36 acres with 0.55 impervious to Bed #3 in the water quality volume calculation; however, the stormwater report shows 1.42 acres with 0.56 impervious to Bed #3. This discrepancy must be revised.
7. There is no volume credit is given for tree replacement. The net 2-year and water quality volume must be provided by the dead storage volume and the volume infiltrated.

Steve Norcini
415 Maplewood Avenue
February 27, 2018

8. Stormwater calculations demonstrating that the requirements of the stormwater ordinance must be submitted as part of the Final Plan submission. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

Sanitary Sewer

1. The sanitary sewer details provided are not applicable to Radnor Township.
2. Will the sanitary sewers be dedicated to the Township? If so, a sanitary sewer easement must be provided.
3. All plantings must be a minimum of 5 feet away from the proposed sanitary sewer laterals. There are numerous locations where there are trees proposed less than 5 feet.

Should the Planning Commission consider recommending approval of this project, we suggest that the recommendation be conditioned on requiring the applicant to satisfactorily address the above comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: February 16, 2018

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue
Preliminary Subdivision Plan Review #3
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a ten (10) unit residential townhouse development at 415 Maplewood Avenue. The Applicant proposes to remove two (2) existing dwelling units and construct five (5) residential buildings consisting of a total of ten (10) townhouse units on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue and Highland Avenue from a modified existing private access.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 16 sheets, dated June 30, 2016, last revised January 29, 2018.
2. Response letter prepared for Gannett Fleming, prepared by Edward B. Walsh & Associates, Inc., dated January 30, 2018.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-27.C(1) – Highland Avenue and Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. **The Applicant is requesting a waiver from this requirement** to maintain the existing right-of-way and cartway widths along Highland and Maplewood Avenues.

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2. §255-27.E(1) – No more than five lots may be permitted to front on a private street. To consider more than five permitted lots, **a waiver must be requested.**
3. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and is **requesting a waiver from this section.**
4. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. **The Applicant is requesting a waiver from this requirement.**
5. §255-27.G(4) – Verify that the grade differences between the access street at its intersection with both Highland Avenue and Maplewood Avenue are not greater than an 8% algebraic difference. Label the existing cross slopes on the roadway profile for Highland Avenue and Maple Avenue to demonstrate compliance. Although the response letter by the Applicant indicates the design was verified to comply with this section, it appears the algebraic grade difference between Maplewood Avenue and the proposed road exceeds the allowable 8% algebraic difference.
6. §255-27.H(3) - The plans shall include additional details of the proposed wall at the Highland Avenue access and identify the material, foundation and height including sufficient information to indicate the maximum height of the wall and the design will not obstruct sight distance visibility. The Applicant's engineer indicates the wall design will be submitted for review by others; however, the wall design must be submitted within the plan set for review.
7. §255-27.H(3) – No structure, fence or planting shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Verify that all existing and proposed trees will not obstruct visibility at the Maplewood Avenue and Highland Avenue accesses and the proposed wall adjacent to the Highland Avenue access will not obstruct motorists' visibility for the Highland Avenue access. It appears the wall exceeds a height of two (2) feet within the clear sight triangle.
8. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets. The Applicant is providing 15 foot radii and is **requesting a waiver from this requirement.** Whether the waiver is accepted or not, the the Applicant must provide turning templates for the largest anticipated vehicle (minimally a sanitation truck) demonstrating the vehicle can safely enter, exit and navigate through the site without encroaching beyond the centerline of the roadways.
9. §255-28 – The Applicant shall revise the preliminary and final plans to label the available and required sight distance for the terminus of the access street to Maplewood Avenue and Highland Avenue in accordance with this section.
10. §255-37.F - The Applicant should revise the following comments regarding ADA complaint ramps for pedestrian crossings on driveways at the Central Avenue intersections with Maplewood Avenue and Highland Avenue and the sidewalk along Central Avenue :
 - a. Sheet 7 of 16:
 - Verify that all sidewalks have a maximum 2.00% cross slope. The spot elevations at Lot 6 and Lot 8 appear to exceed the 2.00% maximum.

- Verify the sidewalk grade in front of Lot 9. The spot elevations (467.75 and 467.67) are noted considerably higher than the surrounding grades.
 - b. Sheet 14 of 16: Label the ramp types (i.e. Type 1) to be installed on the 1"=10' details sheet and include details for a Type 4 ramp
 - c. Provide a minimum 4'x4' turning area where the sidewalk changes direction for both proposed ramps at Highland Avenue.
 - d. The slope across the length of the DWS must be constant to ensure the DWS will not be warped during installation. Revise the western Highland Avenue ramp to provide a continuous slope over the DWS.
 - e. Provide additional spot elevations for all points where the proposed sidewalk meets the existing grade/sidewalk. In addition, it appears multiple elevation points are missing at the corners of the proposed DWS'.
 - f. The eastern ramp at Maplewood Avenue does not appear to maintain a minimum 4'x4' landing area at the back of the ramp; verify and dimension all landing areas
 - g. Label all proposed to existing sidewalk tie-in points along Maplewood Avenue and Highland Avenue on the Grading Plan
11. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The Applicant shall demonstrate through truck turning templates that adequate onsite circulation for the identified vehicles is provided. The Fire Marshall must also review turning templates to evaluate and determine the need for parking restrictions. The Applicant is proposing no parking on the south side of the roadway; however, the truck turning templates appear to conflict with parking on the north side of the roadway. Revise the truck turning plan and/or the no parking signage accordingly.
12. §255-40.E (1) – Driveway details for each unit shall be provided to include the grade as well as the width and length of all driveways with particular attention to the driveway width at the street access.

C. GENERAL COMMENTS

1. Provide details, including size, for all proposed signage.
2. Clearly label relocated utility poles and note the proposed relocation on both the preliminary plan sheet (sheet 1) and the grading plan sheet (sheet 6).
3. Sheet 10 of 16:
 - a. The internal driveway cross section detail appears to include a brick paver walkway and a 4' concrete sidewalk; update the detail to identify an ADA compliant sidewalk. Brick pavers are not ADA compliant.
 - b. Revise the profile for the proposed road to identify the centerline and right-of-way line for both Maplewood Avenue and Highland Avenue. Include the existing cross slopes of both Maplewood Avenue and Highland Avenue at their intersections with Central Avenue.



EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

January 30, 2018

Patricia Kaufman
Gannett Fleming
P.O. Box 80794
Valley Forge, Pa. 19484

Dear Patricia;

We have revised the 415 Maplewood Avenue plans in accordance with several meetings that we had with Radnor's staff and consultants, the Gilmore & Associates December 22, 2017 and the Gannett Fleming January 3, 2018 review letters. The meetings were held to discuss several issues including the impervious cover, private driveway width, driveway material and stormwater. The outcome of those meetings as we understand it was that the Radnor staff would support the following:

- a. 24' wide driveway with the radii that we show tying into the existing street in the same location as the existing private driveway.
- b. The ultimate R.O.W. width for Maplewood and highland would be acceptable as depicted on the plans.
- c. We could utilize brick pavers with the pervious voids as we have proposed for the driveways and sidewalk for the calculation of impervious cover for zoning provided we included the entire area as impervious in the stormwater calculations.
- d. We would adhere to the 36% impervious cover and would reduce the number of units to 10 to accomplish that.

These items are now memorialized on the plans through waiver requests.

With those items being highlighted we offer the following to accompany the re-submission. This letter's enumeration follows that of your consultants review letter.

Gannett Fleming Letter

Sewage Facilities Planning

1. we concur that Radnor township will not issue Final approval until we receive Planning Module approval. To that end the modules have been submitted to the Municipalities, Municipal Authorities and agencies that are required to sign off on the modules. That process is currently on going.

Zoning

1. We have added a comprehensive zoning table to sheet one indicating the items specified in the ordinance.
2. The minimum room sizes have been added to the table on sheet 1.
3. We reviewed the impervious cover reduction information with the zoning officer prior to submission and received concurrence from him that the reductions relative to impervious coverage were acceptable. Stormwater management has been designed without the reductions.
4. We modified the impervious cover calculations to be consistent as requested.
5. The information and plant calculations for the 10' buffer yards have been added to the landscape plans.
6. The parking calculations have been clarified to included two parking spaces per unit in the garage. Additionally we moved the unit back to permit a space for parking a car in the front of the units within the

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driveway on all units that we could. This will allow at least every unit to have a parking space within the driveway for one car in case part of the garage was utilized for storage and not parking.

7. Additional grades have been added to the proposed wall defining the elevations of the top and bottom of wall. We are not designing the proposed wall and a detail will be provided prior to construction for review and approval.

Subdivision

1. We have specified the zoning district on sheet 1 above the zoning table and added the extents of the zoning district and surrounding districts boundary to the location map.
2. An aerial photo with the development superimposed on it has been added to the plan set to provide the adjoining property information.
3. The lighting plan has been modified to show and label all the proposed lights more clearly. We have not proposed any additional lighting at the intersections as both intersections are existing and Highland and Maplewood Avenues have existing street lights located along them.
4. The water availability letter is attached hereto.
5. in accordance with the meetings with staff we have requested a waiver for the provision of additional R.O.W.
6. We do not believe this section will apply if the waiver to the R.O.W. is granted.
7. A waiver request has been added to sheet one requesting a waiver of the internal drive width and radii connections to the existing roads.
8. Three additional off street parking spaces have been added to comply with this requirement.
9. The internal driveway width dimension label has been corrected.
10. We concur and if the township takes ownership of the sewer system we will create the necessary easements.
11. The street tree calculation has been adjusted on the landscape plan and additional trees have been added as required.
12. Tree species have been modified to comply with eth list.
13. A truck turning plan has been added to the plan set showing that a fire truck can maneuver through the proposed driveway. We have added signs restricting parking along the driveway.
14. See comment three above.
15. Dimensions have been added to all unit driveways.
16. The developer wishes to utilize pavers for the driveway. We believe that the pavers meet the intent of the ordinance and provide a stable dust free access as required.
17. The Landscape plan has been mofoified to address all required buffers.
18. See note 13 on sheet 1.
19. The plan shows the proposed water main and fire hydrants. We believe their spacing to be compliant with the National Fire Protection Association. However if the Fire Marshal wants them adjusted we make the necessary adjustments. To date we have not received a review from the Fire Marshal.

Stormwater

1. The stormwater profiles have been modified to show all crossings.
2. The stormwater calculations and pipe storage design has been modified to provide the necessary storage for the rate reduction. The flow chart on page 2 has been modified accordingly.
3. The flow chart and the calculations have been adjusted for constancy.
4. We modified the drainage labels on the post development drainage plan as necessary.
5. The requested modification has been made.
6. The composite CN's have been adjusted so that they are consistent.
7. we revised the calculation for WQV as requested.
8. The site is comprised of one soil type. That soil type is listed on sheet 6 and 7.
9. The engineer's certification of compliance to the Radnor Stormwater Management Ordinance has been added to sheet 8.
10. We have submitted stormwater calculations with this submission that we believe demonstrate compliance with the Stormwater Ordinance. These calculations will be submitted with all subsequent grading permit submissions and final plan submission.

Sanitary Sewer

1. The Sanitary sewer manhole numbers have been added to the plan sheet 6.
2. The sewer profiles have been adjusted so that a minimum cover of 5' is provided on all the sewer lines.
3. We have added sanitary details to the plans.
4. All utility crossing have been added to the profiles.

- 5 The sewer lateral has been adjusted so that they are not located within the unit's driveway.
6. The existing sewer in Maplewood Avenue has been added to the plans.
7. We are not sure if it has been fully determined if the township will be the owner of the sewer system. If it is determined that they will own it, we will add the easement.
8. We have made an effort to keep the trees as far away from the laterals and sewer lines as possible and made every effort to maintain a minimum separation of 5'. Additionally we have added a note directing the contractor to maintain that separation if possible.

General

1. The signature block has been revised.
2. The Title plan has been revised to reflect the new parking total.
3. Revised.
4. Completed.
5. Grass pavers have been removed from the legend.
6. Trash and mail will be picked up and delivered at each unit.
7. The Highland and Maplewood intersection is shown on sheet 4.

Gilmore & Associates

Subdivision

1. An Aerial photograph plan with our project superimposed on it has been added to the plan set to show the existing features within 500'.
2. A waiver has been requested.
3. A waiver has been requested.
4. We have added a cross-section and paving spec for the internal drive.
5. A waiver has been requested.
6. We have verified the geometric difference and the design complies.
7. Additional elevations have been added to grading plan. We are not designing the wall so details of the wall will need to be submitted for review and approval by others.
8. Both access points are existing and we do not have the authority to alter vegetation on an adjoining property. We have added the Penn DOT mandated sight distance and the available sight distance to the plan. The sight distance to the left at the Highland Avenue access does not meet the Penn DOT required sight distance due to the geometry of the existing roadway. We believe that the use of the driveway is acceptable because it is existing and has been in continual use for both Commercial and residential access. We can add driveway ahead signs along Highland to warn motorists of the driveway if the township desires to provide additional warning to motorists.
9. A waiver has been requested.
10. See comment 8 above.
11. A typical sidewalk detail has been added.
12. We have added ADA compliant ramps to the driveway intersection. Additional grading detail has been added to the unit driveways and the plan depicts continuous sidewalk across the driveways.
13. A fire truck movement plan has been added to the plan set. The internal driveway will be have restricted parking.
14. Driveway dimensions have been added to the site plan and a detail has been added to the detail sheet.

General Comments

1. A sidewalk detail has been added.
2. Signs are depicted on the title plan.
3. The dimensional inconstancy has been removed. The cartway is 24'.

I believe we have addressed all of you consultants concerns within this submission. If you have any questions or need any additional information please contact me.

January 30, 2018
415 Maplewood response letter

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.

A handwritten signature in black ink, appearing to read "Andrew Eberwein". The signature is fluid and cursive, with a long horizontal stroke at the end.

Andrew Eberwein
Project Manager
Cc David Sermerjian



Gannett Fleming

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Date: January 3, 2018

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department
Ray Daly – Radnor Township Codes Official
Steve Gabriel - Rettew

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016

90 Day Review: October 3, 2016, extended indefinitely

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 10 town houses on the site. This project is located in the R-5 district of the Township. The proposed development includes the private road Central Avenue. The deeds for the properties refer to Central Avenue as a Private Road and “together with the free and common use, right, liberty, and privilege of the above referred to 40 feet wide private road, with ingress and egress of same at all time hereafter forever in common with the owners, tenants and occupiers of the other lots bounding thereon.

Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.

Dated: 12/8/2014 and last revised 11/28/2017

Sewage Facilities Planning

- I. Final plan approval will not be granted until Planning Approval is received from the PA DEP.



Zoning

1. A zoning table must be provided on the plans that indicates the existing and proposed zoning information. This table must include all information specified in §280-35.B.1 through §280-35.B.10.
2. §280-35.B(6) – The minimum rooms sizes as identified in this section must be indicated on the plans.
3. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The applicant is proposing 36% impervious coverage, but is taking a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage.
4. §280-35.B(9) – The proposed impervious calculations on the bottom of sheet 1 appear to be calculated incorrectly. This must be revised and be consistent with the calculations shown on the top of sheet 1. The calculations provided on sheet 2 must also be revised.
5. §280-36.B – Along each side or rear property line which directly abuts a residence area not devoted to apartment use in the district or in an adjoining district or municipality, a buffer planting strip, as defined in §280-4B, of not less than 10 feet in width must be provided. Information regarding the planting calculation for the buffer strip must be provided on the landscape plan.
6. §280-103.B(1) – Two parking spaces must be provided for each dwelling plus additional parking in accordance with §255-29.A(20). The applicant has indicated on the plans that 32 parking spaces are being provided. The applicant must indicate where the parking spaces are to be provided and the spaces must be dimensioned on the plan. In accordance with §280-4.B. a parking space shall measure not less than nine feet six inches by 20 feet.
7. §280-109.A – No fence or wall, except for retaining walls or the walls of a building as permitted under the terms of this chapter, shall exceed a height of six feet, provided further that within R-4 and R-5 Districts, no fence or wall erected within the required front yard setback. The plans indicate that the bottom of the wall and the top of the wall will be 262.00 at the end and 7 feet to the west the top of the wall will be 461.60 and the bottom of the wall will be 461.00. Please provide a detail of the proposed wall along with accurate elevations.

Subdivision and Land Development

1. §255-20.B(1)(d)[1] – The applicable zoning district and district boundaries must be shown on the plans.



2. §255-20.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroad and other significant man-made features within 500 feet of and within the site (this includes properties across street) must be shown on the site plan or a waiver requested. Additionally, the houses located along the existing Central Ave near Highland Avenue must be shown on the plans. The applicant has indicated a waiver would be requested for this requirement.
3. §255-20.B(1)(o)[8] – The location of all street lights must be shown on the lighting plan. The plan indicates that 6 lights will be provided, but we are unable to locate them on the plans.
4. §255-20.B(6)(b) – A letter indicating the availability of central water supply from the appropriate utility must be provided.
5. §255-27.C(1) – Maplewood Avenue is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. The applicant has provided right-of-way 25 feet from the centerline of Maplewood Avenue. The existing legal right of way along Highland Avenue is 50 feet.
6. §255-27.C(4) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of right-of-way to conform to the standards above.
7. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. The applicant has indicated a 15-foot curb radii on the plans. This must be revised or a waiver requested.
8. §255-29.A(20) – Where semi-attached, attached or multiple dwellings are proposed and where private garages or driveways are proposed to be used to meet the off-street parking requirements, one parking space per four dwelling units of overflow off-street parking shall be provided.
9. The applicant has indicated that the driveway width provided is 24 feet. The plan has the driveway width dimension as 22 feet. This must be revised.
10. §255-35 – If the sanitary sewer system is to be dedicated to the Township, an easement in accordance with this section must be provided.
11. §255-38.B – Street trees 2 ½ inches dbh at intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. The street trees calculations indicate 1 tree for every 40

feet. This must be revised. The applicant should verify the length of Maplewood Ave and the new driveway included in the calculations.

12. §255-38.H – All street trees provided on the plans must be in accordance with this section. There are trees listed on sheet 11 of the plans that are not listed in this section. This must be revised or a waiver requested.
13. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. This must be reviewed and approved by the Township Code Official/Fire Marshall. Significant concern exists as to the ability to access the proposed houses from the single driveway. Additionally, on street parking is prohibited along the private driveway.
14. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. Lighting along the private access drive and at the intersections with Maplewood and Highland must be shown on the lighting plan.
15. §255-40.E(1) – Driveways shall be provided on the site where necessary for convenient access to dwelling units, garage compounds, parking areas, service entrances of buildings, collection of refuse and all other necessary services. The dimensions of all the individual driveways must be shown on the plans.
16. §255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards.
17. §255-42.A – Buffer screens are required between subdivisions and land developments and along existing streets to soften visual impact, to screen glare and to create a visual barrier between conflicting land use. Buffer screens must be provided in accordance with this section. Information regarding the adjacent land uses provided and buffer calculations must be provided on the landscape plan.
18. §255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).
19. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.



Stormwater

1. The applicant must update the stormwater management profiles on Sheet 9 of 12 to include the sanitary sewer crossings.
2. The 2-year post-development runoff rate exceeds the 1-year pre-development runoff rate for both POI #1 and POI #2. Please revise the stormwater management system to meet the rate control requirements as listed in Table 408.1 in §245-25(A)(1)(b).
3. Please revise the Total Post to POI #2 in the Flow Chart on page 2 to be consistent with the peak discharges as shown in the hydrograph reports.
4. The labels on the Post-Developed Drainage Area Plan do not appear to correspond with the drainage areas outlined on the plan for POI #1 and Bed #3 POI #2. Please revise the drainage area map to clearly show the boundaries for each BMP post-development drainage area.
5. The total pre-development drainage area shown on the map and used in the stormwater hydrographs is 2.71 acres whereas the total post-development drainage area shown on the map and used in the stormwater hydrographs is 2.66 acres. The pre- and post-development drainage areas need to be revised to be the same acreage.
6. The composite CN's for Hyd. No. 7 – Bed #1 POI #2 (page 17), Hyd. No. 12 – Bed #2 PIO #2 (page 22), and Hyd. No. 20 - Bypass (page 30) do not have matching areas in the formulas. Please revise so that the areas are consistent.
7. §245-23(D)(1) - The following calculation formula is to be used to determine the water quality storage volume (WQ_v) in acre-feet of storage required by this chapter:
 $WQ_v = [(P)(R_v)(A)]/12$, where:
 WQ_v = Water quality volume (acre-feet)
 P = 1 inch
 A = Area of the project contributing to the water quality BMP (acres)
 R_v = $0.05 + 0.009(I)$ where I is the percent of the area that is impervious surface
 $[(\text{impervious area}/A) \times 100]$
It appears the applicant used the total area evaluated for the stormwater report. Please revise “A” to be only the area contributing to the stormwater management system and “I” to be the percent impervious area within that subarea. Please note that in the R_v equation, “I” is multiplied by 100 and not use as the decimal version of percentage.
8. §245-13(B)(6) – Soil names and boundaries not shown.



9. §245-13(B)(23) – Statement by engineer about drainage plan meeting Radnor Township Stormwater Management Ordinance not included.
10. Stormwater calculations demonstrating that the requirements of the stormwater ordinance must be submitted as part of the Final Plan submission. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

Sanitary Sewer

1. The proposed sanitary sewer MH numbers must be shown on the utility plan.
2. The minimum coverage for sanitary sewers must be 5 feet. There is less than 5 feet of coverage between MH 3-MH 4 and MH 4-MH 5.
3. Sanitary sewer details must be provided.
4. All utility crossings must be shown on the sanitary sewer profile.
5. Sanitary sewer laterals should not be located in driveways.
6. The existing sanitary sewer must be shown on Maplewood Road.
7. Will the sanitary sewers be dedicated to the Township? If so, a sanitary sewer easement must be provided.
8. All plantings must be a minimum of 5 feet away from the proposed sanitary sewer laterals.

General

1. The signature blocks on the cover sheet indicates that Radnor Township is in Chester County. This must be revised to indicate Delaware County.
2. The cover sheet indicates that 32 parking spaces will be provided. This must be verified and updated if necessary.
3. The site date provided on sheet must be revised to represent the proposed site conditions.
4. Landscape note #4 must be revised to indicate Township instead of Borough.

Steve Norcini
415 Maplewood Avenue
January 3, 2018

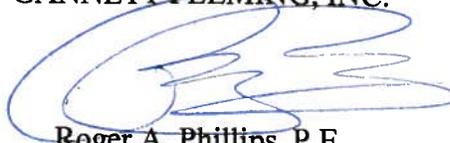
5. The legend indicates proposed grass pavers. If these are no longer proposed for this project, this should be removed from the legend. Also, the reference to the grass pavers on sheet 1 below the impervious calculations must be removed.
6. The applicant should indicate how mail service and trash collection will be provided.
7. The intersection of Highland Avenue and Maplewood Avenue must be shown on the plans.

Should the Planning Commission consider recommending approval of this project, we suggest that the recommendation be conditioned on requiring the applicant to satisfactorily address the above comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: December 22, 2017

To: Steve Norcini, P.E.
Radnor Township Engineer

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: John Rice, Esq., Grim Biehn & Thatcher
Peter Nelson, Esq., Grim Biehn & Thatcher
Roger Phillips, P.E., Senior Associate, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue
Preliminary Subdivision Plan Review #2
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a ten (10) unit residential townhouse development at 415 Maplewood Avenue. The applicant proposes to remove two (2) existing dwelling units and construct five (5) residential buildings consisting of a total of ten (10) townhouse units on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue and Highland Avenue from a modified existing private access.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 12 sheets, dated June 30, 2016, last revised November 28, 2017.
2. Response letter prepared for Gannett Fleming, prepared by Edward B. Walsh & Associates, Inc., dated December 6, 2017.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-20.B(1)(n) and/or 21.B(1)(n) – Site plan shall show existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site. The Applicant indicates they will request a waiver from this section.

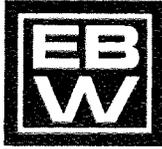
2. §255-27.C(1) – Highland Avenue and Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section; Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan. The Applicant shall comply with this section or a waiver is required.
3. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards. The Applicant is proposing a twenty-four (24) foot cartway and indicates they will request a waiver from this section.
4. §255-27.E(3) - Provide a typical section and pavement detail for the proposed roadway.
5. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. All centerline radii for the access street are shown at less than the required 150 feet. The Applicant shall comply with this section or a waiver is required.
6. §255-27.G(4) – Verify that the grade differences between the access street at its intersection with both Highland Avenue and Maplewood Avenue are not greater than an 8% algebraic difference. Label the existing cross slopes of Highland Avenue and Maple Avenue to demonstrate compliance.
7. §255-27.H(3) - The plans shall include additional details of the proposed wall at the Highland Avenue access and identify the material, foundation and height. Provide sufficient information to indicate the maximum height of the wall and verify the design will not obstruct sight distance visibility.
8. §255-27.H(3) – No structure, fence or planting shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Verify that all existing and proposed trees will not obstruct visibility at the Maplewood Avenue and Highland Avenue accesses and the proposed wall adjacent to the Highland Avenue access will not obstruct motorists' visibility for the Highland Avenue access.
9. §255-27.H(6) –The minimum curb radii provided at street intersections shall be 25 feet for local streets.
10. §255-28 – The Applicant shall revise the plans to label the available and required sight distance for the terminus of the access street to Maplewood Avenue and Highland Avenue in accordance with this section.
11. §255-37.I - The plans shall be revised to provide a typical detail for the proposed sidewalk to include the thickness and construction materials for the sidewalk.
12. §255-37.F - The applicant is to provide ADA complaint ramps with detailed grading for pedestrian crossings on driveways at the Central Avenue intersections with

Maplewood Avenue and Highland Avenue. Additionally, detailed grading information should be provided to show continuous sidewalks across all driveways along Central Avenue.

13. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The Applicant shall demonstrate through truck turning templates that adequate onsite circulation for the identified vehicles is provided. The Fire Marshall should also review turning templates to evaluate and determine the need for parking restrictions. Parking restrictions to one side or both sides of the streets may be necessary.
14. §255-40.E (1) – Driveway details for each unit shall be provided to include the grade as well as the width and length of all driveways with particular attention to the width at the street access.

C. GENERAL COMMENTS

1. The plans should be revised to provide a typical detail for the proposed sidewalk to include the thickness and construction materials for the sidewalk.
2. The plans should include a pavement marking and signage sheet; at a minimum, stop signs should be proposed on Central Avenue at the intersection with both Highland Avenue and Maplewood Avenue.
3. The plans show inconsistency regarding the 22-foot dimension for the roadway cartway width near Sta 2+90. Verify the cartway width is a consistent 24 foot width and update all cartway width dimensions accordingly.



EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

December 6, 2017

Patricia Kaufman
Gannett Fleming
P.O. Box 80794
Valley Forge, Pa. 19484

Dear Patricia;

We have revised the 415 Maplewood avenue plans in accordance with several meetings that we had with Radnor's staff and consultants. These meetings were held to discuss several issues including the impervious cover, private driveway width, driveway material and stormwater. The outcome of those meetings as we understand it was that the Radnor staff would support the following:

- a. 24' wide driveway with the radii that we show tying into the existing street in the same location as the existing private driveway.
- b. The ultimate R.O.W. width for Maplewood and highland would be acceptable as depicted on the plans.
- c. We could utilize brick pavers with the pervious voids as we have proposed for the driveways and sidewalk for the calculation of impervious cover for zoning provided we included the entire area as impervious in the stormwater calculations.
- d. we would adhere to the 36% impervious cover and would reduce the number of units to 10 to accomplish that.

I am not sure how these items are to be memorialized on the plans. We can add any notes or waivers that are necessary.

With those items being highlighted we offer the following to accompany the re-submission. This letter's enumeration follows that of your August 30, 2016 review letter.

Zoning

1. The minimum room sizes will be provided by others.
2. We believe we now comply.
- 3-5. The overflow parking spaces have been removed. We have a two car garage for each unit that will provide the parking required.
6. We have added top of wall and bottom of wall elevations to the proposed wall. It will be well under 2' in height.

Subdivision

1. The plan label has been changed to preliminary.
2. The zoning data is on the plan.
3. We are going to request a waiver of the requirement to provide significant and topographic information within 500 feet.
4. We have added a lighting plan.
5. We will provide the water availability letter once we receive it.
6. Per the meetings with staff we believe the R.O.W. shown is acceptable.
7. We believe what is shown is acceptable.

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Established 1985

8. The parking spaces have been eliminated.
9. the plan is proposing private driveway and we do not believe street trees are required.
10. We agree and ask do we submit to the Fire Marshall for review or is that done by the Township.
11. We added alighting plan.
12. N/A.
13. As discussed we believe that the driveways are acceptable as designed.
14. This is an item between our client and the township.
15. We have added a lighting plan.
16. We concur and await the Fire Marshall's review.

Stormwater

We have revised the stormwater system in accordance with you review comments. The two infiltration systems, beds 1 and 2, as well as the rate control bed 3 system have been redesigned as all pipe storage systems.

Sanitary Sewer

1. The Sanitary sewer manhole numbers will be added to the plan.
2. The existing features that are to removed have been taken off the plan.
3. The minimum cover will be 5' on all the sewer lines.
4. We will add the sanitary details but we are not sure if the township has a specific set of details that they require. If there are specific Radnor Township Sanitary details could you send them to us or let us know where we can obtain them.
5. We believe that all the storm crossings are shown on the profile. We will add the water line crossing once the main extension plan is approved.
6. We are not sure if it has been fully determined if the township will be the owner of the sewer system. If it is determined that they will own it, we will add the easement.

General

1. We did not revise the signature block and will do so on the next submission.
2. The Title plan has been revised to reflect the new parking total.
3. Revised.
4. No revision needed.
5. We revised the tree protection fence detail.
6. Revised.

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.



Andrew Eberwein
Project Manager
Cc David Sermerjian



EDWARD B. WALSH & ASSOCIATES, INC.
Complete Civil Engineering Design / Consultation Services
Lionville Professional Center
125 Dowlin Forge Road
Exton, PA 19341

November 29, 2016

Radnor Township Commissioners
301 Iven Avenue
Wayne, Pa. 19087

Dear Township Commissioner Members;

Edward B. Walsh and Associates, Inc. authorized by and acting as agents for Mr. David Sermerjian hereby grants the Commissioners of the Township of Radnor an indefinite extension to the statutory review period decision date for the Land Development plan of 415 Maplewood Avenue.

Very truly yours,
EDWARD B. WALSH & ASSOC., INC.

Andrew Eberwein
Project Manager
Cc David Sermerjian



Gannett Fleming

Excellence Delivered *As Promised*

Date: August 30, 2016

To: Radnor Township Planning Commission

From: Roger Phillips, PE

cc: Stephen Norcini, P.E. – Director of Public Works
Kevin W. Kochanski, RLA, CZO – Director of Community Development
Peter Nelson, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Suzan Jones – Radnor Township Engineering Department
William Miller – Radnor Township Codes Official
Ray Daly – Radnor Township Codes Official
Steve Gabriel - Rettew

RE: 415 Maplewood Avenue – Preliminary Subdivision Plan
David Semerjian Builders – Applicant

Date Accepted: July 5, 2016
90 Day Review: October 3, 2016

Gannett Fleming, Inc. has completed a review of the Preliminary Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate parcels and construct 12 town houses on the site. This project is located in the R-5 district of the Township. The proposed development includes the private road Central Avenue. The deeds for the properties refer to Central Avenue as a Private Road and “together with the free and common use, right, liberty, and privilege of the above referred to 40 feet wide private road, with ingress and egress of same at all time hereafter forever in common with the owners, tenants and occupiers of the other lots bounding thereon.

Preliminary Subdivision Plans – 415 Maplewood Avenue

Plans Prepared By: Edward B. Walsh & Associates, Inc.
Dated: 12/8/2014 and last revised 04/10/2015

I. Zoning

1. §280-35.B(6) – The minimum rooms sizes as identified in this section must be indicated on the plans.



2. §280-35.B(9) – The maximum impervious surfaces allowed for this project is 36%. The applicant is proposing 36% impervious coverage, but is taking a porosity reduction. Without the reduction, the applicant is above the maximum allowable impervious coverage. Also, should the overflow parking spaces be paved as required, the impervious coverage will be above the required limit.
3. §280-35.B(9) – The applicant must include the 6 overflow parking spaces that are proposed to be grass pavers in the impervious calculations. Overflow parking must be constructed in accordance with the Township standards or a variance requested.
4. §280-103.B(1) – Two parking spaces must be provided for each dwelling. The applicant must indicate where the two parking spaces are to be provided and the spaces must be dimensioned on the plan. There does not appear to be adequate driveway access for Lot #3 and lot #4.
5. §280-103.B(1) – Parking spaces must be surfaced with a Township approved durable, dustproof and all-weather surface as defined in §280-4.
6. §280-109.A – No fence or wall, except for retaining walls or the walls of a building as permitted under the terms of this chapter, shall exceed a height of six feet, provided further that within R-4 and R-5 Districts, no fence or wall erected within the required front yard setback. Information must be provided for the proposed wall near Highland Avenue.

II. Subdivision and Land Development

1. §255-12.A – This plan was submitted as preliminary/final. Since this plan is a Land Development plan, Preliminary and Final submissions must be made.
2. §255-20.B(1)(d)[1] – The applicable zoning district and district boundaries must be shown on the plans.
3. §255-20.B(1)(n) – Existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroad and other significant man-made features within 500 feet of and within the site (this includes properties across street) must be shown on the site plan or a waiver requested. Additionally, the houses located along the existing Central Ave near Highland Avenue must be shown on the plans.
4. §255-20.B(1)(o)[8] – The location of all street lights must be shown on the proposed layout plan.

5. §255-20.B(6)(b) – A letter indicating the availability of central water supply from the appropriate utility must be provided.
6. §255-27.C(1) – Maplewood Avenue Road is classified as a Minor Collection Road. The required right of way is 60 feet and the required cartway is 36 feet. Highland Avenue is a local road. The required right of way is 60 feet and the required cartway is 28 feet. Curbing and sidewalks must be provided. Additional right of way is required along Highland Avenue.
7. §255-27.H(6) – Minimum curb radii at street intersections shall be 25 feet for local streets, 30 feet for collectors; 35 feet for arterials and 10 feet for driveways. This must be shown on the plans.
8. §255-29.A(1) – Parking space dimensions must be provided on the plans. Also the degree of angle of the overflow parking spaces must be shown on the plans.
9. §255-38.B – Street trees must be provided for the access along Highland Avenue.
10. §255-40.C(2) – Access and circulation for fire-fighting and their emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. This must be reviewed and approved by the Township Code Official/Fire Marshall. Significant concern exists as to the ability to access the proposed houses from the single driveway. Additionally, on street parking is prohibited along the private driveway.
11. §255-37.E – Sidewalks and pedestrian paths shall be adequately lighted, if required by the Board of Commissioners. Lighting along the private access drive and at the intersections with Maplewood and Highland must be provided.
12. §255-40.E(1) – Driveways shall be provided on the site where necessary for convenient access to dwelling units, garage compounds, parking areas, service entrances of buildings, collection of refuse and all other necessary services. The driveways to unit 3 and 4 do not look adequate for access to the dwelling units.
13. 255-40.E(3) – All driveways shall be paved and constructed in accordance with Township Standards.
14. 255-43.1.B(1) – For all residential subdivisions or land developments involving a total of four or more lots and/or dwelling units, a minimum of 1,440 square feet or suitable park and recreation land shall be provided per dwelling unit within such subdivision/land development, unless the developer agrees to a fee in lieu of \$3,307 per dwelling unit (existing or proposed).

15. §255-49 – Where appropriate, the developer shall install or cause to be at the developer’s expenses, metal or fiberglass pole streetlights.
16. §255-54.B – The central water system should be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specification of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

III. Stormwater

1. §245-18(F) – The applicant should consider an alternative method and location for the discharge of pipe storage bed #3.
2. §245-22(A).(1).(b) – The infiltration BMPs shall have an infiltration rate sufficient to accept the additional stormwater load and dewater completely as determined by field tests conducted by the applicant's design professional. The recharge bed does not appear to have had an infiltration test completed in the vicinity of the proposed BMP. Please clarify.
3. §245-23 (D) – Water Quality Requirements – The applicant has not provided supporting calculations or documentation demonstrating that the Water Quality volumes requirements have been met. The required water quality volume (WQ_v) is the storage capacity needed to capture and treat a portion of stormwater runoff from the developed areas of the site. Currently, the applicant has only provided information for the net two year volume approach.
4. §245-27.J – Underground stormwater management systems must be designed to store the two- through one-hundred-year storms within a pipe or other open system that will permit the inspection and maintenance of the system. The entire storm must be placed in the pipe (i.e., the stone bedding around the pipe is not to be included in the volume calculations). We note that the applicant is proposing to address stormwater management onsite utilizing infiltration beds and a recharge system. The stormwater report appears to show that the applicant is proposing to use stone void as part of the volume provided. This is not permitted. The applicant must provide an alternative was to handle the stormwater management onsite.
5. Please update the storm sewer profiles to include all utility crossings.
6. Stormwater calculations demonstrating that the requirements of the stormwater ordinance must be submitted as part of the Final Plan submission. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to

the size or location of the individual structures or other features will be addressed at that time.

IV. Sanitary Sewer

1. The proposed MH numbers must be shown on the utility plan.
2. The existing features that will be removed during construction must be removed from the grading and utility plan.
3. The minimum coverage for sanitary sewers must be 5 feet. There is less than 5 foot of coverage between MH 3-MH 4 and MH 4 – MH 5.
4. Sanitary sewer details must be provided.
5. All utility crossings must be shown on the sanitary sewer profile.
6. Will the sanitary sewers be dedicated to the Township? If so, a sanitary sewer easement must be provided.

V. General

1. The signature blocks on the cover sheet indicates that Radnor Township is in Chester County. This must be revised to indicate Delaware County.
2. The cover sheet indicates that 32 parking spaces will be provided. If 2 parking spaces are provided per dwelling unit, it appears than there are 30 parking spaces indicated on the plans. This must be verified and updated if necessary.
3. Landscape note #4 must be revised to indicate Township instead of Borough.
4. We have reviewed the sewage facilities planning module exemption form for the project. The name of the existing interceptor should be revised to be Skunk Hollow and not Windmere Avenue. Once this is revised the exemption form will be executed. Please note, that a full planning module submission will be required by the PA DEP due to CMP located downstream.
5. It appears the applicant has provided a tree protection detail that is inconsistent with Radnor Township's standard detail. Please use the Radnor Township standard tree protection detail which can be found on the Township's website.
6. It appears the bearing for 501 Maplewood is incorrect. It should be S28°40'00"E instead of S28°40'00"W. Please verify and correct.

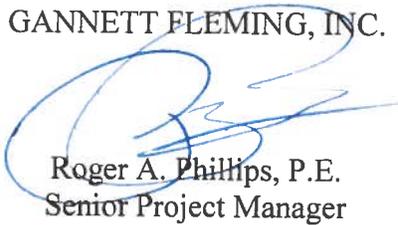
In addition to our review comments, a memorandum dated July 25, 2016 from Any Kaminski of Gilmore & Associates, Inc. the Township Traffic Engineer has been attached and is incorporated herein by reference.

Should the Planning Commission consider recommending approval of this project, we suggest that the recommendation be conditioned on requiring the applicant to satisfactorily address the above comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.

A handwritten signature in blue ink, appearing to read "R. Phillips", is written over the printed name and title.

Roger A. Phillips, P.E.
Senior Project Manager



MEMORANDUM

Date: July 25, 2016

To: Steve Norcini, P.E.
Radnor Township Public Works Director

From: Amy Kaminski, P.E., PTOE
Transportation Services Manager

cc: Kevin Kochanski, ASLA, R.L.A., Director of Community Development
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

Reference: Radnor Township – 415 Maplewood Avenue
Preliminary/Final Subdivision Plan Review #1
Radnor Township, Delaware County, PA
G&A 15-01021

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Preliminary/Final Subdivision Plan for a twelve (12) unit residential townhouse development at 415 Maplewood Avenue. The applicant proposes to remove two (2) existing dwelling units and construct four (4) residential buildings consisting of a total of twelve (12) townhouse units on a 2.17 acre parcel located in the R-5 Zoning District. The dwelling units will take access via Maplewood Avenue and Highland Avenue from a modified existing private access.

We offer the following discussion for Radnor Township consideration:

A. DOCUMENTS REVIEWED

1. Preliminary/Final Subdivision Plans for 415 Maplewood Avenue, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 10 sheets, dated June 30, 2016.
2. Drainage Area Plan, prepared for David Semerjian Builders, prepared by Edward B. Walsh & Associates, Inc., consisting of 2 sheets, dated June 30, 2016.
3. Subdivision and Land Development Application Form.

B. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS

1. §255-20.B(1)(n) and/or 21.B(1)(n) – Site plan shall show existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site.

2. §255-27.C(1) – Highland Avenue and Maplewood Avenue shall be provided the required dimensional standards for local streets including a 60 foot right-of-way (30 foot half-width right-of-way), 28 foot cartway width (14 foot half-width) and include curbing and sidewalk along the site frontages. The cartway widths shown on the adjacent roadways do not meet the dimensional standards of this section, Maplewood Avenue requires curbing along the site frontage west of Central Avenue and sidewalks widths must be labeled on the plan.
3. §255-27.E(2) – The access street shall include a twenty-eight (28) foot cartway, sidewalk and curbing along the entire frontage. Although the access street is proposed as a private street; the design must meet Township public street standards.
4. §255-27.F(2)(a) – The minimum center-line radii for horizontal curves on local roadways shall be no less than 150 feet. All centerline radii for the access street are shown at less than the required 150 feet.
5. §255-27.G(4) – Verify that the grade differences between the access street at its intersection with Highland Avenue and Maplewood Avenue are not greater than an 8% algebraic difference. Label the existing cross slopes of Highland Avenue and Maple Avenue to demonstrate compliance.
6. §255-27.H(3) – No structure, fence or planting shall be maintained between a plane two feet above curb level and a plane seven feet above curb level so as to interfere with traffic visibility across the corner within that part of the required front, side or rear yard which is within the clear sight triangle. Verify that all existing and proposed trees will not obstruct visibility at the Maplewood Avenue and Highland Avenue accesses and the proposed wall adjacent to the Highland Avenue access will not obstruct visibility for the Highland Avenue access.
7. §255-27.H(6) – The Applicant shall revise the plans to label the curb radii for the accesses at Maplewood Avenue and Highland Avenue. The minimum curb radii provided at street intersections shall be 25 feet for local streets.
8. §255-28 – The Applicant shall revise the plans to label the available and required sight distance for the terminus of the access street to Maplewood Avenue and Highland Avenue in accordance with this section.
9. §255-40.C(2) – Access and circulation for fire-fighting and other emergency equipment, moving vans, fuel trucks, garbage collection, deliveries and snow removal shall be planned for efficient operation and convenience. The Applicant shall demonstrate through truck turning templates that adequate onsite circulation for the identified vehicles is provided.
10. §255-40.E (1) – Driveway details for each unit shall be provided to include the grade as well as the width and length of all driveways. Of particular concern is the driveway interaction for Unit 3 and 4. It appears there is insufficient width provided for Unit 3 at the street line.

C. GENERAL COMMENTS

1. The plans should be revised to show the existing/relocated utility pole located on the northeast corner of the Highland Avenue access. The Applicant should verify

its location and if the Highland Avenue access design will require the relocation of this utility pole.

2. The plans should be revised to provide a typical detail for the proposed sidewalk to include the thickness and construction materials for the sidewalk.
3. The applicant is to provide ADA complaint ramps with detailed grading for the pedestrian crossings the driveways at the Central Avenue intersections with Maplewood Avenue and Highland Avenue. Additionally, detailed grading information should be provided to show continuous sidewalk across all driveways along Central Avenue.
4. The plans should include a detail of the proposed wall at the Highland Avenue access and identify the material, foundation and height.
5. The plans should include a pavement marking and signage sheet; at a minimum, stop signs should be proposed on Central Avenue at the intersection with both Highland Avenue and Maplewood Avenue.
6. Consideration should be given to identify a centralized location for all mailboxes through coordination with the United States Postal Service regarding the configuration of mailboxes.



DELAWARE COUNTY PLANNING COMMISSION

COURT HOUSE/GOVERNMENT CENTER
201 W. Front St. Media, PA 19063

COUNCIL
MARIO J. CIVERA, JR. CHAIRMAN
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Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063
Phone: (610) 891-5200 FAX: (610) 891-5203
E-mail: planning_department@co.delaware.pa.us

PLANNING COMMISSION
WILLIAM C. PAYNE CHAIRMAN
THOMAS J. JUDGE VICE CHAIRMAN
KENNETH J. ZITARELLI SECRETARY
LINDA F. HILL DIRECTOR

August 18, 2016

Robert A. Zienkowski
Radnor Township
301 Iven Avenue
Wayne, PA 19087

RE: Name of Dev't: David Semerjian Builders
DCPD File No.: 34-7183-16
Developer: David Semerjian
Location: The north and south sides of Central Avenue
Recv'd in DCPD: July 11, 2016

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on August 18, 2016, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

[Handwritten signature of Linda F. Hill]

Linda F. Hill
Director

cc: David Semerjian
EB Walsh Associates, Inc.



DCPD

DELAWARE COUNTY PLANNING DEPARTMENT

Court House/ Government Center , 201 W. Front St., Media, PA 19063
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063
Phone: (610) 891-5200 FAX: (610) 891-5203
E-mail: planning_department@co.delaware.pa.us

Date: August 18, 2016
File No.: 34-7183-16

PLAN TITLE: David Semerjian Builders
DATE OF PLAN: December 8, 2014
OWNER OR AGENT: David Semerjian
LOCATION: North and south sides of Central Avenue
MUNICIPALITY: Radnor Township
TYPE OF REVIEW: Final subdivision
ZONING DISTRICT: R-5 Residential
SUBDIVISION ORDINANCE: Local
PROPOSAL: Subdivide 2.17 acres into 13 lots
UTILITIES: Public
RECOMMENDATIONS: Approval, contingent upon incorporating staff comments
STAFF REVIEW BY: Michael A. Leventry
REMARKS:

CURRENT PROPOSAL

The plan proposes to consolidate eight parcels and demolish three existing dwellings in order to develop twelve townhomes, a new private street, stormwater facilities, and associated parking.



