

**BOARD OF COMMISSIONERS**  
**REVISED AGENDA**  
**Monday, January 8, 2018 - 6:30 PM**

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of January 8, 2018

1. Consent Agenda

- a) Disbursement Review and Approval – 2017-12B, 2017-12C, 2017-12D, 2017-12E
- b) Approval of Board of Commissioner Meeting Minutes - November 27, 2017, December 11, 2017 and December 18, 2017
- c) Resolution #2018-01 - Authorizing the Township to enter into agreement with the Pennsylvania Recreation & Parks Society for 2018 Seasonal Discount Ticket Program
- d) Resolution #2018-02 - Authorizing the Township to enter into agreement with Brandywine Learning Center, LLC for Seasonal Harry Potter Camps
- e) Resolution #2018-03 - Authorizing the Township to enter into an agreement for Recreation & Community Programming Department usage of Radnor School District Facilities for the 2018 Summer Camp Season
- f) Resolution #2018-04 - Authorizing the Township to enter into an agreement for Recreation & Community Programming Department usage of Radnor Township School District Transportation Services for Radnor Day Camp 2018
- g) Resolution #2018-08 - Extending the Payment In Lieu of Taxes Agreement with the Jewish Federation of Greater Philadelphia
- h) 123 Hickory Lane GP #17-178 – Requesting a waiver from §245-22 Groundwater Recharge

2. Public Participation - *The public is invited to address the Board of Commissioners during the public comment portions of the meeting regarding items on the meeting agenda or other topics of interest related to the township.*

- Please print your name on the sign-in sheet at the table next to the podium

- Clearly state your name, **ward and/or street address** and topic(s) to be addressed

- Individual comment shall be limited to not more than five (5) minutes per Board policy

3. Discussion and Possible Motion Regarding the Process for Appointment of Interim Commissioner by Vacancy Board

4. Interviews of Potential Ward 1 Interim Commissioner

5. Possible Appointment of Interim 1<sup>st</sup> Ward Commissioner

6. Appointments to Chair and Members of Standing Committees

7. Reappointments to Advisory Boards and Commissions

8. Committee Reports

**FINANCE & AUDIT**

A. Discussion regarding Radnorshire Room Equipment Replacement

B. Ordinance #2017-19 – (**Adoption**) Amending Chapter 262 Towing, Sections 262-4.B.(9) And 262-4.B.(10), Of The Radnor Township Code Of Ordinances To Increase The Appointment Terms Of Duty Towers From Two Years To Four Years And To Increase The Effective Period For Duty Towing Licenses From Two Years To Four Years

**PUBLIC WORKS & ENGINEERING**

- C. Resolution #2018-05 - Award of the of Contract for the Structural Evaluation and Permitting of the Roberts Road Culvert End wall and Storm Sewer Project to Gannett Fleming, Incorporated
- D. Presentation and Possible Resolution #2018-09- Authorizing a Multimodal Fund Transportation Fund (MTF) Grant Application for Improvements to the King of Prussia Road/Eagle Road/Pine Tree Road Intersection, in partnership with Cabrini and Eastern Universities
- E. Resolution #2018-07 - SALDO Application #2017-S-08: 1 Meadowood Drive – **Final** - Minor Final Subdivision

**PARKS & RECREATION**

**COMMUNITY DEVELOPMENT**

**PERSONNEL & ADMINISTRATION**

**PUBLIC SAFETY**

**LIBRARY**

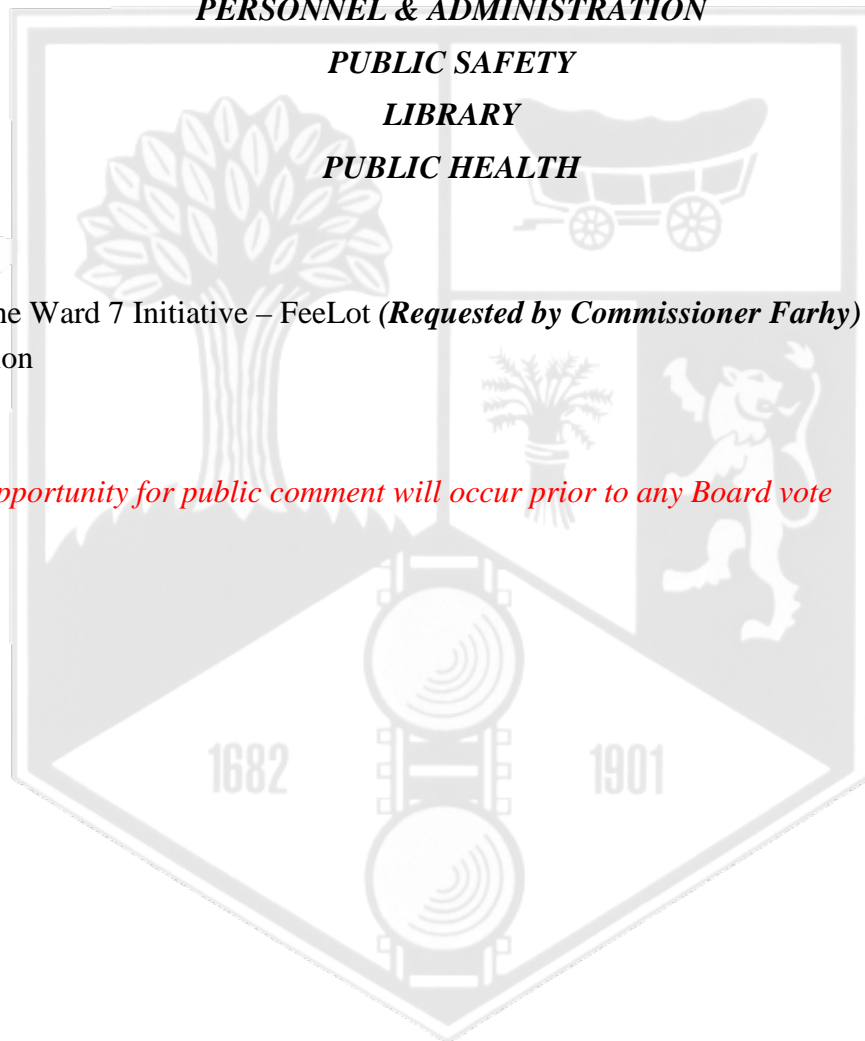
**PUBLIC HEALTH**

Old Business  
New Business

- The Ward 7 Initiative – FeeLot (**Requested by Commissioner Farhy**)

Public Participation  
Adjournment

*Opportunity for public comment will occur prior to any Board vote*



***RADNOR TOWNSHIP  
DISBURSEMENTS SUMMARY  
January 8, 2018***

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The table below summarizes the amount of disbursements made since the last public meeting held on December 11, 2017. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://radnor.com/728/Disbursements-List>

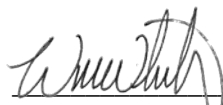
<b>Fund (Fund Number)</b>	<b>2017-12B December 8, 2017</b>	<b>2017-12C December 15, 2017</b>	<b>2017-12D December 22, 2017</b>	<b>2017-12E December 27, 2017</b>	<b>Total</b>
General Fund (01)	\$133,495.07	\$136,419.24	\$651,776.90	\$28.23	\$921,719.44
Sewer Fund (02)	162,550.78	186,491.17	75,918.09	187,820.75	612,780.79
Liquid Fuels Fund (03)	0.00	0.00	7,546.63	0.00	7,546.63
Storm Sewer Management (04)	1,610.00	8,512.62	7,291.20	0.00	17,413.82
Capital Improvement Fund (05)	27,662.44	35,190.02	32,790.89	0.00	95,643.35
Police Pension Fund (07)	0.00	0.00	5,225.33	0.00	5,225.33
OPEB Fund (08)	0.00	0.00	126,975.03	0.00	126,975.03
Civilian Pension Fund (11)	0.00	0.00	4,657.23	0.00	4,657.23
Investigation Fund (12)	251.10	0.00	0.00	0.00	251.10
Comm. Shade Tree Fund (15)	0.00	0.00	30,565.00	0.00	30,565.00
\$8 Million Settlement Fund (18)	0.00	0.00	13,008.70	0.00	13,008.70
The Willows Fund (23)	0.00	48.89	5,567.88	0.00	5,616.77
Library Impr Fund (500)	455,965.32	1,320.00	82,563.50	0.00	539,848.82
Park & Trail Impr Fund (501)	25,617.39	0.00	44,793.00	363.46	70,773.85
<b>Total Accounts Payable Disbursements</b>	<b>\$807,152.10</b>	<b>\$367,981.94</b>	<b>\$1,088,679.38</b>	<b>\$188,212.44</b>	<b>\$2,452,025.86</b>
<i>Electronic Disbursements</i>	n/a	n/a	n/a	n/a	\$508,000.00
<b>Grand Total</b>	<b>\$807,152.10</b>	<b>\$367,981.94</b>	<b>\$1,088,679.38</b>	<b>\$188,212.44</b>	<b>\$2,960,025.86</b>

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to insure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,

  
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 William M. White  
 Finance Director

**ELECTRONICALLY PAID DISBURSEMENT LISTING**

Estimated Through January 22, 2017

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	1/10/2018	12/17 Credit Card Revenue Processing Fees	\$5,000.00 *
Payroll [Bi-Weekly] Transaction - Estimated	01-various	1/11/2018	Salaries and Payroll Taxes - General Fund	\$485,500.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	1/11/2018	Salaries and Payroll Taxes - Sewer Fund	\$17,500.00
<b>Period Total</b>				<b>\$508,000.00</b>

\* Credit card fees are charged to the Township's accounts on the tenth of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$725,000.00	12/15/2017	Salaries and Payroll Taxes - General Fund	\$717,020.40
\$17,500.00	12/15/2017	Salaries and Payroll Taxes - Sewer Fund	\$12,980.20
<b>\$742,500.00</b>			<b>\$730,000.60</b>
\$485,500.00	12/28/2017	Salaries and Payroll Taxes - General Fund	\$476,866.61
\$17,500.00	12/28/2017	Salaries and Payroll Taxes - Sewer Fund	\$13,346.88
<b>\$503,000.00</b>			<b>\$490,213.49</b>
\$186,839.03	1/1/2018	Police Pension Payroll	\$186,839.03
\$135,553.28	1/1/2018	Civilian Pension Payroll	\$135,553.28
<b>\$322,392.31</b>			<b>\$322,392.31</b>

**TOWNSHIP OF RADNOR**  
**Minutes of the Meeting of November 27, 2017**

*The Radnor Township Board of Commissioners met at approximately 6:50 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087*

**Commissioners Present**

<i>Elaine Schaefer, Vice President</i>	<i>Donald Curley</i>	<i>Richard F. Booker</i>
<i>Luke Clark</i>	<i>John Nagle</i>	<i>James Higgins</i>

**Also Present:** *Robert A. Zienkowski, Township Manager; John Osborne, Treasurer; John Rice, Township Solicitor; William White, Assistant Township Manager & Finance Director; Andrew Block, Deputy Superintendent of Police; Steve McNelis, Interim Public Works Director; Roger Philips, Township Engineer; Amy Kaminski, Township Traffic Engineer and Mary Lou Kneppshield, HR and Finance Coordinator.*

*Vice President Schaefer called the meeting to order and led the assembly in the Pledge of Allegiance*

Prior to the start of the Agenda items, Vice President Schaefer announced that the Board will be removing items G (Ordinance 2017-05), H (Ordinance 2017-11) and O (Update on Villanova University Performing Arts Center Construction) from tonight’s Agenda.

*Notice of Executive Session on November 27, 2017 preceding the Board of Commissioners meeting*

There was an Executive Session on November 27, 2017 where all Commissioners except Vice President Schaefer participated and matters of Litigation and Personnel and Real Estate were discussed.

Commissioner Booker also mentioned that additional time was needed beyond the 30-days authorized on the investigation of the Exhibit 6 leak.

*Interviews of Potential Ward 7 Interim Commissioner*

After a brief discussion of the interview process and possible appointment procedure by Vice President Schaefer, each of the following potential Ward 7 Interim Commissioner Candidates gave a brief statement about themselves and answered questions put forth by the Commissioners:

- 1) Scott Simon; 2) Sean Farhy; 3) Alex Yannopoulos; and 4) Jane Galli

*1. Possible Appointment of Interim 7<sup>th</sup> Ward Commissioner*

Commissioner Curley nominated Jane Galli with Commissioner Booker seconding the nomination; Commissioner Nagle nominated Sean Farhy with Commissioner Schaefer seconding the nomination. Discussion of both candidates ensued.

Public Comment

Leslie Morgan, Farm Road – She spoke regarding the Ward 7 Interviews.

Dan Sherry, Wayne – He spoke regarding the Ward 7 Interviews.

A vote was called to appoint Jane Galli to the 7<sup>th</sup> Ward Commissioner seat; motion failed 3-3. A vote was called to appoint Sean Farhy to the 7<sup>th</sup> Ward Commissioner seat; motion failed 3-3. The interview and possible appointment will be continued to the next meeting on December 11<sup>th</sup>. Solicitor Rice will advertise for Vacancy Board Hearing at that meeting. Vice President Schaefer thanked all the potential candidates for coming out and putting themselves forward for consideration.

2. Consent Agenda

- a) Disbursement Review and Approval: 2017-11B, 2017-11C, 2017-11D
- b) Approval of Board of Commissioner Meeting Minutes - November 6, 2017 & November 13, 2017
- c) Approval and Acceptance of the 2018 Meeting Dates
- d) Approval of the 2018 Township Holiday Schedule
- e) Acceptance of Monthly Department Reports

Vice President Schaefer would like to remove Item b) of the Consent Agenda with a slight change needed to the Minutes, amending the public comment at the end of the meeting. Commissioner Curley motioned to accept the Consent Agenda, minus Item b) and was seconded by Commissioner Clark. The motion passed 6-0.

Vice President Schaefer motioned to make the following change to the wording of Item b) Public Part at the end of the meeting Kelly Martin – she inquired if the BioMed/Penn Medicine plan will be voted on if there is still a Ward 7 commissioner vacancy, a confidential document which was released pertaining to an ethics investigation, and the location of the map of the Ardrossan property that Radnor Township owns. Motion was seconded by Commissioner Higgins. The motion passed 6-0.

3. Announcement of Boards and Commissions Vacancies

Commissioner Schaefer announced there are vacancies on the following boards. Anyone interested should submit their letter of interest to Township Manager, Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087.

Board of Health – 1 Vacancy; Parks & Recreations – 1 Vacancy; Design Review Board – 1 Vacancy; Stormwater Advisory Committee – 1 Vacancy; Codes Appeal Board – 1 Vacancy; Environmental Advisory Committee – 1 Vacancy and Planning Commission – 1 Vacancy.

Township Manager Zienkowski read a letter from Chanticleer Foundation regarding a \$15,000 donation to the Township's Trails and Tree Maintenance. Vice President Schaefer thanked Mr. Bill Thomas of Chanticleer for his donations over the years.

4. Public Participation

Leslie Morgan, Farm Road – Spoke to the sewer, the spending of money and Villanova University’s project.

Dan Sherry, Wayne – Spoke to the Ethics Board investigation of Exhibit 6.

Sara Pilling, Garrett Hill – Skunk Hollow, thanked the donors to Loaves & Fishes.

Christina Perrone, Walnut Avenue – Spoke to the Preserve Willows donation schedule.

Alex Yannopoulos, Ward 7 – Spoke to donor transparency and conflict.

Jane Galli, Ward 7 – Spoke to the Villanova waiver added to the agenda at last minute, which was now taken off.

Roberta Winters – Commended removing Item O from Agenda

Scott Simon, Ward 7 – Spoke to the Ward 7 Interim Commissioner seat.

Kelly Martin, Ward 7 – Spoke in support of Jane Galli for Ward 7 Interim Commissioner.

Kim Cruze-Engelhart - Spoke to the Tree Lighting in Garrett Hill.