Date: August 18, 2016
File No.: 34-7183-16

REMARKS (continued):

SITE CHARACTERISTICS

The site is bounded by single-family residences on all sides, with exception to the north where it is bounded by the Radnor Trail.

APPLICABLE ZONING

The proposal is located within the R-5 Residential district which is subject to applicable regulations set forth in the Township's zoning code.

NONCONFORMITIES

The site's existing dwellings do not appear to comply with the front and side yard setback regulations as established within the Township zoning code. Where §280-35 B(3) requires front yards to be not less than 50' in depth, and side yards to be not less than 30' in width, the existing parcels do not comply. However, said nonconformities will be cured as the noncompliant structures are to be demolished.

COMPLIANCE

The proposal appears to comply with the R-5 Residential district provisions pertaining to multiple dwellings.

SITE DESIGN

Street lights and trees are recommended for the private street. Care of said infrastructure should be addressed within the homeowners' association by-laws.

Consideration should be given to notching the street's central portion on the south side to add additional on-street parking. Pervious pavers should be used for all parking.

Date: August 18, 2016
File No.: 34-7183-16

REMARKS (continued):

It appears that Units 3 and 4 partially share a driveway. In order to proactively address parking and garage access conflicts, the plan and should delineate the shared area as "no parking" and the homeowners association bylaws, as well as the deeds for said units, should reference said restriction.

A passive pocket park that is designed to be low maintenance should be considered for the area between Unit 12 and Maplewood Avenue.

The applicant should consider providing a short trail connection from the property to the Radnor Trail, which runs adjacent to the property. The nearest pedestrian access points to the trail are from the Friends of the Radnor Trail Park off of West Wayne Avenue, approximately two blocks away, and from the Wayne Arts Center, which is accessible via the Maplewood Avenue underpass, which does not have a sidewalk.

ENVIRONMENTAL

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final plan approval.

STORMWATER MANAGEMENT

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

Date: August 18, 2016
File No.: 34-7183-16

REMARKS (continued):

HISTORICAL AND ARCHEOLOGICAL SIGNIFICANCE

The proposed development is on a site that has a low potential for underground archeological resources.

Two of the homes on the site are slated for demolition. While the dwellings may be of local significance, they are not listed on Radnor Townships Historic Sites Survey and do not appear to be National Register-eligible.

RECORDING

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



DELAWARE COUNTY PLANNING COMMISSION

COURT HOUSE/GOVERNMENT CENTER
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PLANNING COMMISSION

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VICE CHAIRMAN

JOHN P. McBLAIN
DAVID J. WHITE
MICHAEL F. CULP

July 27, 2016

Mr. Robert A. Zienkowski
Radnor Township
301 Iven Avenue
Wayne, PA 19087-5297

RE: Title: David Semerjian Builders
Applicant(s): Davide Semerjian
File Number: 34-7183-16
Meeting Date: 08/18/2016
Municipality: Radnor Township
Location: The north and south sides of Central Avenue
Received: 07/11/2016

Dear Mr. Zienkowski,

This is to acknowledge receipt of the above referenced application for review and report. The Commission has tentatively scheduled consideration of the application for its public meeting on the date shown above at 4:00 p.m. in the Government Center Building, (Room 100), Court House Complex, Media, PA. Attendance is not required but is welcomed. If you have any questions concerning this matter, please contact Dennis De Rosa at (610) 891-5222.

NOTE: In order to avoid processing delays, the DCPD file number shown above MUST be provided in any transactions with the county regarding this or future applications related to this location.

Very truly yours,


Linda F. Hill
Director

LFH/pmg

cc: Davide Semerjian

EB Walsh Associates, inc.



RADNOR TOWNSHIP
301 IVEN AVE
WAYNE PA 19087
P) 610 688-5600
F) 610 971-0450
WWW.RADNOR.COM

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property 415 MAPLEWOOD AVENUE WAYNE

Zoning District R-5

Application No. _____
(Twp. Use)

Fee _____

Ward No. _____

Is property in HARB District _____

Applicant: (Choose one) Owner _____

Equitable Owner

Name DAVID SEMERJIAN BUILDERS LLC

Address 2425 WHITE HORSE ROAD BERWYN PA 19312

Telephone (484) 437-5771 Fax (610) 695-0609 Cell (484) 437-5771

Email DAVID.SEMERJIAN@MEN.COM

Designer: (Choose one) Engineer

Surveyor _____

Name EDWARD B WALSH & ASSOCIATES INC

Address 125 DOWLIN FORGE ROAD EXTON PA 19341

Telephone (610) 903-0060 Fax (610) 903-0080

Email ANDYE@EBWALSHINC.COM

Area of property 94,581 sq Area of disturbance 33,230 sq

Number of proposed buildings (4) BUILDINGS Proposed use of property TOWNHOMES
TOTAL (12) UNITS

Number of proposed lots _____

Plan Status: Sketch Plan _____ Preliminary _____ Final Revised _____

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?
Explain the reason for noncompliance.

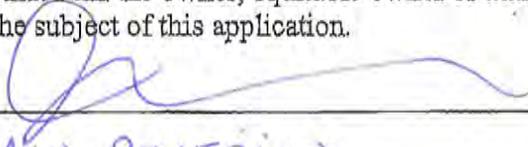
Are there any infringements of Chapter 280 (Zoning), and if so what and why?

Individual/Corporation/Partnership Name

DAVID SEMERJIAN BUILDERS LLC

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

DAVID SEMERJIAN

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name DAVID SEMERJIAN E-mail DAVIDSEMERJIAN@MSN.COM

Address 2425 WHITE HORSE ROAD BERWYNPA 19312 Phone 484-437-5771

Name of Development MARLENSOOD WALK

Municipality RADNOR TOWNSHIP

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm EB WALSKA ASSOC. INC Phone 610 903-0060

Address 125 DOWLIN FORBES ROAD ERTON PA 19341

Contact SCOTT ANDROSS or Andy FROMM SANDRESS@ebwaska.com

Table with 5 columns: Type of Review, Plan Status, Existing Utilities, Proposed Utilities, Environmental Characteristics. Includes checkboxes for Zoning Change, Land Development, Subdivision, PRD, Sketch, Preliminary, Final, Tentative, Public/Private Sewerage/Water, Wetlands, Floodplain, Steep Slopes.

Zoning District R-5

Handwritten tax map and folio numbers: 36-20-025-000, 36-20-026-001, 36-20-026-000, 36-20-061-000, 36-20-063-000, 36-20-064-000, 30-20-65 26 26 1, 64 63 61 25

STATEMENT OF INTENT

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

12 TOWNHOMES

Total Site Area 94,581 sq ft 2.17 Acres
 Size of All Existing Buildings 4% Square Feet
 Size of All Proposed Buildings 14,717 Square Feet
 Size of Buildings to be Demolished 1300 Square Feet

DAVID SEMERIAN (BULLERBUC)
Print Developer's Name

[Signature]
Developer's Signature

MUNICIPAL SECTION

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting August 1, 2016

Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Roger A. Phillips, PE Township Engineer
Print Name and Title of Designated Municipal Official

610-688-5600
Phone Number

[Signature]
Official's Signature

7/7/2016
Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.

1. Development Information

Name of Development David Semerjian Builders
 Developer Name David Semerjian Builders
 Address 2425 White Horse Road
Berwyn, PA 19312
 Telephone # 6106950444
 Email NA

2. Location of Development

a. County Delaware
 b. Municipality Radnor
 c. Address or Coordinates 415 Maplewood Avenue

 d. Tax Parcel # 30-20-65,26,26.1,64,63,61,25
 e. USGS Quad Name Valley Forge
 inches up 7 over 2.5
 from bottom right corner of map.
 f. Located in a High Quality/Exceptional Value watershed?
 Yes No

3. Type of Development Proposed (check appropriate box)

Residential Multi-Residential
 Describe 12 Unit Townhouse Development (site contains two existing Dwellings to be removed)
 Commercial Institutional
 Describe _____
 Brownfield Site Redevelopment
 Other (specify) _____

4. Size

a. # of lots 1 # of EDUs 10 new
 b. # of lots since 5/15/72 NA
 c. Development Acreage 2.17
 d. Remaining Acreage 0

5. Sewage Flows 2,625 gpd

6. Proposed Sewage Disposal Method (check applicable boxes)

a. Sewerage System
 Existing (connection only) New (extension)
 Public Private
 Pump Station(s)/Force Main Gravity
 Name of existing system being extended
Radnor Township
 Interceptor Name Windermere Ave
 Treatment Facility Name Philadelphia Southwest WWTP

 NPDES Permit # PA0026671
 b. Construction of Treatment Facility
 With Stream Discharge
 With Land Application (not including IRSIS)
 Other
 Repair?
 Name of waterbody where point of discharge is proposed (if stream discharge)

c. Onlot Sewage Disposal Systems (check appropriate box)
 Individual onlot system(s) (including IRSIS)
 Community onlot system
 Large-Volume onlot system
 d. Retaining tanks

Number of Holding Tanks _____
 Number of Privies _____

7. Request Sewage Facilities Planning Module forms in electronic format

8. Request for Planning Exemption

a. Protection of rare, endangered or threatened species
 Check one:
 The "PNDI Project Environmental Review Receipt" is attached. or
 A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning exemption will be considered incomplete and that the DEP processing of my planning exemption request will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____

b. Plot Plan Attached Site Reports Attached

c. Onlot Disposal Systems

(1) I certify that the Official Plan shows this area as an onlot service area.

_____/_____
 (Signature of Municipal Official) Date
 _____/_____
 Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone # _____

(2) I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

_____/_____
 Signature of SEO) Date
 _____/_____
 Name (Print) Certification #

Telephone # _____

(3) I certify that each lot in this subdivision is at least 1 acre in size

_____/_____
 (Signature of Project Applicant/Agent) Date

d. Public Sewerage Service (i.e., ownership by municipality or authority)

Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

_____/_____
 (Signature of Municipal Official) Date
 _____/_____
 Name (Print) Title

Municipality (must be same as in 2.b.)

Telephone # _____

Narrative

Existing Conditions

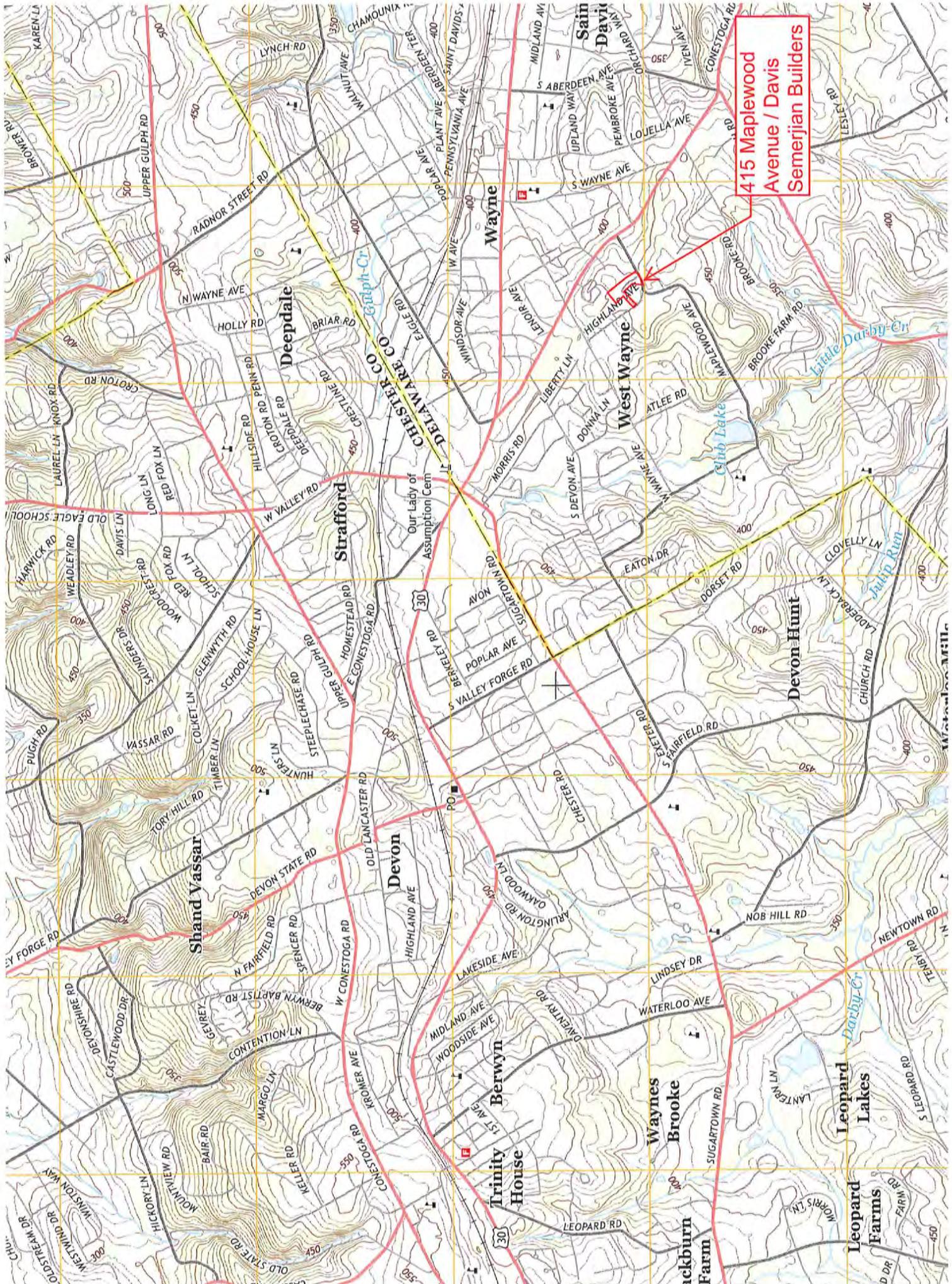
The site is a +/-2.17 acre irregularly shaped lot that has a ground cover of grass and impervious surfaces. There are two existing dwellings on the property that are currently served with public water and sewer.

Project Summary

The proposed project is a Land Development plan for David Semerjian Builders. The site is located on 415 Maplewood Drive in Radnor Township. The purpose of this subdivision is to consolidate the parcels and develop the site as 12 townhouses. The development will have two entrances one on Maplewood and one on Highland Avenue. The proposed development will connect to existing public sewer and water service.

The existing dwellings are to be removed and replaced with new dwellings. The total estimated flow for the project is 12 EDU's or 3,150 gallons per day based on 262.5 gallons per EDU. Therefore the proposed new/increased flows from the project are from the 10 new connections to the public sewer system or 2,625 gallons per day.

415 Maplewood
Avenue / Davis
Semerjian Builders



Deepdale

Stratford

Devon

Wayne

West Wayne

Devon Hunt

Berwyn

Waynes
Brooke

Leopard
Lakes

ackburn
Farm

Leopard
Farms

1. PROJECT INFORMATION

Project Name: **David Semerjian Builders**

Date of Review: **6/29/2016 02:01:53 PM**

Project Category: **Development, Residential, Subdivision containing more than 2 lots and/or 2 single-family units**

Project Area: **2.49 acres**

County(s): **Delaware**

Township/Municipality(s): **RADNOR**

ZIP Code: **19087**

Quadrangle Name(s): **VALLEY FORGE**

Watersheds HUC 8: **Lower Delaware**

Watersheds HUC 12: **Darby Creek**

Decimal Degrees: **40.038347, -75.392905**

Degrees Minutes Seconds: **40° 2' 18.497" N, 75° 23' 34.4595" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

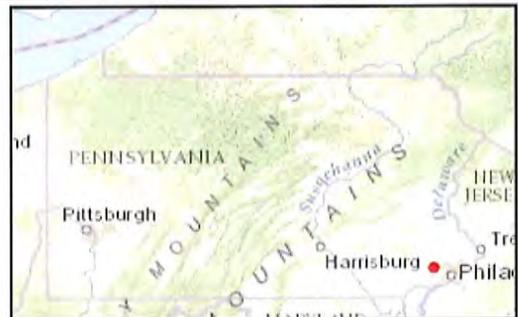
Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

David Semerjian Builders

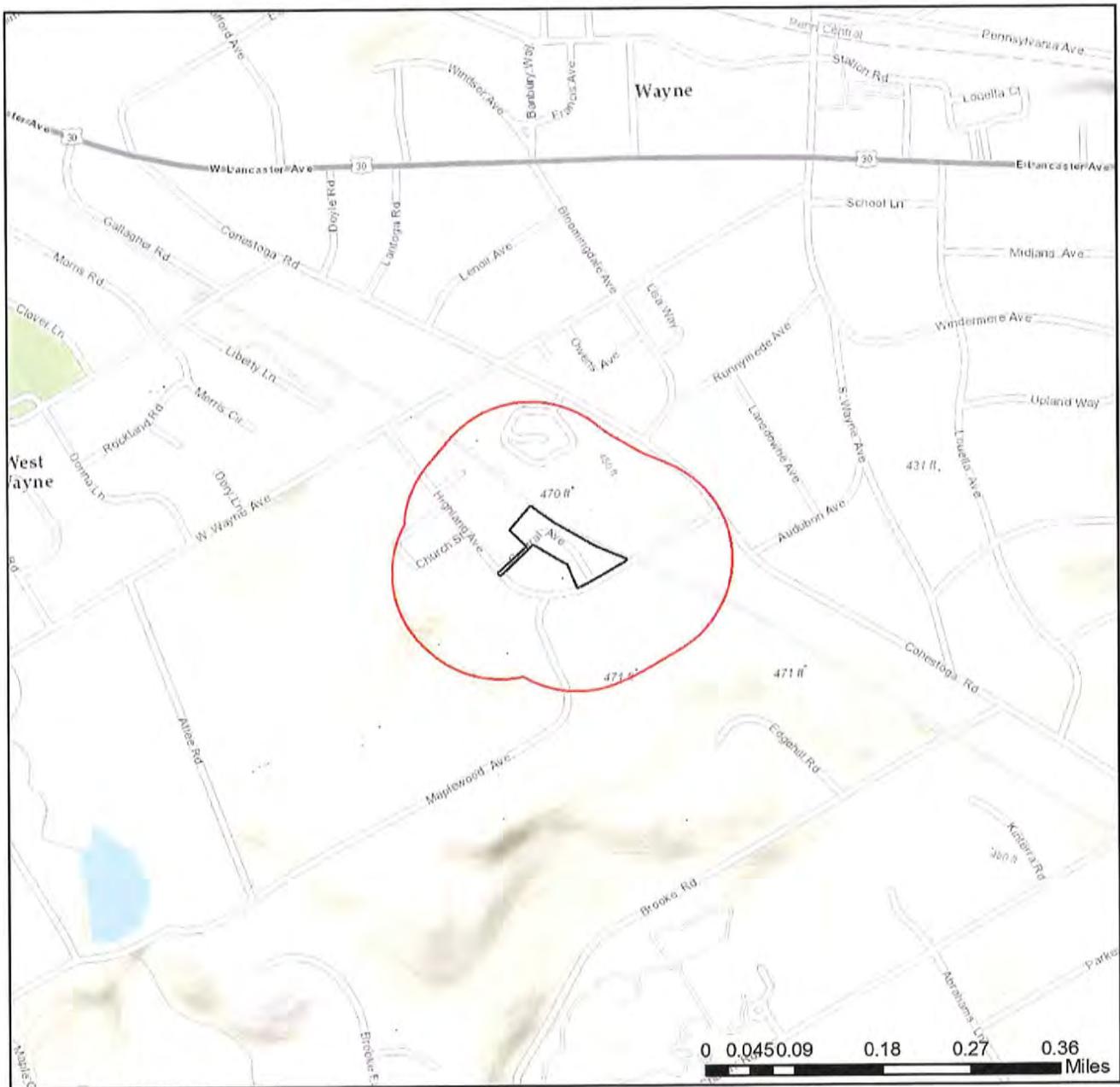


- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
Source: Esri, DigitalGlobe, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA,

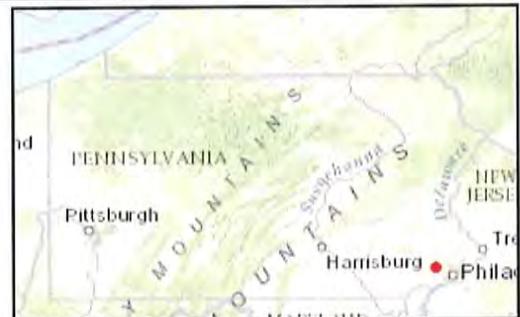


David Semerjian Builders



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community



RESPONSE TO QUESTION(S) ASKED

Q1: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this.

Your answer is: The project will affect 1 to 39 acres of forests, woodlots and trees.

Q2: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.

5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov
Fax: (717) 772-0271

PA Fish and Boat Commission

Division of Environmental Services
450 Robinson Lane, Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
NO Faxes Please

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Scott Andress
Company/Business Name: Edward B. Walsh and Associates, Inc.
Address: 125 South Forge Rd.
City, State, Zip: Exton, PA 19341
Phone: (610) 903 0060 Fax: (610) 903 0080
Email: sandress@ebwalshinc.com

8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

[Signature] Agent
applicant/project proponent signature

6/29/2016
date

RECEIVED

MAY 23 2018

Name and Address of Sender
David Somegjan Builders
2425 White Horse Road
Berwyn, PA 19312

Check type of mail or service:

- Certified
- COD
- Registered
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

RADNOR TOWNSHIP

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Actual Value If Registered	Handling Charge	Value	Insured	Registered	Fee	Fee	Fee	Fee	Fee
1.	Radnor Twp Civic Assn-C/O Lovella Luchie P.O. Box 240 Wayne, PA 19087											
2.	Brooks and Deena Oppenheimer 250 Highland Ave. Wayne, PA 19087											
3.	Alita Byrd 262 Highland Ave. Wayne, PA 19087											
4.	James Saunderson 129 Pennsylvania Ave. Wayne, PA 19087											
5.	Russell and Lora Jo Dickhart 509 Maplewood Ave. Wayne, PA 19087											
6.	James and Rebecca Nardaul 514 Maplewood Ave. Wayne, PA 19087											
7.	Wen Kang Shieh 234 Highland Ave. Wayne, PA 19087											
8.	Laura Bautista 242 Highland Ave. Wayne, PA 19087											

U.S. POSTAGE

PAID WAYNE, PA 19087 MAY 23, 18

\$3.20

R2304H108037-13



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Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office

Postmaster, Per (Name of receiving employee)

See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

Name and Address of Sender

David Sementjan Builds
2425 White Horse Rd
Berwyn PA 19087

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

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Date of Receipt

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Fee	Actual Value If Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Christopher Adams 251 Highland Ave Wayne PA 19087											
2.	Diane McCommas 13 Greythorne Woods Cir Wayne PA 19087											
3.	Seveny Luisa Mygale 29 Meadowood Road Rosemont, PA 19070											
4.	Samantha Martin 33 Greythorne Woods Cir Wayne PA 19087											
5.	Garyt Christine McClain P.O. Box 236 Clayton, NJ 08312											
6.	Peter Annamay Charrington 37 Greythorne Woods Cir Wayne PA 19087											
7.	Bernard Philipowski Daniela Romberg 45 Greythorne Woods Cir Wayne PA 19087											
8.	James T. Elke 48 Greythorne Woods Cir Wayne PA 19087											

U.S. POSTAGE
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19087
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Total Number of Pieces Listed by Sender

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[Signature]

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Name and Address of Sender

David Semerjian Builders
2425 White Horse Rd.
Berwyn PA 19312

Article Number

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- Certified
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- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Address (Name, Street, City, State, & ZIP Code)

Andrew Dimagio, Inslec
250 Chestnut St
Wayne, PA 19087

Setner Elliott
74 Greythorne Woods Cir
Wayne PA 19087

250 Montgomery Assn.
Plaza 16 - E. Lancaster Ave #101
Aremore PA 19003

Tracy Whitman
34 Greythorne Woods Cir
Wayne PA 19087

Brittany Biesecker
46 Greythorne Woods Cir
Wayne PA 19087

Usman & Qurat Chuman
49 Greythorne Woods Cir
Wayne PA 19087

Tracy Elliott
25 Greythorne Woods Cir
Wayne PA 19087

Edward & Lana Hopsadar
37 Greythorne Woods Cir
Wayne PA 19087

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster Per (Name of receiving employee)

[Signature]

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Handling Charge

Fee

Actual Value if Registered

Insured Value

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

U.S. POSTAGE

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See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

Name and Address of Sender
 David Semeniyan Builders
 2425 White Horse Rd.
 Germantown PA 19312

Check type of mail or service:

- Certified
- COD
- Registered
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Return Receipt for Merchandise
- Signature Confirmation

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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Wayne Art Center 413 Maplewood Ave. Wayne PA 19087										
2.	Michael & Elyse Salek 403 Maplewood Ave. Wayne PA 19087										
3.	James Mountain Trustee Terese Peyine Trustee 408 Maplewood Ave. Wayne PA 19087										
4.	Catherine McCall 402 Maplewood Ave. Wayne PA 19087										
5.	Kyle & Ajahna Lowry 317 Edgehill Road Wayne PA 19087										
6.	Lynn Ruto 36 Greythorne Woods Cir. Wayne PA 19087										
7.	Tony Chen Alison Panella 405 Maplewood Ave. Wayne PA 19087										
8.	Glenn David Sylvia Mathis 447 High School Way Mountain View, PA 19087										

U.S. POSTAGE
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Total Number of Pieces Listed by Sender: 8
 Total Number of Pieces Received at Post Office: 8

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Complete by Typewriter, Ink, or Ball Point Pen

Name and Address of Sender
 David Semerjian Builders
 2425 White Horse Rd
 Berwyn PA 19312

Article Number

Check type of mail or service:
 Certified
 COD
 Registered
 Delivery Confirmation
 Express Mail
 Insured
 Recorded Delivery (International)
 Return Receipt for Merchandise
 Signature Confirmation

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1.	2.	3.	4.	5.	6.	7.	8.	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
Naomi Gabernick 24 Greythorne Woods Cir Wayne PA 19087	Anthony & Margaret Vincent 29 Greythorne Woods Cir Wayne PA 19087	Steven & Wenchel 249-B Highland Ave Wayne PA 19087	Harry Callands 253 Highland Ave Wayne PA 19087	Russell J. Brown, Trustee 255 Highland Ave Wayne PA 19087	Albertina P. Antonio 519 Paoli Point Dr Paoli, PA 19301	Nelson & Gwendolyn Thompson 270 Highland Ave Wayne PA 19087	Trudy & Lawrence 116 N. Walnut Street Ridley Park, PA 19078								

U.S. POSTAGE
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 19087
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PA 19087
 MAY 23 2018
 USPS

Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster (Name of receiving employee)

[Signature]

See Privacy Act Statement on Reverse

Name and Address of Sender
 David Semerjian Builders
 2425 White Horse Rd.
 Bernyn, PA 19312

Article Number

Check type of mail or service:
 Certified
 COD
 Registered
 Delivery Confirmation
 Express Mail
 Insured

Affix Stamp Here
 (If issued as a certificate of mailing, or for additional copies of this bill)
 Postmark and Date of Receipt

1.	2.	3.	4.	5.	6.	7.	8.	Actual Value if Registered		Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
								Fee	Charge							
William Marie Orr 27 Chesapeake Woods Cir. Wayne PA 19087	Andrew DiMaio Trustee 250 Conestoga Road Wayne PA 19087	Calvin Schmidt 407 Maplewood Ave. Wayne PA 19087	Ann Higgins 1490 Lebovitz Rd Malvern PA 19355	Christopher Wells Lisa Devine 404 Maplewood Ave. Wayne PA 19087	Mark & Anne Judd 306 Conestoga Rd. Wayne PA 19087	Heath & Michaela Mills 550 Maplewood Ave. Wayne PA 19087	Anthony & Margaret Vincent 29 Greystone Woods Cir. Wayne PA 19087									
Postmaster: PAF (Name of receiving employee) 																
Total Number of Pieces Listed by Sender: 8								Total Number of Pieces Received at Post Office:		See Privacy Act Statement on Reverse						

U.S. POSTAGE
 PAID
 WAYNE, PA
 19087
 MAY 23, 18
 AMOUNT
\$3.20
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Name and Address of Sender

David Semerjian Builders
 2425 White Horse Rd.
 Bernwyn PA 19312

Check type of mail or service:

- Certified
- Registered Delivery (International)
- COD
- Return Receipt for Merchandise
- Delivery Confirmation
- Signature Confirmation
- Express Mail
- Insured

Affix Stamp Here
 (If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Addresses (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Louis Loidrylo Wayne PA 19087										
2.	Elizabeth Faneli 263 Highland Ave Wayne PA 19087										
3.	Charles & Christine Welsh 503 Maplewood Ave Wayne PA 19087										
4.	Albert & Mary D'Antonio 125 Woodmere Court Paoli, PA 19301										
5.	Lillian Wister 1135 Bryntaugh Rd. Villanova PA 19085										
6.	Lawrence & Nancy Mansfield 22 Greythorne Woods Cir. Wayne PA 19087										
7.	Fagebaga Herman 23 Greythorne Woods Cir. Wayne PA 19087										
8.	Mukesh & Bina Patel 518 Maplewood Ave Wayne PA 19087										

U.S. POSTAGE
 PAID
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 19087
 MAY 23, 18
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\$3.20
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Total Number of Pieces Listed by Sender: 8

Postmaster, For (Name of receiving employee)

[Signature]

See Privacy Act Statement on Reverse

Name and Address of Sender
 David Semejian Builders
 2425 White Horse Rd.
 Berryn PA 19312

Check type of mail or service:

- Certified
- COD
- Registered
- Delivery Confirmation
- Express Mail
- Insured
- Reconstituted Delivery (International)
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Affix Stamp Here
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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Michael & Maude Dinda 40 Maplewood Ave Wayne PA 19087											
2.	Howard & Iris Ashby 259 Highland Ave Wayne PA 19087											
3.	Robert Bryan Jr. 265 Highland Ave Wayne PA 19087											
4.	James & Albert D'Antonio 215 Duttonmill Rd. West Chester, PA 19380											
5.	Gayle Farmer 17 Greythorne Woods Cir Wayne PA 19087											
6.	Pourkay Larjani LLC 1020 Taylor Drive Newtown Square PA 19073											
7.	Carl & Savannah Martin 23 Greythorne Woods Cir Wayne PA 19087											
8.	Robert & Alexandra Floyd 26 Greythorne Woods Cir Wayne PA 19087											

U.S. POSTAGE
 PAID
 WAYNE, PA
 19087
 MAY 23, 18
 AMOUNT
\$3.20
 R2304H108037-13



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Total Number of Pieces Listed by Sender: 8

Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee): [Signature]

See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

Name and Address of Sender
 David Semerjian Builders
 2425 White Horse Road
 Berryn PA 19312

Check type of mail or service:
 Certified
 COD
 Registered
 Delivery Confirmation
 Express Mail
 Insured

Recorded Delivery (International)
 Registered
 Return Receipt for Merchandise
 Signature Confirmation

Affix Stamp Here
 (If issued as a certificate of mailing, or for additional copies of this bill)
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Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Fee	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	James Walter Ebony Gilley 260 Highland Ave. Wayne PA 19087											
2.	Zhangwei & Liyan 1488 Salomon Lane Wayne PA 19087											
3.	Mary S Kaiserman 507 Maplewood Ave. Wayne PA 19087											
4.	Jennifer Sophia Keh 513 Maplewood Ave. Wayne PA 19087											
5.	William Anne Henderson 512 Maplewood Ave. Wayne PA 19087											
6.	Vincent Gango ra V. Ferranda 510 Maplewood Ave. Wayne PA 19087											
7.	Geoffrey Leslie Clift 414 Maplewood Ave. Wayne PA 19087											
8.	Tessmy Ruth Maggs 510 Maplewood Ave. Wayne PA 19087											

U.S. POSTAGE
 PAID
 WAYNE, PA
 19087
 MAY 23, 18
 AMOUNT
\$3.20
 R2304H108037-13



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Total Number of Pieces Listed by Sender

Total Number of Pieces Received at Post Office

Postmaster (Print Name of receiving employee)

[Signature]

See Privacy Act Statement on Reverse

Name and Address of Sender: **David Samenjian-Buibles**
 2425 White Horse Rd
 Berwyn PA 19312

Check type of mail or service:
 Certified
 COD
 Registered
 Delivery Confirmation
 Express Mail
 Insured

Check type of mail or service:
 Recorded Delivery (International)
 Return Receipt for Merchandise
 Signature Confirmation

Affix Stamp Here
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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Charles Brown 261 Highland Ave. Wayne PA 19087										
2.	Agnes Wryte Thelma Richey 505 Maplewood Ave. Wayne PA 19087										
3.	James Anna Falcone Frank & Maurine Falcone 67 Mount Heres St. Palm Beach, FL 33410										
4.	Richard & Jeanne Condos 18 Greythorne Woods Cir. Wayne PA 19087										
5.	Joselle Rad 21 Greythorne Woods Cir. Wayne PA 19087										
6.	Noami Gubernick 24 Greythorne Woods Cir. Wayne PA 19087										
7.	Joseph Marino 508 Maplewood Ave. Wayne PA 19087										
8.	Anthony Elizabeth Lanzone 412 Maplewood Ave. Wayne PA 19087										

U.S. POSTAGE
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 WAYNE PA
 19087
 MAY 23 18
 AMOUNT
\$3.20
 R2304H108037-13



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Total Number of Pieces Listed by Sender: **8** Total Number of Pieces Received at Post Office: **8**

Postmaster, Per (Name of receiving employee): **[Signature]**

See Privacy Act Statement on Reverse

Name and Address of Sender
 David Semegenian Builders
 2425 White Horse Road
 Berryn PA 19312

Check type of mail or service:
 Certified
 COD
 Registered
 Delivery Confirmation
 Express Mail
 Insured

Recorded Delivery (International)
 Return Receipt for Merchandise
 Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	Second Baptist Church Rectory Trustees 246 Highland Ave. Wayne PA 19087										
2.	Capital First Trust Co Trustees 234 W. Florida St #400 Milwaukee, WI 53204										
3.	Mark & Louise Graye 258 Highland Ave. Wayne PA 19087										
4.	Nicholas Erico 264 Highland Ave. Wayne PA 19087										
5.	Deborah Wright 504 Maplewood Ave. Wayne PA 19087										
6.	Mark & Virginia Bullock 511 Maplewood Ave. Wayne PA 19087										
7.	Marie & Joanne Tredeway 516 Maplewood Ave. Wayne PA 19087										
8.	Andrew & Deborah Brown 251 Highland Ave. Wayne PA 19087										

U.S. POSTAGE
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 19087
 MAY 23 18
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 AMOUNT
\$3.20
 R2304H108037-13



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Total Number of Pieces Listed by Sender: 8

Postmaster, Per (Name of receiving employee)

[Signature]

See Privacy Act Statement on Reverse

Name and Address of Sender:
 David Semerjian Builders
 2425 White Horse Rd
 Berwyn, PA 19312

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
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1.	Maryam Barana 15 Greythorne Woods Cir. Wayne, PA 19087										
2.	Rodrigos Camargos Ashley Seaton 31 Greythorne Woods Cir. Wayne, PA 19087										
3.	Leena Sawaf 44 Greythorne Woods Cir. Wayne, PA 19087										
4.	James and Mary Ann Lockard 47 Greythorne Woods Cir. Wayne, PA 19087										
5.	Lawrence Biegelesen 30 Greythorne Woods Cir. Wayne, PA 19087										
6.	Lillian Wister 19 Greythorne Woods Cir. Wayne, PA 19087										
7.	Michael McKeon Jr. 38 Greythorne Woods Cir. Wayne, PA 19087										
8.	Delaware County Housing Auth 1855 Constitution Ave. Woodlyn, PA 19094										

U.S. POSTAGE
 PAID
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 19087
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Total Number of Pieces Listed by Sender: 8
 Total Number of Pieces Received at Post Office: 8

Postmaster, Per (Name of receiving employee)

[Signature]

See Privacy Act Statement on Reverse

Complete by Typewriter, Ink, or Ball Point Pen

Name and Address of Sender

David Semer, window builders
2425 White Horse Rd
Brynarw, PA 19312

Check type of mail or service:

- Certified
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1.	Kevin Meandro Nicole Fagano 466 Maplewood Ave. Wayne PA 19087											
2.	Keith Sayuk Dawn Roscillo 304 Conestoga Road Wayne PA 19087											
3.	Kevin & Mollie Rptkun 329 Edgemoor Road Wayne PA 19087											
4.												
5.												
6.												
7.												
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U.S. POSTAGE
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WAYNE, PA
19087
MAY 23, 18
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Postmaster, Per (Name of receiving employee)

Total Number of Pieces Listed by Sender

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WAIVER REQUEST

- SECTION 255-27.C(1) TO MAINTAIN THE EXISTING CONDITION R.O.W. AND CARTWAY FOR HIGHLAND AND MAPLEWOOD AVENUES.
- SECTION 255-27.E(2) TO ALLOW A 24' WIDE CARTWAY FOR THE INTERNAL DRIVE.
- SECTION 255-27.F(2)(a) TO PERMIT CENTERLINE RADIUS LESS THAN 150' AS THE ACCESS IS A PRIVATE DRIVEWAY TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- SECTION 255-27.H(6) TO PERMIT THE PROPOSED DRIVEWAY TO BE OWNED AND MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- SECTION 255-27.A(5) TO PERMIT DEAD END STREET (DRIVEWAY) AS STUB STREET WITHOUT A CUL-DE-SAC. AS STREETS OWNERSHIP IS PRIVATE.
- SECTION 255-27.A(6) TO NOT REQUIRE A CUL-DE-SAC AND R.O.W. TO EXTEND THE PRIVATE STREETS.
- SECTION 255-28 TO PERMIT A WAIVER OF THE REQUIRED SIGHT DISTANCE OF 275 FEET, AS THE EXISTING AVAILABLE SIGHT DISTANCE COMPLIES WITH PENN DOT'S REQUIRED SIGHT DISTANCES.



ZONED R-5 RESIDENTIAL

LOT AREA & WIDTH	5500 SF/55' SINGLE FAMILY DETACHED 5445 SF/40' SINGLE FAMILY SEMI-DETACHED 5445 SF/80' TWO-FAMILY DETACHED
FRONT YARD	20'
REAR YARD	10'
SIDE YARD	35'
MAX. BLDG HEIGHT	35'
MAX IMPERVIOUS (TOTAL)	40%

LOT AREA & WIDTH	5445 SF PER DWELLING UNIT/100'
FRONT YARD	50'
REAR YARD	30'
SIDE YARD	30'
MAX. BLDG HEIGHT	40'
MAX IMPERVIOUS (BLDG.)	30%
MAX IMPERVIOUS (TOTAL)	36%

ZONING DATA MULTIPLE DWELLINGS

	REQUIRED	EXISTING	PROVIDED
LOT AREA & WIDTH	5,455 SF/DU; 100'		7,950 SF/DU; 105'
MAX. BLDG COVER	30%	N/A	9,840 S.F. 12.37%
MIN. FRONT YARD	50'	27'	65'
MIN. SIDE YARD	30'	30'	30'
MIN. REAR YARD	30'	290'	30'
MAX. BLDG HEIGHT	40'	<40'	<40'
MAX. BLDG SIZE (APT. BLDG.)	160'	N/A	N/A

MIN. ROOM SIZE			
FIRST BEDROOM	160 S.F.	N/A	212 S.F.
ALL OTHER BEDROOMS	120 S.F.	N/A	138.25 S.F.
LIVING ROOM	240 S.F.	N/A	286 S.F.
DINING ROOM	180 S.F.	N/A	212.17 S.F.
DINETTE	120 S.F.	N/A	N/A
KITCHEN	80 S.F.	N/A	203 S.F.
BATH	40 S.F.	N/A	89.58 S.F.
MIN. HABITAT FLOOR AREA (APT.)			
MAX. IMPERVIOUS COVER	36%	N/A	N/A
RIPIARIAN BUFFER SETBACK	35'	30,164 S.F. (37.94%)	27,633 S.F. (34.76%)

SITE DATA	
GROSS AREA	= 85,785 S.F.
NET LOT AREA	= 79,499 S.F.
(TO R.O.W.)	
REQ. LOT AREA	= 54,450 S.F.
PARKING DATA	
PARKING REQUIRED	= 2 SP./D.U. + 1 SP./4 D.U. OVERFLOW 10 D.U. x 2 = 20 10/4 x 2.5 = 3 TOTAL REQUIRED = 23 SP.
PARKING PROVIDED	= 2 GARAGE SP./D.U. = 20 SP. 3 OVERFLOW SPACES = 3 SP. TOTAL PROVIDED = 23 SP.

GENERAL NOTES:

- THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE THE DEPICTED PARCELS INTO ONE PROPERTY AND TO DEVELOP THE SITE AS 10 TOWNHOUSES.
- BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. (EBWA) IN JULY, 2010.
- BOUNDARY SURVEY WAS BASED UPON DEEDS OF RECORD. A TITLE REPORT WAS NOT PROVIDED, THEREFORE, THIS SURVEY DOES NOT PURPORT TO DEPICT ALL RIGHTS, EASEMENTS AND OTHER MATTERS OF TITLE WHICH A CURRENT AND COMPLETE TITLE REPORT WOULD DISCLOSE.
- PROJECT BENCHMARK IS THE RIM OF SANITARY MANHOLE LOCATED AT INTERSECTION OF CENTRAL AND MAPLEWOOD AVENUE. DATUM RADNOR TOWNSHIP SEWER DATUM.
- THE SITE IS SERVED BY PUBLIC SEWER AND WATER.
- TOTAL TRACT AREA (TO TITLE LINES) = 2.171 ACRES
- A HOMEOWNERS ASSOCIATION WILL BE CREATED FOR THE SHARED RESPONSIBILITIES OF THE DRIVEWAY, COMMON AREA, STORM-WATER MANAGEMENT FACILITIES AND SIDEWALK.
- OWNER/APPLICANT:
DAVID SEMERJIAN BUILDERS
2425 WHITE HORSE ROAD
BERWYN, PA 19312
610-695-0444
- ACCESS TO THE PROPOSED TOWNHOMES IS TO BE PROVIDED VIA A 24' WIDE PRIVATE DRIVEWAY THAT WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
- PROPOSED RIGHT-OF-WAY TO A DISTANCE OF 25 FEET FROM THE CENTER OF MAPLEWOOD AVENUE IS HEREBY OFFERED FOR DEDICATION TO RADNOR TOWNSHIP.
- CONCRETE MONUMENTS ARE TO BE SET AT LOCATIONS INDICATED THUS "■" AT THE COMPLETION OF SITE GRADING.
- ADA COMPLIANT H.C. RAMPS ARE REQUIRED AT THE INTERSECTIONS OF THE PROPOSED DRIVE AND HIGHLAND AND MAPLEWOOD AVENUES.
- A FEE IN LIEU OF OPEN SPACE OF \$3,307/D.U. IS REQUIRED FOR THIS DEVELOPMENT.
- THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN A 5' SEPARATION BETWEEN TREES, SHRUBS AND SANITARY SEWER LATERALS.
- GARAGES ARE HEREBY RESTRICTED FROM BEING CONVERTED INTO LIVING SPACES. SAID RESTRICTION SHALL BE MADE PART OF THE HOMEOWNERS ASSOCIATION DOCUMENTS. ADDITIONALLY LANGUAGE SHALL BE ADDED IN THE DOCUMENTS THAT CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACES BY EITHER A HOMEOWNER OR THE ASSOCIATION.
- THE SNOW DISPOSAL AREAS SHOWN FOR NORMAL SNOWFALLS (UP TO ±6"). IF A SNOWFALL EVENT OCCURS THAT EXCEEDS THE ABILITY TO STORE THE SNOW IN THE DESIGNATED AREAS THEN THE ASSOCIATION IS RESPONSIBLE TO HAVE THE SNOW REMOVED FROM THE PROPERTY.