5. Committee Reports

**FINANCE & AUDIT**

A. Sewer Rent Review

William White, Assistant Township Manager & Finance Director, stepped through his memorandum to the Board of Commissioners on the Sewer Rent. He answered questions from several Commissioners regarding the Sewer Rent and discussion ensued, including Township Manager Zienkowski suggesting to sell the utility outright. Commissioner Nagle motioned to increase the sewer rent for 2018 and the following two years by 10% and was seconded by Commissioner Schaefer.

Public Comment

Sara Pilling, Garrett Hill - Commented that 10% is too high of an increase for Senior Citizens.

The motion passed 4-2 with Commissioners Curley and Booker opposed.

B. Capital Plan Review

Mr. White summarized the Capital Plan Memo and changes. The Commissioners discussed various items.

C. Park & Open Space Fund Review

Mr. White summarized the Park & Open Space Fund. The Commissioners discussed various items.

*D. Radnor Fire Company Funding Review*

Mr. White summarized the \$200,000 requested for 2018 from Radnor Fire Company. The Commissioners discussed the request with Eamon Brazunas, Administrative Director of Radnor Fire Company.

Public Comment

Scott Simon - He commented that there was not a need for the Township to be funding more consultants.

Commissioner Curley motioned to authorize \$200,000 for 2018 for Radnor Fire Company that be used for operational needs and an efficiency-type study that will be presented by Radnor Fire Company staff and that it be paid by the Fund balance. Motion was seconded by Commissioner Clark. The motion passed 6-0.

Vice President Schaefer motioned to approve the 2018 spending as outlined in Mr. White's November 27<sup>th</sup> Capital Plan as Amended memorandum with a transfer of \$160,000 from General Fund to cover the Open Space Fund shortfall; it was seconded by Commissioner Clark.

The motion was discussed among the Commissioners.

Public Comment

Christina Perrone – She commented regarding her concern with funding for the Willows.

The motion passed 4-2 with Commissioner Curley and Commissioner Booker opposed.

*E. Ordinance 2017-17 (Introduction) Adoption of the final comprehensive budget for 2018 by setting the Township Real Estate Tax Millage and Sanitary Sewer rates, and adopting appropriations for 2018*

Commissioner Schaefer motioned to introduce Ordinance 2017-17; it was seconded by Commissioner Nagle. The motion passed 5-1 with Commissioner Curley opposed.

*F. Ordinance 2017-18 (Introduction) Adopting the Consolidated Fee Schedule for the Township, Effective January 1, 2018*

Commissioner Curley asked for a high-level summary of changes. Mr. White communicated an area of change in the Engineering Department for escrow and professional consultant fees. Commissioner Schaefer motioned to introduce Ordinance 2017-18; it was seconded by Commissioner Clark. The motion passed 6-0.



***PUBLIC SAFETY***

- G. Ordinance #2017-05 (Introduction) Amending the Code of the Township Radnor, Section 270-16, Intersections, for Upper Gulph Road and Oak Grove Lane

This item was removed from the agenda.

***PUBLIC WORKS & ENGINEERING***

- H. Ordinance #2017-11 (Introduction) Proposed Ordinance Amendment to Chapter 142, Certificates of Occupancy and Chapter 235, Sewers, to Provide for the Elimination of Stormwater into the Township's Sanitary Sewer System

This item was removed from the agenda.

- I. Resolution #2017- 123 - Award of the Design, Engineering, and Bidding Documents Contract for the Painting and Repair of the Matsonford Road Pedestrian Bridge, to Gannett Fleming, Incorporated

Commissioner Higgins motioned to approve Resolution 2017-123; it was seconded by Commissioner Schaefer. The motion passed 6-0.

- J. Resolution #2017- 124 -Award of the Design, Engineering, and Bidding Documents Contract for the Painting and Repair of the Radnor Chester and King of Prussia Roads Wall, to Gannett Fleming, Incorporated

Commissioner Higgins motioned to approve Resolution 2017-124; it was seconded by Commissioner Booker. The motion passed 6-0.

Commissioner Nagle inquired if the Historical Society would be able to secure any grants to help with the cost of this.

- K. Resolution #2017-131 – FINAL - SALDO Application # 2017-S-06 – 585 County Line Road – Minor Final Subdivision

There was a presentation by Rod Flud, representing the property owners, and Patrick Spellman, engineer for the firm. Commissioner Higgins motioned to approve Resolution 2017-131; it was seconded by Commissioner Schaefer. The motion passed 6-0.

- L. Resolution #2017-127 – Approval of Cabrini Master Plan Amended and Phase 2 Cabrini Final Land Development

There was a presentation of Phase 2 of the Final Land Development plane by Howard Holden of Cabrini University and discussion ensued.

There was a presentation by the neighbors' representative James Greenfield and more discussion ensued.

**Public Comment**

Scott Simon, Ward 7 – spoke to the dysfunction of the Board.

Tom Rogers, 712 Woodcrest Circle – read a letter he submitted to the Board of Commissioners and opposition of the parking garage.

*Commissioner Booker made a motion to extend the meeting for 20 minutes; seconded by Commissioner Curley. The motion passed 5-0 with Commissioner Nagle abstaining.*

Rick Branson, 738 Woodcrest Circle – spoke to project with photos of erosion.

Diane Classen, Woodcrest Circle – spoke to the project and the location of the garage.

The Cabrini representatives were then asked if they would change their plan to conform to the neighbors' representative suggestions as follows; trees planted at least 12 feet high; time for new trees to be installed/replaced within 5 years be guaranteed for the 5 years – both of which Cabrini University would comply. Additionally, a 150-ft berm to be constructed on the neighbors' side of the Loop Road – for reference PCSM plan; sheet 12 of 28; last revised October 24, 2017 was agreed to.

Commissioner Schaefer motioned to approve Resolution 2017-127 as drafted with the following changes to be added; 12-ft trees planted between the parking structure and property line; a 5-year guarantee on all new trees; and 150-ft berm installed on neighbors' side of the loop road that as depicted by the sketch in the Postconstruction Stormwater Management (PCSM) plan of 10/24/17; sheet 12 of 28, planted with a visual shield. Motion seconded by Commissioner Curley. The motion passed 5-1 with Commissioner Booker opposed.

*Commissioner Clark made a motion to extend the meeting for 15 minutes; it was seconded by Commissioner Higgins. The motion passed 5-0 with Commissioner Nagle abstaining.*

M. SALDO Application #2017-S-08 1 Meadowood Drive – **Caucus** - Minor Final Subdivision

Presentation by owner's representative. Rob Lambert, the owner's representative made a presentation of the application for 1 Meadowood Road to divide the lot into three parcels.

Public Comment

Jane Galli, Ward 7 – She spoke regarding the plan.

N. 400 East Lancaster Avenue GP# 17-172 – Requesting a waiver from §245-22 Groundwater Recharge

Chris McQuail made a presentation for a Stormwater waiver for the grading permit.

Commissioner Curley made a motion to approve the request; it was seconded by Commissioner Schaefer. The motion was approved 5-1 with Commissioner Booker opposed.

*O. Board of Commissioners Update: Villanova University Performing Arts Center Construction*

This item was removed from the agenda.

***PERSONNEL & ADMINISTRATION***

*P. Resolution #2017-130 - In Opposition to House Bill 1620, Entitled The “Wireless Infrastructure Deployment Bill”*

This item was not discussed.

***COMMUNITY DEVELOPMENT***

***LIBRARY***

***PUBLIC HEALTH***

***PARKS & RECREATION***

*Old Business*

NONE

*New Business*

NONE

*Public Participation*

NONE

*There being no further business, the meeting adjourned on a motion duly made and seconded.*

*Respectfully submitted,*

*Amy Lacey*

**TOWNSHIP OF RADNOR**  
***Minutes of the Meeting of December 11, 2017***

*The Radnor Township Board of Commissioners met at approximately 6:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087*

***Commissioners Present***

*Elaine Schaefer, Vice President                      Donald Curley                      Richard F. Booker*

*Luke Clark    John Nagle    James Higgins*

*Sean Farhy (joined the Board after appointment)*

***Also Present:*** *Robert A. Zienkowski, Township Manager; John Osborne, Treasurer; John Rice, Township Solicitor; William White, Assistant Township Manager & Finance Director; William Colarulo, Superintendent of Police; Kevin Kochanski, Community Development Director; Steve McNelis, Interim Public Works Director; Tammy Cohen, Director of Community Programming & Recreation; Roger Philips, Township Engineer; Amy Kaminski, Traffic Engineer and Jennifer DeStefano, Executive Assistant to the Township Manager.*

*Vice President Schaefer called the meeting to order and led the assembly in the Pledge of Allegiance*

*Notice of Executive Session on December 11, 2017 preceding the Board of Commissioners meeting*

There was an Executive Session on December 11, 2017 where all Commissioners participated with the exception of Commissioner Farhy and matters of Litigation and Personnel were discussed.