OWNER'S NAMES AND MAILING ADDRESS:

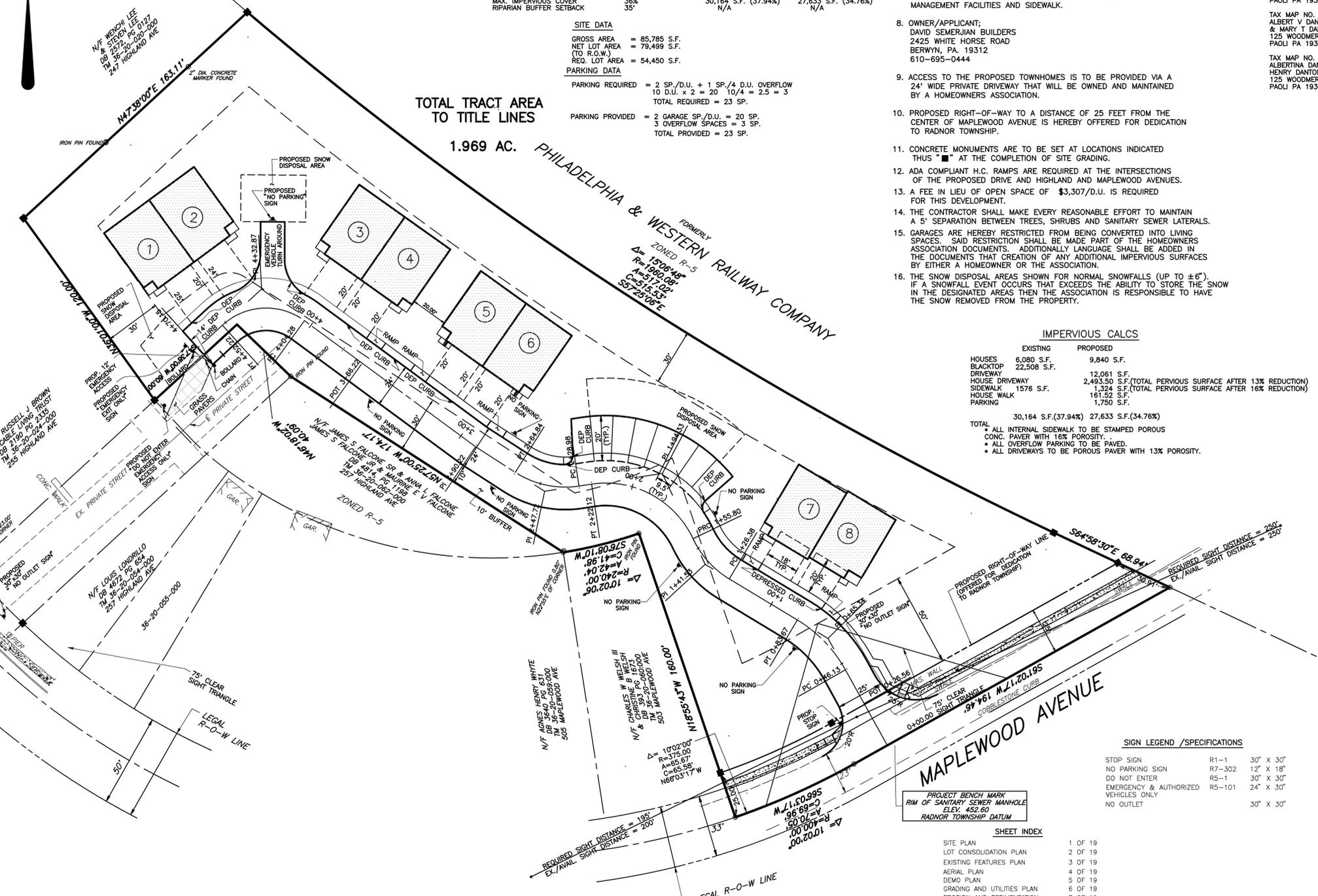
- TAX MAP NO. 36-20-025-000
DAVID SEMERJIAN
2425 WHITE HORSE RD
BERWYN PA 19312-2131
- TAX MAP NO. 36-20-026-000
N/F ALBERTINA DANTONIO TRUSTEE
HENRY DANTONIO TRUST
125 WOODMERE CT
PAOLI PA 19301-1234
- TAX MAP NO. 36-20-026-001
N/F ALBERTINA DANTONIO TRUSTEE
HENRY DANTONIO TRUST
125 WOODMERE CT
PAOLI PA 19301-1234
- TAX MAP NO. 36-20-061-000
ALBERT V DANTONIO
& ALBERT V DANTONIO
215 DUTTON MILL RD
WEST CHESTER PA 19380-6604
- TAX MAP NO. 36-20-063-000
ALBERT V DANTONIO
& MARY S DANTONIO
125 WOODMERE CT
PAOLI PA 19301-1234
- TAX MAP NO. 36-20-064-000
ALBERT V DANTONIO
& MARY T DANTONIO
125 WOODMERE CT
PAOLI PA 19301-1234
- TAX MAP NO. 36-20-065-000
ALBERTINA DANTONIO TRUSTEE
HENRY DANTONIO TRUST
125 WOODMERE CT
PAOLI PA 19301-1234



LOCATION MAP
1" = 600'

LEGEND

- PROPOSED CURB
- PROPOSED GRASS PAVERS
- PROPOSED CONCRETE PAVER SIDEWALK
- PROPOSED CONCRETE SIDEWALK



TOTAL TRACT AREA TO TITLE LINES
1.969 AC.

IMPERVIOUS CALCS

	EXISTING	PROPOSED
HOUSES	6,080 S.F.	9,840 S.F.
BLACKTOP	22,508 S.F.	
DRIVEWAY		12,061 S.F.
HOUSE DRIVEWAY		2,493.50 S.F. (TOTAL PERVIOUS SURFACE AFTER 13% REDUCTION)
SIDEWALK	1,576 S.F.	1,324 S.F. (TOTAL PERVIOUS SURFACE AFTER 16% REDUCTION)
HOUSE WALK		161.52 S.F.
PARKING		1,750 S.F.
TOTAL	30,164 S.F. (37.94%)	27,633 S.F. (34.76%)

ALL INTERNAL SIDEWALK TO BE STAMPED POROUS CONC. PAVER WITH 16% POROSITY.
ALL OVERFLOW PARKING TO BE PAVED.
ALL DRIVEWAYS TO BE POROUS PAVER WITH 13% POROSITY.

COMMONWEALTH OF PENNSYLVANIA COUNTY OF DELAWARE

On the _____ day of _____ A.D. 20____ before me, the subscriber, a Notary Public of the Commonwealth of Pennsylvania, residing in _____, personally appeared _____ who acknowledges himself to be the _____ of _____ and that as such to do so, he executed the foregoing plan by signing the name of the said Corporation by himself as _____ that the said Corporation is the owner of the designated land, that all necessary approval of the plan has been obtained and is endorsed thereon and that the said Corporation desires that the foregoing plan may be duly recorded.

Notary Public

My Commission Expires: _____

REVIEWED by the Planning Commission of Radnor Township, Delaware County, Pa., this _____ day of _____, 20____.

APPROVED by the Board of Commissioners of Radnor Township, Delaware County, Pa., this _____ day of _____, 20____.

REVIEWED by the Delaware County Planning Commission this _____ day of _____, 20____.

Secretary

APPROVED by the Radnor Township Engineer:

Date

Recorded in the Office of the Recorder of Deeds of Delaware County, Pennsylvania in Plan book _____ Page _____ on the _____ day of _____, 20____.

(Deputy) Recorder of Deeds

CERTIFICATE OF CONFORMANCE

I hereby certify that to the best of my knowledge, these plans are in conformity with engineering, zoning, building, sanitation and other applicable township ordinances and regulations.

Theodore J. Gacomis, P.E.

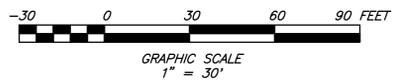
PRELIMINARY TITLE PLAN

SIGN LEGEND /SPECIFICATIONS

STOP SIGN	R1-1	30" X 30"
NO PARKING SIGN	R7-302	12" X 18"
DO NOT ENTER	R5-1	30" X 30"
EMERGENCY & AUTHORIZED VEHICLES ONLY	R5-101	24" X 30"
NO OUTLET		30" X 30"

SHEET INDEX

SITE PLAN	1 OF 19
LOT CONSOLIDATION PLAN	2 OF 19
EXISTING FEATURES PLAN	3 OF 19
AERIAL PLAN	4 OF 19
DEMO PLAN	5 OF 19
GRADING AND UTILITIES PLAN	6 OF 19
EROSION AND SEDIMENTATION CONTROL PLAN	7 OF 19
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN	8 OF 19
EROSION AND SEDIMENTATION CONTROL DETAILS	9 OF 19
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND PROFILES	10 OF 19
POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS	11 OF 19
LANDSCAPE PLAN	12 OF 19
LIGHTING PLAN	13 OF 19
RAMP DETAILS	14 OF 19
TRUCK TURNING PLAN	15 OF 19
TRUCK TURNING PLAN	16 OF 19
SANITARY SEWER DETAILS	17 OF 19
DETAILS	18 OF 19
SEWER EASEMENT PLAN	19 OF 19



ACT 121 as amended SERIAL NUMBER 20181812834
20181812858
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Associates, Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS

9. 2-4-19	REDUCED THE NUMBER OF UNITS
8. 6-6-18	REV PER TWP. COMMENTS
7. 5-14-18	GENERAL REVISIONS
6. 5-2-18	REV. PER TWP. ENG. COMMENTS OF 4-25-18
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

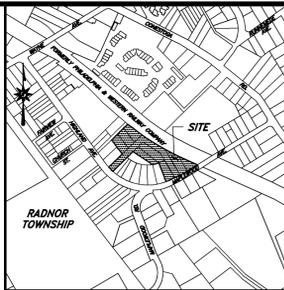
DEVELOPMENT PLAN FOR DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1" = 30'
Drawn- R.F.N.
Checked- A.E.
Sheet- 1 OF 19

125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Plotted: 2/11/2019 File: F:\JWB\4063\4063-b6.pro Ver: 000



LOCATION MAP
1" = 600'

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE THE DEPICTED PARCELS INTO ONE PROPERTY.
2. BOUNDARY INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. (EBWA) IN JULY, 2010.
3. BOUNDARY SURVEY WAS BASED UPON DEEDS OF RECORD. A TITLE REPORT WAS NOT PROVIDED, THEREFORE, THIS SURVEY DOES NOT PURPORT TO DEPICT ALL RIGHTS, EASEMENTS AND OTHER MATTERS OF TITLE WHICH A CURRENT AND COMPLETE TITLE REPORT WOULD DISCLOSE.
4. PROJECT BENCHMARK IS THE RIM OF SANITARY MANHOLE LOCATED AT INTERSECTION OF CENTRAL AND MAPLEWOOD AVENUE. DATUM RADNOR TOWNSHIP SEWER DATUM.
5. THE SITE IS SERVED BY PUBLIC SEWER AND WATER.
6. TOTAL TRACT AREA (TO TITLE LINES) = 2.171 ACRES

OWNER'S NAMES AND MAILING ADDRESS:

- TAX MAP NO. 36-20-025-000
DAVID SEMERJIAN
2425 WHITE HORSE RD
BERWYN PA 19312-2131
- TAX MAP NO. 36-20-026-000
N/F ALBERTINA DANTONIO TRUSTEE
HENRY DANTONIO TRUST
125 WOODMERE CT
PAOLI, PA 19301-1234
- TAX MAP NO. 36-20-026-001
N/F ALBERTINA DANTONIO TRUSTEE
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- TAX MAP NO. 36-20-061-000
JAMES A DANTONIO
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215 DUTTON MILL RD
WEST CHESTER PA 19380-6604
- TAX MAP NO. 36-20-063-000
ALBERT V DANTONIO
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- TAX MAP NO. 36-20-064-000
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- TAX MAP NO. 36-20-065-000
ALBERTINA DANTONIO TRUSTEE
HENRY DANTONIO TRUST
125 WOODMERE CT
PAOLI PA 19301-1234

TOTAL TRACT AREA
TO TITLE LINES
1.969 AC.

PHILADELPHIA & WESTERN RAILWAY COMPANY
FORMERLY
ZONED R-5
A=1506.48
A=1900.01
C=115.03
S=715.95 E

FORMER
CENTRAL AVENUE
PRIVATE ROAD - NOT DEDICATED
R=2000.00
A=148.08

ZONED R-5

LOT AREA & WIDTH	
5500 SF/55'	SINGLE FAMILY DETACHED
5445 SF/40'	SINGLE FAMILY SEMI-DETACHED
5445 SF/80'	TWO-FAMILY DETACHED
FRONT YARD	25'
REAR YARD	20'
SIDE YARD	10'
MAX. BLDG HEIGHT	35'
MAX IMPERVIOUS (TOTAL)	40%
MULTIPLE DWELLINGS	
LOT AREA & WIDTH	5445 SF PER DWELLING UNIT/100'
FRONT YARD	50'
REAR YARD	30'
SIDE YARD	30'
MAX. BLDG HEIGHT	40'
MAX IMPERVIOUS (BLDG.)	30%
MAX IMPERVIOUS (TOTAL)	36%
GROSS AREA	= 94,501 S.F.
NET AREA	= 89,273 S.F.

LOT CONSOLIDATION PLAN

8. 6-6-18	REV PER TWP. COMMENTS
7. 5-14-18	GENERAL REVISIONS
6. 5-2-18	REV. PER TWP. ENG. COMMENTS OF 4-25-18
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

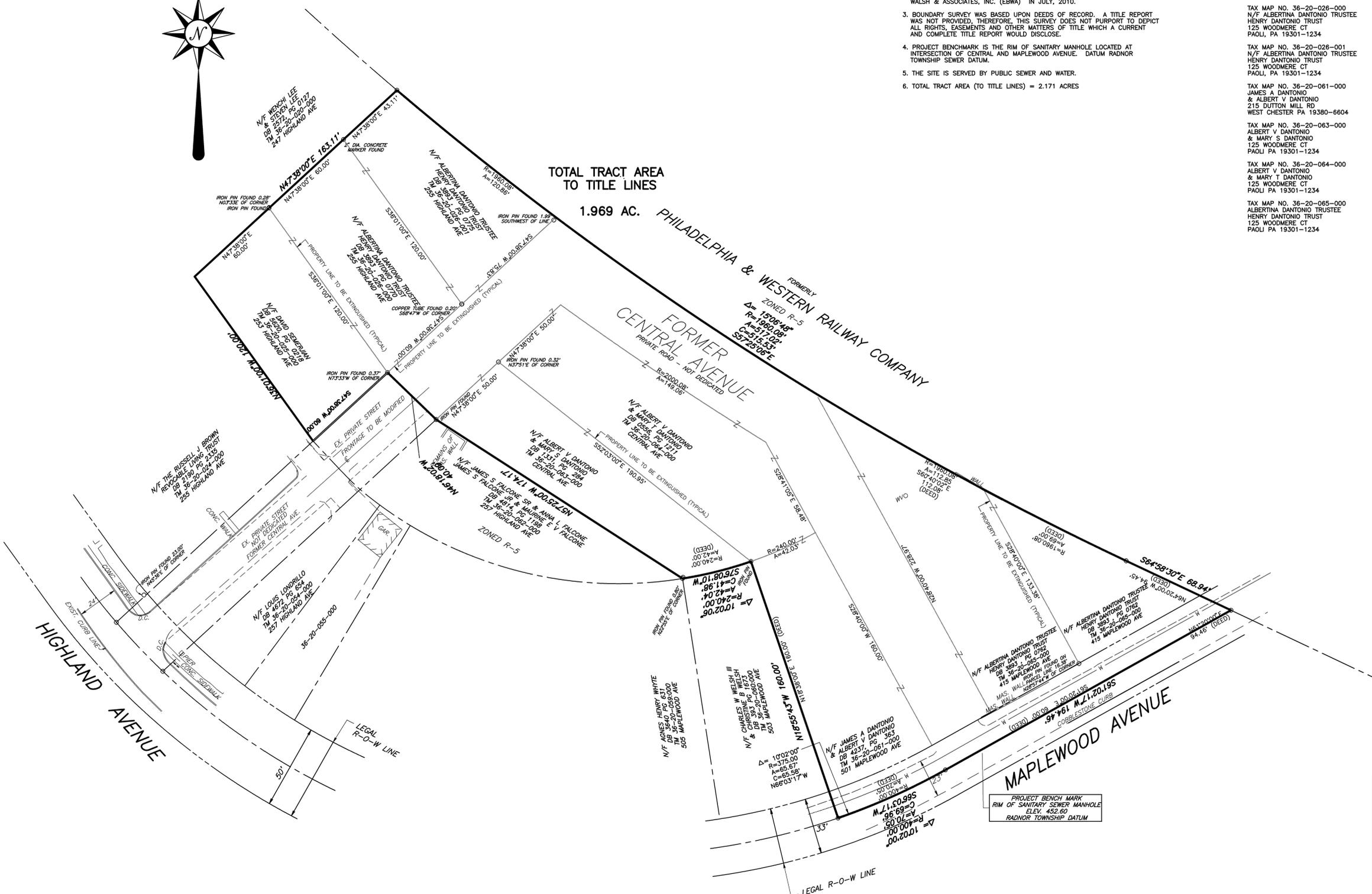
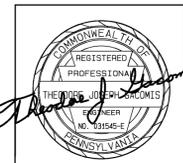
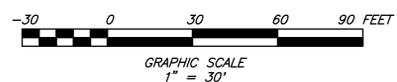
DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

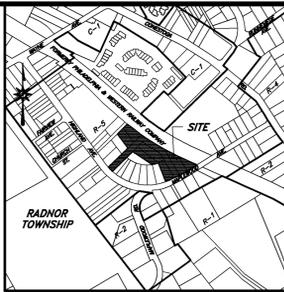
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

125 DOWLIN FORGE ROAD
EATON, PENNSYLVANIA 19341
Phone (610) 903-0060
Fax (610) 903-0080

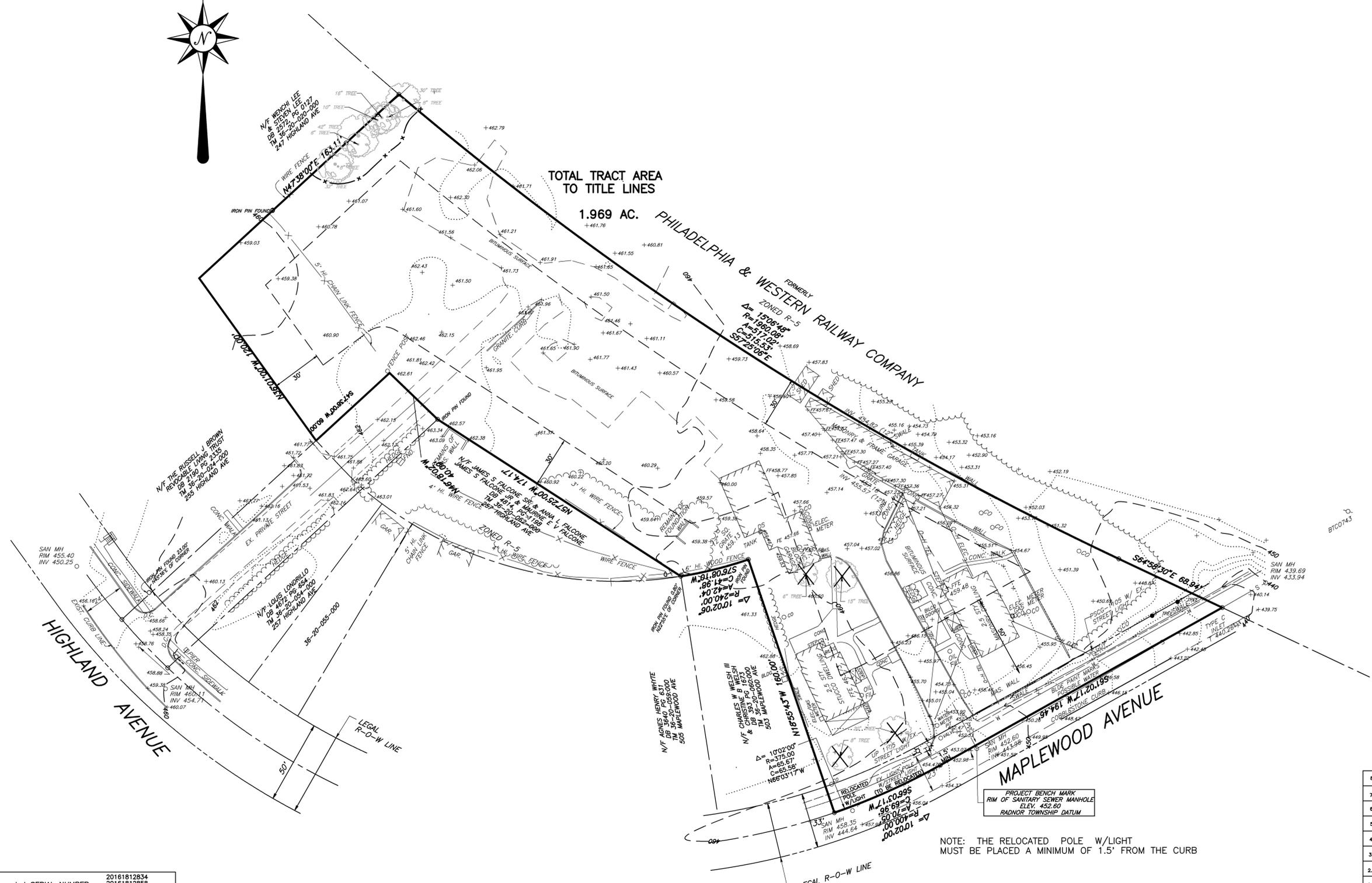
Project- 4063
Date- 12-8-14
Scale- 1" = 30'
Drawn- R.F.N.
Checked- A.E.
Sheet- 2 OF 19

Plotted: 2/9/2019 File: F:\DB\4063\4063-b6-pro Ver.- 000





LOCATION MAP
1"=600'



LEGEND

	EXISTING BUILDING
	EXISTING INDEX CONTOUR
	EXISTING INTERIOR CONTOUR
	EXISTING STORM SEWER PIPE
	EXISTING TREE LINE
	EXISTING WETLANDS
	EXISTING EDGE OF PAVING
	RIGHT OF WAY LINE
	EXISTING FENCE
	EXISTING SANITARY SEWER PIPE
	EXISTING ELECTRIC LINE
	EXISTING WATER LINE
	EXISTING CURB
	EXISTING TREE PROTECTION FENCE
	EXISTING CONCRETE WALK
	EXISTING SPOT ELEVATION
	EXISTING INLET
	EXISTING STORM MANHOLE
	EXISTING SANITARY MANHOLE
	WATER METER
	WATER VALVE
	EXISTING UTILITY POLE
	EXISTING TREES
	EXISTING TREES TO BE REMOVED

PRELIMINARY EXISTING FEATURES PLAN

8. 2-4-19	NOT THIS SHEET
7. 6-6-18	REV PER TWP. COMMENTS
6. 5-14-18	GENERAL REVISIONS
5. 5-2-18	REV. PER TWP. ENG. COMMENTS OF 4-25-18
4. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
3. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
2. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
1. 3-9-15	ADDED ADDITION PROPERTY

DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1"= 30'
Drawn- R.F.N.
Checked- A.E.
Sheet- 3 OF 19

125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Plotted: 2/8/2019 File: F:\JB\4063\4063-b6.pro Ver: 000

ACT 121 as amended SERIAL NUMBER 20161812834
20161812858
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

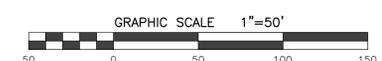
UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS

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NOTE: THE RELOCATED POLE W/LIGHT MUST BE PLACED A MINIMUM OF 1.5' FROM THE CURB





AERIAL PLAN

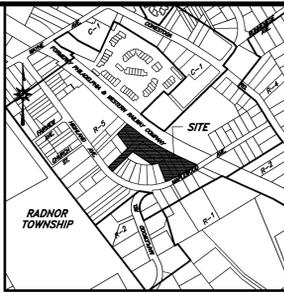
8. 6-6-18 REV. PER TWP. COMMENTS	
DEVELOPMENT PLAN	
FOR	
DAVID SEMERJIAN BUILDERS	
RADNOR TOWNSHIP	DELAWARE COUNTY, PA
Edward B. Walsh & Associates, Inc.	PROJECT #4063
CIVIL ENGINEERS & SURVEYORS	DATE: 2/8/2019
Lionsville Professional Center	SCALE: 1" = 50'
125 Dennis Forge Road	DRAWN: ----
Exton, Pennsylvania 19341	CHECKED: ----
Phone: (610) 903-0060	SHEET: 4 OF 19
Fax: (610) 903-0080	



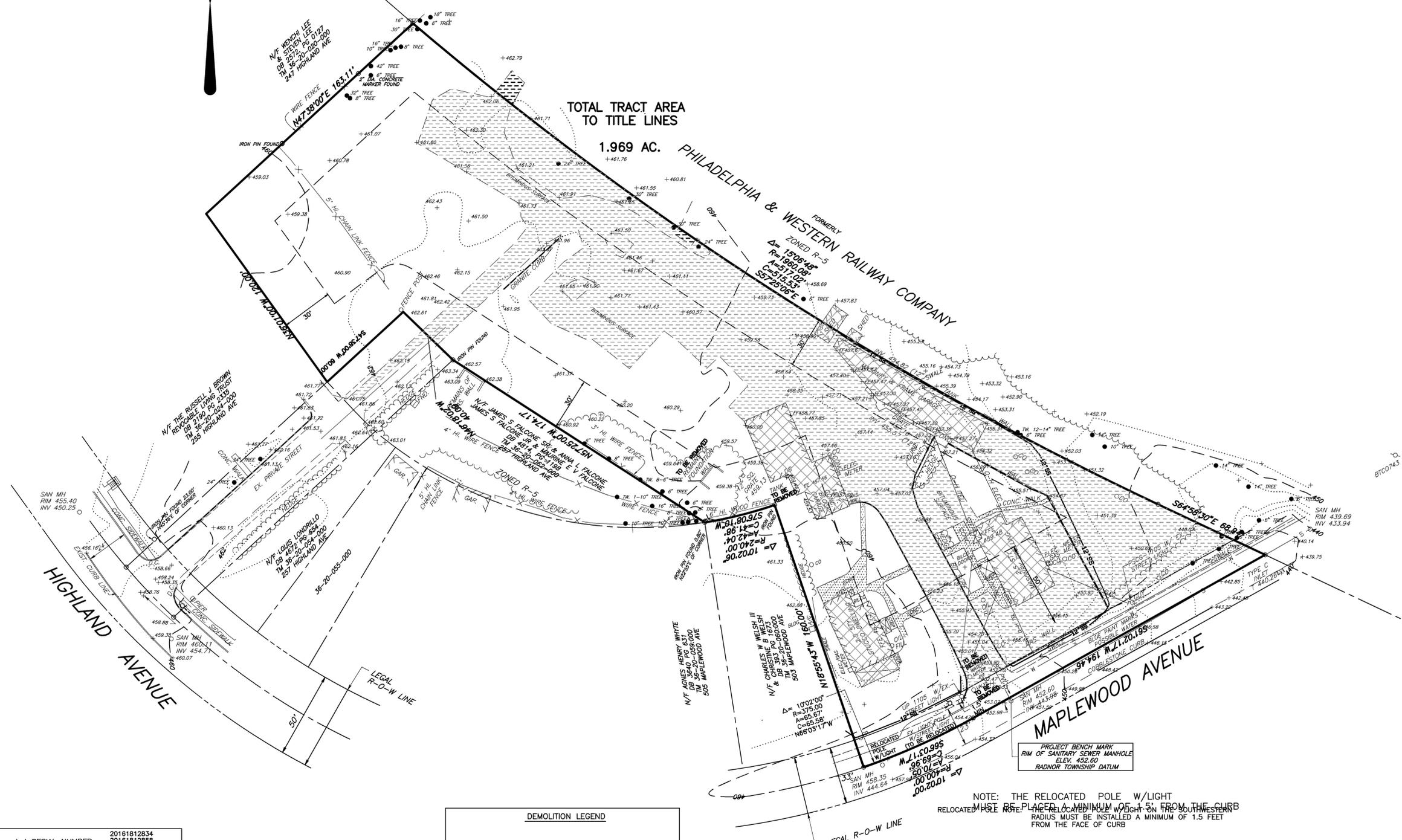


DEMOLITION NOTES:

1. CONTRACTOR SHALL CONTACT ALL OF THE UTILITY COMPANIES TO HAVE SERVICES TURNED-OFF AND TO OBTAIN THE REQUIREMENTS FOR REMOVAL OF AND CAPPING THEIR RESPECTIVE UTILITY.
2. REMOVAL OF ALL UTILITIES SHALL BE IN STRICT CONFORMANCE WITH SAID UTILITY COMPANY REQUIREMENTS AND/OR ANY STATE OR LOCAL REGULATION.
3. UNLESS REQUIRED OTHERWISE ALL GAS SERVICES SHALL BE REMOVED AND CAPPED AT THE R.O.W. LINE.
4. ALL DEMOLITION DEBRIS SHALL BE TAKEN OFF SITE AND DISPOSED OF IN A LICENSED AND APPROVED DISPOSAL OR RECYCLING FACILITY.
5. IF ANY HAZARDOUS SUBSTANCES ARE ENCOUNTERED DURING DEMOLITION THAN THE APPROPRIATE PROTOCOL MUST BE FOLLOWED FOR REMOVAL AND DISPOSAL OF SAID HAZARDOUS SUBSTANCE.



LOCATION MAP
1"=600'



PRELIMINARY
DEMOLITION PLAN

8. 2-4-19	NOT THIS SHEET
7. 6-6-18	REV PER TWP. COMMENTS
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5. 5-2-18	REV. PER TWP. ENG. COMMENTS OF 4-25-18
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2. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
1. 3-9-15	ADDED ADDITION PROPERTY

DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1"= 30'
Drawn- DJD
Checked- A.E.
Sheet- 5 OF 19

125 Dowlan Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Plotted: 2/8/2019 File: F:\JWB\4063\4063-b6-pro Ver.- 000

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20161812858
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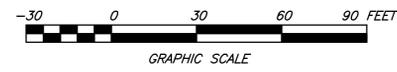
UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS

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DEMOLITION LEGEND

	BUILDING TO BE REMOVED
	CONC. SLAB OR SIDEWALK TO BE REMOVED
	CONC. CURB OR WALL TO BE REMOVED
	BLACKTOP TO BE REMOVED

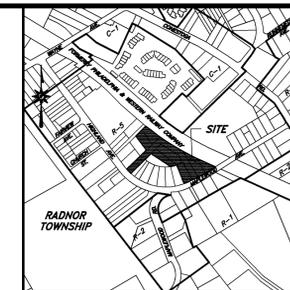


NOTE: THE RELOCATED POLE W/LIGHT
RELOCATED POLE SHALL BE PLACED AT A MINIMUM OF 5 FEET FROM THE CURB
RADIUS MUST BE INSTALLED A MINIMUM OF 1.5 FEET
FROM THE FACE OF CURB

ALL ON-SITE SOIL IS THE FOLLOWING:

SOIL SYMBOL	SOIL NAME
Md	MADE LAND, GABBRO AND DIABASE MATERIALS, 0 TO 8 PERCENT SLOPE





LOCATION MAP
1" = 600'

GENERAL NOTES:

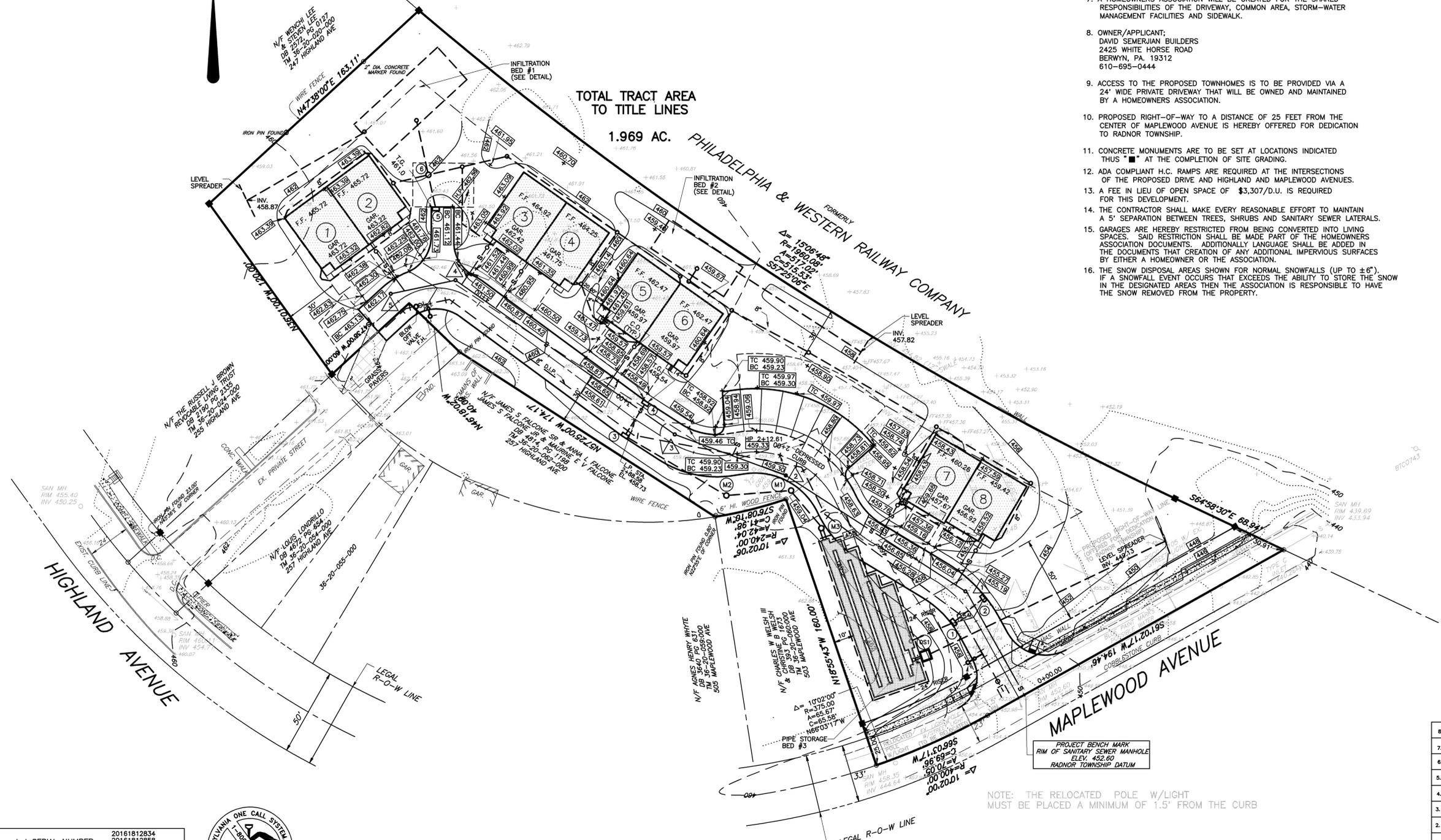
1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE THE DEPICTED PARCELS INTO ONE PROPERTY AND TO DEVELOP THE SITE AS 10 TOWNHOUSES.
2. BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. (EBWA) IN JULY, 2010.
3. BOUNDARY SURVEY WAS BASED UPON DEEDS OF RECORD. A TITLE REPORT WAS NOT PROVIDED, THEREFORE, THIS SURVEY DOES NOT PURPORT TO DEPICT ALL RIGHTS, EASEMENTS AND OTHER MATTERS OF TITLE WHICH A CURRENT AND COMPLETE TITLE REPORT WOULD DISCLOSE.
4. PROJECT BENCHMARK IS THE RIM OF SANITARY MANHOLE LOCATED AT INTERSECTION OF CENTRAL AND MAPLEWOOD AVENUE. DATUM RADNOR TOWNSHIP SEWER DATUM.
5. THE SITE IS SERVED BY PUBLIC SEWER AND WATER.
6. TOTAL TRACT AREA (TO TITLE LINES) = 2.171 ACRES
7. A HOMEOWNERS ASSOCIATION WILL BE CREATED FOR THE SHARED RESPONSIBILITIES OF THE DRIVEWAY, COMMON AREA, STORM-WATER MANAGEMENT FACILITIES AND SIDEWALK.
8. OWNER/APPLICANT:
DAVID SEMERJIAN BUILDERS
2425 WHITE HORSE ROAD
BERWYN, PA. 19312
610-695-0444
9. ACCESS TO THE PROPOSED TOWNHOMES IS TO BE PROVIDED VIA A 24' WIDE PRIVATE DRIVEWAY THAT WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
10. PROPOSED RIGHT-OF-WAY TO A DISTANCE OF 25 FEET FROM THE CENTER OF MAPLEWOOD AVENUE IS HEREBY OFFERED FOR DEDICATION TO RADNOR TOWNSHIP.
11. CONCRETE MONUMENTS ARE TO BE SET AT LOCATIONS INDICATED THUS "■" AT THE COMPLETION OF SITE GRADING.
12. ADA COMPLIANT H.C. RAMPS ARE REQUIRED AT THE INTERSECTIONS OF THE PROPOSED DRIVE AND HIGHLAND AND MAPLEWOOD AVENUES.
13. A FEE IN LIEU OF OPEN SPACE OF \$3,307/D.U. IS REQUIRED FOR THIS DEVELOPMENT.
14. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN A 5' SEPARATION BETWEEN TREES, SHRUBS AND SANITARY SEWER LATERALS.
15. GARAGES ARE HEREBY RESTRICTED FROM BEING CONVERTED INTO LIVING SPACES. SAID RESTRICTION SHALL BE MADE PART OF THE HOMEOWNERS ASSOCIATION DOCUMENTS. ADDITIONALLY LANGUAGE SHALL BE ADDED IN THE DOCUMENTS THAT CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACES BY EITHER A HOMEOWNER OR THE ASSOCIATION.
16. THE SNOW DISPOSAL AREAS SHOWN FOR NORMAL SNOWFALLS (UP TO ±6"). IF A SNOWFALL EVENT OCCURS THAT EXCEEDS THE ABILITY TO STORE THE SNOW IN THE DESIGNATED AREAS THEN THE ASSOCIATION IS RESPONSIBLE TO HAVE THE SNOW REMOVED FROM THE PROPERTY.

LEGEND

---	430	---	EXISTING INDEX CONTOUR
---	432	---	EXISTING INTERIOR CONTOUR
---	438	---	PROPOSED CONTOUR
---	---	---	EXISTING STORM SEWER PIPE
---	---	---	PROPOSED STORM SEWER PIPE
---	---	---	EXISTING TREE LINE
---	---	---	EXISTING WETLANDS
---	---	---	EDGE OF PAVING
---	---	---	RIGHT OF WAY LINE
X	X		FENCE
S			EXISTING SANITARY SEWER PIPE
S			PROPOSED SANITARY SEWER PIPE
E			EXISTING ELECTRIC LINE
E			PROPOSED ELECTRIC LINE
W			EXISTING WATER LINE
W			PROPOSED WATER LINE
---	---	---	EXISTING CONCRETE WALK
---	---	---	PROPOSED CURB
432.45			EXISTING SPOT ELEVATION
432.28			PROPOSED SPOT ELEVATION
□			EXISTING INLET
□			PROPOSED INLET
○			EXISTING STORM MANHOLE
○			PROPOSED STORM MANHOLE
○			EXISTING SANITARY MANHOLE
○			PROPOSED SANITARY MANHOLE
○			WATER METER
○			WATER VALVE
○			PROPOSED FIRE HYDRANT
●			EXISTING TREE

TOTAL TRACT AREA TO TITLE LINES
1.969 AC.

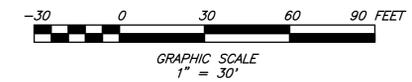
PHILADELPHIA & WESTERN RAILWAY COMPANY
FORMERLY



PRELIMINARY
GRADING AND UTILITIES PLAN

8. 6-6-18	REV PER TWP. COMMENTS
7. 5-14-18	GENERAL REVISIONS
6. 5-2-18	REV. PER TWP. ENG. COMMENTS OF 4-25-18
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

NOTE: THE RELOCATED POLE W/LIGHT
MUST BE PLACED A MINIMUM OF 1.5' FROM THE CURB



ACT 121 as amended SERIAL NUMBER 20181812834
20181812858
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

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UTILITIES NOTIFIED

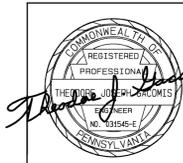
VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS



IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT. THIS NOTICE APPLIES TO INFORMATION FOR THIS PROJECT INCLUDING PLANS OF SAME PREPARED BY OTHERS, E.G. UTILITY COMPANY PLANS. THIS NOTICE IS GIVEN AS PER ACT 287 OF THE COMMONWEALTH OF PENNSYLVANIA, SERIAL #

ALL ON-SITE SOIL IS THE FOLLOWING:

SOIL SYMBOL	SOIL NAME
Md	MADE LAND, GABBRO AND DIABASE MATERIALS, 0 TO 8 PERCENT SLOPE



DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1" = 30'
Drawn- DJD
Checked- A.E.
Sheet- 6 OF 19

125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Plotted: 2/8/2019 File: F:\JWB\4063\4063-b6-pro Ver: 000

LEGEND

- 430 EXISTING INDEX CONTOUR
- 432 EXISTING INTERIOR CONTOUR
- 432 PROPOSED CONTOUR
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EXISTING TREE LINE
- EXISTING WETLANDS
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- RIGHT OF WAY LINE
- FENCE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
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- PROPOSED INLET
- EXISTING ENDWALL
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- WATER METER
- WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING TREE

EROSION & SEDIMENTATION CONTROL LEGEND

- TRACT BOUNDARY/NPDES BOUNDARY
- LIMIT OF DISTURBANCE
- CONSTRUCTION FENCE
- 12" SILT FENCE
- 18" SILT FENCE
- INLET PROTECTION
- TOPSOIL STOCKPILE
- ROCK CONSTR. ENTRANCE
- EROSION CONTROL BLANKET
- EROSION CONTROL BLANKET SHADING

UTILITIES NOTIFIED

ACT 121 as amended SERIAL NUMBER 20161812834 / 20161812858

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SOIL TYPE	INFILTRATION POTENTIAL	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	HYDROLOGIC SOIL GROUP	RETENTION/DETENTION BASIN LOCATION	SOIL ERODIBILITY CLASS	UNIFIED SOIL CLASSIFICATION	HYDRIC SOIL YES/NO?	ALLUVIAL SOIL YES/NO?
Md	>80"	>80"	>80"	C	WELL DRAINED	MEDIUM	GM	YES	NO

STORMWATER BMP INFORMATION

PROPOSED INFILTRATION BED # (Site Specific)	INFILTRATION INFORMATION			BMP INFORMATION				
	MEASURED INFILTRATION RATE in./hr.	FACTOR OF SAFETY 2 min.	DESIGN INFILTRATION RATE in./hr.	DEWATERING TIME hrs.	INFILTRATION ELEVATION TOP OF BED/ FEET	INFILTRATION ELEVATION BOTTOM OF BED/ FEET	ELEVATION EAS SEDIMENT BASIN BOTTOM (IF APPLIES)	VOLUME TO BE INFILTRATED OR PERMANENTLY REMOVED cu ft
INFILTRATION BED #1	7.50	2	3.75	12	459.75	456.00	461.00	2002
INFILTRATION BED #2	9.00	2	4.5	10	458.75	455.00	460.00	1,393
PIPE STORAGE #3	N/A	N/A	N/A	N/A	454.50	450.71	N/A	N/A

GENERAL BMP AND E&S NOTES

- ALL OF THE BMP'S IDENTIFIED/PROPOSED ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN AND THE NOTES CONTAINED ON THE SHEET. THE WETLAND VEGETATION FOR THE BASINS SHALL NOT BE INSTALLED UNTIL 70% STABILIZATION OF THE TRIBUTARY AREA IS ACHIEVED AND THE CONSTRUCTION TO ITS FINAL CONFIGURATION IS COMPLETE.
- NO BMP SHALL BE INSTALLED UNTIL 70% VEGETATIVE COVER IS ACHIEVED. THE CONSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO THE INSTALLATION AND MUST CONCUR WITH THE 70% COVER BEFORE INSTALLATION IS BEGUN.
- DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE EVERY EFFORT TO KEEP SEDIMENT LAIDEN WATER OUT OF THE INFILTRATION BMP'S. IF ANY SEDIMENT LAIDEN WATER SHALL ENTER THE FACILITY, IMMEDIATE STEPS MUST BE TAKEN TO REMOVE IT INCLUDING BUT NOT LIMITED TO CLEANING THE FABRIC AND STONE OR REPLACING IT DEPENDING ON THE SEVERITY OF THE INCONVENIENCE.
- 50' BUFFER AREAS ARE REQUIRED AT THE STREAM CROSSING. ALL CLEARING, SOIL DISTURBANCES, EXCAVATION AND EQUIPMENT TRAFFIC SHOULD BE AVOIDED AND/OR MINIMIZED. ALL OTHER CONSTRUCTION OPERATIONS SHALL TAKE PLACE OUTSIDE THE BUFFER.

CONSTRUCTION SEQUENCE

- A PRE-CONSTRUCTION MEETING IS REQUIRED ON SITE PRIOR TO THE START OF CONSTRUCTION. THE ATTENDEES MUST BE THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, DESIGN ENGINEER AND A REPRESENTATIVE FROM THE DELAWARE COUNTY CONSERVATION DISTRICT. THE CONSERVATION DISTRICT REQUIRES 7 DAYS NOTICE PRIOR TO THE MEETING.
- DELINEATE THE LIMIT OF DISTURBANCE IN THE FIELD. INSTALL ORANGE CONSTRUCTION FENCE AROUND THE TWO INFILTRATION FACILITIES. INSTALL THE TREE PROTECTION FENCE AS DEPICTED ON THE LANDSCAPE PLAN.
- INSTALL BOTH CONSTRUCTION ENTRANCES AND THE SILT SOCK.
- ONCE THE FACILITIES IN STEP 3 ARE INSTALLED AND FUNCTIONING THEN BEGIN THE SITE DEMOLITION IN ACCORDANCE WITH THE DEMOLITION PLAN. REMOVE ALL DEBRIS FROM THE SITE AND DISPOSE OR RECYCLE IT IN A LICENSED APPROVED FACILITY.
- ONCE THE DEMOLITION IS COMPLETE THEN CLEAR THE SITE AND STRIP THE TOPSOIL STOCKPILE THE TOPSOIL AS SHOWN. ONCE COMPLETE THEN STABILIZE AND SURROUND WITH 18" SILT FENCE.
- ROUGH GRADE THE SITE. INSTALL THE STORM SEWER AND THE PIPE STORAGE SYSTEM. INSTALL THE CURB, THE SMALL RETAINING WALL ATA STAIR 5+60 THRU 6+10.
- INSTALL THE REMAINING UTILITIES IN THE DRIVEWAY. PLACE THE STONE BASE AND BINDER COURSE. FINISH PAVING DRIVEWAY SITES.
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- ONCE THE BEDS ARE CONSTRUCTED THE ROOF DRAIN STUBS MUST BE CAPPED UNTIL SUCH TIME AS THE UNITS ARE COMPLETED.
- FINISH THE HOUSE (UNIT) CONSTRUCTION. SPREAD TOPSOIL AS NEEDED AND SEED MULCH AND STABILIZE IMMEDIATELY.
- ALL E & S CONTROLS MUST BE MAINTAINED UNTIL THE ENTIRE SITE HAS ACHIEVED 70% UNIFORM VEGETATIVE COVER AS APPROVED BY THE CONSERVATION DISTRICT. CONTACT THE DISTRICT FOR THEIR FINAL INSPECTION REMOVE THE FACILITIES AND STABILIZE.
- COMPLETE AND SUBMIT THE NOTICE OF TERMINATION FOR THE SITE.