*Proclamation for Main Line Health, for their work on fighting the drug epidemic*

Deputy Superintendent Flanagan along with Superintendent Colarulo and Commissioner Schaefer presented Main Line Health for their work on fighting the drug epidemic. Members of Main Line Health thanked the Township for recognizing them for such an important item.

*Vacancy Board Hearing*

Mr. Rice explained the procedures of the Vacancy Board which can be found on the Township website at: <http://www.radnor.com/CivicAlerts.aspx?AID=1038>. There was a brief discussion amongst the Commissioners regarding the placement of the Vacancy Board Hearing on the agenda. Mr. Lowy, Chair of the Vacancy Board briefly said a few words.

1. *Interviews of Potential Ward 7 Interim Commissioner*

Jon Hecksher gave a background of himself and his interest in serving as the Interim 7<sup>th</sup> Ward Commissioner. There was a brief discussion amongst the Commissioners and Mr. Hecksher.

Jane Galli gave a background of herself and her interest in serving as the Interim 7<sup>th</sup> Ward Commissioner. There was a brief discussion amongst the Commissioners and Ms. Galli.

Sean Farhy gave a background of himself and his interest in serving as the Interim 7<sup>th</sup> Ward Commissioner. There was a brief discussion amongst the Commissioners and Mr. Farhy.

*Commissioner Nagle made a motion to nominate Sean Farhy, seconded by Commissioner Schaefer.*

*Commissioner Clark made a motion to nominate Jane Galli, seconded by Commissioner Booker.*

### Public Comment

Dan Sherry, Wayne – He spoke about information that Mr. Lowy received at his open house last week would be publicly shared and he hasn't heard it yet.

Leslie Morgan, Farm Road – She commented in support of Jane Galli.

Rick Leonardi, Aldwyn Lane –

Sara Pilling, Garrett Avenue – She spoke in support of Sean Farhy.

Debbie Singer, Villanova – She spoke in support of Mr. Hecksher.

Alex Yannopolis, Villanova – He commented in support of Jane Galli.

Christina Lawless – She spoke in support of her mother Jane Galli.

Kelly Martin – She spoke in support of Jane Galli.

Toni Bailey – She spoke in support of Jane Galli.

Matthew Bruckman – He spoke in support of Ward 7 being represented by a Democrat.

Betty Norcini – She spoke regarding prior comments made during the meeting.

Mr. Lowry briefly spoke about the focus group he held as well as other interactions with residents of Ward 7.

Mr. Lowry called the vote regarding Mr. Farhy. Motion passed 4-3 with Commissioner Booker, Clark and Curley opposed.

## 2. Appointment of Interim 7<sup>th</sup> Ward Commissioner

Commissioner Schaefer administered the Oath of Office to Sean Farhy whom was joined by his brother.

### 3. Consent Agenda

- a) Disbursement Review and Approval: 2017-11D, 2017-12A
- b) HARB-2017-21 – 111 Walnut Ave - New 2 story addition at rear of existing house. Proposed design will match historic details and materials. 1887-88 William Price Architect, Wendel and Smith Builders.
- c) Staff Traffic Minutes of November 15, 2017
- d) Resolution #2017-112 - Authorization to Award the Gasoline and Diesel Fuel Contracts

Commissioner Clark made a motion to approve, seconded by Commissioner Nagle. Motion passed 7-0.

### 5. Announcement of Boards and Commissions Vacancies

Commissioner Schaefer announced the below vacancies. Any interested resident can submit their letter of interest to Robert Zienkowski, Township Manager, 301 Iven Avenue, Wayne, PA 19087.

**Board of Health**

1 Vacancy

**Design Review Board (as of 1/1/2018)**

1 Vacancy

**Parks and Recreation Board (as of 1/1/2018)**

1 Vacancy

**Stormwater Advisory Committee**

1 Vacancy

**Code Appeals Board (as of 1/1/2018)**

1 Vacancy

**Environmental Advisory Board (as of 1/1/2018)**

1 Vacancy

**Planning Commission (as of 1/1/2018)**

1 Vacancy

### 6. Public Participation

Chris Todd, WBA – He inquired about prior discussion on the change of parking times in Wayne.

Ms. Fielding – She thanked Commissioner Curley for the great job he has done as well as thanked staff.

Lisa Borowski – She thanked staff and everyone involved for the great Santa Delivery event.

Austin Hepburn, Upper Gulph Road – He spoke opposed to the PLO Ordinance.

Debbie Singer, Villanova – She spoke in support of the PLO Ordinance.

Dan Sherry, Wayne – He spoke regarding comments made earlier in the meeting by Interim Commissioner Farhy as well as spoke regarding Exhibit 6 in a recent Ethics Board complaint.

Linda May, Radnor Way - She spoke regarding the traffic problem in Ward 2.

Alex Yannopolis, Villanova – He spoke regarding a recent accident on King of Prussia Road as well as his opposition of the PLO. He also inquired regarding a recent ethics complaint and the vacancy board.

Toni Bailey, Conestoga Village – She spoke regarding her concerns with traffic if the PLO is approved.

Scott Simon – He spoke in support of Penn Medicine.

Kelly Martin, Ward 7 – She requested that there needs to be clearer guidelines for the Vacancy Board as well as commented about the Open House for Ward 7 residents last week.

Commissioner Curley commented about a recent sidewalk project at S. Devon and thanked staff for the quickness of the project.

7. Committee Reports

**FINANCE & AUDIT**

A. Stormwater Capital Plan Review

Mr. Norcini, Township Engineer briefly explained the recommended Stormwater Capital Plan. There was a discussion amongst the Commissioners and staff.

Commissioner Schaefer made a motion to accept the staff recommendation for the 2018 spending to be incorporated into the budget, seconded by Commissioner Higgins.

Public Comment

Paige Maz, Chair-Stormwater Management Committee – She commented regarding a few of the proposed stormwater projects.

Commissioner Curley made a motion to reduce the stormwater fee in half and take the difference from the 2018 surplus, seconded by Commissioner Booker.

Public Comment

Mr. Hingley, Belrose Lane – He commented to not reduce the stormwater fee.

Commissioner Schaefer called the vote on Commissioner Curley motion, motion failed 2-5 with Commissioners Higgins, Clark, Schaefer, Farhy and Nagle opposed.

Commissioner Schaefer called the vote on the motion to accept staff recommendations, motion passed 5-2 with Commissioners Curley and Booker opposed.

B. Resolution #2017-132 - Adopting the Wage and Salary Schedule for 2018

Commissioner Higgins made a motion to approve, seconded by Commissioner Clark. Motion passed 7-0.

C. Ordinance #2017-17 (Adoption) Adoption of the final comprehensive budget for 2018 by setting the Township Real Estate Tax Millage and Sanitary Sewer rates, and adopting appropriations for 2018

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Nagle.

There was a brief discussion amongst the Commissioners.

Commissioner Schaefer called the vote, motion passed 5-2 with Commissioners Curley and Booker opposed.

D. Ordinance #2017-18 (Adoption) Adopting the Consolidated Fee Schedule for the Township, Effective January 1, 2018

Commissioner Schaefer made a motion to adopt, seconded by Commissioner Higgins.

There was a brief discussion amongst the Commissioners.

Commissioner Schaefer called the vote, motion passed 7-0.

*E. Ordinance #2017-19 – (Introduction) Amending Chapter 262 Towing, Sections 262-4.B.(9) And 262-4.B.(10), Of The Radnor Township Code Of Ordinances To Increase The Appointment Terms Of Duty Towers From Two Years To Five Years And To Increase The Effective Period For Duty Towing Licenses From Two Years To Five Years*

Commissioner Curley made a motion to introduce ordinance #2017-19 to show the change to reflect a 4-year renewal, seconded by Commissioner Nagle. Motion passed 7-0.