PAST AND PRESENT USES

THE SITE WAS PREVIOUSLY USED FOR RESIDENTIAL PURPOSES AND AS A PAVING COMPANY'S YARD AND FACILITY.

POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS
- PIPE STORAGE SYSTEM

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

UTILITY LINE TRENCH EXCAVATION NOTES

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUS CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT. TRENCH INSTALLATION AND BACKFILLING CAN BE COMPLETED THE SAME DAY.
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- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

NOTE:

ALL SLOPES GREATER THAN 3:1 MUST UTILIZE ECB'S.

CLEAN FILL RESPONSIBILITY

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE THAT IMPORTED FILL MATERIAL MEETS THE PERMITS QUALIFICATIONS FOR "CLEAN FILL".

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Md	MADE LAND, GABBRO AND DIABASE MATERIALS, 0 TO 8 PERCENT SLOPE

SOIL RESOLUTION

- ANY WATER THAT IS ENCOUNTERED IN THE WORK ZONE MUST BE PUMPED TO AN APPROVED DEWATERING FACILITY.

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GENERAL NOTES

- Should any measures contained within this plan prove incapable of adequately removing sediment from over-site runoff, the discharge or of stabilizing the surfaces involved, additional measures must be immediately implemented by the developer to eliminate all such problems.
- Only limited erosion and sedimentation controls for grading and scouring runoff to construct these controls.
- Erosion and sedimentation controls must be constructed, stabilized, and functional before general site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be stabilized. Areas disturbed during removal of the controls must be stabilized.
- Until the site is stabilized, seeding and mulching of the controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation control devices on each storm event and on a weekly basis. All preventative and remedial maintenance work, including seeding, mulching, and re-planting must be performed immediately.
- The developer is advised to become thoroughly familiar with the provisions of Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Resources, Sub-Part C, Protection of Natural Resources, Article 11, Water Resources, Chapter 102, Erosion Control, and the provisions of the Pennsylvania Sedimentation Act, 25 Pa.C.S. § 102.1.
- A copy of this plan must be posted at the construction site in a prominent location.
- Limits of disturbance must be clearly marked in the field prior to disturbance. Any change or encroachment into these areas without Conservation District review and approval may require the developer to cease disturbance.
- The developer must develop and have approved by the County Conservation District, a separate erosion and sedimentation control plan for each storm or other work area, not detailed in the approved plan, whether located within or outside the tributary areas of these controls.
- Sediment must be removed when accumulations reach 1/2 above ground heights of 88 feet.
- If any significant changes are to be made to the limits of disturbance or to the erosion and sedimentation control plan, the builder or landowner will contact the Chester County Conservation District at 717-338-1000 for a copy of these changes.
- All areas requiring interim or final stabilization must be addressed immediately upon completion of disturbance. Areas utilizing vegetative stabilization must be seeded/planted or mulched/sufficed prior to the end of the work on a weekly basis. Seeding will be accomplished through the use of hydro-seeding techniques. Seeding and mulching shall be done at a rate of 3.0 tons per acre as recommended in the Penn State Agronomy Guide.

CRITICAL STAGES

- INSTALLATION OF EVERY INFILTRATION BED

MAINTENANCE AND CONSTRUCTION NOTES

- STORM WATER DETENTION SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF PA ON BEHALF OF THE UNIT OWNER OR RESPONSIBLE PARTY FOR THE PROJECT.
- ENGINEER ON THE FOLLOWING BASIS:
 - TWO INSPECTIONS PER YEAR FOR THE FIRST TWO YEARS.
 - ONE INSPECTION PER YEAR FOR THE FOLLOWING THREE YEARS.
 - ONE INSPECTION EVERY THREE YEARS THEREAFTER.
 - FAILURE OR INADEQUACY AFTER CESSATION OF A 100-YEAR OR GREATER STORM EVENT.
- IF THE INSPECTING ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE MONTH FOLLOWING THE COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY REPAIRS SHALL BE COMPLETED BY THE OWNER WITHIN ONE (1) MONTH OF THE REPORT ISSUANCE DATE.
- THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION WILL BE KEPT ON FILE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN UP, REPAIR, REPLACEMENT, RESEEDING, MULCHING AND IDENTIFYING, MUST BE PERFORMED IMMEDIATELY UPON COMPLETION OF THE INSPECTION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF OR OR SEDIMENT DEPOSITION. STORMWATER DETENTION SHALL BE CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN RESERVOIR AND NOT USED FOR ANY OTHER PURPOSES.
- PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- ONCE THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AT LEAST ONCE PER YEAR AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PROJECT. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION WILL BE KEPT ON FILE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN UP, REPAIR, REPLACEMENT, RESEEDING, MULCHING AND IDENTIFYING, MUST BE PERFORMED IMMEDIATELY UPON COMPLETION OF THE INSPECTION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF OR OR SEDIMENT DEPOSITION. STORMWATER DETENTION SHALL BE CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN RESERVOIR AND NOT USED FOR ANY OTHER PURPOSES.
- WHERE BMP'S ARE FOUND TO FAIL TO ACHIEVE EROSION OR SEDIMENT POLLUTION PERMITS OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE REOCCURRENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EARLIEST DATE WHEN THE CITY WILL RETURN TO COMPLIANCE.
- 3:1 SLOPES TO BE STABILIZED W/ EROSION CONTROL BLANKET NORTH AMERICAN 5-75.
- THE AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED, IMMEDIATELY UPON DISCOVERING UNDESIRABLE DISCREPANCIES OR VIOLATIONS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LAIDEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG, DREDGED FROM NON-DISTURBED AREAS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPROVED E&S PLAN, INCLUDING THE PROVISIONS OF THE PENNSYLVANIA SEDIMENTATION ACT, 25 PA.C.S. § 102.1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE 11, WATER RESOURCES, CHAPTER 102, EROSION CONTROL, AND THE PROVISIONS OF THE PENNSYLVANIA CONSTRUCTION ACT, 25 PA.C.S. § 102.1.
- A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN MUST BE AVAILABLE AT ALL TIMES AT THE OPERATOR'S OFFICE AND AN EROSION AND SEDIMENTATION CONTROL PLAN HAS BEEN PREPARED, APPROVED BY THE CHESTER COUNTY CONSERVATION DISTRICT, AND IS BEING IMPLEMENTED AND MAINTAINED FOR ALL SOIL AND/OR ROCK SLOPE AND BERM AREAS, REARWARD OF THEIR LOCATIONS.
- THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE, OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 251.1 ET SEQ., 271.1 ET SEQ., AND 281.1 ET SEQ. THE CONTRACTOR SHALL NOT ILLEGALLY BURY, DUMP OR DISCHARGE ANY BUILDING MATERIAL OR WASTES AT THE SITE.
- SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF OR OR SEDIMENT DEPOSITION. STORMWATER DETENTION SHALL BE CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN RESERVOIR AND NOT USED FOR ANY OTHER PURPOSES.
- PROTECTION TO EXISTING TREES AND SHRUBS SHALL BE TAKEN BY THE CONTRACTOR TO ELIMINATE UNNECESSARY DAMAGE.
- ONCE THE SITE IS STABILIZED ALL EROSION AND SEDIMENTATION BMP'S MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION BMP'S AT LEAST ONCE PER YEAR AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PROJECT. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION WILL BE KEPT ON FILE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.
- ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN UP, REPAIR, REPLACEMENT, RESEEDING, MULCHING AND IDENTIFYING, MUST BE PERFORMED IMMEDIATELY UPON COMPLETION OF THE INSPECTION AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF OR OR SEDIMENT DEPOSITION. STORMWATER DETENTION SHALL BE CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN RESERVOIR AND NOT USED FOR ANY OTHER PURPOSES.
- WHERE BMP'S ARE FOUND TO FAIL TO ACHIEVE EROSION OR SEDIMENT POLLUTION PERMITS OR CO-PERMITTEE SHALL INCLUDE THE FOLLOWING INFORMATION:
 - THE LOCATION AND SEVERITY OF THE BMP'S FAILURE AND ANY POLLUTION EVENTS.
 - ALL STEPS TAKEN TO REDUCE, ELIMINATE AND PREVENT THE REOCCURRENCE OF THE NON-COMPLIANCE.
 - THE TIME FRAME TO CORRECT THE NON-COMPLIANCE, INCLUDING THE EARLIEST DATE WHEN THE CITY WILL RETURN TO COMPLIANCE.
- 3:1 SLOPES TO BE STABILIZED W/ EROSION CONTROL BLANKET NORTH AMERICAN 5-75.
- THE AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
- BEFORE INITIATING ANY REVISION TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN IS PROPERLY AND COMPLETELY IMPLEMENTED, IMMEDIATELY UPON DISCOVERING UNDESIRABLE DISCREPANCIES OR VIOLATIONS OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION.
- ALL PUMPING OF SEDIMENT LAIDEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG, DREDGED FROM NON-DISTURBED AREAS.
- THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPROVED E&S PLAN, INCLUDING THE PROVISIONS OF THE PENNSYLVANIA SEDIMENTATION ACT, 25 PA.C.S. § 102.1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE 11, WATER RESOURCES, CHAPTER 102, EROSION CONTROL, AND THE PROVISIONS OF THE PENNSYLVANIA CONSTRUCTION ACT, 25 PA.C.S. § 102.1.
- A COPY OF THESE EROSION AND SEDIMENTATION CONTROL PLANS MUST BE POSTED AT THE CONSTRUCTION SITE IN ACCORDANCE WITH STATE LAW.

UNNAMED TRIBUTORY TO LITTLE DARBY CREEK AND THIAN CREEK BOTH OF WHICH ARE PART OF THE DARBY CREEK WATERSHED.

CLASSIFICATION: CWF

PAST AND PRESENT USES

THE SITE WAS PREVIOUSLY USED FOR RESIDENTIAL PURPOSES AND AS A PAVING COMPANY'S YARD AND FACILITY.

POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS
- PIPE STORAGE SYSTEM

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

UTILITY LINE TRENCH EXCAVATION NOTES

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUS CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT. TRENCH INSTALLATION AND BACKFILLING CAN BE COMPLETED THE SAME DAY.
- WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. WATER REMOVED FROM THE TRENCH SHALL BE PUMPED THROUGH A FILTRATION DEVICE.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

NOTE:

ALL SLOPES GREATER THAN 3:1 MUST UTILIZE ECB'S.

CLEAN FILL RESPONSIBILITY

THE CONTRACTOR IS RESPONSIBLE TO PERFORM ENVIRONMENTAL DUE DILIGENCE TO DETERMINE THAT IMPORTED FILL MATERIAL MEETS THE PERMITS QUALIFICATIONS FOR "CLEAN FILL".

CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED ON OR IN THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.

ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, ENVIRONMENTAL ASSESSMENTS OR AUDITS, ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECT TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IT MUST BE HELD TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE PA DEP'S POLICY "MANAGEMENT OF FILL".

FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED. FILL REGULATED FILL IS WASTE AND MUST BE MANAGED IN ACCORDANCE WITH THE PA DEP'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.

CONSTRUCTION SEQUENCE

- A PRE-CONSTRUCTION MEETING IS REQUIRED ON SITE PRIOR TO THE START OF CONSTRUCTION. THE ATTENDEES MUST BE THE OWNER, SITE CONTRACTOR, TOWNSHIP ENGINEER, DESIGN ENGINEER AND A REPRESENTATIVE FROM THE DELAWARE COUNTY CONSERVATION DISTRICT. THE CONSERVATION DISTRICT REQUIRES 7 DAYS NOTICE PRIOR TO THE MEETING.
- DELINEATE THE LIMIT OF DISTURBANCE IN THE FIELD. INSTALL ORANGE CONSTRUCTION FENCE AROUND THE TWO INFILTRATION FACILITIES. INSTALL THE TREE PROTECTION FENCE AS DEPICTED ON THE LANDSCAPE PLAN.
- INSTALL BOTH CONSTRUCTION ENTRANCES AND THE SILT SOCK.
- ONCE THE FACILITIES IN STEP 3 ARE INSTALLED AND FUNCTIONING THEN BEGIN THE SITE DEMOLITION IN ACCORDANCE WITH THE DEMOLITION PLAN. REMOVE ALL DEBRIS FROM THE SITE AND DISPOSE OR RECYCLE IT IN A LICENSED APPROVED FACILITY.
- ONCE THE DEMOLITION IS COMPLETE THEN CLEAR THE SITE AND STRIP THE TOPSOIL STOCKPILE THE TOPSOIL AS SHOWN. ONCE COMPLETE THEN STABILIZE AND SURROUND WITH 18" SILT FENCE.
- ROUGH GRADE THE SITE. INSTALL THE STORM SEWER AND THE PIPE STORAGE SYSTEM. INSTALL THE CURB, THE SMALL RETAINING WALL ATA STAIR 5+60 THRU 6+10.
- INSTALL THE REMAINING UTILITIES IN THE DRIVEWAY. PLACE THE STONE BASE AND BINDER COURSE. FINISH PAVING DRIVEWAY SITES.
- HOUSE CONSTRUCTION CAN COMMENCE CONCURRENTLY WITH THE INSTALLATION OF UTILITIES.
- INFILTRATION BEDS 1 AND 2 MUST BE CONSTRUCTED IMMEDIATELY AFTER THE FIRST UNIT TYING INTO THEM IS UNDER THE ROOF. CONSTRUCT THE BEDS IN ACCORDANCE WITH THE NOTES, DETAILS AND SPECIFICATIONS FOUND ON THE POST CONSTRUCTION STORM WATER MANAGEMENT PLAN. THIS IS A CRITICAL BMP ENGINEERING OVERSIGHT IS REQUIRED.
- ONCE THE BEDS ARE CONSTRUCTED THE ROOF DRAIN STUBS MUST BE CAPPED UNTIL SUCH TIME AS THE UNITS ARE COMPLETED.
- FINISH THE HOUSE (UNIT) CONSTRUCTION. SPREAD TOPSOIL AS NEEDED AND SEED MULCH AND STABILIZE IMMEDIATELY.
- ALL E & S CONTROLS MUST BE MAINTAINED UNTIL THE ENTIRE SITE HAS ACHIEVED 70% UNIFORM VEGETATIVE COVER AS APPROVED BY THE CONSERVATION DISTRICT. CONTACT THE DISTRICT FOR THEIR FINAL INSPECTION REMOVE THE FACILITIES AND STABILIZE.
- COMPLETE AND SUBMIT THE NOTICE OF TERMINATION FOR THE SITE.

GENERAL NOTES

- Should any measures contained within this plan prove incapable of adequately removing sediment from over-site runoff, the discharge or of stabilizing the surfaces involved, additional measures must be immediately implemented by the developer to eliminate all such problems.
- Only limited erosion and sedimentation controls for grading and scouring runoff to construct these controls.
- E

LEGEND

- TRACT BOUNDARY/NPDES BOUNDARY
- LIMIT OF DISTURBANCE
- BMP DRAINAGE AREA BOUNDARY
- EXISTING INDEX CONTOUR
- EXISTING INTERIOR CONTOUR
- PROPOSED CONTOUR
- EXISTING STORM SEWER PIPE
- PROPOSED STORM SEWER PIPE
- EXISTING TREE LINE
- EXISTING WETLANDS
- EDGE OF PAVING
- RIGHT OF WAY LINE
- FENCE
- EXISTING SANITARY SEWER PIPE
- PROPOSED SANITARY SEWER PIPE
- EXISTING ELECTRIC LINE
- PROPOSED ELECTRIC LINE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING CONCRETE WALK
- EXISTING CURB
- PROPOSED CURB
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- EXISTING INLET
- PROPOSED INLET
- PROPOSED ENDWALL
- EXISTING STORM MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING SANITARY MANHOLE
- PROPOSED SANITARY MANHOLE
- WATER METER
- WATER VALVE
- PROPOSED FIRE HYDRANT
- EXISTING TREE

GENERAL BMP AND EAS NOTES

- ALL OF THE BMP'S IDENTIFIED/PROPOSED ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN AND THE NOTES CONTAINED ON THE SHEET. THE WETLAND VEGETATION FOR THE BASINS SHALL NOT BE INSTALLED UNTIL 70% STABILIZATION OF THE TRIBUTARY AREA IS ACHIEVED AND THE CONVERSION TO ITS FINAL CONFIGURATION IS COMPLETE.
- NO BMP SHALL BE INSTALLED UNTIL 70% VEGETATIVE COVER IS ACHIEVED. THE OBSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO THE INSTALLATION AND MUST CONCUR WITH THE 70% COVER BEFORE INSTALLATION IS BEGUN.
- DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE EVERY EFFORT TO KEEP SEDIMENT LOADED WATER OUT OF THE INFILTRATION BMP'S. IF ANY SEDIMENT LOADED WATER SHALL ENTER THE FACILITY, IMMEDIATE STEPS MUST BE UNDERTAKEN TO REMOVE IT, INCLUDING BUT NOT LIMITED TO CLEANING THE FABRIC AND STONE OR REPLACING IT DEPENDING ON THE SEVERITY OF THE INCURSION.
- 50' BUFFER AREAS ARE REQUIRED AT THE STREAM CROSSING. ALL CLEARING SOD DISTURBANCES, EXCAVATION AND EQUIPMENT TRAFFIC SHOULD BE AVOIDED AND/OR MINIMIZED. ALL OTHER CONSTRUCTION OPERATIONS SHALL TAKE PLACE OUTSIDE THE BUFFER.

NOTES

- ALL OF THE BMP'S IDENTIFIED/PROPOSED ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DETAILS SHOWN HEREIN AND THE NOTES CONTAINED ON THE SHEET. THE WETLAND VEGETATION FOR THE BASINS SHALL NOT BE INSTALLED UNTIL 70% STABILIZATION OF THE TRIBUTARY AREA IS ACHIEVED AND THE CONVERSION TO ITS FINAL CONFIGURATION IS COMPLETE.
- NO BMP SHALL BE INSTALLED UNTIL 70% VEGETATIVE COVER IS ACHIEVED. THE OBSERVATION DISTRICT SHALL BE NOTIFIED PRIOR TO THE INSTALLATION AND MUST CONCUR WITH THE 70% COVER BEFORE INSTALLATION IS BEGUN.
- DURING CONSTRUCTION THE CONTRACTOR SHALL TAKE EVERY EFFORT TO KEEP SEDIMENT LOADED WATER OUT OF THE INFILTRATION BMP'S. IF ANY SEDIMENT LOADED WATER SHALL ENTER THE FACILITY, IMMEDIATE STEPS MUST BE UNDERTAKEN TO REMOVE IT, INCLUDING BUT NOT LIMITED TO CLEANING THE FABRIC AND STONE OR REPLACING IT DEPENDING ON THE SEVERITY OF THE INCURSION.
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ACT 121 as amended SERIAL NUMBER 20161812834 20161812858

Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
PECO ENERGY, INC.
AT&T PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PROJECT. THIS NOTICE APPLIES TO INFORMATION FOR THIS PROJECT INCLUDING PLANS OF SAME PREPARED BY OTHERS, E.G. UTILITY COMPANY PLANS. THIS NOTICE IS GIVEN AS PER ACT 121 OF THE COMMONWEALTH OF PENNSYLVANIA. SERIAL #20161812834 & 20161812858

PA PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776
STOP-CALL BEFORE YOU DIG

ALL ON-SITE SOIL IS THE FOLLOWING:

SOIL SYMBOL	SOIL NAME
Md	MADE LAND, GABBRO AND DIABASE MATERIALS, 0 TO 8 PERCENT SLOPE

SOIL TYPE	INFILTRATION POTENTIAL	DEPTH TO SEASONALLY HIGH WATER TABLE	DEPTH TO BEDROCK	HYDROLOGIC SOIL GROUP	RETENTION/DETENTION LOCATION	SOIL ERODIBILITY CLASS	UNIFIED SOIL CLASSIFICATION	HYDRIC SOIL YES/NO?	ALLUVIAL SOIL YES/NO?
Md	>80"	>80"	>80"	C	WELL DRAINED	MEDIUM	GM	YES	NO

SOIL RESOLUTION

1. ANY WATER THAT IS ENCOUNTERED IN THE WORK ZONE MUST BE PUMPED TO AN APPROVED DETERNERING FACILITY.

STORMWATER BMP INFORMATION POI #2

PROPOSED INFILTRATION BMP(S) (Site Specific)	INFILTRATION INFORMATION			BMP INFORMATION				
	MEASURED INFILTRATION RATE In./hr.	DESIGN INFILTRATION RATE In./hr.	DEWATERING TIME hrs.	ELEVATION SOILS WATER TABLE ROCK	INFL. ELEVATION TOP OF BED/ BASIN	INFL. ELEVATION BOTTOM OF BED/ BASIN	ELEVATION EAS SEDIMENT BASIN BOTTOM (IF APPLIES)	VOLUME TO BE INFILTRATED PERMANENTLY REMOVED C.F.
INFILTRATION BED #1	7.50	2	3.75	9.60	459.75	456.00	461.00	2,077
INFILTRATION BED #2	9.00	2	4.5	7.09	458.75	455.00	460.00	957
PIPE STORAGE #3	N/A	N/A	N/A	N/A	454.50	450.71	N/A	N/A
LANDSCAPE RESTORATION (MATURE SPECIES)	18 EVERGREEN x 10 C.F. 14 DEC x 6 C.F.							180 C.F. 84 C.F.

TOTAL INFILTRATED = 3,034 C.F.
TOTAL REQ W54 = 2,580 C.F. (POI #2)

UTILITY LINE TRENCH EXCAVATION NOTES

- LIMIT ADVANCED CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF CONTAINED AND SEPARATE FROM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS.
- ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.
- LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT. PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE SAME DAY.
- WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING BEFORE PIPE PLACEMENT AND/OR BACKFILLING. BACKFILLING SHALL BE COMPLETED AND CLOSING THE ACCESS HATCH AT THIS TIME IS ALSO REQUIRED.
- ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND IMMEDIATELY STABILIZED.

CRITICAL STAGES

- INSTALLATION OF BOTH INFILTRATION BEDS
- INSTALLATION OF PIPE STORAGE SYSTEM

MAINTENANCE AND CONSTRUCTION NOTES

- STORM WATER INFILTRATION BEDS AND PIPE STORAGE SYSTEM SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF PA. ON BEHALF OF THE UNIT OWNER OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER ON THE FOLLOWING DATES:
 - TWO INSPECTIONS PER YEAR FOR THE FIRST TWO YEARS.
 - ONE INSPECTION PER YEAR FOR THE FOLLOWING THREE YEARS.
 - ONE INSPECTION EVERY THREE YEARS THEREAFTER.
 - DURING OR IMMEDIATELY AFTER CESSATION OF A 100-YEAR OR GREATER STORM EVENT.
- THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP WITHIN ONE (1) MONTH FOLLOWING COMPLETION OF THE INSPECTION. THE REPORT WILL PRESENT DOCUMENTATION AND INCLUDE PICTURES REGARDING THE CONDITION OF THE FACILITY AND RECOMMEND NECESSARY REPAIRS, IF NEEDED. ANY NEEDED REPAIRS SHALL BE IMPLEMENTED BY THE OWNER WITHIN ONE (1) MONTH OF THE REPORT ISSUANCE DATE.
- THE INLET PROTECTION MUST REMAIN UNTIL ALL DISTURBED AREAS ARE STABILIZED WITH ESTABLISHED GROWTH OF GRASS (MIN. COVERAGE = 70%).
- THE STORMWATER MANAGEMENT SYSTEM MAY NOT BE DISRUPTED OR WORKED IN ANY WAY UNLESS APPROVED BY RADNOR TOWNSHIP.
- ALL INLET AND MANHOLES CONTAINING SNOUTS MUST BE INSPECTED AS SPECIFIED IN NOTE # ABOVE. THE INSPECTOR SHALL ENSURE THE BOTTOM OF THE STRUCTURE IS FREE OF DEBRIS AND THE SNOUT IS NOT DAMAGED. ALL DEBRIS MUST BE REMOVED FROM THE STRUCTURES ON A YEARLY BASIS AND SENT TO AN APPROVED FACILITY.

PAST AND PRESENT USES

THE SITE WAS PREVIOUSLY USED FOR RESIDENTIAL PURPOSES AND AS A PAVING COMPANY'S YARD AND FACILITY.

POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS 1 & 2

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

WATERSHED

UNNAMED TRIBUTARY TO LITTLE DARBY CREEK AND DARBY CREEK, BOTH OF WHICH ARE PART OF THE DARBY CREEK WATERSHED. CLASSIFICATION: CWF

POST CONSTRUCTION

SNOUT BMP MAINTENANCE NOTES:

MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION RECOMMENDED AFTER THE SITE HAS BEEN STABILIZED. MEASUREMENT OF SEDIMENT DEPTH AND NOTING THE SURFACE POLLUTANTS WILL BE HELPFUL IN PLANNING MAINTENANCE.

THE STRUCTURE SHALL BE CLEANED WHEN THE SNOUT IS HALF FULL. WHEN A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS IN A STRUCTURE, MAINTENANCE IS BEST PERFORMED WITH A VACUUM TRUCK.

AN ANNUAL INSPECTION OF THE ANTI-SIPHON VENT AND ACCESS HATCH ARE RECOMMENDED. A SIMPLE FLUSHING OF THE VENT OR SMOOTING WITH A FLEXIBLE WIRE SHOULD BE PERFORMED TO MAINTAIN THE ANTI-SIPHON PROPERTIES. TO ENSURE TROUBLE-FREE SERVICE, OPENING AND CLOSING THE ACCESS HATCH AT THIS TIME IS ALSO RECOMMENDED.

CONSTRUCTION DEBRIS HANDLING:

- CONSTRUCTION DEBRIS MUST BE STORED IN REFUSE CONTAINERS WITH THE CONTAINERS MUST BE PLACED IN ACCESSIBLE LOCATIONS.
- NO DEBRIS MAY BE STORED/LEFT IN AREAS OR DEPRESSIONS ON THE SITE.
- NO FUEL MAY BE STORED ON SITE.
- ALL COLLECTED WASTES MUST BE HANDLED AND DISPOSED OF ACCORDING TO LOCAL ENVIRONMENTAL REQUIREMENTS.

POST-CONSTRUCTION LONG TERM OPERATION AND MAINTENANCE OF STORMWATER FACILITIES:

THE OPERATION AND MAINTENANCE OF THE BMP'S IS THE RESPONSIBILITY OF THE PROPERTY OWNER.

STORMWATER DETENTION FACILITY:

- IF WATER IS STILL IN THE BOTTOM OF THE STRUCTURES, SEDIMENT REMOVAL MUST BE PERFORMED WHEN IT HAS NO STANDING WATER. ACCUMULATED SEDIMENT MUST BE REMOVED AND DISPOSED OF IN AN APPROVED MANNER. IF THE AMOUNT OF SEDIMENT REQUIRES ITS TRANSPORT TO ANOTHER SITE, THE SITE MUST HAVE AN NPDES PERMIT.
- SYSTEM DEWATERING: 1) SYSTEM DEWATERING OF THE BASIN AREA IS REQUIRED, THE WATER MUST BE DISCHARGED TO A DEP APPROVED DEWATERING FACILITY (DRY BAG OR EQUIV.).
- THE BASIN OUTLET MUST BE INSPECTED TO ENSURE THE STRUCTURES ARE FREE OF DEBRIS. ALL DEBRIS MUST BE REMOVED FROM THE STRUCTURES ON A YEARLY BASIS.
- IF THE SYSTEM IS CONSIDERED FAILING IF IT DOES NOT DRAIN IN 72 HOURS, IF IT IS NOT DRAINING, THE OUTLET SYSTEM MUST BE CHECKED AND CLEARED OF ANY DEBRIS CLOGGING THE OUTLET SYSTEM.

REGULAR REMOVAL OF LITTER AND DEBRIS WITHIN THE PROPERTY SHALL BE PERFORMED. STORMWATER FACILITIES SHALL BE INSPECTED AT LEAST ANNUALLY. THE PROFESSIONAL ENGINEER CONDUCTING THE INSPECTION SHALL NOT BE REQUIRED TO SUBMIT A WRITTEN REPORT TO THE TOWNSHIP UPON THE COMPLETION OF EACH INSPECTION REQUIRED BY THIS PARAGRAPH. INSTEAD, THE PROFESSIONAL ENGINEER SHALL BE REQUIRED TO SUBMIT A WRITTEN INSPECTION REPORT TO THE TOWNSHIP IN ACCORDANCE WITH THE SCHEDULE ESTABLISHED UNDER THE POST-CONSTRUCTION STORMWATER MANAGEMENT FACILITIES INSPECTION REQUIREMENTS SET FORTH SEPARATELY ON THESE PLANS. ANY TRASH, DEBRIS, SEDIMENT, ETC., SHALL BE REMOVED AND PROPERLY DISPOSED OF. THE STORMWATER MANAGEMENT FACILITIES SHOWN ON THESE PLANS, INCLUDING STORM INLETS, STORM DRAIN PIPES, DETENTION SYSTEMS, SAND CATCHES, AND ROOF DRAIN CONNECTIONS ARE PERMANENT AND ARE NOT TO BE REMOVED.

UNDERGROUND STONE RECHARGE BED:

- IF WATER IS STILL IN THE BOTTOM OF THE INLETS AT THE RECHARGE BED 72 HOURS AFTER A STORM EVENT, THE SYSTEM HAS FAILED AND MUST BE REPAIRED.
- THE SYSTEM MAY NEED TO BE REPAIRED AND NEW STONE INSTALLED.
- SHOULD DEWATERING BE REQUIRED, THE WATER MUST BE DISCHARGED TO A DEP APPROVED DEWATERING FACILITY (DRY BAG OR EQUIV.).
- ANY DEBRIS OR TRASH IN THE BOTTOM OF THE INLETS MUST BE REMOVED AND DISPOSED OF PROPERLY.

NOTES:

THE PERMITTEE SHALL PROVIDE ENGINEERING CONSTRUCTION BY A PROFESSIONAL ENGINEER FOR THE PROPOSED STORMWATER BMP'S. SHOULD GROUNDWATER OR BEDROCK BE ENCOUNTERED DURING CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM THE OWNER/ENGINEER MUST BE NOTIFIED AND THE SYSTEM SHOULD BE RELOCATED TO A MORE SUITABLE LOCATION.

PERM REPORTING AND RECORDKEEPING: THE PCSM PLAN, INSPECTION REPORTS AND MONITORING RECORDS SHALL BE AVAILABLE FOR REVIEW AND INSPECTION BY THE DEPARTMENT OR THE CONSERVATION DISTRICT.

FINAL ACKNOWLEDGEMENT: THE PERMITTEE SHALL INCLUDE WITH THE NOTICE OF TERMINATION RECORD DRAWINGS WITH A FINAL CERTIFICATION STATEMENT FROM A LICENSED PROFESSIONAL, WHICH READS AS FOLLOWS:

"I (NAME) DO HEREBY, IN MY PROFESSIONAL OPINION, ACKNOWLEDGE PURSUANT TO THE PENALTIES OF 18 PA. C.S.A. § 4904 TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF, THAT THE ACCOMPANYING RECORD DRAWINGS ACCURATELY REFLECT THE AS-BUILT CONDITIONS ARE TRUE AND CORRECT, AND ARE IN CONFORMANCE WITH CHAPTER 102 OF THE RULES AND REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION AND THAT THE PROJECT SITE WAS CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PCSM PLAN, ALL APPROVED PLAN CHANGES AND ACCEPTED CONSTRUCTION PRACTICES.

(1) THE PERMITTEE SHALL RETAIN A COPY OF THE RECORD DRAWINGS AS PART OF THE APPROVED PCSM PLAN.
(2) THE PERMITTEE SHALL PROVIDE A COPY OF THE RECORD DRAWINGS AS A PART OF THE APPROVED PCSM PLAN TO THE PERSON IDENTIFIED IN THIS SECTION AS BEING RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S. UPON PERMANENT STABILIZATION OF THE EARTH DISTURBANCE ACTIVITY UNDER § 102.22(c)(2) (RELATING TO PERMANENT STABILIZATION), AND INSTALLATION OF BMP'S IN ACCORDANCE WITH AN APPROVED PLAN PREPARED AND IMPLEMENTED IN ACCORDANCE WITH §§ 102.4 AND 102.8 (RELATING TO EROSION AND SEDIMENT CONTROL REQUIREMENTS; AND PCSM REQUIREMENTS), THE PERMITTEE OR CO-PERMITTEE SHALL SUBMIT A NOTICE OF TERMINATION TO THE DEPARTMENT OR CONSERVATION DISTRICT. THE NOTICE OF TERMINATION MUST INCLUDE:

(1) THE FACILITY NAME, ADDRESS AND LOCATION.
(2) THE OPERATOR NAME AND ADDRESS.
(3) THE PERMIT NUMBER.
(4) THE REASON FOR PERMIT TERMINATION.
(5) IDENTIFICATION OF THE PERSONS WHO HAVE AGREED TO AND WILL BE RESPONSIBLE FOR THE LONG-TERM OPERATION AND MAINTENANCE OF THE PCSM BMP'S IN ACCORDANCE WITH § 102.8(m) AND PROOF OF COMPLIANCE WITH § 102.8(m)(2).
(6) THE NOTICE OF TERMINATION MUST INCLUDE A RECORD DRAWING/BMP AS-BUILT SURVEY PLAN.

PRIOR TO ACCEPTING THE NOT, THE DEPARTMENT AND/OR CONSERVATION DISTRICT SHALL WILL PERFORM A FINAL INSPECTION AND APPROVE OR DENY THE NOTICE OF TERMINATION.

CRITICAL STAGES

- INSTALLATION OF BOTH INFILTRATION BEDS
- INSTALLATION OF PIPE STORAGE SYSTEM

MAINTENANCE AND CONSTRUCTION NOTES

- STORM WATER INFILTRATION BEDS AND PIPE STORAGE SYSTEM SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF PA. ON BEHALF OF THE UNIT OWNER OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER ON THE FOLLOWING DATES:
 - TWO INSPECTIONS PER YEAR FOR THE FIRST TWO YEARS.
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- ALL INLET AND MANHOLES CONTAINING SNOUTS MUST BE INSPECTED AS SPECIFIED IN NOTE # ABOVE. THE INSPECTOR SHALL ENSURE THE BOTTOM OF THE STRUCTURE IS FREE OF DEBRIS AND THE SNOUT IS NOT DAMAGED. ALL DEBRIS MUST BE REMOVED FROM THE STRUCTURES ON A YEARLY BASIS AND SENT TO AN APPROVED FACILITY.

PAST AND PRESENT USES

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POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS 1 & 2

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

WATERSHED

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POST CONSTRUCTION

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CRITICAL STAGES

- INSTALLATION OF BOTH INFILTRATION BEDS
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MAINTENANCE AND CONSTRUCTION NOTES

- STORM WATER INFILTRATION BEDS AND PIPE STORAGE SYSTEM SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF PA. ON BEHALF OF THE UNIT OWNER OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER ON THE FOLLOWING DATES:
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PAST AND PRESENT USES

THE SITE WAS PREVIOUSLY USED FOR RESIDENTIAL PURPOSES AND AS A PAVING COMPANY'S YARD AND FACILITY.

POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS 1 & 2

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

WATERSHED

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POST CONSTRUCTION

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CRITICAL STAGES

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MAINTENANCE AND CONSTRUCTION NOTES

- STORM WATER INFILTRATION BEDS AND PIPE STORAGE SYSTEM SHALL BE INSPECTED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF PA. ON BEHALF OF THE UNIT OWNER OR RESPONSIBLE ENTITY (INCLUDING THE TOWNSHIP ENGINEER ON THE FOLLOWING DATES:
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PAST AND PRESENT USES

THE SITE WAS PREVIOUSLY USED FOR RESIDENTIAL PURPOSES AND AS A PAVING COMPANY'S YARD AND FACILITY.

POST CONSTRUCTION STORMWATER MANAGEMENT FACILITIES/ CRITICAL BMP'S REQUIRING ENGINEERING OVERSIGHT INCLUDE THE FOLLOWING:

- INFILTRATION BEDS 1 & 2

GEOLOGIC FORMATIONS

THERE ARE NO GEOLOGIC FORMATIONS WITH LIMITATIONS PRESENT ON THIS SITE.

WATERSHED

UNNAMED TRIBUTARY TO LITTLE DARBY CREEK AND DARBY CREEK, BOTH OF WHICH ARE PART OF THE DARBY CREEK WATERSHED. CLASSIFICATION: CWF

POST CONSTRUCTION

SNOUT BMP MAINTENANCE NOTES:

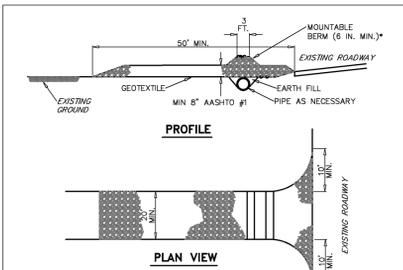
MONTHLY MONITORING FOR THE FIRST YEAR OF A NEW INSTALLATION RECOMMENDED AFTER THE SITE HAS BEEN STABILIZED. MEASUREMENT OF SEDIMENT DEPTH AND NOTING THE SURFACE POLLUTANTS WILL BE HELPFUL IN PLANNING MAINTENANCE.

THE STRUCTURE SHALL BE CLEANED WHEN THE SNOUT IS HALF FULL. WHEN A SPILL OR OTHER INCIDENT CAUSES A LARGER THAN NORMAL ACCUMULATION OF POLLUTANTS IN A STRUCTURE, MAINTENANCE IS BEST PERFORMED WITH A VACUUM TRUCK.

AN ANNUAL INSPECTION OF THE ANTI-SIPHON VENT AND ACCESS HATCH ARE RECOMMENDED. A SIMPLE FLUSHING OF THE VENT OR SMOOTING WITH A FLEXIBLE WIRE SHOULD BE PERFORMED TO MAINTAIN THE ANTI-SIPHON PROPERTIES. TO ENSURE TROUBLE-FREE SERVICE, OPENING AND CLOSING THE ACCESS HATCH AT THIS TIME IS ALSO RECOMMENDED.

CONSTRUCTION DEBRIS HANDLING:

- CONSTRUCTION DEBRIS MUST BE STORED IN REFUSE CONTAINERS WITH THE CONTAINERS MUST BE PLACED IN ACCESSIBLE LOCATIONS.
- NO DEBRIS MAY BE STORED/LEFT IN AREAS OR DEPRESSIONS ON THE SITE.
- NO FUEL MAY BE STORED ON SITE.
- ALL COLLECTED WASTES MUST BE HANDLED AND DISPOSED OF ACCORDING TO LOCAL ENVIRONMENT



NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE.

RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

INSTALLATION SEQUENCE:

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND TOPSOIL.
2. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.
3. UPON REMOVAL OF CONSTRUCTION ENTRANCE, REMOVE STONE AS NEEDED AND STABILIZE ACCORDINGLY DEPENDENT ON THE PERMANENT USE OF THE AREA.

MAINTENANCE NOTES:

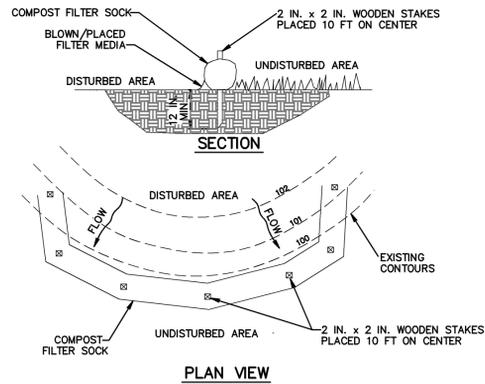
MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SHEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

INSPECTIONS:

INSPECTIONS MUST BE PERFORMED AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

**STANDARD CONSTRUCTION DETAIL #3-1
ROCK CONSTRUCTION ENTRANCE**

NOT TO SCALE



NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

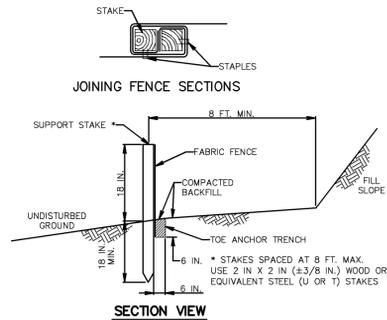
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1
COMPOST FILTER SOCK**

NOT TO SCALE



NOTES:

FABRIC SHALL HAVE THE MINIMUM PROPERTIES AS SHOWN IN TABLE 4.3 OF THE PA DEP EROSION CONTROL MANUAL.

FABRIC WIDTH SHALL BE 30 IN. MINIMUM. STAKES SHALL BE HARDWOOD OR EQUIVALENT STEEL (U OR T) STAKES.

SILT FENCE SHALL BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE FENCE SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.

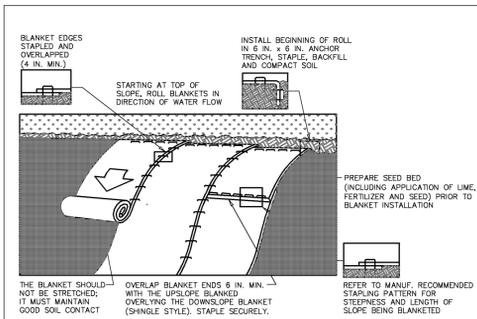
SEDIMENT SHALL BE REMOVED WHEN ACCUMULATIONS REACH HALF THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF SILT FENCE WHICH HAS BEEN UNDERMINED OR TOPPED SHALL BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET (STANDARD CONSTRUCTION DETAIL # 4-6).

FENCE SHALL BE REMOVED AND PROPERLY DISPOSED OF WHEN TRIBUTARY AREA IS PERMANENTLY STABILIZED.

**STANDARD CONSTRUCTION DETAIL #4-7
STANDARD SILT FENCE (18" HIGH)**

NOT TO SCALE



NOTES:

SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.

PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS.

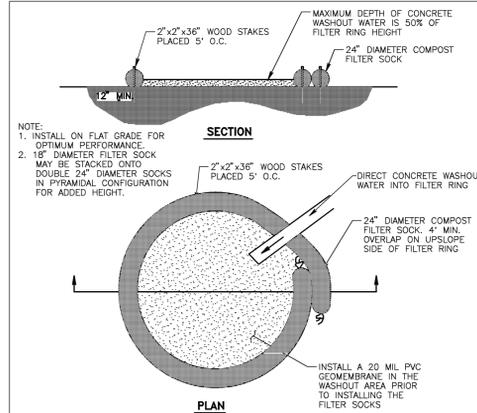
BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.

THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

**STANDARD CONSTRUCTION DETAIL #11-1
EROSION CONTROL BLANKET INSTALLATION**

NOT TO SCALE



NOTES:

1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. DIAMETER COMPOST FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.

INSTALLATION SEQUENCE:

1. PREPARE SURFACE BY REMOVING ANY DEBRIS AND ENSURING A SMOOTH CONSISTENT SURFACE IS PROVIDED.
2. INSTALL PVC GEOMEMBRANE IN WASHOUT AREA.
3. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL OVERLAP TO FORM A CIRCLE AS SHOWN.
4. UPON REMOVAL OF THE WASHOUT AREA, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.
5. ALL CONCRETE AND THE GEOMEMBRANE MUST BE REMOVED FROM THE SITE AND DISPOSED OF AT AN APPROVED DEP FACILITY.

MAINTENANCE NOTES:

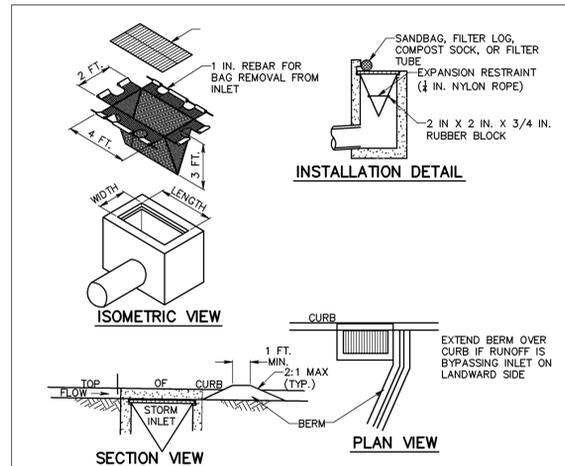
WASHOUT AREA SHALL BE INSPECTED WEEKLY. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

INSPECTIONS:

INSPECTIONS MUST BE PERFORMED ON A WEEKLY BASIS. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE. THE COMPLIANCE ACTIONS AND THE DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION, THE INSPECTION LOG WILL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE DISTRICT UPON REQUEST.

CONCRETE WASHOUT AREA DETAIL

N.T.S.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-15
FILTER BAG INLET PROTECTION - TYPE C INLET**

NOT TO SCALE

SEED MIX SPECIFICATIONS

Grass Seed: All seed shall be fresh, and new crop seed shall be labeled in accordance with the U.S. Department of Agriculture's Rules and Regulations under the Federal Seed Act in effect on the date of invitation for bids. All seed shall be furnished in sealed standard containers, bearing the warranty of the supplier and certifying as to the kind, percent by weight, purity and germination. The grass seed shall contain the percentages of varieties and shall be of the quality indicated by the percentages of purity and germination indicated on the list furnished with the applicable plan. Seed mix shall be as specified. Spread at the rate of 4 lbs. per 1000 sq. ft. minimum for slopes 3:1 or greater, use 5 lbs. per 1000 sq. feet.

PERMANENT SEEDING DATES MARCH 1 TO JUNE 1, AUGUST 1 TO OCTOBER 1

NAME	PARTS BY WEIGHT	%PURITY	GERMINATION
Kentucky Blue Grass			
Varieties	35%	95%	85%
Perennial Ryegrass	35%	95%	90%
Perennial Ryegrass	15%	95%	85%
Annual Ryegrass	15%	90%	80%

Mulch: Shall be hay which is free of weeds and seeds, not moldy or rotten, and shall be applied at all disturbed areas at a rate of 3 tons per acre.

Kentucky Bluegrass Sod (if called for)
Sod shall be grown under supervision of the Bureau of Plant Industry Pennsylvania Department of Agriculture or shall be composed of only Blue Tag Certified Seed.

Temporary Seeding Dates: Anytime

Temporary Seeding: Shall be annual ryegrass at 40 lbs. per acre. Site preparation - apply 1 ton of agricultural grade limestone per acre plus fertilizer at the rate of 50-50-50 per acre and work in where possible. After seeding, mulch with hay or straw at a rate of 3 tons per acre.

Hydroseeding: Shall be lime, fertilizer, grass seeds, legume seeds and inoculant mixed with water and applied as slurry, at a rate of 1,000 gallons per acre. Fertilizer: at rate of 50-100-100 per acre. Inoculant: use 5 times rate recommended on the package when seeding with a hydroseeder.

PERMANENT SEEDING:
For permanent seeding, soil supplements shall be applied to areas to be seeded as follows: 10-20-20 fertilizer shall be applied to 25 LBS/1000 Sq. Ft. pulverized dolomite limestone at 50 LBS/1000 Sq. Ft.

SEEDING AND MULCH NOTES

1. Any undisturbed area on which activity has ceased must be seeded and mulched immediately. During non-germinating periods, mulch must be applied at the recommended rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year may be seeded and mulched with a quick growing temporary seeding mixture and mulch. Disturbed areas which are either at finished grade or will not be redisturbed within 1 year must be seeded and mulched with a permanent seed mixture and mulch.
2. Diversions, channels, sedimentation basins, sediment traps, and stockpiles must be seeded and mulched immediately.
3. Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
4. Graded areas are to be temporarily seeded and mulched immediately following earth moving procedures. Seed shall be annual ryegrass applied at the rate of 3 lbs. per 1000 sq. ft.
5. Establish permanent seeding as soon as possible after final grading is complete. Permanent seeding shall be 30% Perennial Ryegrass, 10% Perennial Ryegrass and 80% Kentucky Bluegrass applied at the rate of 3.5 lbs. per 1000 sq. ft.

**PRELIMINARY
EROSION AND SEDIMENTATION
CONTROL DETAILS**

8. 2-4-19	NOT THIS SHEET
7. 6-6-18	REV PER TWP. COMMENTS
6. 5-14-18	GENERAL REVISIONS
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

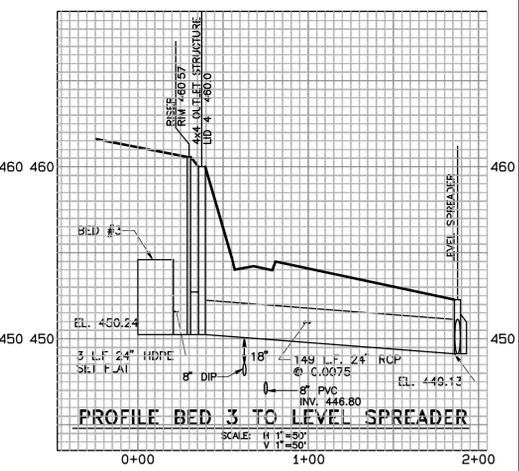
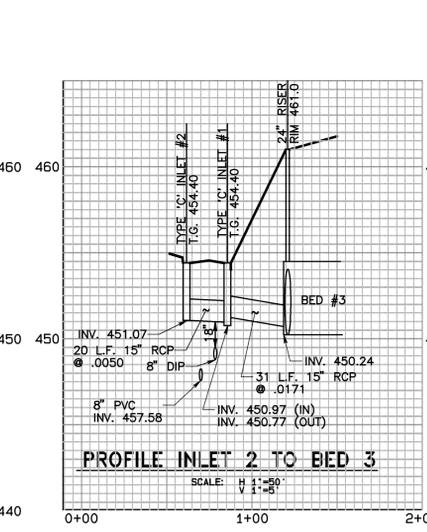
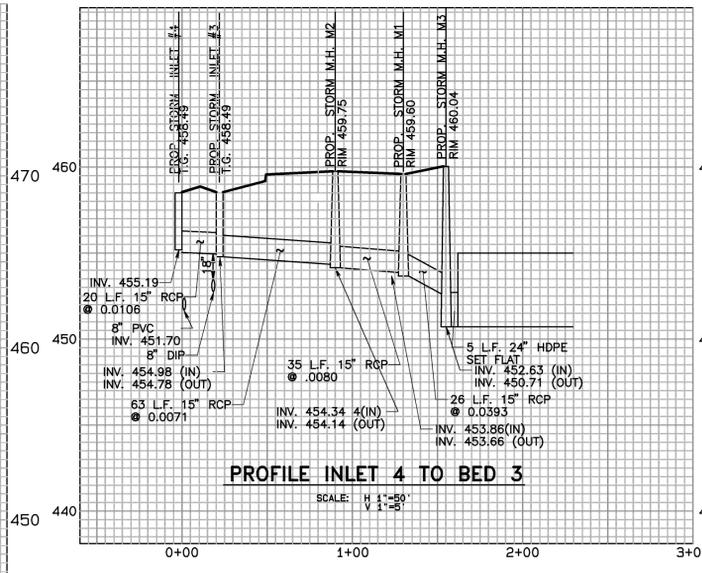
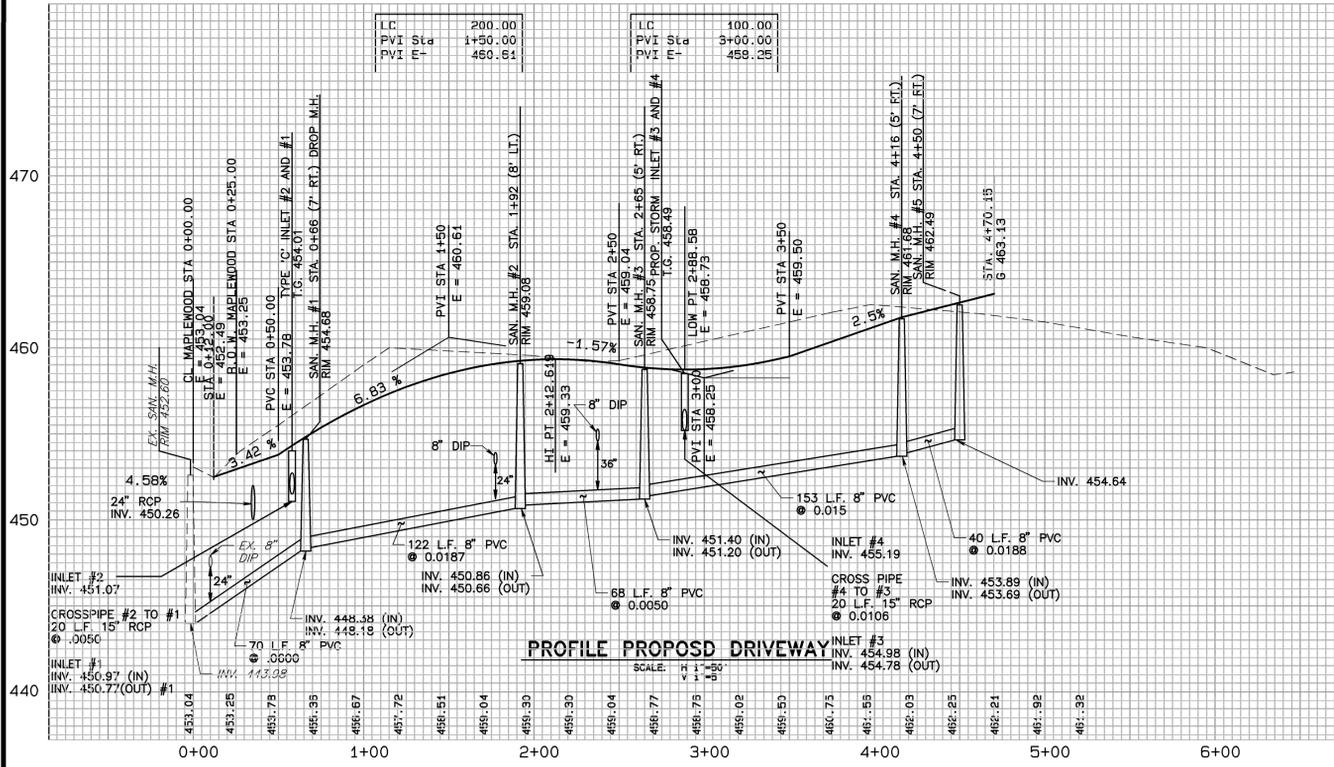
DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

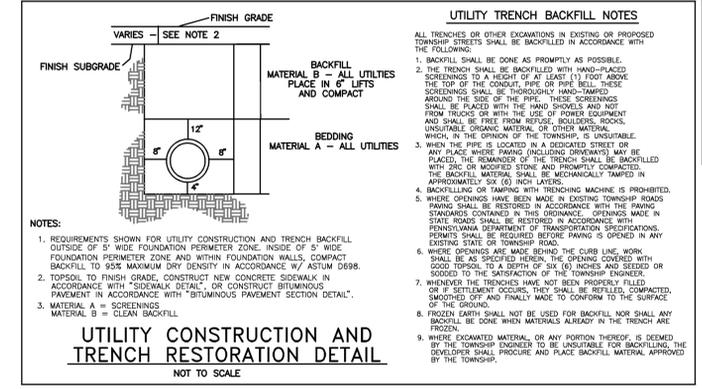
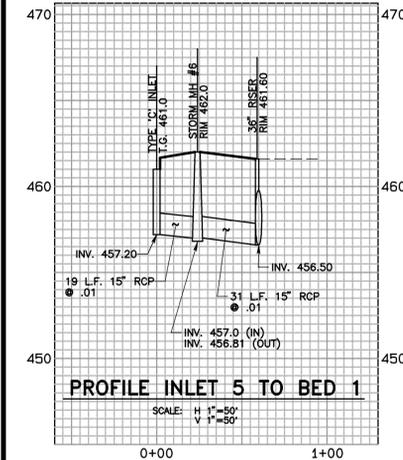
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Sheet- 9 OF 19

125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

Plotted: 2/9/2019 File: F:\JB\4063\4063-b6.pro Ver: 000



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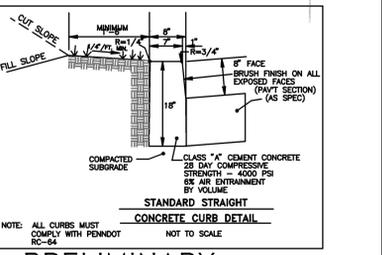
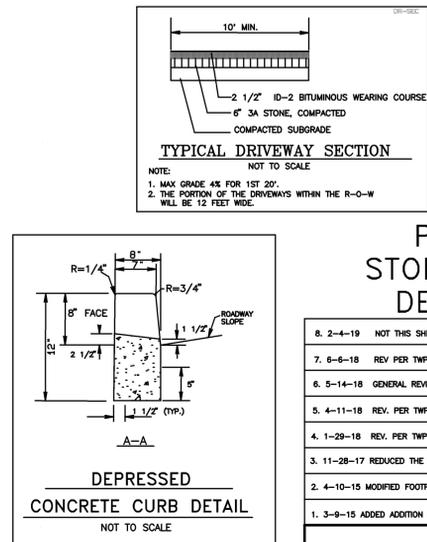
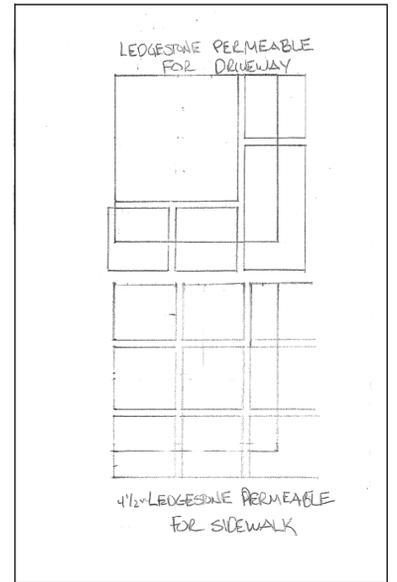
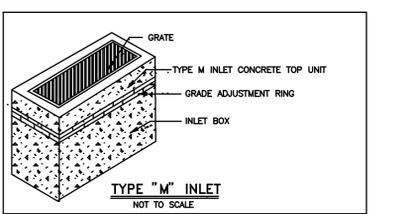
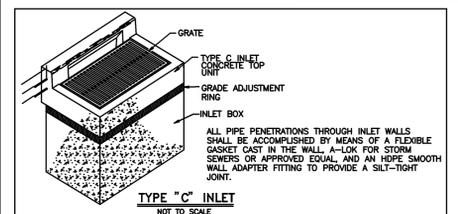
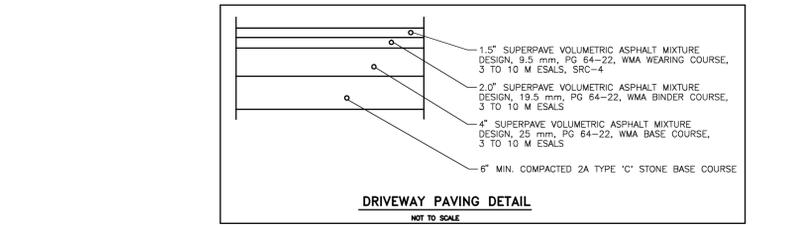
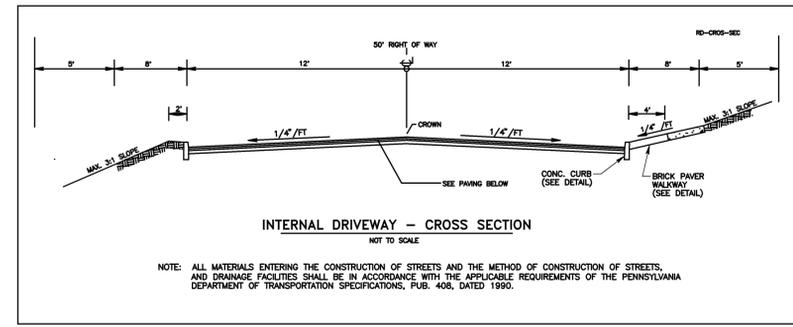
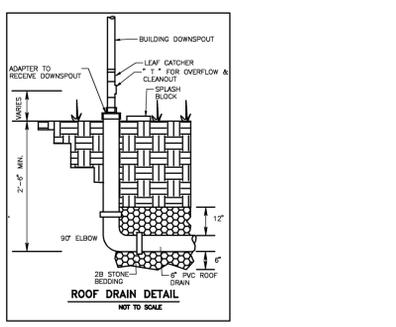
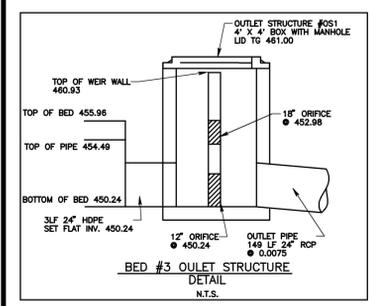
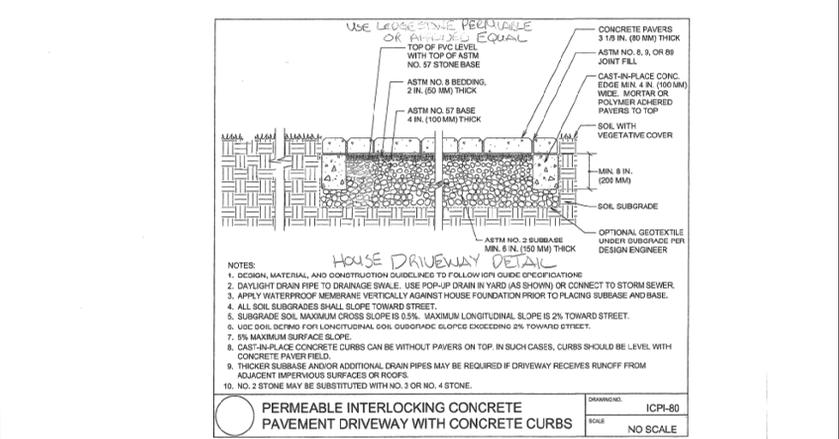
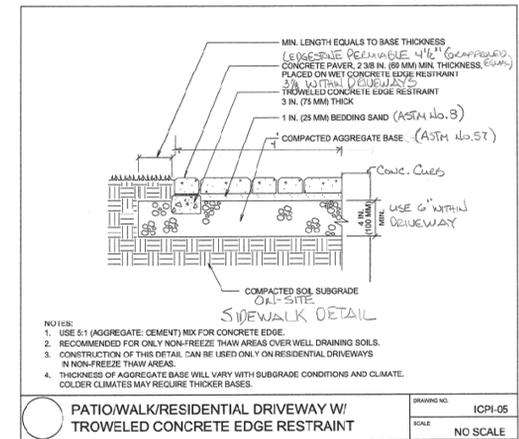


- UTILITY TRENCH BACKFILL NOTES**
- BACKFILL SHALL BE DONE AS PROMPTLY AS POSSIBLE.
 - THE TRENCH SHALL BE BACKFILLED WITH HAND-PLACED SCREENING TO A HEIGHT OF AT LEAST 1' FOOT ABOVE THE TOP OF THE CONDUIT PIPE OR PIPE SIZES THESE SCREENINGS SHALL BE THOROUGHLY HAND-TAMPED AROUND THE SIZE OF THE PIPE.
 - SCREENINGS SHALL BE PLACED WITH THE HAND SHOVELS AND NOT FROM TRUCKS OR WITH THE USE OF POWER EQUIPMENT AND SHALL BE FREE FROM REFUSE, Boulders, ROCKS, UNSATURATED ORGANIC MATERIAL, OR OTHER MATERIAL WHICH, IN THE OPINION OF THE TOWNSHIP, IS UNSUITABLE.
 - WHEN THE PIPE IS LOCATED IN A DEDICATED STREET OR ANY PLACE WHERE PAVING (INCLUDING DRIVEWAYS) MAY BE PLACED, THE REMAINDER OF THE TRENCH SHALL BE BACKFILLED WITH 2" OR MORE SIZED STONE AND PROMPTLY COMPACTED. THE BACKFILL MATERIAL SHALL BE MECHANICALLY TAMPED IN APPROXIMATELY SIX (6) INCH LAYERS.
 - WHERE OPENINGS HAVE BEEN MADE IN EXISTING TOWNSHIP ROADS PAVING SHALL BE RESTORED IN ACCORDANCE WITH THE BRIDGE STANDARDS GOVERNED BY THE TOWNSHIP. OPENINGS MADE IN STATE ROADS SHALL BE RESTORED IN ACCORDANCE WITH PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS. PERMITS SHALL BE REQUIRED BEFORE PAVING IS ORDERED IN ANY EXISTING STATE OR TOWNSHIP ROAD.
 - WHERE OPENINGS ARE MADE BEHIND THE CURB LINE, WORK SHALL BE AS SPECIFIED HEREIN. THE OPENING COVERED WITH GOOD TOPSOIL TO A DEPTH OF SIX (6) INCHES AND SEEDED OR SOILED TO THE SATISFACTION OF THE TOWNSHIP ENGINEER.
 - WHENEVER THE TRENCHES HAVE NOT BEEN PROPERLY FILLED OR IF SETTLEMENT OCCURS, THEY SHALL BE REFILED, COMPACTED, SMOOTHED OFF, AND FINALLY MADE TO CONFORM TO THE SURFACE OF THE GROUND.
 - FROZEN EARTH SHALL NOT BE USED FOR BACKFILL, NOR SHALL ANY BACKFILL BE DONE WHEN MATERIALS ALREADY IN THE TRENCH ARE FROZEN.
 - WHERE EXCAVATED MATERIAL, OR ANY PORTION THEREOF, IS DEEMED BY THE TOWNSHIP ENGINEER TO BE UNSUITABLE FOR BACKFILLING, THE DEVELOPER SHALL PROCURE AND PLACE BACKFILL MATERIAL, APPROVED BY THE TOWNSHIP.

STORMWATER MANAGEMENT SYSTEM CONSTRUCTION NOTES:

- NO EQUIPMENT CAN BE OPERATED IN THE BOTTOM OF THE SYSTEMS TO ESTABLISH BOTTOM OF SYSTEM GRADE.
- STONE MUST BE CLEAN AND FREE OF DEBRIS.
- THE CONTRACTOR MUST CONTACT THE TOWNSHIP TO HAVE THE CONSTRUCTION OF THE SYSTEM INSPECTED. INSPECTION OF SYSTEM MUST OCCUR PRIOR TO INSTALLATION OF FABRIC IN THE BOTTOM OF THE SYSTEM.

HALET DOT	LENGTH	MIN. WIDTH	MIN. ROCK SIZE	DEPTH	RIPRAP SIZE
E1	12'	6'	18"	6"	R-4



PRELIMINARY POST CONSTRUCTION STORMWATER MANAGEMENT DETAILS AND PROFILES

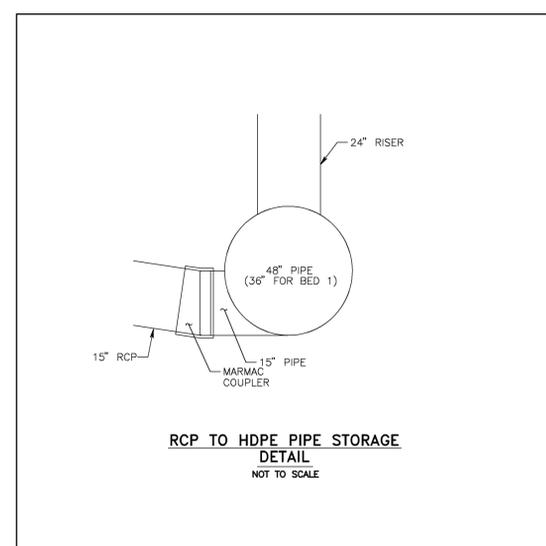
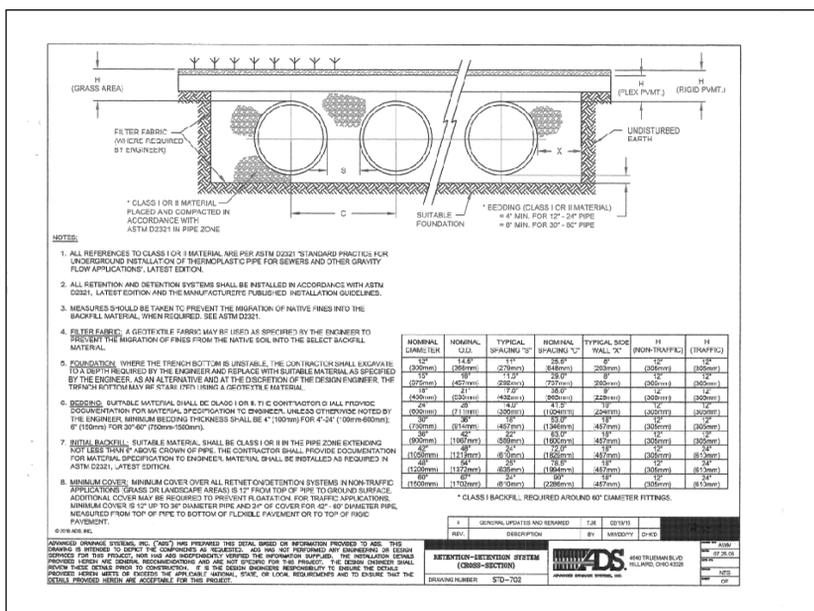
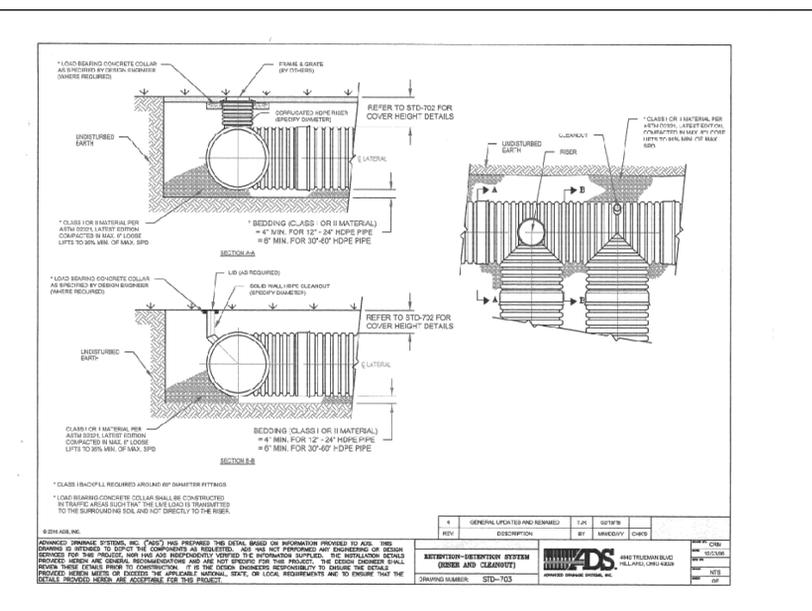
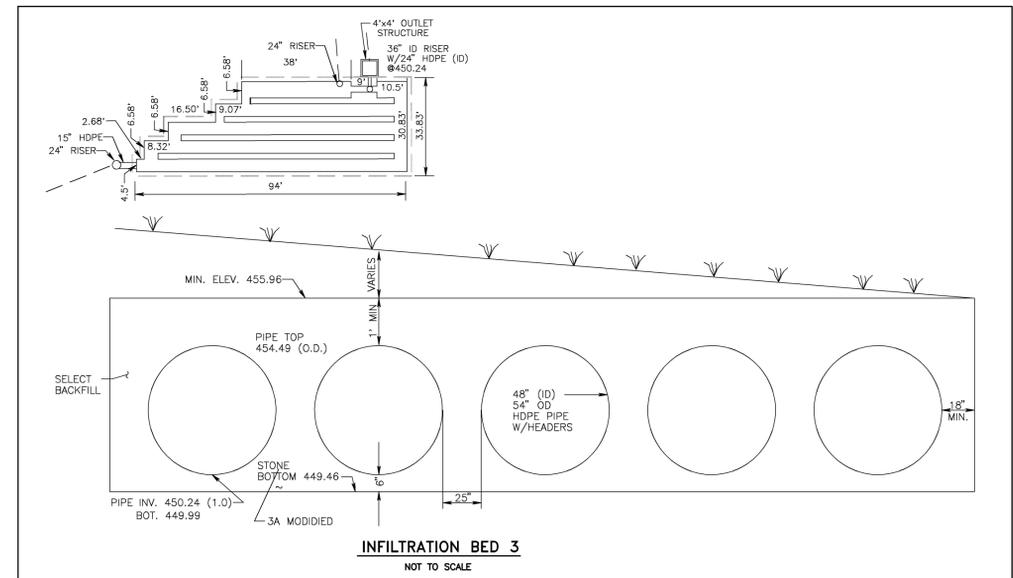
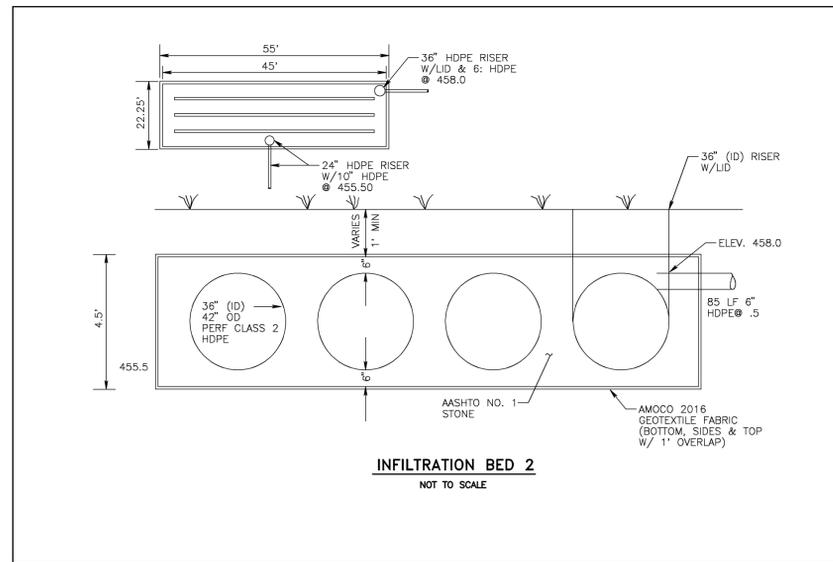
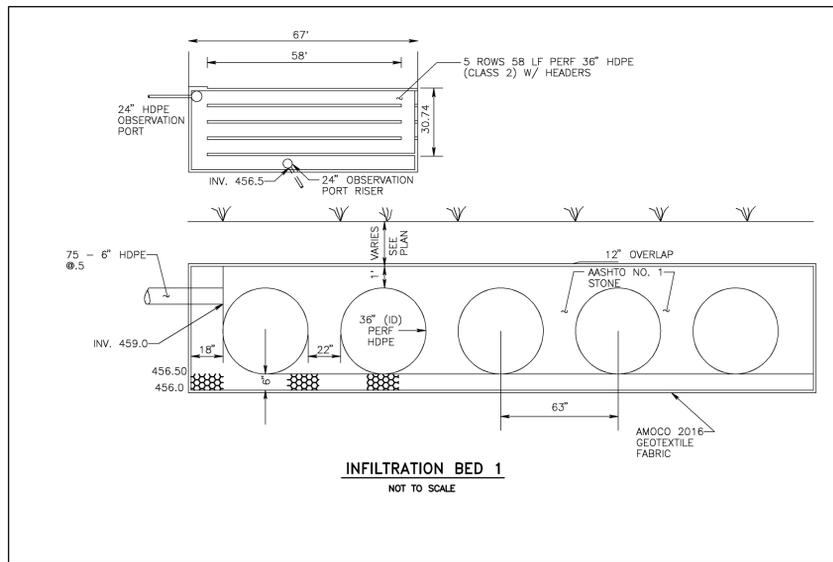
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125 Dowlin Forge Road
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Phone (610) 903-0060
Fax (610) 903-0080

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**PRELIMINARY
POST CONSTRUCTION
STORMWATER MANAGEMENT
DETAILS**

8. 2-4-19	NOT THIS SHEET
7. 6-8-18	REV PER TWP. COMMENTS
6. 5-14-18	GENERAL REVISIONS
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 1	



FOR EXISTING TREES TO BE SAVED
SEE CONSTRUCTION SEQUENCE ON SHEET 7

BUFFER RESIDENTIAL USE	PLANTING STRIP "A"	MULTI FAMILY TO ADJACENT SINGLE FAMILY DETACHED
PROPERTY LINE	CANOPY TREE 1/40'	EVERGREEN TREE 1/30'
N47°38'00"E (163')	4	6
N38°01'00"W (120')	3	4
N57°25'00"W (174')	5	6
R 240' (42')	1	2
N18°55'43"W (160')	4	6
RAILROAD (605.96')	15	20
TOTAL REQUIRED	32	44
TOTAL PROVIDED	32	46

PLANT SCHEDULE EVERGREEN TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SPREAD/HEIGHT	CONDITION
AC	11	Abies Concolor	White Fir	6'	B & B
AC	11	Abies Concolor	White Fir	6'	B & B
PA	16	Picea Abies	Norway Spruce	6'	B & B
TO	10	Thuja Occidentalis Green Giant	Thuja Occidentalis Green Giant	6'	B & B

TOTAL = 46

STREET TREES

STREET	REQUIRED	PROVIDED
MAPLEWOOD AVENUE 1/2'	255 LF	
STREET TREES	1/30 LF	9
NEW ROAD IN COMMUNITY	470 LF	
STREET TREES	1/30 LF	32
TOTAL STREET TREES		41

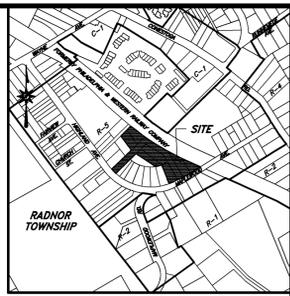
REPLACEMENT TREES

TOTAL = 41

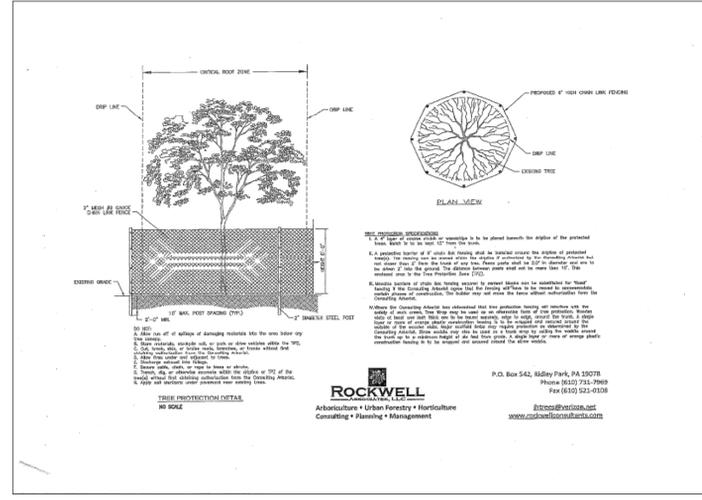
PLANT SCHEDULE DECIDUOUS TREES

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	HEIGHT	GALIPER	CONDITION
21	21	Acer Rubrum Red Sunset	Red Sunset Maple	12'-14'	2 1/2"	B & B
7	7	Platanus Acerifolia Bloodgood	Bloodgood London Plane Tree	12'-14'	2 1/2"	B & B
8	8	Quercus Phellos	Willow Oak	12'-14'	2 1/2"	B & B
7	7	Zelkova Serrata Green Vase	Green Vase Zelkova	12'-14'	2 1/2"	B & B
12	12	Acer Ginnala	Amur Maple	8'-10'	2 1/2"	B & B
6	6	Phellodendron Amurense	Amur Cork Tree	12'-14'	2 1/2"	B & B
2	2	Koeleruteria Paniculata	Goldenrain Tree	8'-10'	2 1/2"	B & B
10	10	Prunus Kwanon Subhirtella	Kwanon Subhirtella	6'-8'	2 1/2"	B & B
6	6	Liliodendron Tulipifera	Tulip Tree	12'-14'	2 1/2"	B & B

TOTAL = 79
R = REPLACEMENT TREES

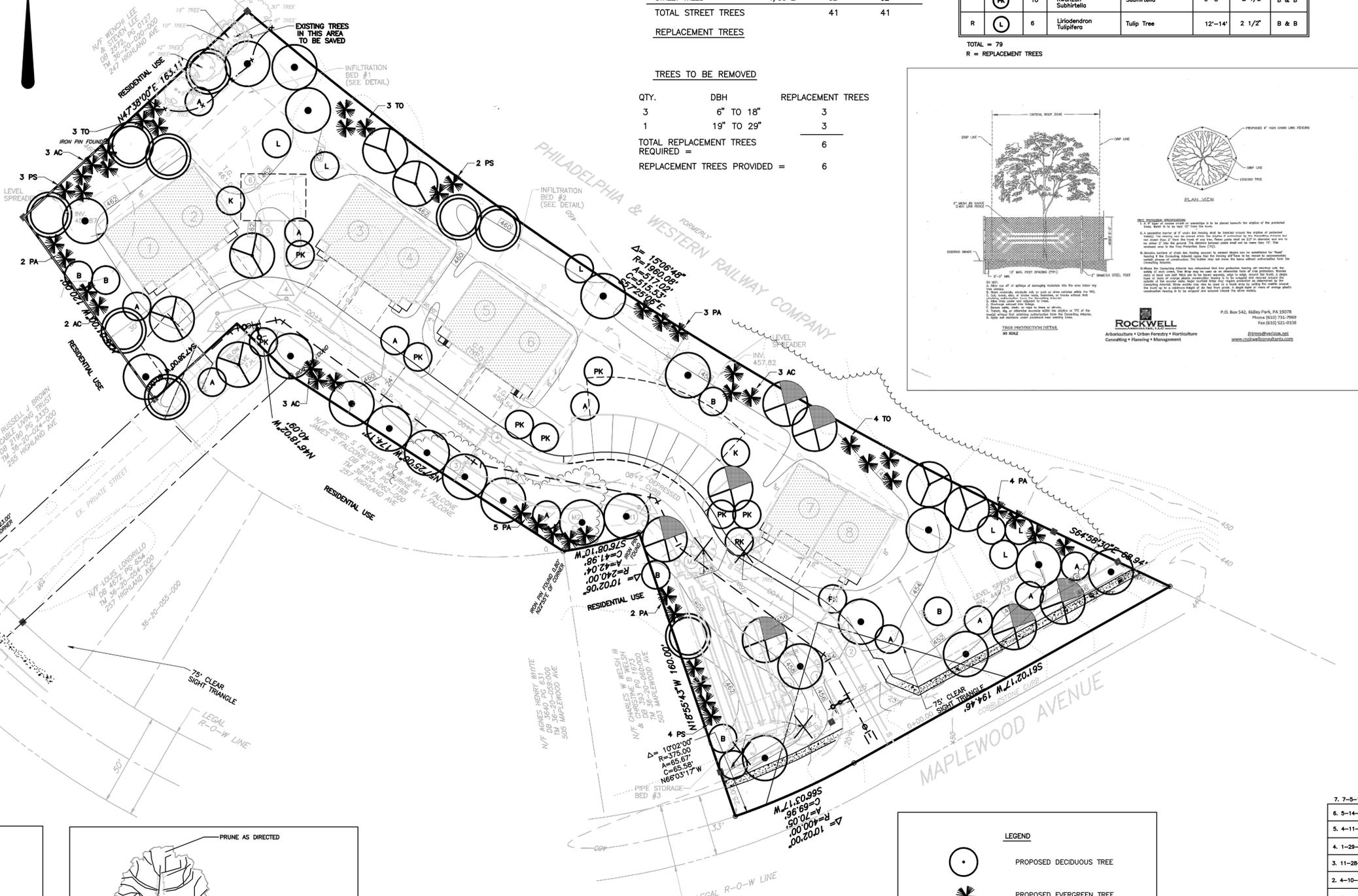


- LANDSCAPE NOTES**
- PLANT LOCATIONS ARE APPROXIMATE. CONTRACTOR SHALL STAKE LOCATIONS FOR APPROVALS BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
 - PROVIDE CONTINUOUS MULCH (2" THICK) IN ALL BEDDING AND GROUND COVER AREAS AND AT THE BASE OF SPECIMEN TREES.
 - SIZES OF PLANT MATERIAL GIVEN ARE TO BE CONSIDERED MINIMUM.
 - NO SUBSTITUTIONS FOR PLANT MATERIAL ARE ACCEPTABLE UNLESS APPROVED BY RADNOR TOWNSHIP.
 - CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE, INCLUDING WATERING OF PLANT MATERIAL AND LAWN AREAS UNTIL JOB IS TURNED OVER TO OWNER AND ACCEPTED BY THE OWNER.
 - CONTRACTOR SHALL LOOSEN SUBGRADE OF PLANTING BED AREAS TO A MINIMUM DEPTH OF TWENTY-FOUR INCHES (24") USING A CULTIVATOR OR SIMILAR EQUIPMENT. REMOVE STONES ONE TO ONE AND A HALF INCHES (1 - 1 1/2") IN ANY DIMENSIONS AND STICKS, RUBBER AND OTHER EXTRANEIOUS MATTER.
 - WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED OR SUSPECTED, SUCH AS RUBBLE FILL, UNACCEPTABLE TOPSOIL, ADVERSE DRAINAGE CONDITIONS OR OTHER OBSTRUCTIONS, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER AND THE LANDSCAPE ARCHITECT IN WRITING BEFORE PLANTING ANY TREES, SHRUBS OR LAWN AREAS.
 - TREES AND SHRUBS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED, DENSELY FOLIATED BRANCHES, AND VIGOROUS, FIBROUS ROOT SYSTEMS.
 - TREES AND SHRUBS SHALL BE FREE FROM DEFECTS AND INJURIES AND CERTIFIED BY APPROPRIATE FEDERAL AND STATE AUTHORITIES TO BE FREE FROM DISEASES AND INSECT INFESTATIONS.
 - TREES AND SHRUBS SHALL BE FREELY DUG AND NURSERY GROWN. THEY SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN LOCALITY OF THE PROJECT OR PROPERLY ACCLIMATED TO CONDITIONS OF THE LOCALITY OF THE PROJECT.
 - ALL PLANTING BEDS AND TREES SHALL BE MULCHED WITH LICORICE ROOT MULCH INSTALLED AT A MINIMUM DEPTH OF THREE INCHES (3").
 - ALL CANOPY TREES MUST HAVE A SPREAD EQUAL TO FIFTY PERCENT (50%) OF THE HEIGHT.
 - ALL PLANTING BEDS WITHOUT SHRUB OR GROUND COVER PLANT MATERIAL SHALL BE PLANTED WITH A BLUE GRASS SEED MIX.
 - ALL PARKING LOT TREES ARE TO BE PRUNED TO PROVIDE SEVEN FEET (7') CLEARANCE FROM THE GROUND AT BASE OF TREE.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXACT LOCATIONS AND ELEVATIONS OF ALL UNDERGROUND UTILITIES AND OTHER STRUCTURES BEFORE THE START OF CONSTRUCTION ON THIS PLAN.
 - THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER AND/OR LANDSCAPE ARCHITECT.
 - THIS PLAN IS INTENDED FOR LANDSCAPE PURPOSES ONLY.
 - NO MORE THAN FIVE INCHES (5") OF SOIL SHALL BE PLACED AROUND THE TRUNKS OF TREES WHICH ARE TO REMAIN. FOR TREES WHICH ARE TO REMAIN, WHERE MORE THAN FIVE INCHES (5") OF SOIL ARE TO BE PLACED, TREE WELLS SHALL BE CONSTRUCTED TO PRESERVE SUCH TREES.
 - ALL SIZES AND GRADING STANDARDS FOR PLANT MATERIALS SHALL CONFORM WITH THE LATEST EDITION OF AMERICAN STANDARD OF NURSERY STOCK AS SPONSORED BY THE AMERICAN ASSOCIATES OF NURSERYMEN, INC., AND APPROVED MAY 2, 1988 BY THE AMERICAN NATIONAL STANDARDS INSTITUTE, INC., OR THE LATEST REVISED EDITION OF THIS STANDARD.
 - TOPSOIL REMOVED BY GRADING OPERATIONS SHALL BE REDISTRIBUTED AND STABILIZED AS SOON AS POSSIBLE FOLLOWING THE COMPLETION OF A PHASE OF WORK OR THE ENTIRE PROJECT. ALL EXPOSED EARTH SURFACES SHALL BE STABILIZED BY THE FOLLOWING METHOD OR APPROVED EQUAL: (A) SEEDING OR PLANTING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR LESS STEEP; (B) SODDING OR HYDRO SEEDING OF SLOPES WITH A GRADIENT OF THIRTY PERCENT (30%) OR MORE STEEP.
 - ALL TREES TO BE RETAINED SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
 - THE CONTRACTOR SHALL LABEL EACH TREE AND SHRUB WITH SECURELY ATTACHED WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF BOTANICAL AND COMMON NAME.
 - ALL DISTURBED AREAS ARE TO BE SEED TO ESTABLISH A VIABLE LAWN.
 - ANY TREE OR SHRUB WHICH DIES WITHIN EIGHTEEN (18) MONTHS OF THE DEDICATION OF PUBLIC IMPROVEMENTS OF OCCUPANCY SHALL BE REPLACED. ANY TREE OR SHRUB WHICH, WITHIN THE FOREMENTIONED TIME PERIOD IS DEEMED, IN THE OPINION OF AN AGENT AUTHORIZED BY THE BOROUGH NOT TO HAVE SURVIVED OR GROWN IN A MANNER CHARACTERISTIC OF ITS TYPE SHALL BE REPLACED. ANY SUBSTITUTIONS SHALL BE APPROVED BY THE BOROUGH.
 - EXISTING TREES AND SHRUBS AT THE CORNER OF AN INTERSECTION OF STREETS AND/OR DRIVEWAYS, SHALL BE CUT TO THE HEIGHT OF TWENTY-FOUR INCHES (24") FROM POINT OF INTERSECTION OF CORNER PROPERTY LINES BACK FIFTY FEET (50') TO AVOID BLOCKING SIGHT DISTANCE TO ONCOMING TRAFFIC AND SHRUBS OR GROUNDCOVERS TO BE PLANTED SHALL BE OF THE DWARF VARIETY AND SHALL NOT EXCEED TWENTY-FOUR INCHES (24") IN HEIGHT AT MATURITY.
 - ALL TREES ALONG THE RIGHT-OF-WAY OF ANY PROPERTY SHALL BE KEPT TRIMMED NINE FEET (9') ABOVE ANY SIDEWALK AND ELEVEN FEET (11') ABOVE ALL STREETS.
 - PROPER SIGHT LINES SHALL BE MAINTAINED AT ALL INTERSECTIONS OF STREETS. THERE SHALL BE A CLEAR SIGHT TRIANGLE MEASURING FIFTY FEET (50') ALONG THE INTERSECTING STREET LINES FROM THE POINT OF INTERSECTION INDICATING ON THE PLAN, THAT IS MAINTAINED FREE AND CLEAR OF STRUCTURES, SIGNS AND OTHER VISUAL OBSTRUCTIONS.
 - ALL TREES TO BE RETAINED WITHIN TWENTY-FIVE FEET (25') OF A BUILDING, PARKING OR OTHER PROPOSED IMPROVEMENTS SHALL BE PROTECTED DURING CONSTRUCTION FROM EQUIPMENT DAMAGE BY SNOW FENCING OR OTHER EFFECTIVE BARRIERS.
 - ALL PLANTING BEDS, LAWN AREAS AND TREE BASES ARE TO BE TOP DRESSED WITH 4" OF ORGANIC TOPSOIL.
 - ALL PLANTS SHALL CONFORM WITH THE STANDARDS FOR NURSERY STOCK OF AMERICAN ASSOCIATION OF NURSERYMEN.
 - PLANTING SOIL SHALL CONSIST OF 4 PARTS ORGANIC TOPSOIL, 1 PART PEAT HUMUS, 1 PART WASHED SAND.
 - TOPSOIL SHALL HAVE THE FOLLOWING COMPOSITION AND MAKE-UP:
- SHALL CONTAIN ORGANIC MATTER SUITABLE TO SUPPORT PLANT LIFE, INCLUDING A COMPOSITION OF APPROXIMATELY 5-10% SAND, 7-15% ORGANIC MATERIAL, NO MORE THAN 30% WEIGHT OF CLAY.
- SHALL BE FREE FROM PRESENCE OF LIVING/DYING WEED CONTAMINANT.
- SHALL HAVE LESS THAN 2% BY WEIGHT OF UNWANTED MATERIALS SUCH AS STONES (NO LARGER THAN 12mm IN DIAMETER IN THE TOP 50mm), CONCRETE, STEEL, CLAY LUMPS, TREE ROOTS, STICKS OR OTHER INORGANIC MATERIAL.
 - NO TREES SHALL BE PLANTED CLOSER THAN FIFTEEN (15) FEET FROM THE FIRE HYDRANTS OR STOP SIGNS.
 - NO TREES SHALL BE PLACED WITH THEIR CENTERS LESS THAN FIVE (5) FEET FROM ANY PROPERTY LINE AND NO SHRUBS WITH THEIR CENTERS LESS THAN THREE (3) FEET FROM ANY PROPERTY LINE.
 - FERTILIZER ALL LAWN AREAS WITH A 10-20-15 FERTILIZER AT A RATE OF SLBS/1,000 SF.
 - THE CONTRACTOR SHALL REMOVE THE WOODEN TREE STAKES FROM THE DECIDUOUS TREES AND EVERGREEN TREES ONE YEAR AFTER THE COMPLETED DATE OF THE LANDSCAPE INSTALLATION.
 - NO TREE MAY BE PLANTED CLOSER THAN 5' TO A SANITARY SEWER LATERAL.