**COMMUNITY DEVELOPMENT**

*F. Ordinance #2016-13 (Adoption) - Ordinance #2016-13 Amending Chapter 280 Zoning, Article XV, PLO Planned Laboratory-Office District, Sections 280-62, 280-63 And 280-64, By Providing For Additional Uses In The PLO Planned Laboratory-Office District Including Mixed Use Developments; Providing For Revised Dimensional Requirements For Mixed Use Developments Including Financial Subdivisions And Providing For Additional Accessory Uses.*

Commissioner Curley made a motion to adopt ordinance 2016-13, seconded by Commissioner Nagle.

Commissioner Higgins announced that he will recuse himself from Discussion and the vote as he has a conflict. Commissioner Schaefer also announced that she has received an opinion from the State Ethics Board and their written opinion is that she does not have a conflict. The Township Solicitor also gave Commissioner Schaefer a written opinion that there is not a conflict. Commissioner Booker opposed Commissioner Schaefer comment that she does not have a conflict. Commissioner Curley also stated that he has also received an opinion that he does not have a conflict. Solicitor Rice agreed with Commissioner Curley and Commissioner Schaefer.

Commissioner Booker moved to table the Ordinance. Motion failed for lack of a second.

There was an in-depth discussion amongst the Commissioners regarding the proposed ordinance.

Public Comment

Sara Pilling, Garrett Avenue – She commented in support of the ordinance.

Linda May, Radnor Way – She commented that the ordinance should not be rushed.

*Commissioner Clark made a motion to extend the meeting 15 minutes, seconded by Commissioner Nagle.  
Motion passed 7-0.*

Jake Abel – He commented that he supports the PLO Ordinance.

Lisa Borowski – She commented in support of the PLO Ordinance.

Mr. Hingley, Belrose Lane – He spoke about his concerns with traffic with the proposed ordinance.



Scott Simon, Ward 7 – He commented in support of the ordinance.

Kelly Martin, Ward 7 – She inquired if Radnor Elementary property is included in the proposed ordinance.

*Commissioner Clark made a motion to extend meeting for 10 minutes, seconded by Commissioner Higgins. Motion passed 7-0.*

Dave Falcone, Representing the Trustees of Penn Medicine – He thanked the Commissioners for their support and they look forward to working with the Township.

Mr. Zienkowski commented about the reduction of traffic with the above approved ordinance vs traffic with a by-right plan.

Commissioner Schaefer called the vote, motion passed 5-1 with Commissioner Booker opposed and Commissioner Higgins abstaining.

***PUBLIC WORKS & ENGINEERING  
PUBLIC SAFETY  
PERSONNEL & ADMINISTRATION  
LIBRARY  
PUBLIC HEALTH  
PARKS & RECREATION***

*Old Business*

None

*New Business*

- *Discussion of changing the parking “meter” time in the WBOD. Currently 8:00 AM to 6:00PM, change to 10:00 AM to either 6:00 or perhaps 8:00 PM. (Requested by Commissioner Nagle)*

Not Discussed

*Public Participation*

None

*There being no further business, the meeting adjourned on a motion duly made and seconded.*

*Respectfully submitted,*

*Jennifer DeStefano*

**TOWNSHIP OF RADNOR**  
**Minutes of the Meeting of December 18, 2017**

The Radnor Township Board of Commissioners met at approximately 6:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087

**Commissioners Present**

Elaine Schaefer, Vice President                      Donald Curley                      Luke Clark  
John Nagle    James Higgins                      Sean Farhy

**Absent:** Richard F. Booker

**Also Present:** Robert A. Zienkowski, Township Manager; John Osborne, Treasurer; John Rice, Township Solicitor; William White, Assistant Township Manager & Finance Director; William Colarulo, Superintendent of Police; Kevin Kochanski, Community Development Director; Steve Norcini, Township Engineer; Tammy Cohen, Director of Community Programming and Recreation; Steve McNelis, Interim Public Works Director and Jennifer DeStefano, Executive Assistant to the Township Manager.

Vice President Schaefer called the meeting to order and led the assembly in the Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of December 18, 2017

There was not an Executive Session prior to the meeting.

1. Presentation of Freedom Medal by Marty Costello

Commissioner Schaefer presented Marty Costello with a Certificate of Appreciation. Martin Costello presented with his Freedom Medal which he received from Delaware County Veterans Memorial to Commissioner Schaefer in honor of all Radnor Township Residents.

Commissioner Schaefer presented Mr. Zienkowski with an award from ICMA for 25 years of public service.

2. Consent Agenda

a) Acceptance of Department Monthly Reports

b) ~~Resolution #2017-139 - SALDO Application #2017 S 08 I Meadowood Drive - Final - Minor Final Subdivision~~

c) Resolution #2017-130 - In Opposition to House Bill 1620, Entitled The "Wireless Infrastructure Deployment Bill"

d) Resolution #2017-134 - Authorizing the Township to enter into agreement with David Broida for Seasonal Tennis Programming

e) Resolution #2017-135 - Authorizing the Township to enter into agreement with Jump Start Sports, LLC for Seasonal Sports Programming

f) Resolution #2017-136 - Authorizing the Township to enter into agreement with Shining Knights, LTD for Seasonal Chess Programming

g) Resolution #2017-137 - Authorizing the Township to enter into agreement with Soccer Shots, LLC for Seasonal Soccer Programming

h) Resolution #2017-138 - Authorizing the Township to enter into agreement with World Cup Sports Academy for Seasonal Programming

Commissioner Clark made a motion to approve, seconded by Commissioner Curley, motion passed 6-0 with Commissioner Booker absent.

3. Recognition of Outgoing Treasurer and Commissioners

Staff presented Mr. Osborne with a Plaque of Acknowledgment for his years of service as Township Treasurer. The Commissioners also thanked him for his service. Mr. Osborne said a few words of thanks.

Staff presented Commissioner Curley with a Plaque of Acknowledgement for his years of service as Commissioner. The Commissioners also thanked him for his service. Commissioner Curley said a few words of thanks.

Staff presented Commissioner Schaefer with a Plaque of Acknowledgement for her years of service as Commissioner. The Commissioners also thanked her for her service. Commissioner Schaefer said a few words of thanks.

4. Public Participation

Christina Perrone – She thanked Township Treasurer, John Osborne as well as thanked Commissioner Curley and Schaefer for their hard work and service.

Roberta Winters – She thanked John Osborne, Commissioner Schaefer and Curley for their years of service.

Dave Falcone – He thanked Township Treasurer, John Osborne as well as thanked Commissioner Curley and Schaefer for their hard work and service.

Lisa Borowski – She thanked Commissioner Schaefer and Curley as well as John Osborne for their years of service.

Sarah Armstrong – She thanked her Father John Osborne as well as Commissioner Curley and Schaefer.

Colonel Church – He thanked John Osborne as well as Commissioner Schaefer and Commissioner Curley.

Alex Yannopolis – He also thanked John Osborne, Commissioner Schaefer and Commissioner Curley.

Dan Sherry, Wayne – He thanked Mr. Osborne for his hard work through his term.

Roy Perry – He thanked Commissioner Schaefer and Curley as well as Treasurer, John Osborne for their hard work.

Christina Perrone – She thanked for all the hard work on the Willows and would like to see it appear on the January 8<sup>th</sup> agenda.

Joe Reiser, Inverary – He commented regarding the pending project at the Willows.

Alex Yannopolis, Villanova – He commented about a statement made in an article in Main Line Media News.

Dan Sherry, Wayne – He also commented about an article in Main Line Media News as well as posts which were made by Commissioner Farhy on Facebook.

Toni Bailey – She commented regarding the discourse of the board and hopes it will change with the new board.

Sara Pilling, Garrett Avenue – She commented regarding social media slamming of people in Ward 7 by people that do not live in ward 7 needs to stop.

Dan Sherry – He commented regarding a comment made to him by Commissioner Schaefer's son.

5. Committee Reports

**PERSONNEL & ADMINISTRATION - None**

**PARKS & RECREATION - None**

**FINANCE & AUDIT - None**

**COMMUNITY DEVELOPMENT - None**

**PUBLIC WORKS & ENGINEERING - None**

**PUBLIC SAFETY - None**

**LIBRARY - None**

**PUBLIC HEALTH**

Commissioner Nagle commented that the Board of Health has drafted a "Chicken Ordinance". He would like to recommend that it is sent to the Planning Commission.

Old Business

Commissioner Curley and Commissioner Nagle asked that the parking ordinance for Wayne is amended to reflect that paid parking is moved from 8:30 to 9:30a.m. Staff was directed by consensus of the Board to prepare the ordinance for a change to the start time for parking in the WBOD to 9:30.

New Business

Commissioner Higgins read into record a letter of resignation effective immediately as Ward 1 Commissioner due to family health issues.

Commissioner Schaefer made a motion to formally accept Commissioner Higgins resignation, seconded by Commissioner Nagle.

The Commissioners thanked Commissioner Higgins for his work and wished him the best.

Public Comment

Jane Galli – She thanked Commissioner Higgins for his dedication and wished him and his family the best. She also offered her help to Commissioner Farhy.

Commissioner Schaefer called the vote, Motion passed 5-0 with Commissioner Higgins abstaining and Commissioner Booker absent.

Commissioner Schaefer announced that with Commissioner Higgins resignation it now creates a vacancy in Ward 1. Any interested residents that would like to serve and are a registered voter as well as lived in ward 1 for a year to please submit their letter of interest to Mr. Zienkowski, Township Manager, 301 Iven Avenue, Wayne, PA 19087.

Public Participation - None

*There being no further business, the meeting adjourned on a motion duly made and seconded.*

*Respectfully submitted,  
Jennifer DeStefano*

**RESOLUTION NO. 2018-01  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA. AUTHORIZING THE TOWNSHIP TO ENTER  
INTO AN AGREEMENT WITH THE PENNSYLVANIA  
RECREATION & PARKS SOCIETY FOR 2018 SEASONAL  
DISCOUNT TICKET PROGRAM**

*WHEREAS*, the Radnor Township Recreation & Community Programming Department offers various programs to improve the quality of life throughout the year; and

*WHEREAS*, in many cases, the Township contracts with outside organizations and individuals who then run the program; and

*WHEREAS*, the Home Rule Charter Chapter 7.11(D) requires that any contract in excess of \$7,500 be formally approved by the Board of Commissioners; and

*WHEREAS*, the Township anticipates that the discount tickets will result in a contractual payment to the Pennsylvania Recreation & Parks Society that will exceed the \$7,500 threshold stipulated by the Home Rule Charter and therefore will require Board approval; and

*WHEREAS*, the Township collects fee based revenue from program participants that are aligned to cover the full cost of the proposed contract included in this Resolution.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township hereby authorizes the Township to enter into an agreement with the Pennsylvania Recreation & Parks Society for their portion of the proceeds generated from the seasonal discount ticket program that is estimated to be \$15,000.00.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 8<sup>th</sup> day of January, 2018.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_  
Name: Robert A. Zienkowski  
Title: Township Manager/Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** January 2, 2018

**TO:** Board of Commissioners

**FROM:** Tammy Cohen, Director of Recreation & Community Programming

②

**LEGISLATION:** Resolution 2018-01 authorizing the Township to enter into an agreement with Pennsylvania Recreation & Parks Society for their portion of the proceeds generated through the seasonal discount ticket program.

**LEGISLATIVE HISTORY:** This is a one-time resolution that is specific to the seasonal discount ticket program in 2018. Since the program enrollment is anticipated to be high enough to cause Pennsylvania Recreation & Parks Society's portion to exceed \$7,500, the Charter requires that the Board formally approved the agreement.

**PURPOSE AND EXPLANATION:** The Recreation & Community Programming Department would like to work with the Pennsylvania Recreation & Parks Society to offer the community seasonal discount tickets to area attractions such as local ski destinations and amusement parks in 2018. It is anticipated that the amount of tickets purchased by members of the community will be high enough to cause the Pennsylvania Recreation & Parks Society's portion of the proceeds to exceed \$7,500. The purpose for the resolution is to satisfy the Charter requirement that any contract that exceeds \$7,500 must be formally approved by the Board of Commissioners.

**FISCAL IMPACT:** The impact of the seasonal discount ticket program is that it is anticipated that the Township will generate a specific per ticket fee (varies by type of ticket and destination) and a specific portion of each ticket fee will be contractually owed to the Pennsylvania Recreation & Parks Society, which is estimated to be \$15,000.00 for 2018. The specific costs of the tickets are aligned to cover the full cost of the proposed contract included in this Resolution. The anticipated cost for the seasonal discount tickets with the Pennsylvania Recreation & Parks Society has been budgeted under the *Recreation Programming – Programs* area of the Township 2018 Budget under *Contractual Services*.

**RECOMMENDED ACTION:** The Administration respectfully recommends that the Board adopt this resolution at the January 8<sup>th</sup>, 2018 Board of Commissioner's Meeting.

**RESOLUTION NO. 2018-02  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA. AUTHORIZING THE TOWNSHIP TO ENTER INTO AN  
AGREEMENT WITH THE BRANDYWINE LEARNING CENTER, LLC.  
FOR SEASONAL HARRY POTTER PROGRAMMING.**

*WHEREAS*, the Radnor Township Recreation & Community Programming Department offers various programming to improve the quality of life throughout the year; and

*WHEREAS*, in many cases, the Township contracts with outside organizations and individuals who then run the program; and

*WHEREAS*, the Home Rule Charter Chapter 7.11(D) requires that any contract in excess of \$7,500 be formally approved by the Board of Commissioners; and

*WHEREAS*, the Township anticipates that the seasonal Harry Potter programming will result in a contractual payment to the Brandywine Learning Center, LLC. that will exceed the \$7,500 threshold stipulated by the Home Rule Charter and therefore will require Board approval; and

*WHEREAS*, the Township collects fee based revenue from program participants that are aligned to cover the full cost of the proposed contract included in this Resolution.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township hereby authorizes the Township to enter into an agreement with the Brandywine Learning Center, LLC. for their portion of the proceeds of the seasonal Harry Potter Programming that estimated to be \$20,000.00.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 8<sup>th</sup> day of January, 2018.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_  
Name: Robert A. Zienkowski  
Title: Township Manager/Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** January 2, 2018

**TO:** Board of Commissioners

**FROM:** Tammy Cohen, Director of Recreation & Community Programming

**LEGISLATION:** Resolution 2018-02 authorizing the Township to enter into an agreement with Brandywine Learning Center, LLC. for their portion of the proceeds generated through the seasonal Harry Potter programming.

**LEGISLATIVE HISTORY:** This is a one-time resolution that is specific to the seasonal Harry Potter programming in 2018. Since the program enrollment is anticipated to be high enough to cause Brandywine Learning Center, LLC.'s portion to exceed \$7,500, the Charter requires that the Board formally approves the agreement.

**PURPOSE AND EXPLANATION:** The Recreation & Community Programming Department would like to work with Brandywine Learning Center, LLC. to run the seasonal Harry Potter programming in 2018. It is anticipated that the enrollment for the seasonal Harry Potter programming will be high enough to cause Brandywine Learning Center, LLC.'s portion of the proceeds to exceed \$7,500. The purpose for the resolution is to satisfy the Charter requirement that any contract that exceeds \$7,500 must be formally approved by the Board of Commissioners.

**FISCAL IMPACT:** The impact of the seasonal Harry Potter programming is that it is anticipated that the Township will generate 27% of the total programming sales (plus 100% of non-resident fees) and that 73% of the proceeds is contractually owed to Brandywine Learning Center, LLC, which is estimated to be \$20,000.00 for 2018. The Township collects fee based revenue from program participants that are aligned to cover the full cost of the proposed contract included in this Resolution. The anticipated cost for the seasonal Harry Potter programming with Brandywine Learning Center, LLC. has been budgeted under the *Recreation Programming – Programs* area of the Township 2018 Budget under *Contractual Services*.