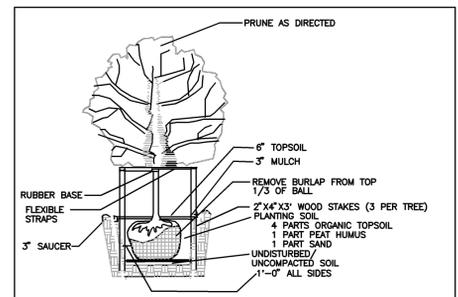
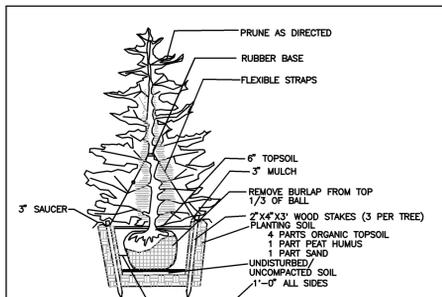
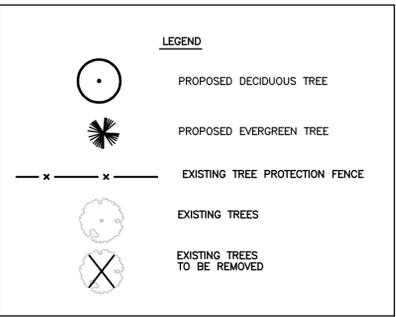
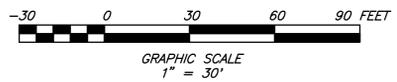
ROCKWELL
Adaptation • Urban Forestry • Horticulture
Consulting • Planning • Management

P.O. Box 544, Ridley Park, PA 19378
Phone (610) 733-7969
Fax (610) 523-8108
http://www.rockwellpa.com



TREES TO BE REMOVED

QTY.	DBH	REPLACEMENT TREES
3	6" TO 18"	3
1	19" TO 29"	3
TOTAL REPLACEMENT TREES REQUIRED =		6
REPLACEMENT TREES PROVIDED =		6



PRELIMINARY LANDSCAPE PLAN

7. 7-5-18 REVISED PER SHADE COMMISSION COMMENTS AND CONDITIONS OF APPROVAL.

6. 5-14-18 GENERAL REVISIONS

5. 4-11-18 REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18

4. 1-29-18 REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18

3. 11-28-17 REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES

2. 4-10-15 MODIFIED FOOTPRINT AND SIDEWALK

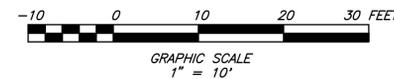
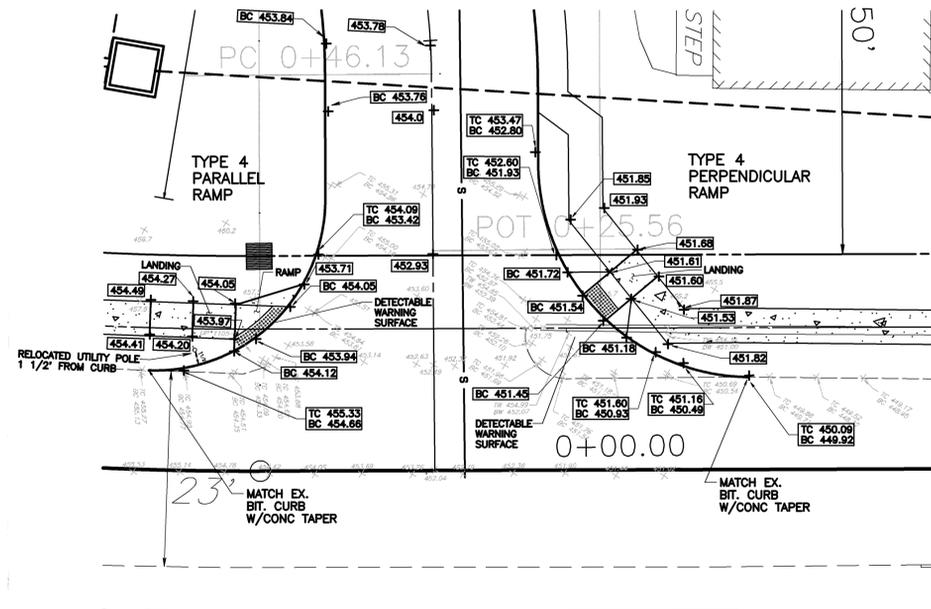
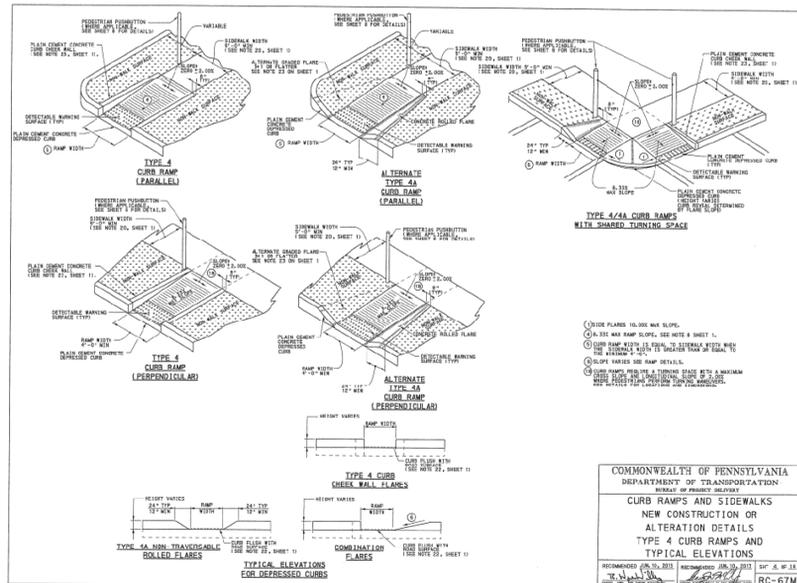
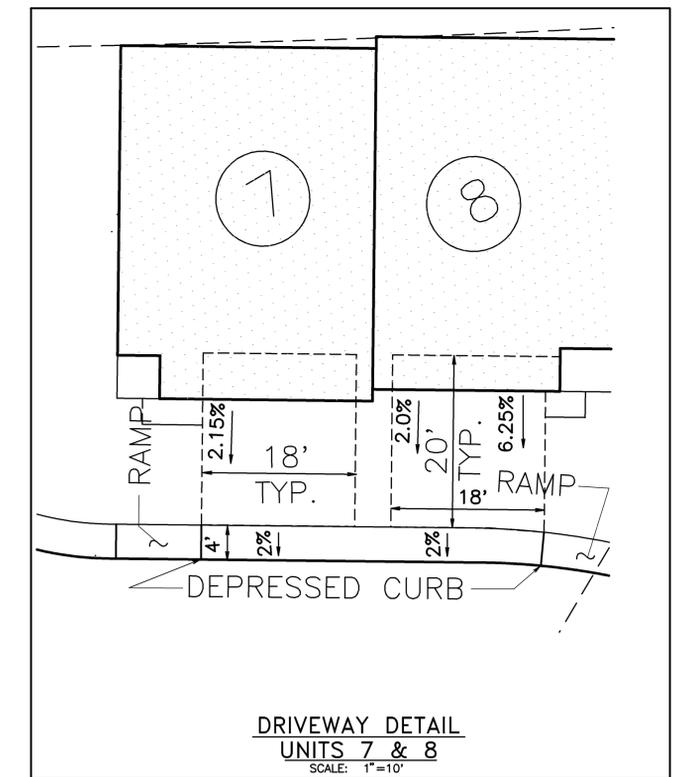
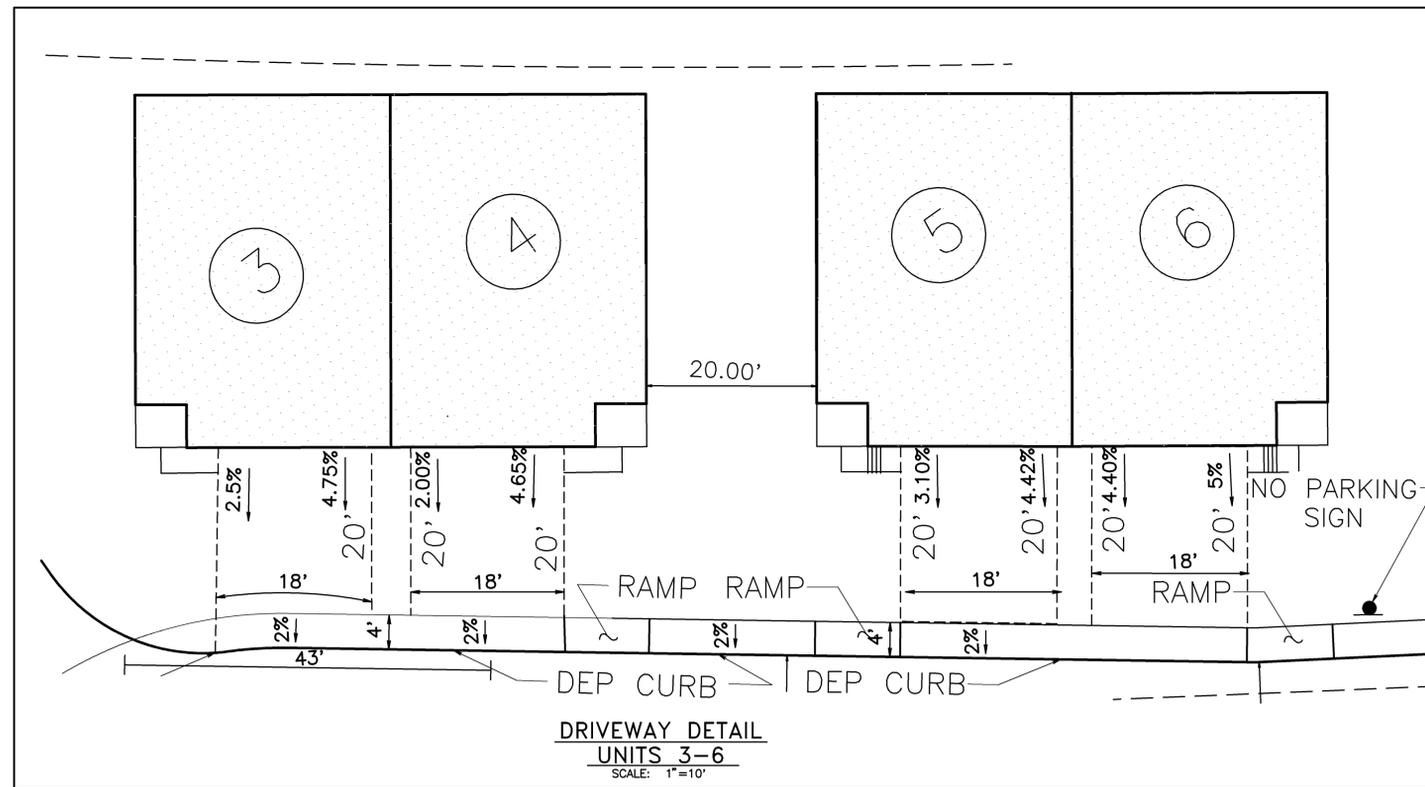
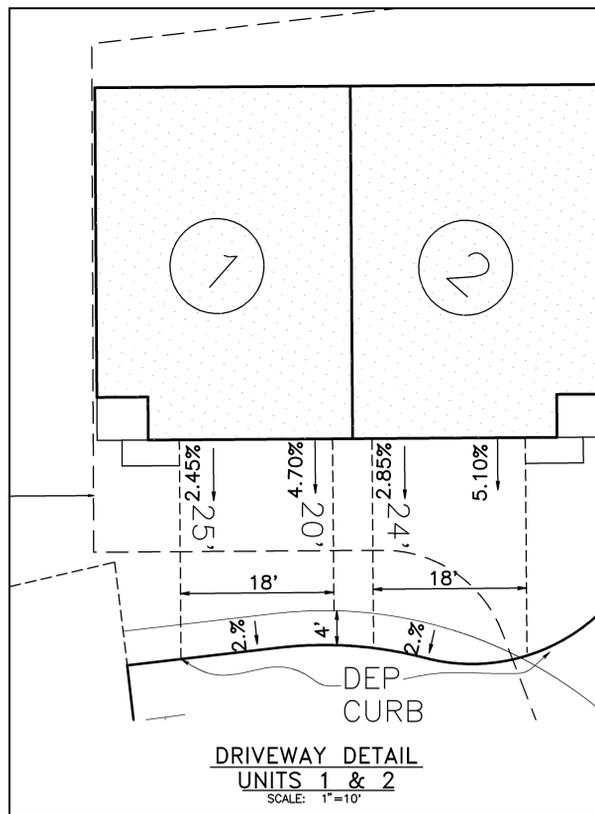
1. 3-9-15 ADDED ADDITION PROPERTY

DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP, DELAWARE COUNTY, PA.
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1" = 30'
Drawn- DJD
Checked- A.E.
Sheet- 12 OF 19

125 Dowlin Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

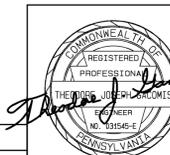
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**PRELIMINARY/FINAL
RAMP DETAILS**

3. 5-14-18	GENERAL REVISIONS
2. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
1. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
DEVELOPMENT PLAN	
DAVID SEMERJIAN BUILDERS	
415 MAPLEWOOD AVENUE DELAWARE COUNTY, PA.	
RADNOR TOWNSHIP Edward B. Walsh & Associates, Inc. CIVIL ENGINEERS & SURVEYORS	
Project-	4063
Date-	12-8-14
Scale-	AS NOTED
Drawn-	R.F.N.
Checked-	A.E.
Sheet-	14 OF 19
Plotted:	2/9/2019
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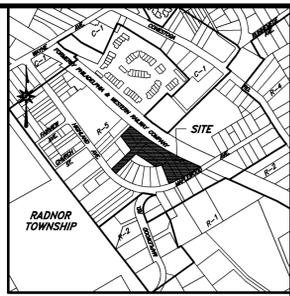
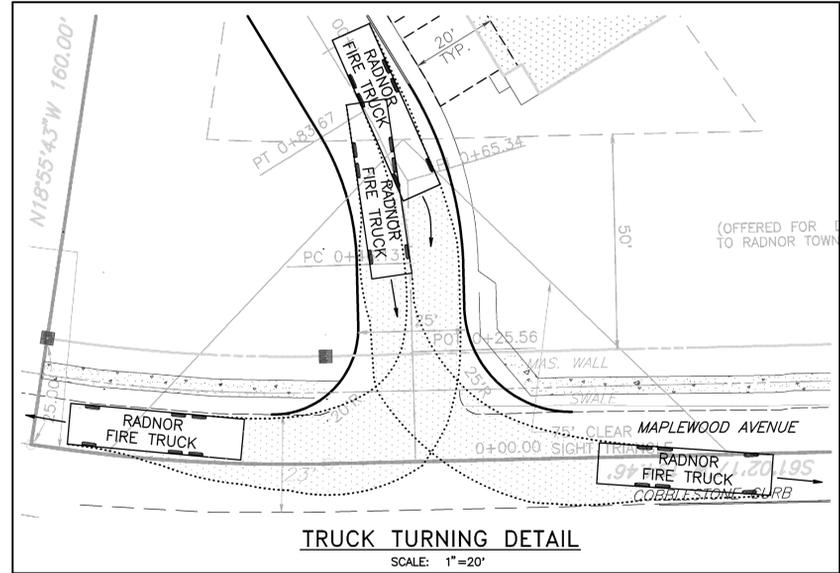
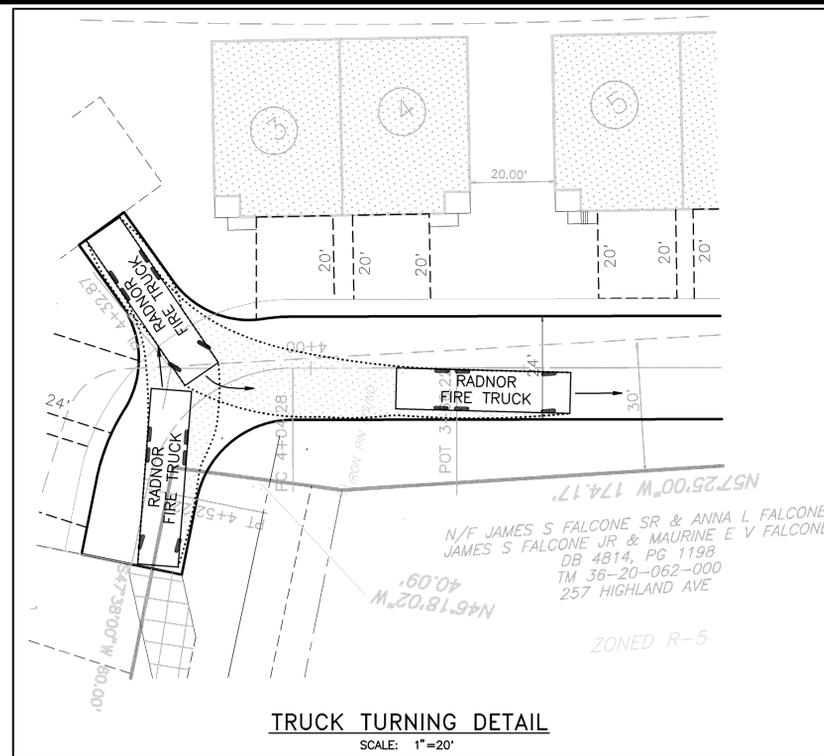
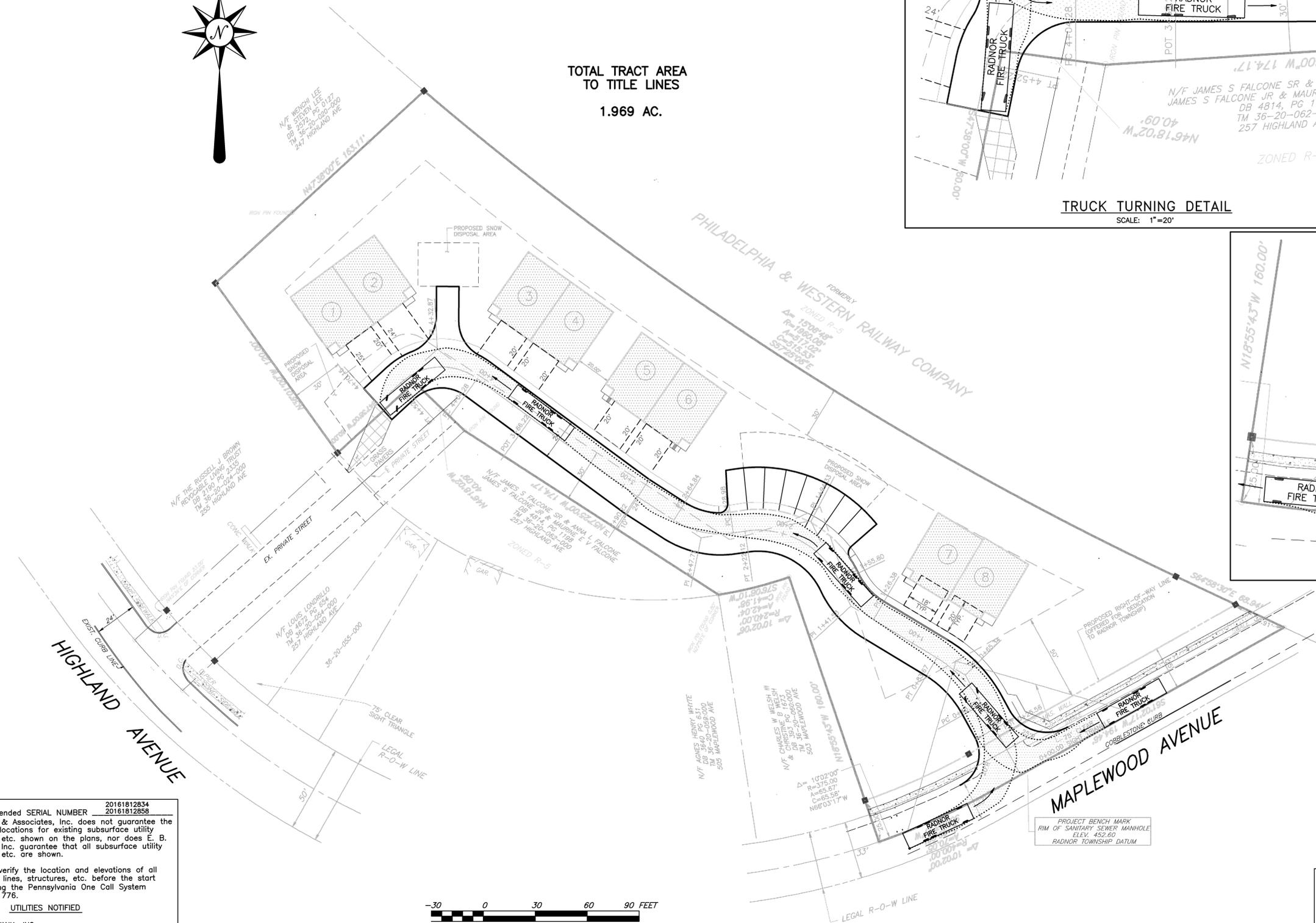
5. 2-4-19	REDUCED THE NUMBER OF UNITS
4. 6-6-18	REV PER TWP. COMMENTS





LEGEND	
	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED GRASS PAVERS
	PROPOSED BRICK PAVER SIDEWALK
	PROPOSED CONCRETE SIDEWALK

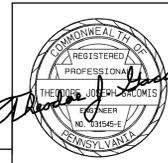
TOTAL TRACT AREA
TO TITLE LINES
1.969 AC.



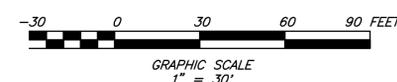
PRELIMINARY
TRUCK TURNING PLAN

7. 6-6-18	REV PER TWP. COMMENTS
6. 5-14-18	GENERAL REVISIONS
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE DELAWARE COUNTY, PA.
Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS
Project- 4063
Date- 12-8-14
Scale- 1"= 30'
Drawn- R.F.N.
Checked- A.E.
Sheet- 15 OF 19



ACT 121 as amended SERIAL NUMBER 20181812834
20181812858
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.
Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.
UTILITIES NOTIFIED
VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS



8. 2-4-19 REDUCED THE NUMBER OF UNITS

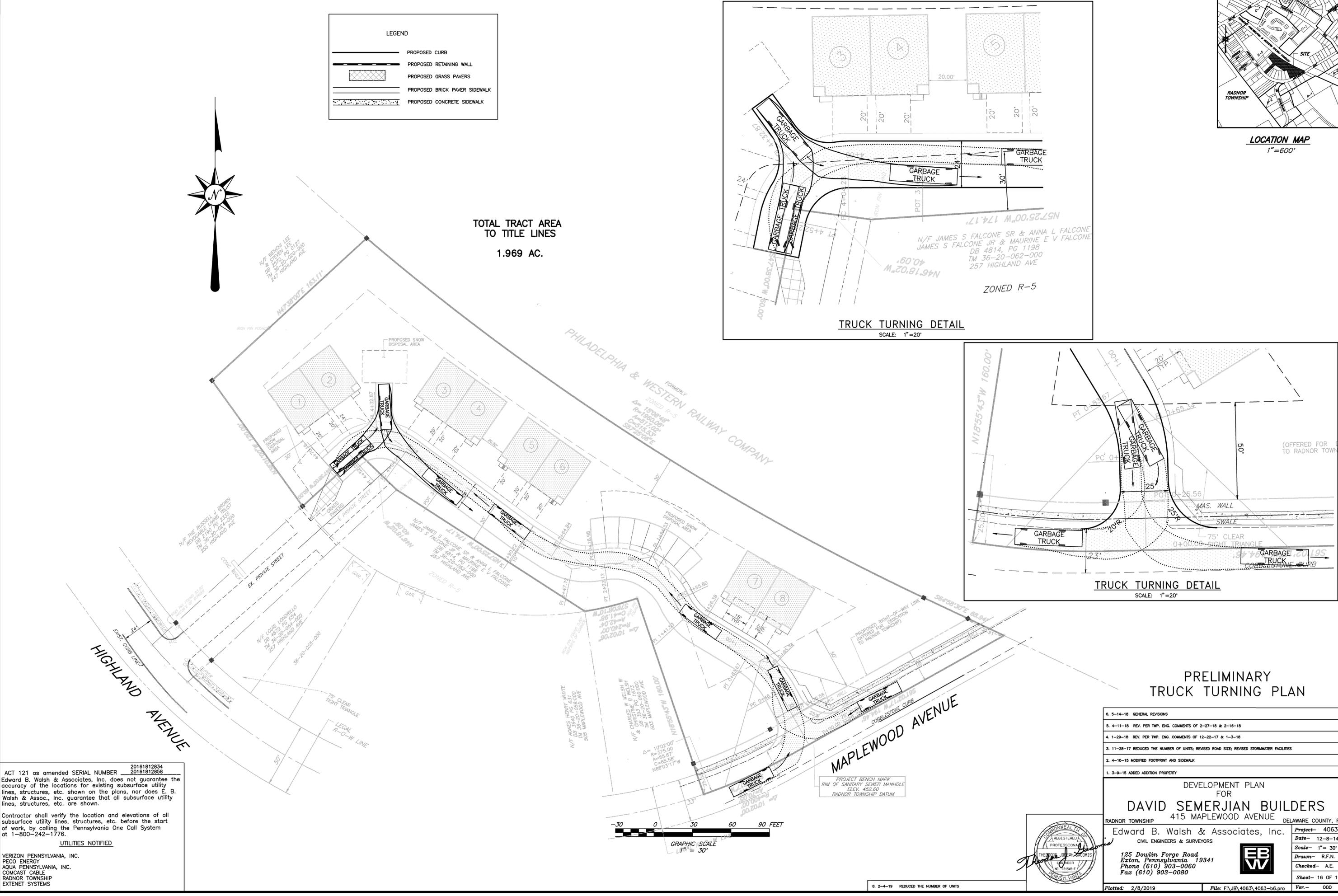
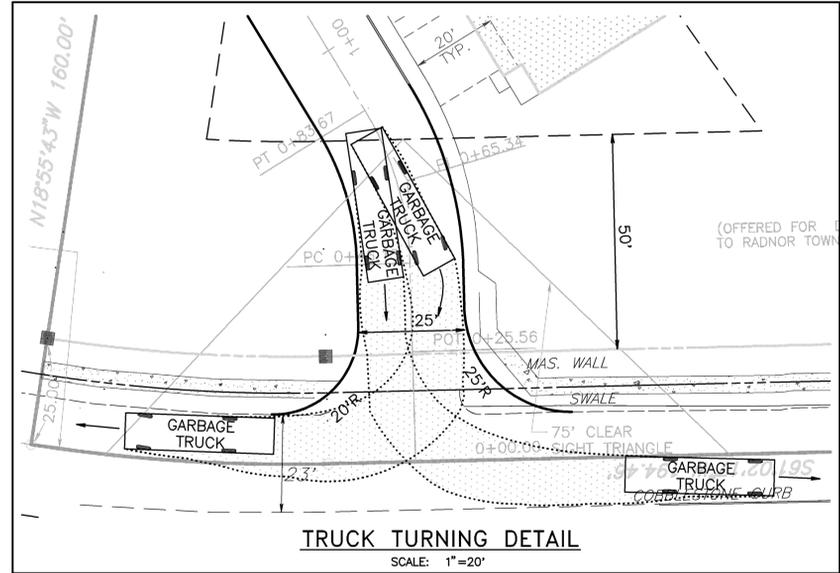
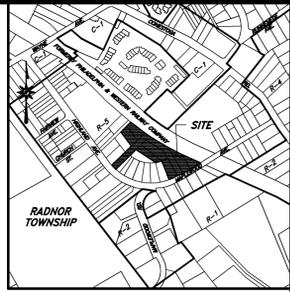
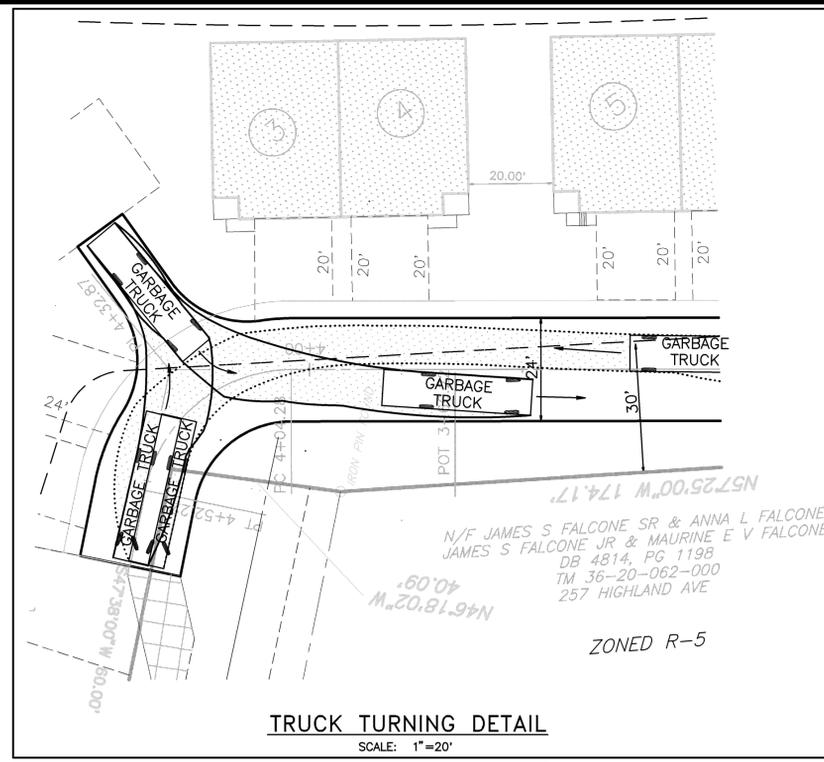
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LEGEND

	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED GRASS PAVERS
	PROPOSED BRICK PAVER SIDEWALK
	PROPOSED CONCRETE SIDEWALK

**TOTAL TRACT AREA
TO TITLE LINES**
1.969 AC.

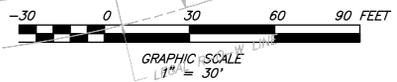


ACT 121 as amended SERIAL NUMBER 20181812834 / 20181812858
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UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
 PECO ENERGY
 AQUA PENNSYLVANIA, INC.
 COMCAST CABLE
 RADNOR TOWNSHIP
 EXTENET SYSTEMS



**PRELIMINARY
TRUCK TURNING PLAN**

6. 5-14-18	GENERAL REVISIONS
5. 4-11-18	REV. PER TWP. ENG. COMMENTS OF 2-27-18 & 2-16-18
4. 1-29-18	REV. PER TWP. ENG. COMMENTS OF 12-22-17 & 1-3-18
3. 11-28-17	REDUCED THE NUMBER OF UNITS; REVISED ROAD SIZE; REVISED STORMWATER FACILITIES
2. 4-10-15	MODIFIED FOOTPRINT AND SIDEWALK
1. 3-9-15	ADDED ADDITION PROPERTY

**DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS**
 415 MAPLEWOOD AVENUE
 RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
 CIVIL ENGINEERS & SURVEYORS

Project- 4063
 Date- 12-8-14
 Scale- 1"= 30'
 Drawn- R.F.N.
 Checked- A.E.
 Sheet- 16 OF 19

125 Dowlin Forge Road
 Exton, Pennsylvania 19341
 Phone (610) 903-0060
 Fax (610) 903-0080

Plotted: 2/8/2019 File: F:\DB\4063\4063-b6.pro Ver: 000



8. 2-4-19 REDUCED THE NUMBER OF UNITS



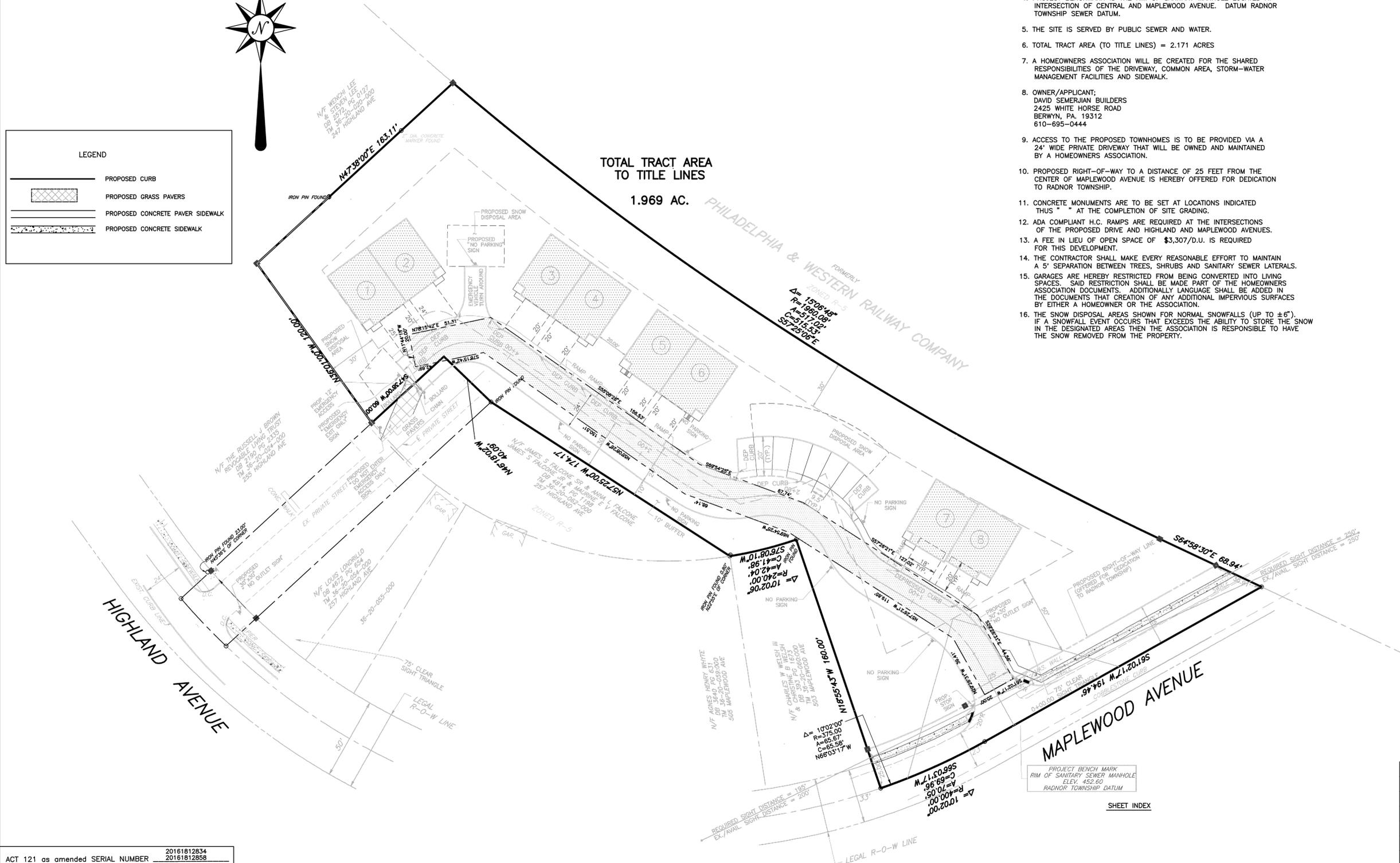
LOCATION MAP
1" = 600'

GENERAL NOTES:

1. THE PURPOSE OF THIS PLAN IS TO CONSOLIDATE THE DEPICTED PARCELS INTO ONE PROPERTY AND TO DEVELOP THE SITE AS 10 TOWNHOUSES.
2. BOUNDARY, EXISTING FEATURES AND TOPOGRAPHIC INFORMATION IS FROM A FIELD SURVEY PERFORMED BY EDWARD B. WALSH & ASSOCIATES, INC. (EBWA) IN JULY, 2010.
3. BOUNDARY SURVEY WAS BASED UPON DEEDS OF RECORD. A TITLE REPORT WAS NOT PROVIDED, THEREFORE, THIS SURVEY DOES NOT PURPORT TO DEPICT ALL RIGHTS, EASEMENTS AND OTHER MATTERS OF TITLE WHICH A CURRENT AND COMPLETE TITLE REPORT WOULD DISCLOSE.
4. PROJECT BENCHMARK IS THE RIM OF SANITARY MANHOLE LOCATED AT INTERSECTION OF CENTRAL AND MAPLEWOOD AVENUE. DATUM RADNOR TOWNSHIP SEWER DATUM.
5. THE SITE IS SERVED BY PUBLIC SEWER AND WATER.
6. TOTAL TRACT AREA (TO TITLE LINES) = 2.171 ACRES
7. A HOMEOWNERS ASSOCIATION WILL BE CREATED FOR THE SHARED RESPONSIBILITIES OF THE DRIVEWAY, COMMON AREA, STORM-WATER MANAGEMENT FACILITIES AND SIDEWALK.
8. OWNER/APPLICANT:
DAVID SEMERJIAN BUILDERS
2425 WHITE HORSE ROAD
BERWYN, PA. 19312
610-695-0444
9. ACCESS TO THE PROPOSED TOWNHOMES IS TO BE PROVIDED VIA A 24' WIDE PRIVATE DRIVEWAY THAT WILL BE OWNED AND MAINTAINED BY A HOMEOWNERS ASSOCIATION.
10. PROPOSED RIGHT-OF-WAY TO A DISTANCE OF 25 FEET FROM THE CENTER OF MAPLEWOOD AVENUE IS HEREBY OFFERED FOR DEDICATION TO RADNOR TOWNSHIP.
11. CONCRETE MONUMENTS ARE TO BE SET AT LOCATIONS INDICATED THUS " * " AT THE COMPLETION OF SITE GRADING.
12. ADA COMPLIANT H.C. RAMPS ARE REQUIRED AT THE INTERSECTIONS OF THE PROPOSED DRIVE AND HIGHLAND AND MAPLEWOOD AVENUES.
13. A FEE IN LIEU OF OPEN SPACE OF \$3,307/D.U. IS REQUIRED FOR THIS DEVELOPMENT.
14. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO MAINTAIN A 5' SEPARATION BETWEEN TREES, SHRUBS AND SANITARY SEWER LATERALS.
15. GARAGES ARE HEREBY RESTRICTED FROM BEING CONVERTED INTO LIVING SPACES. SAID RESTRICTION SHALL BE MADE PART OF THE HOMEOWNERS ASSOCIATION DOCUMENTS. ADDITIONALLY LANGUAGE SHALL BE ADDED IN THE DOCUMENTS THAT CREATION OF ANY ADDITIONAL IMPERVIOUS SURFACES BY EITHER A HOMEOWNER OR THE ASSOCIATION.
16. THE SNOW DISPOSAL AREAS SHOWN FOR NORMAL SNOWFALLS (UP TO ±6"). IF A SNOWFALL EVENT OCCURS THAT EXCEEDS THE ABILITY TO STORE THE SNOW IN THE DESIGNATED AREAS THEN THE ASSOCIATION IS RESPONSIBLE TO HAVE THE SNOW REMOVED FROM THE PROPERTY.

LEGEND

- PROPOSED CURB
- PROPOSED GRASS PAVERS
- PROPOSED CONCRETE PAVER SIDEWALK
- PROPOSED CONCRETE SIDEWALK



PRELIMINARY
SANITARY SEWER
EASEMENT PLAN

2. 6-6-18	REV PER TWP. COMMENTS
1. 6-6-18	REV PER TWP. COMMENTS

DEVELOPMENT PLAN
FOR
DAVID SEMERJIAN BUILDERS
415 MAPLEWOOD AVENUE
RADNOR TOWNSHIP DELAWARE COUNTY, PA.

Edward B. Walsh & Associates, Inc.
CIVIL ENGINEERS & SURVEYORS

Project- 4063
Date- 12-8-14
Scale- 1" = 30'
Drawn- R.F.N.
Checked- A.E.
Sheet- 19 OF 19

125 Dowlan Forge Road
Eaton, Pennsylvania 19341
Phone (610) 903-0060
Fax (610) 903-0080

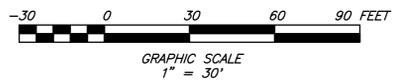
Plotted: 2/8/2019 File: F:\JWB\4063\4063-b6.prc Ver: 000

ACT 121 as amended SERIAL NUMBER 20161812834 / 20181812858
Edward B. Walsh & Associates, Inc. does not guarantee the accuracy of the locations for existing subsurface utility lines, structures, etc. shown on the plans, nor does E. B. Walsh & Assoc., Inc. guarantee that all subsurface utility lines, structures, etc. are shown.

Contractor shall verify the location and elevations of all subsurface utility lines, structures, etc. before the start of work, by calling the Pennsylvania One Call System at 1-800-242-1776.

UTILITIES NOTIFIED

VERIZON PENNSYLVANIA, INC.
PECO ENERGY
AQUA PENNSYLVANIA, INC.
COMCAST CABLE
RADNOR TOWNSHIP
EXTENET SYSTEMS



SHEET INDEX

RADNOR TOWNSHIP

ENGINEERING DEPARTMENT



Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *SFN*

CC: Robert A. Zienkowski, Township Manager
William M. White, Assistant Manager/Director of Finance

Date: March 4, 2019

Re: Ardrossan Farms Lot Line Change, ESIII L.P. CAUCUS

Before the Board of Commissioners for Caucus will be representatives of the applicant, Edward Scott, who is seeking to shift lot lines on lots 3-2, 3-3, Open Space 8, and create Open Space 12. This

Please find attached the consultants' review letters and the plan set.



Gannett Fleming

*Excellence Delivered **As Promised***

Date: March 4, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: The Ardrossan Farms Lot 3-2, 3-3, OS 8A and OS 12– Lot Line Change
ESIII L.P. – Applicant

Date Accepted: January 8, 2019
90 Day Review: April 8, 2019

Gannett Fleming, Inc. has completed a review of the revised land development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to revise the recently approved lot line change for Phase 3. The project will shift the lot lines between lot 3-2 and 3-3, transfer property from OS-8 to Lot 3-3 and create a new OS-12. There will be a net increase of 334 SF of Open Space. There are no changes to roadways, sanitary or storm sewers and no other changes from the originally approved land development plans or stormwater management systems are proposed.

Lots 3-2, 3-3, OS-8A and OS-12 – Record Plan

Plans Prepared By: Momenee, Inc.
Dated: 01/03/2019

Zoning

1. All zoning requirements related to the placement of structures will be verified at the grading permit review to ensure conformation with the requirements.

The applicant appeared before the Planning Commission on February 4, 2019. The Planning Commission recommended approval of the plan.

If you have any questions or require any additional information, please contact me.

Very truly yours,
GANNETT FLEMING, INC.