**RECOMMENDED ACTION:** The Administration respectfully recommends that the Board adopt this resolution at the January 8<sup>th</sup>, 2018 Board of Commissioner's Meeting.



**RESOLUTION NO. 2018-03  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP TO ENTER INTO AN AGREEMENT FOR THE RECREATION & COMMUNITY PROGRAMMING DEPARTMENT USAGE OF RADNOR TOWNSHIP SCHOOL DISTRICT FACILITIES AND STAFFING SUPPORT SERVICES FOR THE 2018 SUMMER CAMP SEASON.**

*WHEREAS*, the Radnor Township Recreation & Community Programming Department offers various programming to improve the quality of life throughout the year; and

*WHEREAS*, the Township annually utilizes the Radnor Township School District facilities in order to deliver the high-quality programming that it offers to the residents of Radnor Township; and

*WHEREAS*, the Radnor Township School District has implemented and assessed a facility usage fee and staffing support services fee to Radnor Township that impacts the summer 2018 camp season that is anticipated to be around \$20,000.00; and

*WHEREAS*, the Home Rule Charter Chapter 7.11(D) requires that any contract in excess of \$7,500 be formally approved by the Board of Commissioners.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township hereby authorizes the Township to enter into an agreement for the Recreation & Community Programming Department usage of Radnor Township School District School Facilities and Staffing Support Services for the summer 2018 camp season.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 8<sup>th</sup> day of January, 2018.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_  
Name: Robert A. Zienkowski  
Title: Township Manager/Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** January 2, 2018

**TO:** Board of Commissioners

**FROM:** Tammy Cohen, Director of Recreation & Community Programming

②

**LEGISLATION:** Resolution 2018-03 Authorizing the Township to Enter into an Agreement for Recreation & Community Department Usage of Radnor Township School District Facilities and Staffing Support Services for the summer 2018 camp season.

**LEGISLATIVE HISTORY:** This is a one-time resolution that is specific to the summer 2018 camp season usage. Since the anticipated cost for usage of Radnor Township School District facilities and staffing support services will exceed \$7,500, the Charter requires that the Board formally approved the contract agreement.

**PURPOSE AND EXPLANATION:** The Recreation & Community Programming Department would like to use Radnor Township School District's facilities and staffing support services for the summer 2018 for summer camps. Radnor Township School District has implemented and assessed a facility usage fee and staffing support services fee to Radnor Township that impacts the summer 2018 camp season and is anticipated to be around \$20,000.00 (see attached history of payments to Radnor Township School District along with letter from RTSD that indicates a potential increase to the fees). The purpose for the resolution is to satisfy the Charter requirement that any contract that exceeds \$7,500 must be formally approved by the Board of Commissioners.

**FISCAL IMPACT:** The impact of the cost is anticipated be around \$20,000.00 for Radnor Township School District facility usage and staffing support services for the summer 2018 camp season and will be directly covered by the programming sales generated from participants who register for the camp. The anticipated cost for Radnor Township School District facility usage has been budgeted under the *Recreation Programming – Programs* area of the Township 2018 Budget under *Contractual Services: Rentals*.

**RECOMMENDED ACTION:** The Administration respectfully recommends that the Board adopt this resolution at the January 8<sup>th</sup>, 2018 Board of Commissioner meeting.

**History of Payments to Radnor Township School District for Radnor Day Camp & Preschool Camp for Facilities + Staff Support Services + Transportation Services:**

Radnor Day Camp & Preschool Camp Facility Usage & Support Services Payments		
YEAR		COSTS
<b>2012</b>		
Radnor High School - building/pool rental/custodial	\$	18,770.00
Ithan Elementary School - rental/custodial	\$	2,220.00
	\$	<u>20,990.00</u>

Fee implemented as of July 1, 2012.

<b>2013</b>		
Radnor High School - building/pool rental/custodial	\$	18,130.00
Aquatics Supervisor's Fees	\$	2,652.00
Ithan Elementary - building rental/custodial	\$	480.00
	\$	<u>21,262.00</u>

First year specific fees for Aquatics Supervisor implemented.

<b>2014</b>		
Radnor High School - building/pool rental/custodial	\$	14,385.00
Ithan Elementary School - building rental/custodial	\$	580.00
	\$	<u>14,965.00</u>

RHS Pool was closed summer 2014.

<b>2015</b>		
Radnor Elementary School - building rental	\$	16,905.00
Radnor High School Pool rental/custodial (in cost above)	\$	
	\$	<u>16,905.00</u>

RES was used for both programs in 2015 due to RHS construction.

<b>2016</b>		
Radnor Elementary School - building rental/custodial	\$	14,000.00
Radnor High School Pool - rental/custodial	\$	2,250.00
Radnor High School Pool - site supervisor fees assessed at \$3,111.00 and were later settled in 2017 at:	\$	2,000.00
Radnor Middle School - rental/custodial	\$	800.00
	\$	<u>19,050.00</u>

RES was used for both programs in 2016.

<b>2017</b>		
Radnor Elementary School - building rental/custodial	\$	12,200.00
Radnor High School Pool - rental/custodial	\$	2,200.00
IM Pools Management, Inc. (Radnor High School Pool) - site supervisor fees assessed directly by pool management company	\$	2,652.00
Radnor Middle School - rental/custodial	\$	535.00
	\$	<u>17,587.00</u>

No Preschool Camp Summer 2017.

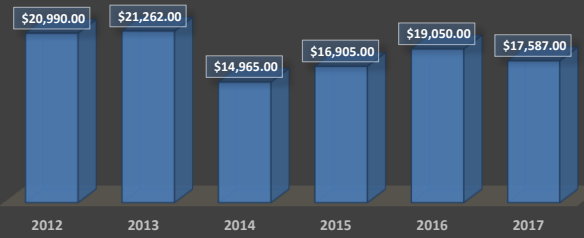
<b>2018</b>		
Radnor Elementary School - building rental/custodial	\$	-
Radnor High School Pool - rental/custodial	\$	-
IM Pools Management, Inc. (Radnor High School Pool) - site supervisor fees assessed directly by pool management company	\$	-
Radnor Middle School - rental/custodial	\$	-
		<i>Estimated at \$20,000</i>

No Preschool Camp Summer 2018.

RADNOR DAY CAMP TRANSPORTATION PAYMENTS		
YEAR		COSTS
2012	\$	14,396.89
2013	\$	14,973.79
2014	\$	18,833.16
2015	\$	24,103.73
2016	\$	26,996.10
2017	\$	29,108.60
2018		<i>Estimated at \$35,000</i>

All Transportation fees include driver rates and mileage.

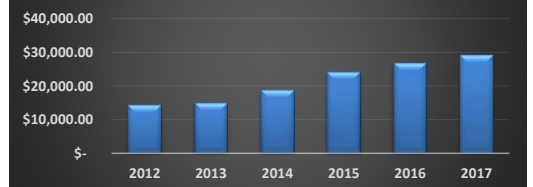
**RADNOR DAY CAMP & PRESCHOOL CAMP FACILITY USAGE & SUPPORT SERVICES PAYMENTS**

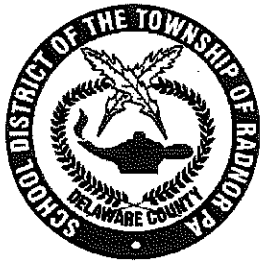


% increase/decrease from prior year

- 26%
- 28%
- 12%
- 8%
- annual average
- 18%

**RADNOR DAY CAMP TRANSPORTATION PAYMENTS**





**School District of the Township of Radnor**

**Business Administrator**

**Right to Know Office**

Administration Bldg · 135 S. Wayne Ave., Wayne, PA 19087

610-688-8100 · Fax 610-688-6264 · [www.rtsd.org](http://www.rtsd.org)

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October 10, 2017

Tammy Cohen  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

Dear Tammy,

You may have heard our School Board Facilities Committee has been reviewing the district's Policy 707: "Use of School Equipment and Facilities" related fees, and the application process.

Part of this review will include a recommendation from district administration to the Facilities Committee in March or April of 2018 which may include changes to the current "User Classifications" and the associated fees. These are the fees community groups and other who utilize our facilities are required to pay. In the event changes to the fee structure are approved, the district will communicate these changes to your group in advance of implementation.

The district believes strongly in supporting the use of our facilities by non- district organizations, especially groups made up of Radnor community members. The purpose of our review is to improve the facilities rental process and ensure that costs are covered.

As a current user of district facilities, your input is important to us. If you have input you believe we should consider or may assist us in this review, please contact me at 610-688-8100 extension 6134 or by email at [michelle.diekow@rtsd.org](mailto:michelle.diekow@rtsd.org).

Sincerely,

*Michelle A. Diekow*

Michelle A. Diekow, PRSBA  
Business Administrator

**RESOLUTION NO. 2018-04  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA AUTHORIZING THE TOWNSHIP TO ENTER INTO AN  
AGREEMENT FOR RECREATION AND COMMUNITY PROGRAMMING  
DEPARTMENT USAGE OF RADNOR TOWNSHIP SCHOOL DISTRICT  
TRANSPORTATION SERVICES FOR RADNOR DAY CAMP 2018.**

*WHEREAS*, the Radnor Township Recreation & Community Programming Department offers various programming to improve the quality of life throughout the year; and

*WHEREAS*, the Township annually offers the Radnor Day Camp six-week program to the Radnor Township community with school bus transportation services including service to and from the camp for participants and weekly transportation services for trips and events;

*WHEREAS*, the Home Rule Charter Chapter 7.11(D) requires that any contract in excess of \$7,500 be formally approved by the Board of Commissioners; and

*WHEREAS*, the Township would like to work with Radnor Township School District to provide transportation services for Radnor Day Camp and anticipates that the agreement to do so for summer 2018 will result in a payment to Radnor Township School District that will exceed the \$7,500 threshold stipulated by the Home Rule Charter and therefore will require Board approval; and

*WHEREAS*, the Township collects fee based revenue from program participants that are aligned to cover the full cost of the proposed agreement included in this Resolution.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township hereby authorizes the Township to enter into an agreement for Recreation & Community Programming Department usage of Radnor Township School District transportation services for Radnor Day Camp 2018 which is estimated to be \$35,000.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 8<sup>th</sup> day of January, 2018.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski  
Township Manager/Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** January 2, 2018

**TO:** Board of Commissioners

**FROM:** Tammy Cohen, Director of Recreation & Community Programming

②

**LEGISLATION:** Resolution 2018-04 Authorizing the Township to enter into an agreement for Recreation & Community Programming Department usage of Radnor Township School District transportation services for Radnor Day Camp 2018.

**LEGISLATIVE HISTORY:** This is a one-time resolution that is specific to an agreement for transportation services for Radnor Day Camp with Radnor Township School District for the Summer 2018. Since the transportation services agreement for the program is anticipated to exceed \$7,500, the Charter requires that the Board formally approved the agreement.

**PURPOSE AND EXPLANATION:** The Recreation & Community Programming Department would like to enter into an agreement with Radnor Township School District for transportation services for Radnor Day Camp for the summer 2018. It is anticipated that the transportation agreement for the program is anticipated to exceed \$7,500. This is due to the level and amount of transportation services for the program requiring the use of school bus services for daily transportation to and from the camp along with the school bus services for the weekly trips and events that are offered to campers. The purpose for the resolution is to satisfy the Charter requirement that any agreement that exceeds \$7,500 must be formally approved by the Board of Commissioners.

**FISCAL IMPACT:** The impact of the transportation services agreement with Radnor Township School District is that it is anticipated that the final cost will be estimated to be \$35,000 – this amount is calculated based on the assumptions and average of increases that have occurred from 2012 to 2017 (see attached history of payments to Radnor Township School District). The full cost will be directly covered by programming sales generated from the registration fees for Radnor Day Camp. The anticipated cost for the Radnor Township School District transportation services has been budgeted under the *Recreation Programming – Programs* area of the Township 2018 Budget under *Contractual Services: Rentals*.

**RECOMMENDED ACTION:** The Administration respectfully recommends that the Board adopt this resolution at the January 8<sup>th</sup>, 2018 Board of Commissioner's Meeting.

**RESOLUTION NO. 2018-08  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING THE EXTENSION OF AN  
AGREEMENT FOR PAYMENTS IN LIEU OF TAXES FOR JEWISH  
FEDERATION OF GREATER PHILADELPHIA**

*WHEREAS*, the Jewish Federation of Greater Philadelphia is the owner of certain real property bearing folio numbers 36-05-02858-00 and 36-05-02858-01 and situate at 270 Bryn Mawr Avenue, Bryn Mawr, Radnor Township, Delaware County, Pennsylvania (hereinafter "Property").

*WHEREAS*, by Payment in Lieu of Taxes ("PILOT") Agreement which became effective on May 26, 2011 (the "Agreement"), the parties to the Agreement, including Radnor Township, agreed to the Assessment for the Property and to the Annual PILOT Payment and Annual Supplemental Payment that were due and payable each year of the term of the Agreement.

*WHEREAS*, under the Agreement, the Annual PILOT Payment was to continue annually until at least December 31, 2017 and indefinitely thereafter unless, after December 31, 2017, any party initiated proceedings to challenge the fair market value, the assessment amount and/or the tax exemption applicable to the Property.

*WHEREAS*, the Agreement expired on December 31, 2017, yet all parties to the Agreement wish to extend its terms for an additional two-year period expiring on December 31, 2019, under terms identical to the original Agreement as more particularly set forth in the Amendment to Payment in Lieu of Taxes Agreement attached hereto and incorporated herein by reference as Exhibit "A."

*NOW, THEREFORE*, be it resolved that the Board of Commissioners of Radnor Township approves the Amendment to Payment in Lieu of Taxes Agreement and authorizes its execution.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 8<sup>th</sup> day of January, 2018.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name:  
Title: President

ATTEST: \_\_\_\_\_

**AMENDMENT TO PAYMENT IN LIEU OF TAXES AGREEMENT**

This Amendment to Payment in Lieu of Taxes Agreement (hereinafter “Amendment”) dated as of August 1, 2017, is by an between Radnor Township School District (hereinafter “School District”), the Township of Radnor (hereinafter “Township”), the County of Delaware (hereinafter “County,” and along with the School District and the Township, the “Taxing Authorities”) and the Jewish Federation of Greater Philadelphia (hereinafter “Jewish Federation”), collectively the “Parties.”

WHEREAS, the Jewish Federation is the owner of certain real property bearing folio numbers 36-05-02858-00 and 36-05-02858-01 and situate at 270 Bryn Mawr Avenue, Bryn Mawr, Radnor Township, Delaware County, Pennsylvania (hereinafter “Property”).

WHEREAS, by Payment in Lieu of Taxes Agreement which became effective on May 26, 2011 (the “Agreement”), the Parties agreed to the Assessment for the Property and to the Annual PILOT Payment and Annual Supplemental Payment that would be due and payable each year of the term of the Agreement.

WHEREAS, under the Agreement, the Annual PILOT Payment shall continue annually until at least December 31, 2017 and indefinitely thereafter unless, after December 31, 2017, any party initiates proceedings to challenge the fair market value, the assessment amount and/or the tax exemption applicable to the Property.

WHEREAS, the Agreement is scheduled to expire on December 31, 2017, and the parties wish to extend the Agreement for a two-year period expiring on December 31, 2019.

WHEREAS, any capitalized terms not defined in this Amendment shall have the same meanings ascribed to them in the Agreement.



NOW, THEREFORE, the Parties, intending to be legally bound hereby for themselves, their successors and assigns, do hereby enter into this Amendment and agree as follows:

1. Extension of Agreement. The Agreement shall stay in effect through December 31, 2019.
2. Assessments. During the term this Agreement, the Property will continue to have an underlying fair market value of \$30,000,000 and an assessment of \$19,260,000. The Jewish Federation shall continue to make an Annual PILOT Payment based on a taxable assessment of \$6,741,000, with such payments to be calculated on the respective millage rates in effect for each of the Taxing Authorities.
3. Annual Supplemental Payment. Each of the Taxing Authorities acknowledges that the Jewish Federation has made all of the Annual Supplemental