Roger A. Phillips, P.E.
Senior Project Manager





DELAWARE COUNTY PLANNING COMMISSION

1055 E. Baltimore Pike
Media, PA 19063
Phone: (610) 891-5200

Email: planning_department@co.delaware.pa.us

COUNCIL

JOHN P. McBLAIN
CHAIRMAN

COLLEEN P. MORRONE
VICE CHAIRMAN

MICHAEL F. CULP
KEVIN M. MADDEN
BRIAN P. ZIDEK

LINDA F. HILL
DIRECTOR

February 21, 2019

Mr. Robert A. Zienkowski
Radnor Township
301 Iven Avenue
Wayne, PA 19087-5297

RE: Name of Dev't: Ardrossan Farm - Lot Reconfiguration
DCPD File No.: 34-4143-97-99-00-05-14-15-16-17-18-19
Developer: Christopher & Kathleen Marr
Location: Southeast of the intersection between
Newtown and Darby/Paoli Roads
Recv'd in DCPD: January 18, 2019

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on February 21, 2019, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

Linda F. Hill
Director

cc: Christopher & Kathleen Marr
Momenee Inc.



1055 E. Baltimore Pike
Media, PA 19063
Phone: (610) 891-5200
Email: planning_department@co.delaware.pa.us

Date: February 21, 2019
File No.: 34-4143-97-99-00-05-14-15-16-17-18-19

PLAN TITLE: Ardrossan Farm - Lot Reconfiguration

DATE OF PLAN: January 3, 2019

OWNER OR AGENT: Christopher & Kathleen Marr

LOCATION: Southeast of the intersection
between Newtown and Darby/Paoli
Roads

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Subdivision

ZONING DISTRICT: AC

SUBDIVISION ORDINANCE: Local

PROPOSAL: Adjust lot lines of four lots,
totaling 3.870 acres

UTILITIES: Public

RECOMMENDATIONS: Approval

STAFF REVIEW BY: Michael A. Leventry

REMARKS:

PREVIOUS ACTION

A plan for the site was last reviewed by the Delaware County Planning Commission at its meeting on October 18, 2018, as a subdivision. The applicant proposed to adjust the lot lines of ten existing parcels. The Planning Commission recommended approval.



Date: February 21, 2019
File No.: 34-4143-97-99-00-05-14-15-16-17-18-19

REMARKS (continued):

CURRENT PROPOSAL

The applicant is currently proposing to adjust the lot lines of two residential parcels, as well as shift a portion of designated open space.

SITE CHARACTERISTICS

The site is within a larger residential subdivision and within an area that is predominantly single-family detached residential.

APPLICABLE ZONING

The proposal is located within the AC district and is subject to applicable regulations set forth in the Township zoning code.

COMPLIANCE

The proposal appears to comply with the AC district provisions.

SEWAGE FACILITIES

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

STORMWATER MANAGEMENT

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

Date: February 21, 2019
File No.: 34-4143-97-99-00-05-14-15-16-17-18-19

REMARKS (continued):

HISTORICAL SIGNIFICANCE

Though Ardrossan is a very significant and large historic resource with multiple buildings and an historic landscape mostly intact, the proposed lot line changes should have no adverse effect.

RECORDING

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



Gannett Fleming

*Excellence Delivered **As Promised***

Date: January 28, 2019

To: Stephen Norcini, P.E. – Township Engineer

From: Roger Phillips, PE

cc: Kevin W. Kochanski, RLA, CZO – Director of Community Development
Mary Eberle, Esq. – Grim, Biehn, and Thatcher
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.
Patricia Sherwin – Radnor Township Engineering Department

RE: The Ardrossan Farms Lot 3-2, 3-3, OS 8A and OS 12– Lot Line Change
ESIII L.P. – Applicant

Date Accepted: January 8, 2019

90 Day Review: April 8, 2019

Gannett Fleming, Inc. has completed a review of the revised land development Plan for compliance with the Radnor Township Code. These Plans were reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to revise the recently approved lot line change for Phase 3. The project will shift the lot lines between lot 3-2 and 3-3, transfer property from OS-8 to Lot 3-3 and create a new OS-12. There will be a net increase of 334 SF of Open Space. There are no changes to roadways, sanitary or storm sewers and no other changes from the originally approved land development plans or stormwater management systems are proposed.

Lots 3-2, 3-3, OS-8A and OS-12 – Record Plan

Plans Prepared By: Momenee, Inc.

Dated: 01/03/2019

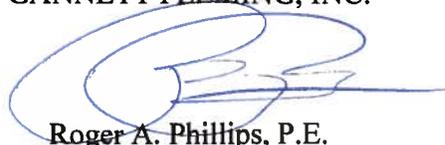
Zoning

1. All zoning requirements related to the placement of structures will be verified at the grading permit review to ensure conformation with the requirements.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.
Senior Project Manager





MEMORANDUM

Date: January 15, 2019

To: Stephen F. Norcini, P.E.
Radnor Township Engineer

From: Amy B. Kaminski, P.E., PTOE, Gilmore & Associates, Inc.

cc: Superintendent Christopher Flanagan, Radnor Township Police Department
Kevin Kochanski, ASLA, R.L.A., Director of Community Development
John B. Rice, Esq., Grim, Biehn & Thatcher, P.C.
Roger A. Phillips, P.E., Gannett Fleming, Inc., Senior Associate
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.
Leslie Salsbury, P.E., Gilmore & Associates, Inc.

Reference: Ardrossan Farms Phase 3 Lot Adjustments
Lot Line Change Plan Review
Radnor Township, Delaware County, PA
G&A 13-07018.03

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Record Plan for Phase 3 of the Ardrossan Farm for the applicants, Chris and Kathleen Marr. The applicant intends to reconfigure two lots to allow for a larger lot via transfer of open space.

A. DOCUMENTS REVIEWED

1. Lot Line Change Plan (3 Sheets) for Ardrossan Farms - Phase 3, dated January 3, 2019, prepared for Chris and Kathleen Marr, prepared by Momenee, Inc.
2. A cover letter dated January 3, 2019 prepared by Momenee, Inc.
3. Subdivision and Land Development Application Form.
4. Application for Act 247 Review.

B. REVIEW COMMENTS

The referenced Record Plan includes property line adjustments and generates no transportation related comments.

January 3, 2019

Mr. Steve Norcini P.E.
Radnor Township Engineer
301 Iven Avenue
Wayne, PA 19087

**RE: Lot Line Change
Ardrossan Farms – Lots 3-2, 3-3 & OS-8A
Radnor Township, Delaware County**

Our File # 06-012

Dear Steve:

On behalf of Chris & Kathleen Marr, owners of Lots 3-2 & 3-3 at Ardrossan and ESIII L.P., owner of Open Space 8A, we are submitting an application for a revision to the recently approved lot line change for the Phase 3 portion of Ardrossan Farm.

The changes proposed at this time include the following:

- A shift in the line separating Lot 3-2 and 3-3 to increase the size of Lot 3.3.
- A change in the configuration of Open Space 8A to add 17,511 SF from Open Space 8A to Lot 3-3 and to add 19,879 SF from Lot 3-2 to new Open Space Area 12. The net area of Open Space 12, after subtracting out a 20-foot wide access easement serving lot 5-1 is 17,845 SF which offsets the open space being transferred to Lot 3-3

The attached plans reflect the changes being proposed. The changes involve lot reconfiguration only. There are no changes to roadways, sanitary or storm sewers and no changes from the original approved land development plans or stormwater management systems. There is a net increase of 334 SF of Open Space being provided.

Enclosed for review are the following:

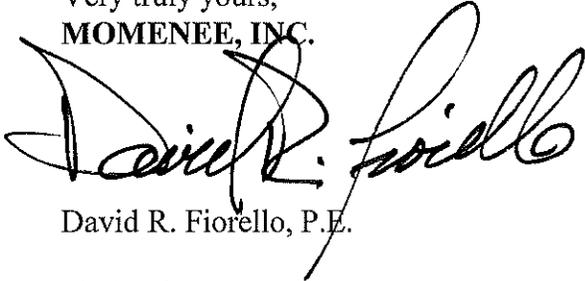
- Township Application signed by the Marrs and ESIII L.P.
- Act 247 Review Form
- 19 full size copies of the lot line change plans.
- 7 11x17 copies of the lot line change plans
- Copy of the title report and deed for Lots 3-2 & 3-3.
- Copy of the title report and deed for The Phase 3 portion of Ardrossan.
- Act 247 Review fee of \$190.00
- 10 USB Thumb Drives containing the following
 - Copy of this letter in PDF format
 - Plans in PDF format

- Copies of signed applications in PDF form
- Copies of supporting documents in PDF form

Eddie Scott will be dropping a check off tomorrow for the township application fee.

I trust that this information will be sufficient in order to be placed on the February Planning Commission schedule for review. Should you have any questions or require any additional information, please let me know.

Very truly yours,
MOMENEE, INC.

A handwritten signature in black ink, appearing to read "David R. Fiorello". The signature is fluid and cursive, with a large initial "D" and "F".

David R. Fiorello, P.E.

06012-L26_RT

cc: Edgar Scott III
John C. Snyder Esq.

Are there any requirements of Chapter 255 (SALDO) not being adhered to? Explain the reason for noncompliance. _____

.Waivers granted as part of the original subdivision will continue with the proposed lot revisions.

Are there any infringements of Chapter 280 (Zoning), and if so what and why? _____

CONDITIONAL USE APPROVAL WAS GRANTED ON JANUARY 6, 2014 TO PERMIT DEVELOPMENT OF THE PARCEL UNDER THE DENSITY MODIFICATION PROVISIONS OF THE TOWNSHIP ZONING CODE

Individual/Corporation/Partnership Name CHRISTOPHER & KATHLEEN MARR / ESIII

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature:  _____

Signature:  _____

Print Name EDGAR SCOTT III

CHRISTOPHER MARR & KATHLEEN MARR

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Land) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

DELAWARE COUNTY PLANNING COMMISSION

APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

DEVELOPER/APPLICANT

Name CHRISTOPHER & KATHLEEN MARR E-mail kathleen.marr1@gmail.com

Address 43 Harrison Drive, Newtown Square, pa 19073 Phone 610-453-6410

Name of Development ARDROSSAN FARM

Municipality RADNOR TOWNSHIP

ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm MOMENEE INC Phone 610-527-3030

Address 924 COUNTY LINE ROAD, BRYN MAWR, PA 19010

Contact DAVID R. FIORELLO, P.E. E-mail DFIORELLO@MOMENEE.COM

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input type="checkbox"/> Land Development	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input checked="" type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input checked="" type="checkbox"/> Steep Slopes

Zoning District AC

Tax Map # 36 / 36 / 008

Tax Folio # 36 / 04 / 02464 / 00

STATEMENT OF INTENT

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

RECONFIGURE THE PREVIOUSLY APPROVED LOTS 3-2, 3-3 & OPEN SPACE 8A IN THE PHASE 3 SECTION OF THE
ARDROSSAN FARM SUBDIVISION. 1 NEW OPEN SPACE LOT IS BEING CREATED TO OFFSET AREA FROM OPEN SPACE
8A BEING TRANSFERRED TO LOT 3-3. NEW HOMES WILL BE BUILT ON THE RESIDENTIALLY APPROVED LOTS.

Total Site Area 3.87 Acres
Size of All Existing Buildings N/A Square Feet
Size of All Proposed Buildings 20,000 +/- Square Feet
Size of Buildings to be Demolished 0+/- Square Feet

Kathleen Mall
Print Developer's Name

Kathleen Mall
Developer's Signature

MUNICIPAL SECTION

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting _____

Local Governing Body Regular Meeting _____

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed _____

IMPORTANT: If previously submitted, show assigned DCPD File # _____

Print Name and Title of Designated Municipal Official

Phone Number

Official's Signature

Date

FOR DCPD USE ONLY

Review Fee: Check # _____ Amount \$ _____ Date Received _____

Applications with original signatures must be submitted to DCPD.

Prepared by:
Fidelity National Title Insurance Company
1515 Market Street, Ste. 1325
Philadelphia, PA 19102

Record and return to:
Fidelity National Title Insurance Company
1515 Market Street, Ste. 1325
Philadelphia, PA 19102

Tax Parcel No.: 36-04-02463-00 (p/o),
36-04-02464-00 (p/o) and
36-04-02464-94 (p/o)

SPECIAL WARRANTY DEED

THIS INDENTURE made December 19, 2018.

BETWEEN ES III LP, a Pennsylvania limited partnership (hereinafter called the Grantor), of the one part,
and

Christopher Marr and Kathleen Marr (hereinafter called the Grantee), of the other part,

WITNESSETH that the said Grantor for and in consideration of the sum of [REDACTED] lawful money of the United States of America, unto it well and truly paid by the said Grantee at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted and conveyed, bargained and sold, released and confirmed, and by these presents does grant and convey, bargain and sell, release and confirm unto the said Grantee,

ALL THAT CERTAIN real property which is more particularly described on Exhibit "A" attached hereto and made a part hereof.

TOGETHER WITH all and singular the buildings and improvements, ways, streets, alleys, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said Grantor, as well at law as in equity, of, in and to the same.

TO HAVE AND TO HOLD the said lot or piece of ground above described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behalf of the said Grantee, its successors and assigns, forever.

AND the said Grantor, for itself and its successors and assigns, does covenant, promise and agree, to and with the said Grantee, its successors and assigns, by these presents, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor and its successors and assigns, and against all and every person and persons whatsoever lawfully claiming or to claim the same or any part thereof, by, from or under, it, them or any of them, shall and will WARRANT and forever DEFEND.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be duly executed dated the day and year first above written.

ES III LP, a Pennsylvania limited partnership

BY: ES-III Ardrossan, LLC, its general partner

By: [Signature]
Edgar Scott III, Managing Member

COMMONWEALTH OF PENNSYLVANIA)
COUNTY OF Chester)SS

On this, the 17 day of December, A.D. 2018, before me, a notary public the undersigned officer, personally appeared Edgar Scott III who acknowledged himself to be the Managing Member of ES-III Ardrossan, LLC, general partner of ES III LP, a Pennsylvania limited partnership and he as such ~~Managing Member being~~ authorized to do so, executed the foregoing instrument for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

[Signature]
Notary Public
My Commission Expires:

Commonwealth of Pennsylvania - Notary Seal
Patricia A. Desmond, Notary Public
Chester County
My commission expires August 24, 2022
Commission number 1038631
Member, Pennsylvania Association of Notaries

I hereby certify the address of the Above-named Grantees are:
43 Harrison Dr.
Newtown Square, PA 19073
By: [Signature]

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 36-04-02463-00 (p/o), 36-04-02464-00 (p/o) and 36-04-02464-94 (p/o)

Lot 3-2

Description of Lot 3-2 of the Phase 3 portion of "The Ardrossan Farm", Situate in the Township of Radnor, Delaware County and Commonwealth of Pennsylvania, originally a part of a plan entitled "Final Subdivision Plans, The Ardrossan Farm, Record Plan-Phasing, Sheet 5 of 93", prepared by Momenee and Associates, Inc., dated September 5, 2014, last revised December 8, 2014, filed in the Delaware County Clerk's office in Plan Book 281, Page 20, amended and described according to a plan prepared by Momenee, Inc. titled "Lot Line Change for Ardrossan Farms - Phase 3", dated August 30, 2018, recorded in the Delaware County Clerk's Office on _____, in Plan Book _____, Page _____, as follows to wit:

Beginning at a point being the northeast corner of said lot, said point being the center of the Tyler Lane cul-de-sac and located the following seven courses and distances along the centerline of Tyler Lane from the intersection of the centerline of Tyler Lane with the title line of Newtown Road:

1. S 23° 16' 00" E the distance of 128.52 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 150.00 feet, the arc length 162.12 feet, the chord bearing S 07° 41' 48" W, and the chord length 154.35 feet to a point of tangency,
3. S 38° 39' 36" W the distance of 159.27 feet to a point of curvature,
4. Along the arc of a circle, curving to the left, having the radius 500.00 feet, the arc length 361.41 feet, the chord bearing S 17° 57' 10" W, and the chord length 353.60 feet to a point of tangency,
5. S 02° 45' 17" E the distance of 232.43 feet to a point of curvature,
6. Along the arc of a circle, curving to the right, having the radius 500.00 feet, the arc length 394.35 feet, the chord bearing S 19° 50' 23" W, and the chord length 384.2 feet to a point of tangency,
7. S 42° 26' 03" W the distance of 337.37 feet to a point being the center of the Tyler Lane cul-de-sac and point of beginning.

Thence from said point of beginning, along line of lands of Lot 3-3, the following two courses and distances,

1. S 16° 02' 43" W the distance of 52.81 feet to a point,
2. S 47° 33' 57" E the distance of 226.53 feet to a corner point on line of lands of Open Space 8,

Thence along line of lands of Open Space 8, the following two courses and distances

1. S 42° 26' 03" W the distance of 157.69 feet to a corner point,
 2. S 66° 28' 25" W the distance of 242.69 feet to a point, on line of lands of Lot 5-1
- Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 207.00 feet to a point being a common corner of Lot 5-1, lands of Radnor Township and lands of Open Space 7, Thence along line of lands of Open Space 7, the following four courses and distances;

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to a point,
4. N 88° 49' 23" E the distance of 45.00 feet to the point of beginning.

Said Lot 3-2 containing 90,915 SF of land (2.087 AC) more or less.

Said Lot 3-2 contains a sanitary sewer easement described as follows;

EXHIBIT "A"
Legal Description
(continued)

Beginning at a point being the southeasterly corner of lot 3-2, thence from said beginning point along the southerly property line of Lot 3-2, S 42° 26' 03" W the distance of 20.00 feet to a point, thence leaving said southerly property line and continuing through Lot 3-2 the following two courses and distances;

1. N 47° 33' 57" W the distance of 20.00 feet to a point,
 2. N 42° 26' 03" E the distance of 20.00 feet to a point on the easterly property line of Lot 3-2
- Thence along said easterly property line, S 47° 33' 57" E the distance of 20.00 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a storm sewer easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 40.43 feet, the chord bearing S 46° 54' 51" E, and the chord length 39.08 feet to a point, thence continuing through lot 3-2 the following four courses and distances,

1. S 42° 30' 13" W the distance of 146.54 feet to a point,
2. N 47° 29' 47" W the distance of 10.35 feet to a point,
3. S 61° 26' 27" W the distance of 112.29 feet to a point,
4. N 63° 10' 15" W the distance of 29.07 feet to a point on the northerly property line of Lot 3-2,

Thence along said northerly property line, along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 20.54 feet, the chord bearing N 39° 42' 04" E, and the chord length 20.52 feet to a point, thence leaving said northerly property line and continuing through Lot 3-2 the following three courses and distances;

1. S 63° 10' 15" E the distance of 14.00 feet to a point,
2. N 61° 26' 27" E the distance of 94.93 feet to a point,
3. N 47° 29' 47" W the distance of 7.58 feet to a point on the northerly property line of Lot 3-2

Thence along said northerly property line, N 42° 30' 13" E the distance of 146.94 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a driveway access/utility easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 25.73 feet, the chord bearing S 37° 33' 26" E, and the chord length 25.38 feet to a point,, thence continuing through lot 3-2 the following three courses and distances,

1. S 42° 30' 13" W the distance of 134.18 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 80.00 feet, the arc length 51.09 feet, the chord bearing S 62° 53' 15" W, and the chord length 50.22 feet to a point of reverse curvature,
3. Along the arc of a circle, curving to the left, having the radius 100.00 feet, the arc length 168.16 feet, the chord bearing S 30° 30' 15" W, and the chord length 149.04 feet to a point on line of lands of Lot 5-1,

Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 63.09 feet to a corner point, thence following the northerly property line of Lot 3-2 the following three courses and distances;

Prepared by:
Fidelity National Title Insurance Company
1515 Market Street, Ste. 1325
Philadelphia, PA 19102

Record and return to:
Fidelity National Title Insurance Company
1515 Market Street, Ste. 1325
Philadelphia, PA 19102

Tax Parcel No.: 36-04-02463-00 (p/o),
36-04-02464-00 (p/o) and
36-04-02464-94 (p/o)

SPECIAL WARRANTY DEED

THIS INDENTURE made December 19, 2018.

BETWEEN ES III LP, a Pennsylvania limited partnership (hereinafter called the Grantor), of the one part,
and

Christopher Marr and Kathleen Marr (hereinafter called the Grantee), of the other part,

WITNESSETH that the said Grantor for and in consideration of the sum of [REDACTED] lawful money of the United States of America, unto it well and truly paid by the said Grantee at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has granted and conveyed, bargained and sold, released and confirmed, and by these presents does grant and convey, bargain and sell, release and confirm unto the said Grantee,

ALL THAT CERTAIN real property which is more particularly described on Exhibit "A" attached hereto and made a part hereof.

TOGETHER WITH all and singular the buildings and improvements, ways, streets, alleys, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in anywise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of it, the said Grantor, as well at law as in equity, of, in and to the same.

TO HAVE AND TO HOLD the said lot or piece of ground above described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, to and for the only proper use and behalf of the said Grantee, its successors and assigns, forever.

AND the said Grantor, for itself and its successors and assigns, does covenant, promise and agree, to and with the said Grantee, its successors and assigns, by these presents, that it, the said Grantor, and its successors and assigns, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee, its successors and assigns, against it, the said Grantor and its successors and assigns, and against all and every person and persons whatsoever lawfully claiming or to claim the same or any part thereof, by, from or under, it, them or any of them, shall and will WARRANT and forever DEFEND.

EXHIBIT "A"
Legal Description
(continued)

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to the first mentioned point and place of beginning

Being part of the same premises which Sidney F. Tyler Trust dated 5-30-1917 and The Robert L. Montgomery Ardrossan Trust dated 6-4-1912 by Deed dated _____ and recorded _____ in Delaware County as _____ Page _____ conveyed unto ES III LP, in fee.

IN WITNESS WHEREOF, the said Grantor has caused these presents to be duly executed dated the day and year first above written.

ES III LP, a Pennsylvania limited partnership

BY: ES-III Ardrossan, LLC, its general partner

By: [Signature]
Edgar Scott III, Managing Member

COMMONWEALTH OF PENNSYLVANIA }
COUNTY OF chester } SS

On this, the 15 day of December, A.D. 2018, before me, a notary public the undersigned officer, personally appeared Edgar Scott III who acknowledged himself to be the Managing Member of ES-III Ardrossan, LLC, general partner of ES III LP, a Pennsylvania limited partnership and he as such Managing Member being authorized to do so, executed the foregoing instrument for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.

[Signature]

Notary Public
My Commission Expires:

Commonwealth of Pennsylvania - Notary Seal
Patricia A. Desmond, Notary Public
Chester County
My commission expires August 24, 2022
Commission number 1038631
Member, Pennsylvania Association of Notaries

I hereby certify the address of the Above-named Grantees are:

43 Harrison Dr.
Newtown Square, PA 19013
By: [Signature]

EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 36-04-02463-00 (p/o), 36-04-02464-00 (p/o) and 36-04-02464-94 (p/o)

Lot 3-2

Description of Lot 3-2 of the Phase 3 portion of "The Ardrossan Farm", Situate in the Township of Radnor, Delaware County and Commonwealth of Pennsylvania, originally a part of a plan entitled "Final Subdivision Plans, The Ardrossan Farm, Record Plan-Phasing, Sheet 5 of 93", prepared by Momenee and Associates, Inc., dated September 5, 2014, last revised December 8, 2014, filed in the Delaware County Clerk's office in Plan Book 281, Page 20, amended and described according to a plan prepared by Momenee, Inc. titled "Lot Line Change for Ardrossan Farms - Phase 3", dated August 30, 2018, recorded in the Delaware County Clerk's Office on _____, in Plan Book _____, Page _____, as follows to wit:

Beginning at a point being the northeast corner of said lot, said point being the center of the Tyler Lane cul-de-sac and located the following seven courses and distances along the centerline of Tyler Lane from the intersection of the centerline of Tyler Lane with the title line of Newtown Road:

1. S 23° 16' 00" E the distance of 128.52 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 150.00 feet, the arc length 162.12 feet, the chord bearing S 07° 41' 48" W, and the chord length 154.35 feet to a point of tangency,
3. S 38° 39' 36" W the distance of 159.27 feet to a point of curvature,
4. Along the arc of a circle, curving to the left, having the radius 500.00 feet, the arc length 361.41 feet, the chord bearing S 17° 57' 10" W, and the chord length 353.60 feet to a point of tangency,
5. S 02° 45' 17" E the distance of 232.43 feet to a point of curvature,
6. Along the arc of a circle, curving to the right, having the radius 500.00 feet, the arc length 394.35 feet, the chord bearing S 19° 50' 23" W, and the chord length 384.2 feet to a point of tangency,
7. S 42° 26' 03" W the distance of 337.37 feet to a point being the center of the Tyler Lane cul-de-sac and point of beginning.

Thence from said point of beginning, along line of lands of Lot 3-3, the following two courses and distances,

1. S 16° 02' 43" W the distance of 52.81 feet to a point,
2. S 47° 33' 57" E the distance of 226.53 feet to a corner point on line of lands of Open Space 8,

Thence along line of lands of Open Space 8, the following two courses and distances

1. S 42° 26' 03" W the distance of 157.69 feet to a corner point,
2. S 66° 28' 25" W the distance of 242.69 feet to a point, on line of lands of Lot 5-1

Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 207.00 feet to a point being a common corner of Lot 5-1, lands of Radnor Township and lands of Open Space 7, Thence along line of lands of Open Space 7, the following four courses and distances;

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to a point,
4. N 68° 49' 23" E the distance of 45.00 feet to the point of beginning.

Said Lot 3-2 containing 90,915 SF of land (2.087 AC) more or less.

Said Lot 3-2 contains a sanitary sewer easement described as follows;

EXHIBIT "A"
Legal Description
(continued)

Beginning at a point being the southeasterly corner of lot 3-2, thence from said beginning point along the southerly property line of Lot 3-2, S 42° 26' 03" W the distance of 20.00 feet to a point, thence leaving said southerly property line and continuing through Lot 3-2 the following two courses and distances;

1. N 47° 33' 57" W the distance of 20.00 feet to a point,
 2. N 42° 26' 03" E the distance of 20.00 feet to a point on the easterly property line of Lot 3-2
- Thence along said easterly property line, S 47° 33' 57" E the distance of 20.00 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a storm sewer easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 40.43 feet, the chord bearing S 46° 54' 51" E, and the chord length 39.08 feet to a point, thence continuing through lot 3-2 the following four courses and distances,

1. S 42° 30' 13" W the distance of 146.54 feet to a point,
2. N 47° 29' 47" W the distance of 10.35 feet to a point,
3. S 61° 26' 27" W the distance of 112.29 feet to a point,
4. N 63° 10' 15" W the distance of 29.07 feet to a point on the northerly property line of Lot 3-2,

Thence along said northerly property line, along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 20.54 feet, the chord bearing N 39° 42' 04" E, and the chord length 20.52 feet to a point, thence leaving said northerly property line and continuing through Lot 3-2 the following three courses and distances;

1. S 63° 10' 15" E the distance of 14.00 feet to a point,
2. N 61° 26' 27" E the distance of 94.93 feet to a point,
3. N 47° 29' 47" W the distance of 7.58 feet to a point on the northerly property line of Lot 3-2

Thence along said northerly property line, N 42° 30' 13" E the distance of 146.94 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a driveway access/utility easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 25.73 feet, the chord bearing S 37° 33' 26" E, and the chord length 25.38 feet to a point, thence continuing through lot 3-2 the following three courses and distances,

1. S 42° 30' 13" W the distance of 134.18 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 80.00 feet, the arc length 51.09 feet, the chord bearing S 62° 53' 15" W, and the chord length 50.22 feet to a point of reverse curvature,
3. Along the arc of a circle, curving to the left, having the radius 100.00 feet, the arc length 168.16 feet, the chord bearing S 30° 30' 15" W, and the chord length 149.04 feet to a point on line of lands of Lot 5-1,

Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 63.09 feet to a corner point, thence following the northerly property line of Lot 3-2 the following three courses and distances;

EXHIBIT "A"

Legal Description
(continued)

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to the first mentioned point and place of beginning

Being part of the same premises which Sidney F. Tyler Trust dated 5-30-1917 and The Robert L. Montgomery Ardrossan Trust dated 6-4-1912 by Deed dated _____ and recorded _____ in Delaware County as _____ Page _____ conveyed unto ES III LP, in fee.

Transaction Identification Data for reference only:

ISSUING OFFICE:
Fidelity National Title Insurance Company 1515 Market Street, Ste. 1325 Philadelphia, PA 19102 Main Phone: (215)732-9700

Order Number: PHI181017

SCHEDULE A

1. Commitment Date: October 22, 2018
2. Policy to be issued:
 - (a) ALTA Owner's Policy, as modified by TIRBOP (06/17/06)
 Proposed Insured: Christopher Marr and Kathleen Marr
 Proposed Policy Amount: [REDACTED]
3. The estate or interest in the Land described or referred to in this Commitment is:
 Fee Simple
4. The Title is, at the Commitment Date, vested in:
 Sidney F. Tyler Trust dated 5-30-1917 and The Robert L. Montgomery Ardrossan Trust dated 6-4-1912
5. The Land is described as follows:
 SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF
 FOR INFORMATIONAL PURPOSES ONLY: Tyler Lane, Radnor, PA 19089
 Township of Radnor, County of Delaware

END OF SCHEDULE A

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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EXHIBIT "A"
Legal Description

For APN/Parcel ID(s): 36-04-02463-00 (p/o), 36-04-02464-00 (p/o) and 36-04-02464-94 (p/o)

Lot 3-2

Description of Lot 3-2 of the Phase 3 portion of "The Ardrossan Farm", Situate in the Township of Radnor, Delaware County and Commonwealth of Pennsylvania, originally a part of a plan entitled "Final Subdivision Plans, The Ardrossan Farm, Record Plan-Phasing, Sheet 5 of 93", prepared by Momenee and Associates, Inc., dated September 5, 2014, last revised December 8, 2014, filed in the Delaware County Clerk's office in Plan Book 281, Page 20, amended and described according to a plan prepared by Momenee, Inc. titled "Lot Line Change for Ardrossan Farms – Phase 3", dated August 30, 2018, recorded in the Delaware County Clerk's Office on _____, in Plan Book _____, Page _____, as follows to wit:

Beginning at a point being the northeast corner of said lot, said point being the center of the Tyler Lane cul-de-sac and located the following seven courses and distances along the centerline of Tyler Lane from the intersection of the centerline of Tyler Lane with the title line of Newtown Road:

1. S 23° 16' 00" E the distance of 128.52 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 150.00 feet, the arc length 162.12 feet, the chord bearing S 07° 41' 48" W, and the chord length 154.35 feet to a point of tangency,
3. S 38° 39' 36" W the distance of 159.27 feet to a point of curvature,
4. Along the arc of a circle, curving to the left, having the radius 500.00 feet, the arc length 361.41 feet, the chord bearing S 17° 57' 10" W, and the chord length 353.60 feet to a point of tangency,
5. S 02° 45' 17" E the distance of 232.43 feet to a point of curvature,
6. Along the arc of a circle, curving to the right, having the radius 500.00 feet, the arc length 394.35 feet, the chord bearing S 19° 50' 23" W, and the chord length 384.2 feet to a point of tangency,
7. S 42° 26' 03" W the distance of 337.37 feet to a point being the center of the Tyler Lane cul-de-sac and point of beginning.

Thence from said point of beginning, along line of lands of Lot 3-3, the following two courses and distances,

1. S 16° 02' 43" W the distance of 52.81 feet to a point,
2. S 47° 33' 57" E the distance of 226.53 feet to a corner point on line of lands of Open Space 8,

Thence along line of lands of Open Space 8, the following two courses and distances

1. S 42° 26' 03" W the distance of 157.69 feet to a corner point,
2. S 66° 28' 25" W the distance of 242.69 feet to a point, on line of lands of Lot 5-1

Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 207.00 feet to a point being a common corner of Lot 5-1, lands of Radnor Township and lands of Open Space 7, Thence along line of lands of Open Space 7, the following four courses and distances;

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to a point,
4. N 68° 49' 23" E the distance of 45.00 feet to the point of beginning.

Said Lot 3-2 containing 90,915 SF of land (2.087 AC) more or less.

Said Lot 3-2 contains a sanitary sewer easement described as follows;

Beginning at a point being the southeasterly corner of lot 3-2, thence from said beginning point along the southerly property line of Lot 3-2, S 42° 26' 03" W the distance of 20.00 feet to a point, thence leaving said southerly property line and continuing through Lot 3-2 the following two courses and distances;

1. N 47° 33' 57" W the distance of 20.00 feet to a point,

This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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EXHIBIT "A"
Legal Description

2. N 42° 26' 03" E the distance of 20.00 feet to a point on the easterly property line of Lot 3-2
Thence along said easterly property line, S 47° 33' 57" E the distance of 20.00 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a storm sewer easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 40.43 feet, the chord bearing S 46° 54' 51" E, and the chord length 39.08 feet to a point, thence continuing through lot 3-2 the following four courses and distances,

1. S 42° 30' 13" W the distance of 146.54 feet to a point,
2. N 47° 29' 47" W the distance of 10.35 feet to a point,
3. S 61° 26' 27" W the distance of 112.29 feet to a point,
4. N 63° 10' 15" W the distance of 29.07 feet to a point on the northerly property line of Lot 3-2,

Thence along said northerly property line, along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 20.54 feet, the chord bearing N 39° 42' 04" E, and the chord length 20.52 feet to a point, thence leaving said northerly property line and continuing through Lot 3-2 the following three courses and distances;

1. S 63° 10' 15" E the distance of 14.00 feet to a point,
2. N 61° 26' 27" E the distance of 94.93 feet to a point,
3. N 47° 29' 47" W the distance of 7.58 feet to a point on the northerly property line of Lot 3-2

Thence along said northerly property line, N 42° 30' 13" E the distance of 146.94 feet to the first mentioned point and place of beginning.

Said Lot 3-2 contains a driveway access/utility easement described as follows;

Beginning at a point being the intersection of the northerly property line of Lot 3-2 with the cul-de-sac R/W line of Tyler Lane said point being located S 68° 49' 23" W the distance of 45.00 feet from the northeast corner of Lot 3-2 said corner point also being the center of the Tyler Lane cul-de-sac, thence from said beginning point along the R/W line of the Tyler Lane cul-de-sac, along the arc of a circle, curving to the left, having the radius of 45.00 feet, the arc length 25.73 feet, the chord bearing S37° 33' 26" E, and the chord length 25.38 feet to a point,, thence continuing through lot 3-2 the following three courses and distances,

1. S 42° 30' 13" W the distance of 134.18 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 80.00 feet, the arc length 51.09 feet, the chord bearing S 62° 53' 15" W, and the chord length 50.22 feet to a point of reverse curvature,
3. Along the arc of a circle, curving to the left, having the radius 100.00 feet, the arc length 168.16 feet, the chord bearing S30° 30' 15" W, and the chord length 149.04 feet to a point on line of lands of Lot 5-1,

Thence along line of lands of Lot 5-1, N 25° 09' 36" W the distance of 63.09 feet to a corner point, thence following the northerly property line of Lot 3-2 the following three courses and distances;

1. Along the arc of a circle, curving to the right, having the radius 125.00 feet, the arc length 145.32 feet, the chord bearing N 45° 39' 42" E, and the chord length 137.27 feet to a point of reverse curvature,
2. Along the arc of a circle, curving to the left, having the radius 55.00 feet, the arc length 35.17 feet, the chord bearing N 63° 20' 42" E, and the chord length 34.58 feet to a point of tangency,
3. N 42° 30' 13" E the distance of 138.07 feet to the first mentioned point and place of beginning

Lot 3-3

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EXHIBIT "A"
Legal Description

Description of Lot 3-3 of the Phase 3 portion of "The Ardrossan Farm", Situate in the Township of Radnor, Delaware County and Commonwealth of Pennsylvania, originally a part of a plan entitled "Final Subdivision Plans, The Ardrossan Farm, Record Plan-Phasing, Sheet 5 of 93", prepared by Momenee and Associates, Inc., dated September 5, 2014, last revised December 8, 2014, filed in the Delaware County Clerk's office in Plan Book 281, Page 20, amended and described according to a plan prepared by Momenee, Inc. titled "Lot Line Change for Ardrossan Farms – Phase 3", dated August 30, 2018, recorded in the Delaware County Clerk's Office on _____, in Plan Book _____, Page _____, as follows to wit:

Beginning at a point being the northwest corner of said lot, said point being located on the centerline of Tyler Lane and located the following seven courses and distances along the centerline of Tyler Lane from the intersection of the centerline of Tyler Lane with the title line of Newtown Road:

1. S 23° 16' 00" E the distance of 128.52 feet to a point of curvature,
2. Along the arc of a circle, curving to the right, having the radius 150.00 feet, the arc length 162.12 feet, the chord bearing S 07° 41' 48" W, and the chord length 154.35 feet to a point of tangency,
3. S 38° 39' 36" W the distance of 159.27 feet to a point of curvature,
4. Along the arc of a circle, curving to the left, having the radius 500.00 feet, the arc length 361.41 feet, the chord bearing S 17° 57' 10" W, and the chord length 353.60 feet to a point of tangency,
5. S 02° 45' 17" E the distance of 232.43 feet to a point of curvature,
6. Along the arc of a circle, curving to the right, having the radius 500.00 feet, the arc length 394.35 feet, the chord bearing S 19° 50' 23" W, and the chord length 384.2 feet to a point of tangency,
7. S 42° 26' 03" W the distance of 142.37 feet to the point of beginning.

Thence from said point of beginning, along line of lands of Open Space 8, the following two courses and distances,

1. S 47° 33' 57" E the distance of 250.00 feet to a corner point,
2. S 42° 26' 03" W the distance of 242.31 feet to a corner point being a common corner with Lot 3-2,

Thence along line of lands of Lot 3-2, the following two courses and distances,

1. N 47° 33' 57" W the distance of 226.53 feet to a point,
2. N 16° 02' 43" E the distance of 52.81 feet to a point being the center of the Tyler Lane cul-de-sac,

Thence along aforesaid Tyler Lane centerline, N 42° 26' 03" E the distance of 195.00 feet to the first mentioned point and place of beginning.

Said Lot 3-3 containing 60,022 SF of land (1.378 AC) more or less.

Said Lot 3-3 contains two sanitary sewer easements described as follows;

Easement #1

Beginning at a point being the southwesterly corner of said lot, thence along line of lands of Lot 3-2, N 47° 33' 57" W the distance of 20.00 feet to a point, thence leaving said line of lands of Lot 3-2 and continuing through Lot 3-3 the following two courses and distances;

1. N 42° 26' 03" E the distance of 184.85 feet to a point,
2. N 88° 57' 41" E the distance of 27.56 feet to a point on the southern property line of Lot 3-3,

Thence along said southerly property line S 42° 26' 03" W the distance of 176.25 feet to the first mentioned point and place of beginning.

Easement #2

Beginning at a point being the southeasterly corner of said lot, thence from said beginning point, along the southerly property line S 42° 26' 03" W the distance of 9.36 feet to a point, thence leaving said southerly property line and continuing through Lot 3-3, N 02° 29' 15" E the distance of 12.21 feet to a point on the westerly property line, thence along said westerly property line S 47° 33' 57" E the distance of 7.84 feet to the first mentioned point and place of beginning.

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EXHIBIT "A"
Legal Description

Being part of the same premises which Sidney F. Tyler Trust dated 5-30-1917 and The Robert L. Montgomery Ardrossan Trust dated 6-4-1912 by Deed dated _ and recorded _ in Delaware County in _ Page _ conveyed unto ES III LP, in fee.

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AMERICAN
LAND TITLE
ASSOCIATION



**SCHEDULE B, PART I
REQUIREMENTS**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Report who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
6. Pay the agreed amount for the estate or interest to be insured.
7. Pay the premiums, fees, and charges for the Policy to the Company.
8. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
 - a. DEED FROM: ES III LP
TO: Christopher Marr and Kathleen Marr
DATED: _____
RECORDED: _____
9. Possible unfiled mechanics liens and municipal claims.
10. Terms of any unrecorded lease or rights of parties in possession.
11. Proof that all natural persons in this transaction are of full age and legally competent.
12. Proof of identity of parties as set forth in Recital.
13. POWERS OF ATTORNEY: If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.
14. Proof that no parties to this transaction are involved in bankruptcy proceedings; if bankruptcy has been filed, same to be examined; possible additional requirements/exceptions to be added.

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ALTA Commitment for Title Insurance (08/01/2016)



**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

15. Satisfactory evidence should be provided that improvements and/or repairs or alterations thereto are completed; that contractor, sub-contractors, labor and materialmen are all paid; and have released of record all liens or notice of intent to perfect a lien for labor material.
16. **TAXES:**
Receipts for Township, County and School Taxes for the three prior years to be produced.
Township, County and School Taxes for the current year 2018
Assessment \$6,460,700.00, \$5,113,050.00 and \$4,074,380.00
Tax ID / Parcel No. 36-04-02463-00 (p/o), 36-04-02464-00 (p/o) and 36-04-02464-94 (p/o)
17. **WATER AND SEWER RENTS:**
Receipts for Water and Sewer Rents for the three prior years to be produced.
Water and Sewer Rents for the current year 2018.
18. **MECHANICS AND MUNICIPAL CLAIMS: NONE**
19. **MORTGAGES: NONE**
20. **JUDGMENTS: NONE**
21. Names of all relevant parties to the within real estate transaction to be searched prior to closing to verify that they are not Specially Designated Nationals subject to the provisions of President's Executive Order Targeting Terrorist Assets.
22. Owner's Affidavit on Company form to be executed by sellers or mortgagors and filed with Company.
23. Notice: Please be aware that due to the conflict between federal and state laws concerning the cultivation, distribution, manufacture or sale of marijuana, the Company is not able to close or insure any transaction involving Land that is associated with these activities.
24. Possible additional Company approvals, which approvals depend on liability amount as shown on Schedule A, currently designated as TBD.
25. File #PH1180454/TW7261290 must be settled prior to the settlement of current file.
26. Deed from Sidney F. Tyler Trust dated 5-30-1917 and The Robert L. Montgomery Ardrossan Trust dated 6-4-1912 to ES III LP, to be produced and recorded prior to settlement.
27. Description hereon for temporary use only -Survey must be produced and the premises described in accordance therewith. Possible additional requirements and exceptions to be added.
28. As to ESIII LP:
 - a. Certificate forming ESIII LP, a Limited Partnership, to be filed in the Department of State.

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**SCHEDULE B, PART I
REQUIREMENTS**
(continued)

- b. Current Partnership Agreement of ESIII LP to be produced, examined and possible additional requirements to be added.
 - c. Names of all General Partners and proof that they are all of the General Partners of ESIII LP, a Limited Partnership, to be furnished and additional searches made.
 - d. Present deed to be made by ESIII LP, a Limited Partnership, with the joinder of all General Partners.
 - e. Proof that ESIII LP is still subsisting.
29. Name of mortgagor to be furnished and additional searches made.
30. Last Insured Not Available.

END OF SCHEDULE B, PART I

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**SCHEDULE B, PART II
EXCEPTIONS**

THIS COMMITMENT DOES NOT REPUBLISH ANY COVENANT, CONDITION, RESTRICTION, OR LIMITATION CONTAINED IN ANY DOCUMENT REFERRED TO IN THIS COMMITMENT TO THE EXTENT THAT THE SPECIFIC COVENANT, CONDITION, RESTRICTION, OR LIMITATION VIOLATES STATE OR FEDERAL LAW BASED ON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, GENDER IDENTITY, HANDICAP, FAMILIAL STATUS, OR NATIONAL ORIGIN.

The Policy will not insure against loss or damage resulting from the terms and provisions of any lease or easement identified in Schedule A, and will include the following Exceptions unless cleared to the satisfaction of the Company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this form.
2. Rights or claims of parties in possession of the land not shown by the public record.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose.
5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.
6. Rights of the public and others entitled thereto in and to the use of that portion of the premises within the bounds of Tyler Lane.
7. Stream of water flows through premises hereon, subject to rights of other riparian owners abutting stream.
8. Terms of Trust created under Deed of Trust from Robert L. Montgomery et ux dated 6-4-1912 and recorded in Deed Book 347 page 233, and Supplemental Indentures thereto recorded in Deed Book 708 page 366 and Deed Book 1153 page 75.
9. Rights granted to American Telegraph and Telephone Co in Deed Book 824 page 452.
10. Rights and Obligations as to use and maintenance of driveway set forth in Deed Book 1016 page 478.
11. Rights granted to Philadelphia Electric Company and Bell Telephone Company in Deed Book 1249 page 426.
12. Rights granted to American Telegraph and Telephone Co of Pennsylvania in Deed Book 1761 page 331.
13. Rights granted to Radnor Township Municipal Authority in Deed Book 1920 page 92.
14. Deed of Easement to Commonwealth of Pennsylvania Department of Highways set forth in Deed Book 2233 page

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**SCHEDULE B, PART II
EXCEPTIONS
(continued)**

677.

15. Rights granted to Bell Telephone Company Deed Book 2269 page 968.
16. Rights granted to Bell Atlantic-Pennsylvania, Inc. in Volume 1889 page 1793.
17. Easement Agreement (leach field) in Volume 2002 page 1086.
18. Grant of Easement and Declaration of Restrictive Covenants (Brandywine Conservancy) dated 9-6-2005 and recorded 9-1-2005 in Volume 3600 page 579. (Appurtenance)
19. Conditions disclosed by survey made by Momenee and Associates dated 9-10-1999 and recorded in Plan Volume 20 page 415:-notes and conditions.
20. Conditions disclosed by survey made by Momenee and Associates, Inc. dated 5-2-2000 and recorded in Plan Volume 28 page 91:-notes and conditions.
21. Conditions disclosed by survey made by Momenee & Associates, Inc. Civil Engineers and Land Surveyors dated 9-5-2014, last revised 12-8-2014 and recorded in Plan Volume 38 page 20:-notes and conditions.
22. Declaration of Easements in Volume 5585 page 253.
23. Declaration of Ardrossan Farms, a Planned Community recorded 12-24-2014 in Volume 5585 page 276.
24. Easement Agreement (Access & Utility) recorded 3-30-2015 in Volume 5620 page 1190.
25. Easement Agreement (Stormwater) in Volume 5620 page 1223.
26. Easement Agreement (Sanitary Sewer) in Volume 5620 page 1252.
27. Supplemental Declaration No. 1 to the Declaration of Ardrossan Farms, a Planned Community recorded 3-30-2015 in Volume 5620 page 1310.
28. Supplemental Declaration No. 2 to the Declaration of Ardrossan Farms, a Planned Community recorded 12-23-2015 in Volume 5748 page 2235.
29. Supplemental Declaration No. 3 to the Declaration of Ardrossan Farms, a Planned Community recorded 3-11-2016 in Volume 5780 page 1531.
30. Supplemental Declaration No. 4 to the Declaration of Ardrossan Farms, a Planned Community recorded 05/10/2017 in Volume 5995 page 252.

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**SCHEDULE B, PART II
EXCEPTIONS
(continued)**

31. Supplemental Declaration No. 5 to the Declaration of Ardrossan Farms, a Planned Community recorded 05/11/2017 in Volume 5996 page 847.
32. Supplemental Declaration No. 6 to the Declaration of Ardrossan Farms, a Planned Community recorded 3-20-2018 in Volume 6142 page 907.
33. Notice of Posting of Financial Security in Volume 6142 page 983.

END OF SCHEDULE B, PART II

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ALTA Commitment for Title Insurance (08/01/2016)



COMMITMENT CONDITIONS

1. DEFINITIONS

- (a) "Knowledge" or "Known": Actual or imputed knowledge, but not constructive notice imparted by the Public Records.
- (b) "Land": The land described in Schedule A and affixed improvements that by law constitute real property. The term "Land" does not include any property beyond the lines of the area described in Schedule A, nor any right, title, interest, estate, or easement in abutting streets, roads, avenues, alleys, lanes, ways, or waterways, but this does not modify or limit the extent that a right of access to and from the Land is to be insured by the Policy.
- (c) "Mortgage": A mortgage, deed of trust, or other security instrument, including one evidenced by electronic means authorized by law.
- (d) "Policy": Each contract of title insurance, in a form adopted by the American Land Title Association, issued or to be issued by the Company pursuant to this Commitment.
- (e) "Proposed Insured": Each person identified in Schedule A as the Proposed Insured of each Policy to be Issued pursuant to this Commitment.
- (f) "Proposed Policy Amount": Each dollar amount specified in Schedule A as the Proposed Policy Amount of each Policy to be issued pursuant to this Commitment.
- (g) "Public Records": Records established under state statutes at the Commitment Date for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without Knowledge.
- (h) "Title": The estate or interest described in Schedule A.

2. If all of the Schedule B, Part I-Requirements have not been met within the time period specified in the Commitment to Issue Policy, this Commitment terminates and the Company's liability and obligation end.

3. The Company's liability and obligation is limited by and this Commitment is not valid without:

- (a) the Notice;
- (b) the Commitment to Issue Policy;
- (c) the Commitment Conditions;
- (d) Schedule A;
- (e) Schedule B, Part I-Requirements;
- (f) Schedule B, Part II-Exceptions; and
- (g) a counter-signature by the Company or its issuing agent that may be in electronic form.

4. COMPANY'S RIGHT TO AMEND

The Company may amend this Commitment at any time. If the Company amends this Commitment to add a defect, lien, encumbrance, adverse claim, or other matter recorded in the Public Records prior to the Commitment Date, any liability of the Company is limited by Commitment Condition 5. The Company shall not be liable for any other amendment to this Commitment.

5. LIMITATIONS OF LIABILITY

- (a) The Company's liability under Commitment Condition 4 is limited to the Proposed Insured's actual expense incurred in the interval between the Company's delivery to the Proposed Insured of the Commitment and the delivery of the amended Commitment, resulting from the Proposed Insured's good faith reliance to:
 - (i) comply with the Schedule B, Part I-Requirements;
 - (ii) eliminate, with the Company's written consent, any Schedule B, Part II-Exceptions; or
 - (iii) acquire the Title or create the Mortgage covered by this Commitment.
- (b) The Company shall not be liable under Commitment Condition 5(a) if the Proposed Insured requested the amendment or had Knowledge of the matter and did not notify the Company about it in writing.
- (c) The Company will only have liability under Commitment Condition 4 if the Proposed Insured would not have incurred the expense had the Commitment included the added matter when the Commitment was first delivered to the Proposed Insured.
- (d) The Company's liability shall not exceed the lesser of the Proposed Insured's actual expense incurred in good faith and described in Commitment Conditions 5(a)(i) through 5(a)(iii) or the Proposed Policy Amount.
- (e) The Company shall not be liable for the content of the Transaction Identification Data, if any.
- (f) In no event shall the Company be obligated to issue the Policy referred to in this Commitment unless all of the Schedule B, Part I-Requirements have been met to the satisfaction of the Company.
- (g) In any event, the Company's liability is limited by the terms and provisions of the Policy.

6. LIABILITY OF THE COMPANY MUST BE BASED ON THIS COMMITMENT

- (a) Only a Proposed Insured identified in Schedule A, and no other person, may make a claim under this Commitment.
- (b) Any claim must be based in contract and must be restricted solely to the terms and provisions of this Commitment.

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(continued)

- (c) Until the Policy is issued, this Commitment, as last revised, is the exclusive and entire agreement between the parties with respect to the subject matter of this Commitment and supersedes all prior commitment negotiations, representations, and proposals of any kind, whether written or oral, express or implied, relating to the subject matter of this Commitment.
 - (d) The deletion or modification of any Schedule B, Part II-Exception does not constitute an agreement or obligation to provide coverage beyond the terms and provisions of this Commitment or the Policy.
 - (e) Any amendment or endorsement to this Commitment must be in writing and authenticated by a person authorized by the Company.
 - (f) When the Policy is issued, all liability and obligation under this Commitment will end and the Company's only liability will be under the Policy.
- 7. IF THIS COMMITMENT HAS BEEN ISSUED BY AN ISSUING AGENT**
The issuing agent is the Company's agent only for the limited purpose of issuing title insurance commitments and policies. The issuing agent is not the Company's agent for the purpose of providing closing or settlement services.
- 8. PRO-FORMA POLICY**
The Company may provide, at the request of a Proposed Insured, a pro-forma policy illustrating the coverage that the Company may provide. A pro-forma policy neither reflects the status of Title at the time that the pro-forma policy is delivered to a Proposed Insured, nor is it a commitment to insure.
- 9. ARBITRATION**
The Policy contains an arbitration clause. All arbitrable matters when the Proposed Policy Amount is Two Million And No/100 Dollars (\$2,000,000.00) or less shall be arbitrated at the option of either the Company or the Proposed Insured as the exclusive remedy of the parties. A Proposed Insured may review a copy of the arbitration rules at <http://www.alta.org/arbitration>.

END OF CONDITIONS

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Inquire before you wire!

WIRE FRAUD ALERT

This Notice is not intended to provide legal or professional advice.
If you have any questions, please consult with a lawyer.

All parties to a real estate transaction are targets for wire fraud and many have lost hundreds of thousands of dollars because they simply relied on the wire instructions received via email, without further verification. **If funds are to be wired in conjunction with this real estate transaction, we strongly recommend verbal verification of wire instructions through a known, trusted phone number prior to sending funds.**

In addition, the following non-exclusive self-protection strategies are recommended to minimize exposure to possible wire fraud.

- **NEVER RELY** on emails purporting to change wire instructions. Parties to a transaction rarely change wire instructions in the course of a transaction.
- **ALWAYS VERIFY** wire instructions, specifically the ABA routing number and account number, by calling the party who sent the instructions to you. **DO NOT** use the phone number provided in the email containing the instructions, use phone numbers you have called before or can otherwise verify. **Obtain the number of relevant parties to the transaction as soon as an escrow account is opened.** **DO NOT** send an email to verify as the email address may be incorrect or the email may be intercepted by the fraudster.
- **USE COMPLEX EMAIL PASSWORDS** that employ a combination of mixed case, numbers, and symbols. Make your passwords greater than eight (8) characters. Also, change your password often and do **NOT** reuse the same password for other online accounts.
- **USE MULTI-FACTOR AUTHENTICATION** for email accounts. Your email provider or IT staff may have specific instructions on how to implement this feature.

For more information on wire-fraud scams or to report an incident, please refer to the following links:

Federal Bureau of Investigation:
<http://www.fbi.gov>

Internet Crime Complain Center:
<http://www.ic3.gov>

**FIDELITY NATIONAL FINANCIAL
PRIVACY NOTICE
Revised May 1, 2018**

Fidelity National Financial, Inc. and its majority-owned subsidiary companies (collectively, "FNF", "our," or "we") respect and are committed to protecting your privacy. This Privacy Notice explains how we collect, use, and protect personal information, when and to whom we disclose such information, and the choices you have about the use and disclosure of that information.

Types of Information Collected

We may collect two types of information from you: Personal Information and Browsing Information.

Personal Information. FNF may collect the following categories of Personal Information:

- contact information (e.g., name, address, phone number, email address);
- demographic information (e.g., date of birth, gender, marital status);
- identity information (e.g. Social Security Number, driver's license, passport, or other government ID number);
- financial account information (e.g. loan or bank account information); and
- other personal information necessary to provide products or services to you.

Browsing Information. FNF may automatically collect the following types of Browsing Information when you access an FNF website, online service, or application (each an "FNF Website") from your Internet browser, computer, and/or mobile device:

- Internet Protocol (IP) address and operating system;
- browser version, language, and type;
- domain name system requests; and
- browsing history on the FNF Website, such as date and time of your visit to the FNF Website and visits to the pages within the FNF Website.

How Personal Information is Collected

We may collect Personal Information about you from:

- information we receive from you on applications or other forms;
- information about your transactions with FNF, our affiliates, or others; and
- information we receive from consumer reporting agencies and/or governmental entities, either directly from these entities or through others.

How Browsing Information is Collected

If you visit or use an FNF Website, Browsing Information may be collected during your visit. Like most websites, our servers automatically log each visitor to the FNF Website and may collect the Browsing Information described above. We use Browsing Information for system administration, troubleshooting, fraud investigation, and to improve our websites. Browsing Information generally does not reveal anything personal about you, though if you have created a user account for an FNF Website and are logged into that account, the FNF Website may be able to link certain browsing activity to your user account.

Other Online Specifics

Cookies. When you visit an FNF Website, a "cookie" may be sent to your computer. A cookie is a small piece of data that is sent to your Internet browser from a web server and stored on your computer's hard drive. Information gathered using cookies helps us improve your user experience. For example, a cookie can help the website load properly or can customize the display page based on your browser type and user preferences. You can choose whether or not to accept cookies by changing your Internet browser settings. Be aware that doing so may impair or limit some functionality of the FNF Website.

Web Beacons. We use web beacons to determine when and how many times a page has been viewed. This information is used to improve our websites.

Do Not Track. Currently our FNF Websites do not respond to "Do Not Track" features enabled through your browser.

Links to Other Sites. FNF Websites may contain links to other websites. FNF is not responsible for the privacy practices or the content of any of those other websites. We advise you to read the privacy policy of every website you visit.

Use of Personal Information

FNF uses Personal Information for three main purposes:

- To provide products and services to you or in connection with a transaction involving you.
- To improve our products and services.
- To communicate with you about our, our affiliates', and third parties' products and services, jointly or independently.

When Information Is Disclosed

We may make disclosures of your Personal Information and Browsing Information in the following circumstances:

- to enable us to detect or prevent criminal activity, fraud, material misrepresentation, or nondisclosure;
- to nonaffiliated service providers who provide or perform services or functions on our behalf and who agree to use the information only to provide such services or functions;
- to nonaffiliated third party service providers with whom we perform joint marketing, pursuant to an agreement with them to jointly market financial products or services to you;
- to law enforcement or authorities in connection with an investigation, or in response to a subpoena or court order; or
- in the good-faith belief that such disclosure is necessary to comply with legal process or applicable laws, or to protect the rights, property, or safety of FNF, its customers, or the public.

The law does not require your prior authorization and does not allow you to restrict the disclosures described above. Additionally, we may disclose your information to third parties for whom you have given us authorization or consent to make such disclosure. We do not otherwise share your Personal Information or Browsing Information with nonaffiliated third parties, except as required or permitted by law.

We reserve the right to transfer your Personal Information, Browsing Information, and any other information, in connection with the sale or other disposition of all or part of the FNF business and/or assets, or in the event of bankruptcy, reorganization, insolvency, receivership, or an assignment for the benefit of creditors. By submitting Personal Information and/or Browsing Information to FNF, you expressly agree and consent to the use and/or transfer of the foregoing information in connection with any of the above described proceedings.

Please see "Choices With Your Information" to learn the disclosures you can restrict.

Security of Your Information

We maintain physical, electronic, and procedural safeguards to guard your Personal Information. We limit access to nonpublic personal information about you to employees who need to know that information to do their job. When we provide Personal Information to others as discussed in this Privacy Notice, we expect that they process such information in compliance with our Privacy Notice and in compliance with applicable privacy laws.

Choices With Your Information

If you do not want FNF to share your information with our affiliates to directly market to you, you may send an "opt out" request by email, phone, or physical mail as directed at the end of this Privacy Notice. We do not share your Personal Information with nonaffiliates for their use to direct market to you.

Whether you submit Personal Information or Browsing Information to FNF is entirely up to you. If you decide not to submit Personal Information or Browsing Information, FNF may not be able to provide certain services or products to you.

For California Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties, except as permitted by California law.

For Nevada Residents: You may be placed on our internal Do Not Call List by calling (888) 934-3354 or by contacting us via the information set forth at the end of this Privacy Notice. Nevada law requires that we also provide you with the following contact information: Bureau of Consumer Protection, Office of the Nevada Attorney General, 555 E. Washington St., Suite 3900, Las Vegas, NV 89101; Phone number: (702) 486-3132; email: BCPINFO@ag.state.nv.us.

For Oregon Residents: We will not share your Personal Information or Browsing Information with nonaffiliated third parties for marketing purposes, except after you have been informed by us of such sharing and had an opportunity to indicate that you do not want a disclosure made for marketing purposes.

For Vermont Residents: We will not disclose information about you creditworthiness to our affiliates and will not disclose your personal information, financial information, credit report, or health information to nonaffiliated third parties to market to you, other than as permitted by Vermont law, unless you authorize us to make those disclosures.

Information From Children

The FNF Websites are meant for adults and are not intended or designed to attract persons under the age of eighteen (18). We do not collect Personal Information from any person that we know to be under the age of thirteen (13) without permission from a parent or guardian.

International Users

FNF's headquarters is located within the United States. If you reside outside the United States and choose to provide Personal Information or Browsing Information to us, please note that we may transfer that information outside of your country of residence for any of the purposes described in this Privacy Notice. By providing FNF with your Personal Information and/or Browsing Information, you consent to our collection, transfer, and use of such information in accordance with this Privacy Notice.

FNF Website Services for Mortgage Loans

Certain FNF companies provide services to mortgage loan servicers, including hosting websites that collect customer information on behalf of mortgage loan servicers (the "Service Websites"). The Service Websites may contain links to both this Privacy Notice and the mortgage loan servicer or lender's privacy notice. The sections of this Privacy Notice titled When Information is Disclosed, Choices with Your Information, and Accessing and Correcting Information do not apply to the Service Websites. The mortgage loan servicer or lender's privacy notice governs use, disclosure, and access to your Personal Information. FNF does not share Personal Information collected through the Service Websites, except (1) as required or authorized by contract with the mortgage loan servicer or lender, or (2) as required by law or in the good-faith belief that such disclosure is necessary to comply with a legal process or applicable law, to enforce this Privacy Notice, or to protect the rights, property, or safety of FNF or the public.

Your Consent To This Privacy Notice; Notice Changes

By submitting Personal Information and/or Browsing Information to FNF, you consent to the collection and use of the information in accordance with this Privacy Notice. We may change this Privacy Notice at any time. The revised Privacy Notice, showing the new revision date, will be posted on the FNF Website. Each time you provide information to us following any amendment of this Privacy Notice, your provision of information to us will signify your assent to and acceptance of the terms of the revised Privacy Notice for all previously collected information and information collected from you in the future. We may use comments, information or feedback that you submit to us in any manner that we may choose without notice or compensation to you.

Accessing and Correcting Information; Contact Us

If you have questions, would like to access or correct your Personal Information, or want to opt-out of information sharing for affiliate marketing, send your requests via email to privacy@fnf.com, by phone to (888) 934-3354, or by mail to:

Fidelity National Financial, Inc.
601 Riverside Avenue,
Jacksonville, Florida 32204
Attn: Chief Privacy Officer

ALTA COMMITMENT FOR TITLE INSURANCE

Issued By:



Fidelity National Title*
Insurance Company

Commitment Number:

PHI181017

NOTICE

IMPORTANT - READ CAREFULLY: THIS COMMITMENT IS AN OFFER TO ISSUE ONE OR MORE TITLE INSURANCE POLICIES. ALL CLAIMS OR REMEDIES SOUGHT AGAINST THE COMPANY INVOLVING THE CONTENT OF THIS COMMITMENT OR THE POLICY MUST BE BASED SOLELY IN CONTRACT.

THIS COMMITMENT IS NOT AN ABSTRACT OF TITLE, REPORT OF THE CONDITION OF TITLE, LEGAL OPINION, OPINION OF TITLE, OR OTHER REPRESENTATION OF THE STATUS OF TITLE. THE PROCEDURES USED BY THE COMPANY TO DETERMINE INSURABILITY OF THE TITLE, INCLUDING ANY SEARCH AND EXAMINATION, ARE PROPRIETARY TO THE COMPANY, WERE PERFORMED SOLELY FOR THE BENEFIT OF THE COMPANY, AND CREATE NO EXTRACTIONAL LIABILITY TO ANY PERSON, INCLUDING A PROPOSED INSURED.

THE COMPANY'S OBLIGATION UNDER THIS COMMITMENT IS TO ISSUE A POLICY TO A PROPOSED INSURED IDENTIFIED IN SCHEDULE A IN ACCORDANCE WITH THE TERMS AND PROVISIONS OF THIS COMMITMENT. THE COMPANY HAS NO LIABILITY OR OBLIGATION INVOLVING THE CONTENT OF THIS COMMITMENT TO ANY OTHER PERSON.

COMMITMENT TO ISSUE POLICY

Subject to the Notice; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and the Commitment Conditions, Fidelity National Title Insurance Company, a Florida corporation (the "Company"), commits to issue the Policy according to the terms and provisions of this Commitment. This Commitment is effective as of the Commitment Date shown in Schedule A for each Policy described in Schedule A, only when the Company has entered in Schedule A both the specified dollar amount as the Proposed Policy Amount and the name of the Proposed Insured.

If all of the Schedule B, Part I-Requirements have not been met within one hundred eighty (180) days after the Commitment Date, this Commitment terminates and the Company's liability and obligation end.

Fidelity National Title Insurance Company

By:

President

Attest:

Secretary



This page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Fidelity National Title Insurance Company. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions; and a counter-signature by the Company or its issuing agent that may be in electronic form.

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ALTA Commitment for Title Insurance (08/01/2016)



Name and Address of Sender

Rapnor Township
301 Ives Avenue
Wayne, PA 19087

Check type of mail or service:

- Certified
- COD
- Delivery Confirmation
- Express Mail
- Insured
- Recorded Delivery (International)
- Registered
- Return Receipt for Merchandise
- Signature Confirmation

Affix Stamp Here
(If issued as a certificate of mailing, or for additional copies of this bill) Postmark and Date of Receipt

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	TRITTON CHRISTINA 404 IVERARAY RD VILLANOVA, PA 19085	.47	.40								
2.	GALLOWAY JOHN T & NANCY 410 INVERARY RD VILLANOVA, PA 19085										
3.	MCALAIN DANIEL PAUL & SANDRA H 416 INVERARAY DR VILLANOVA, PA 19085										
4.	MERRIMAN RICHARDSON T 402 INVERARY RD VILLANOVA, PA 19085										
5.	VEALE TINKHAM III & LOIS 902 NEWTOWN RD VILLANOVA, PA 19085										
6.	SHANAHAN KEVEN P & JULIEANN G 810 NEWTOWN RD VILLANOVA, PA 19085										
7.	JAHNLE RICHARD L & GRACE R 861 LESLEY RD VILLANOVA, PA 19085										
8.											
Total Number of Pieces Listed by Sender		5									
Total Number of Pieces Received at Post Office		5									



U.S. POSTAGE PAID
SOUTHEASTERN, PA
19399
JAN 17, 19
AMOUNT
\$4.40
R2304M112540-06

U.S. POSTAGE PAID
SOUTHEASTERN, PA
19399
JAN 17, 19
AMOUNT
\$16.00
R2304M112540-06

U.S. POSTAGE PAID
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19399
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PS Form 3877, February 2002 (Page 1 of 2)

U.S. POSTAGE PAID
SOUTHEASTERN, PA
19399
JAN 17, 19
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\$16.00
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U.S. POSTAGE PAID
SOUTHEASTERN, PA
19399
JAN 17, 19
AMOUNT
\$16.00
R2304M112540-06

U.S. POSTAGE PAID
SOUTHEASTERN, PA
19399
JAN 17, 19
AMOUNT
\$16.00
R2304M112540-06



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PS Form 3877, February 2002 (Page 1 of 2)

Rainor Township
301 Ives Avenue
Wayne, PA 19087

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	RAINEY ARTHUR H & NANCY B 769 HARRISON ROAD VILLANOVA, PA 19085	.47	.40									
2.	DAVIES NIGEL 754 NEWTOWN RD VILLANOVA, PA 19085											
3.	COONEY GERALD W & PATRICIA A 500 ATTERBURY RD VILLANOVA, PA 19085											
4.	KELLY JOHN J & ANITA GALLAGHER 406 INVERARAY RD VILLANOVA, PA 19085											
5.	SWEET JAMES M & JOYCE A 412 INVERARAY VILLANOVA, PA 19085											
6.	PAPA CHRISTOPHER J & ELISA M 401 INVERARAY RD VILLANOVA, PA 19085							Delivery Confirmation	Signature Confirmation	Special Handling	Restricted Delivery	Return Receipt
7.	BEGG EDWARD A & MELISSA A 461 DARBY PAOLI RD VILLANOVA, PA 19085											
8.												



Postmaster, Per (Name of receiving employee)

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Total Number of Pieces Listed by Sender: 7

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PS Form 3877, February 2002 (Page 1 of 2)

*RANDOR Township
301 Iver Avenue
Wayne, PA 19087*

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1.	TAGUE ANGELA C & VINCE J SR 414 INVERARAY RD VILLANOVA, PA 19085	.47	.40									
2.	WHITE MEGAN BRENNAN 400 INVERARAY RD VILLANOVA, PA 19085											
3.	MARUCCI GEORGE E JR & BOGLE MARUCCI SANDRA 904 NEWTOWN RD VILLANOVA, PA 19085											
4.	AITKEN BRADLEY SCOTT & MICHELLE LYNN											
5.	820 NEWTOWN RD VILLANOVA, PA 19085											
6.	ROLLINGS MICHAEL F & KATHLEEN H 867 LESLEY RD VILLANOVA, PA 19085											
7.	BLYNN H REID JR & JANET S 857 LESLEY RD VILLANOVA, PA 19085											
8.	CHOI ERIC 130 DRAKES DRUM DR BRYN MAWR, PA 19010											



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*Ransom Township
301 Ives Avenue
Wayne, PA 19087*

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 - Insured
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 - Registered
 - Return Receipt for Merchandise
 - Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	CIVITELLA M & BARBARA 764 NEWTOWN ROAD VILLANOVA, PA 19085	.47	.40									
2.	HANAMIRIAN MARK & DOROTHY 768 NEWTON RD VILLANOVA, PA 19085											
3.	BUCK WILLIAM C & LAURA T 247 HOTHORPE LANE VILLANOVA, PA 19085											
4.	BUCK LAURA T & WILLIAM 274 HOTHORPE LN VILLANOVA, PA 19085											
5.	PETERSON PAULA A 262 HOTHORPE LA VILLANOVA, PA 19085											
6.	CAVANAUGH JAMES H & ESTER M 265 HOTHORPE LA VILLANOVA, PA 19087											
7.	LOVETT, JAMES W 280 ABRAHAMS LA VILLANOVA, PA 19085											
8.												



Total Number of Pieces Listed by Sender: 7

Postmaster, Per (Name of receiving employee)

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14-00000-01-001001

*RANOR Township
301 Ives Avenue
Wayne, PA 19087*

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1.	SEMERJIAN GEORGE 2215 HORSESHOE TRAIL CHESTER SPRINGS, PA 19425	.47	.40									
2.	MCDEVITT WADE L & WENDY 255 ABRAHAMS LA VILLANOVA, PA 19085											
3.	ZABRANSKY VACLAV P & ANNA P 742 NEWTON ROAD VILLANOVA, PA 19085											
4.	KOFFLER JONATHAN 720 NEWTOWN RD VILLANOVA, PA 19085											
5.	LAVIN ADONIA Z & GRIMES MICHELE Z 718 KNOX RD VILLANOVA, PA 19085											
6.	CROW MARTHA 776 NEWTOWN ROAD VILLANOVA, PA 19085											
7.	BUCK WILLIAM & LAURA T 270 HOTHORPE LA VILLANOVA, PA 19085											
8.												



Total Number of Pieces Listed by Sender Total Number of Pieces Received at Post Office

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POSTAGE WILL BE PAID BY ADDRESSEE

*Ransom Township
301 Ivan Avenue
Wayne, PA 19087*

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1.	MACKIEWICZ JOHN J & MARILYN T 258 HOTHORPE LANE VILLANOVA, PA 19085	.47	.40									
2.	PETTIT DONALD K & COOKE SUZANNE A 1275 FARM RD BERWYN, PA 19312											
3.	LESKO GLENN & CHRISTINE 276 ABRAHAMS LN VILLANOVA, PA 19085											
4.	ECKER AMIR L & MARIA T 10 WOODDED LN MEDIA, PA 19063											
5.	HARRINGTON C D JR 757 NEWTOWN RD VILLANOVA, PA 19085											
6.	LARIJANI MOHAMMAD & ELIZABETH A 736 NEWTOWN RD VILLANOVA, PA 19085											
7.	MOONEY EDWARD J JR & NELIA N 22 MATLACK LA VILLANOVA, PA 19085											
8.												



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RAANOR TOWNSHIP
 301 Ives Avenue
 Wayne, PA 19087

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 Insured

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 Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	BAKER HAROLD 725 NEWTOWN RD VILLANOVA, PA 19085	.47	.40									
2.	BOYLAN FRANCIS T 617 NEWTOWN RD VILLANOVA, PA 19085											
3.	TUMA GARY A 266 HOTHORPE LANE VILLANOVA, PA 19085											
4.	MONTGOMERY WILLIAM K & ROBERTA V											
5.	257 HOTHORPE LA VILLANOVA, PA 19085											
6.	WALTER WILLIAM G & MARY ANN 794 NEWTOWN RD VILLANOVA, PA 19085											
7.	KUVAEV ROMAN & IRINA 272 ABRAHAMS LA VILLANOVA, PA 19085											
8.	HUMANN KERSTIN E & FRANCIS J 265 ABRAHAMS LA VILLANOVA, PA 19085											



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POSTNET BARCODES (OPTIONAL)

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301 Ives Avenue
Wayne, PA 19087*

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- Insured
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- Registered
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- Signature Confirmation

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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	GRIMES KAREN H & JOSEPH P JR 753 HARRISON RD VILLANOVA, PA 19085	.47	.40									
2.	LICHTENWALNER CHARLES A & MEGAN K 25 MATLACK LANE VILLANOVA, PA 19085											
4.	MCNAMARA WILLIAM B 719 NEWTOWN ROAD VILLANOVA, PA 19085											
5.	DAILY DANIEL J & SUSAN M 724 KNOX ROAD VILLANOVA, PA 19085											
6.	GOLDSTEIN DARA TYE 731 NEWTOWN RD VILLANOVA, PA 19085											
7.	STEWART ANN M 504 ATTERBURY RD VILLANOVA, PA 19085											
8.	HERBERT SCOTT H & MICHELLE C 516 ATTERBURY RD VILLANOVA, PA 19085											
								Delivery Confirmation	Signature Confirmation	Special Handling	Restricted Delivery	Return Receipt



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POSTAGE WILL BE PAID BY ADDRESSEE

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 Return Receipt for Merchandise
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Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	LO BONNIE 528 ATTERBURY RD VILLANOVA, PA 19085	.47	.40									
2.	ETEMAD BABAK & MANDANA 540 ATTERBURY RD VILLANOVA, PA 19085											
3.	SNYDER JOHN AVERY 452 INVERARY VILLANOVA, PA 19085											
4.	FINLEY JOHN J IV & NANSTEEL JENNIFER LEE											
5.	534 CAMPWOODS CIR VILLANOVA, PA 19085											
6.	BRETHWAITE SANDRA A 533 ATTERBURY RD VILLANOVA, PA 19085											
7.	LEDERMAN MARC R & JENNIFER L 521 ATTERBURY RD VILLANOVA, PA 19085											
8.	GEISE RICHARD W & DEBORAH 725 KNOX RD VILLANOVA, PA 19085											



Total Number of Pieces Listed by Sender: 8

Postmaster, Per (Name of receiving employee)

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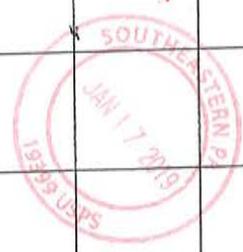
PS Form 3877, February 2002 (Page 1 of 2)

*RANDOR TOWNSHIP
301 Ives Avenue
Wayne, PA 19087*

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 Return Receipt for Merchandise
 Signature Confirmation

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	ROUSE WILLIAM P & EILISE 507 ATTERBURY RD VILLANOVA, PA 19085	.47	.40									
2.	MARGOLIS MICHAEL & PATRICIA 508 ATTERBURY RD VILLANOVA, PA 19085											
3.	SCHORK STEPHEN & DAWN 520 ATTERBURY RD VILLANOVA, PA 19085											
4.	CRINNION SEAN T 532 ATTERBURY RD VILLANOVA, PA 19085											
5.	MCGINLEY EDWARD F III 741 NEWTOWN RD VILLANOVA, PA 19085											
6.	VAN RODEN JOHN CROSBY III 749 NEWTOWN RD VILLANOVA, PA 19085											
7.	VLOEDMAN PETER H & DEBORAH L 541 ATTERBURY RD VILLANOVA, PA 19085											
8.												



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PS Form 3877, February 2002 (Page 1 of 2)

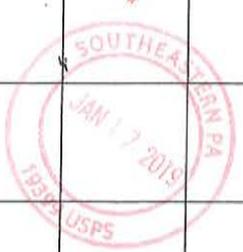
RANDOR Township
301 Ives Avenue
Wayne, PA 19087

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1.	CHIVINSKI BRANDON 529 ATTERBURY RD VILLANOVA, PA 19085	.47	.40					Delivery Confirmation	Signature Confirmation	Special Handling	Restricted Delivery	Return Receipt
2.	MILHOUS STOWE B & JOAN M 517 ATTERBURY RD VILLANOVA, PA 19085											
3.	VAN HORN GERALD & MARGARET 719 KNOX RD VILLANOVA, PA 19085											
4.	TROSSET SCOTT A & KAREN L 501 ATTERBURY RD VILLANOVA, PA 19085											
5.	AMBROSIO SALVATORE F & SUZANN 512 ATTERBURY RD VILLANOVA, PA 19085											
6.	RILEY OWEN G III 524 ATTERBURY RD VILLANOVA, PA 19085											
7.	PRICE BRIAN & COLLEEN 536 ATTERBURY RD VILLANOVA, PA 19085											
8.												



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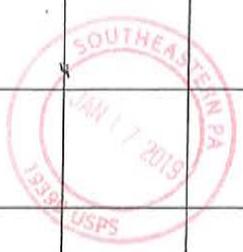
POSTAGE WILL BE PAID BY ADDRESSEE

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1.	MCGINLEY EDWARD F 741 NEWTOWN RD VILLANOVA, PA 19085	.47	.40									
2.	ELITZKY C/O NATHAN M ELITZKY 538 CAMPWOODS CIRCLE VILLANOVA, PA 19085											
3.	AVART HERBERT N & HELENE B 537 ATTERBURY RD VILLANOVA, PA 19085											
4.	QUIGLEY JARROD R & KATHARINE 525 ATTERBURY RD VILLANOVA, PA 19085											
5.	NEIMAN TIFFANY N & MICHAEL L 513 ATTERBURY RD VILLANOVA, PA 19085											
6.	MARTINO ROCCO L & BARBARA 512 WATCH HILL RD VILLANOVA, PA 19085											
7.	SHEVADE VIKAS A & SHEVADE AARTI L 516 WATCH HILL RD VILLANOVA, PA 19085											
8.												



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PS Form 3877, February 2002 (Page 1 of 2)

*Ransom Township
301 Iven Avenue
Wayne, PA 19087*

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1.	COBB JAMES L & PHYLLIS RAY D 545 ATTERBURY DR VILLANOVA, PA 19085	.47	.40									
2.	ROBINSON ARTHUR 538 SPROUL RD VILLANOVA, PA 19085											
3.	BENJAMIN STEVEN & MARISA 524 WATCH HILL RD VILLANOVA, PA 19085											
4.	RORER GERALD 761 NEWTOWN ROAD VILLANOVA, PA 19085											
5.	HOPSON MICHAEL 756 CAMPWOODS RD VILLANOVA, PA 19085											
6.	ARDROSSAN ESTATES TRUST W/MELLON BANK P O BOX 265 VILLANOVA, PA 19085											
7.	SNYDER MARTIN AVERY & ANN C 745 NEWTOWN RD VILLANOVA, PA 19085											
8.												



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Date of Receipt

Check type of mail or service:
 Certified
 COD
 Delivery Confirmation
 Express Mail
 Insured
 Recorded Delivery (International)
 Registered
 Return Receipt for Merchandise
 Signature Confirmation

Article Number

Postmaster, Per (Name of receiving employee)

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	BERKOWITZ HENRY D & JULIE S 745 CAMPWOODS RD VILLANOVA, PA 19085	.47	.40									
2.	KUMAR GUNDURAJ JAYASHREE ANIL 741 CAMPWOODS RD VILLANOVA, PA 19085											
3.	TAGUE MICHAEL G & SUSAN P 520 WATCH HILL RD VILLANOVA, PA 19085											
4.	MASSARA VINCENT & LESLIE A 704 CAMPWOODS RD VILLANOVA, PA 19085											
5.	BELL MEIKA & DAVIS JOANNE 3544 PRIMROSE RD PHILADELPHIA, PA 19114											
6.	RADNOR TOWNSHIP 301 IVEN AVENUE RADNOR, PA 19087											
7.	RORER GERALD B & ELIZ K 761 NEWTOWN RD VILLANOVA, PA 19085											
8.												



Total Number of Pieces Listed by Sender: 7

Total Number of Pieces Received at Post Office

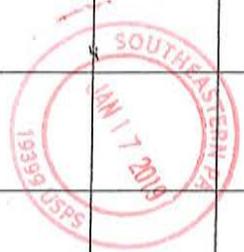
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Rapnor Township
301 Ives Avenue
Wayne, PA 19087

Check type of mail or service:
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1.	MCKERNAN WILLIAM T & CYNTHIA D 310 TRILLIUM LANE WAYNE, PA 19087	.47	.40									
2.	MONTGOMERY R ALEXANDER c/o MELLON BANK TRUST C/O R UNGER PO BOX 7899 PHILADELPHIA, PA 19101											
3.	DONOHUE CORNELIUS M & ANN B 748 CAMPWOODS RD VILLANOVA, PA 19085											
4.	MORRISSY DANIEL J III & REILLY MARY 744 CAMPWOODS RD VILLANOVA, PA 19085											
5.	MOATZ WILLIAM L & JANET B FOX 736 CAMPWOODS ROAD VILLANOVA, PA 19085											
6.	REDDY PREMKUMAR E & KUSUMA E 20 COLONIAL RD WHITE PLAINS, NY 10605											
7.	KIM SOUNG OK 700 CAMPWOODS CIR VILLANOVA, PA 19085											
8.												



Total Number of Pieces Listed by Sender: 7
 Total Number of Pieces Received at Post Office: 7
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Radnor Township
301 Iven Avenue
Wayne, PA 19087

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1.	EAGLE LARRY J & CYNTHIA C 526 SPROUL ROAD VILLANOVA, PA 19085	.47	.40						Delivery Confirmation	Signature Confirmation	Restricted Delivery	Return Receipt
2.	RADNOR TOWNSHIP 301 IVEN AV WAYNE, PA 19087											
3.	RORER GERALD B ETUX 761 NEWTOWN RD VILLANOVA, PA 19085											
4.	CER CONCORD SCOTT LLC c/o TYLER T/a TRESS FI 0135 P O BOX 40062 TAX UNIT JACKSONVILLE, FL 322310062											
5.	MONTGOMERY R ALEXANDER PO BOX 40062 ATT JOA GUTHRIE JACKSONVILLE, FL 32202											
6.	CLANCY EDWARD P & SARA N 749 CAMPWOODS ROAD VILLANOVA, PA 19085											
7.	MOLDOVSKY GREGORY & SOPHIA 740 CAMP WOODS RD VILLANOVA, PA 19085											
8.												



Total Number of Pieces Listed by Sender: 8
 Total Number of Pieces Received at Post Office: 8

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*RANDOLPH TOWNSHIP
301 Ives Avenue
Wayne, PA 19087*

Uncheck type of mail or service:
 Certified
 COD
 Delivery Confirmation
 Express Mail
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 Return Receipt for Merchandise
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Article Number

Postage

Address (Name, Street, City, State, & ZIP Code)

Actual Value if Registered

Insured Value

Due Sender if COD

DC Fee

SC Fee

SH Fee

RD Fee

RR Fee

1. SHAW RICHARD J & SHAW JANE D
710 LARCHWOOD RD
VILLANOVA, PA 19085

.47

.40

2. VON CZERNIG FREDERICK H & JILL S
722 LARCHWOOD LANE
VILLANOVA, PA 19085

3. JAVA DOMINGO J & GALVEZ MARIETTA
L
713 LARCHWOOD LN
VILLANOVA, PA 19085

4. COOK ASHLEY B & FITZGERALD MARK P
701 LARCHWOOD LANE
VILLANOVA, PA 19085

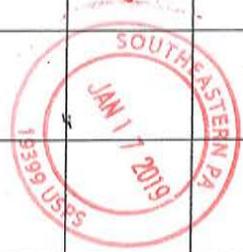
5. LAU JOHN W
10886 SYMPHONY PARK DR
N BETHESDA, MD 20852

6. BLAIR DAVID & JEAN REVOCABLE TRUST

7. 724 CAMPWOODS RD
VILLANOVA, PA 19085
ROSATO FRANCIS E
721 CAMPWOODS RD
VILLANOVA, PA 19085

→

→



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RANDOLPH TOWNSHIP
301 Ives Avenue
Wayne, PA 19087

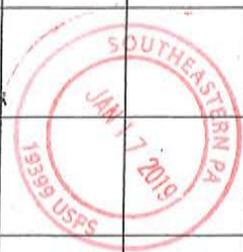
Check type of mail or service:
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 Return Receipt for Merchandise
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1.	DEWEY NELSON G & ANNE M 712 CAMPWOODS ROAD VILLANOVA, PA 19085	.47	.40									
2.	MARTIN ALBERT S JR ETUX 709 CAMPWOODS RD VILLANOVA, PA 19085											
3.	YUDIS STEVEN K & CAROL N 700 LARCHWOOD LN VILLANOVA, PA 19085											
4.	MOLCHAN THOMAS M & DIANE A 714 LARCHWOOD LN VILLANOVA, PA 19085											
5.	EISELE MAUREEN A 725 LARCHWOOD LANE VILLANOVA, PA 19085											
6.	ENDERS GREGORY H & CHRISTINE B 709 LARCHWOOD LN VILLANOVA, PA 19085											
7.	OVERBROOK GOLF CLUB BOX 140 BRYN MAWR, PA 19010											
8.												



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Ransom Township
301 Ives Avenue
Wayne, PA 19087

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1.	SALVUCCI DAVID F & JENNIFER 728 CAMPWOODS RD VILLANOVA, PA 19085	.47	.40									
2.	REGAN RAYMOND F & LORA S 720 CAMPWOODS ROAD VILLANOVA, PA 19085											
3.	BLUMMER DAVID & MICHELLE 717 CAMPWOODS RD VILLANOVA, PA 19085											
4.	DEUSCHLE ROGER A & MARJORIE F 708 CAMPWOODS RD VILLANOVA, PA 19085											
5.	KIM STEVEN R 705 CAMPWOODS RD VILLANOVA, PA 19085											
6.	CARLSON ERIC J & SUSAN D 706 LARCHWOOD LANE VILLANOVA, PA 19085							Delivery Confirmation	Signature Confirmation	Special Handling	Restricted Delivery	Return Receipt
7.	CHETTLE MICHAEL J & KRISTIN J 718 LARCHWOOD LA VILLANOVA, PA 19085											
8.												



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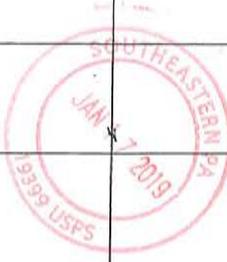
RANDOLPH TOWNSHIP
 301 Ivan Avenue
 Wayne, PA 19087

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1.	RASSAS KEVIN W & SUSAN 717 LARCHWOOD LN VILLANOVA, PA 19085	.47	.40									
2.	ACUFF JOHN A 705 LARCHWOOD AVE VILLANOVA, PA 19085											
3.	ACADEMY OF NOTRE DAME DENAMUR 560 SPROUL ROAD VILLANOVA, PA 19085											
4.	SULLIVAN JAMES J & CATHERINE P TR 650 SAW MILL RD NEWTOWN SQ, PA 19073											
5.	HECKMAN THOMAS S & MARY JO ASHENFELTER 1 1/2 EARLES LA NEWTOWN SQ, PA 19073											
6.	SLACK ANNA C & KIRBY H 2 EARLES LA NEWTOWN SQ, PA 19073											
7.	CROOP ROBERT S 646 LAKEVIEW CIR NEWTOWN SQ, PA 19073											
8.												



Total Number of Pieces Listed by Sender: 7
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POSTAGE WILL BE PAID BY ADDRESSEE

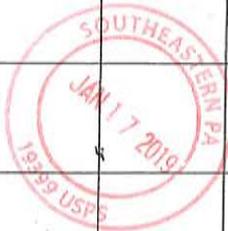
U-neck type of mail or service:

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RANDOLPH Township
301 Ives Avenue
Wayne, PA 19087

Article Number	Addressee (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	ANTIK DEWITT HOBART & MEREDITH WALKER 658 MALIN ROAD NEWTOWN SQ, PA 19073	.47	.40									
2.	KING ROBERT W 667 MALIN RD NEWTOWN SQUARE, PA 19073											
3.	FOX JOSEPH L & CHRISTINA O 820 LAWRENCE LN NEWTOWN SQ, PA 19073											
4.	LYONS THOMAS L 1 EARLS LA NEWTOWN SQUARE, PA 19073											
5.	RAFFERTY MICHAEL & JULIA 640 MALIN RD NEWTOWN SQUARE, PA 19073											
6.	OSMAN DOUGLAS F & DAWN S 641 MALIN RD NEWTOWN SQ, PA 19073											
7.	HASTINGS DAVID C 654 MALIN RD NEWTOWN SQUARE, PA 19073											
8.												



Total Number of Pieces Listed by Sender: 5

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RANOR Township
301 Ivan Avenue
Wayne, PA 19087

Article Number	Address (Name, Street, City, State, & ZIP Code)	Postage	Fee	Handling Charge	Actual Value if Registered	Insured Value	Due Sender if COD	DC Fee	SC Fee	SH Fee	RD Fee	RR Fee
1.	CHINTHAKUNTLA PRAVEEN & TIRUMALA VAISHNAVI 655 MALIN RD NEWTOWN SQUARE, PA 19073	.47	.40									
2.	REYNOLDS JAMES C & C LYNN 664 MALIN RD NEWTOWN SQ, PA 19073											
3.	MULLEN JEFFREY & SUZANNE 681 DARBY PAOLI RD VILLANOVA, PA 19085											
4.												
5.												
6.												
7.												
8.												



Total Number of Pieces Listed by Sender: 3
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PS Form 3877, February 2002 (Page 1 of 2)

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Signature Confirmation
Special Handling
Restricted Delivery
Return Receipt

SAUL EWING
ARNSTEIN
& LEHR ^{LLP}

John C. Snyder
Phone: (610) 251-5079
Fax: (610) 408-4409
John.Snyder@saul.com
www.saul.com

January 17, 2019

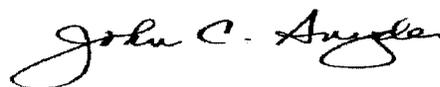
Re: *Land Development Application #2016-D-11*
Ardrossan Farms Lots 3-2, 3-3 and OS-8A – Lot Line Change

Dear Neighbor:

ES III, LP and Christopher and Kathleen Marr have applied to Radnor Township to shift the lot lines between Ardrossan Farms Lots 3-2 and 3-3, transfer property from OS-8A to Lot 3-3 and to create a new OS-12. These plans are available for public viewing in the Radnor Township Engineering Department. These plans will be reviewed by the Radnor Township Planning Commission at a scheduled meeting on **Monday, February 4, 2019**.

Radnor Township Planning Commission meetings begin at **7:00pm**. The meetings will be held in the Radnor Township Municipal Building located at 301 Iven Avenue, Wayne, PA 19087.

Sincerely,



John C. Snyder
Attorney for Applicant

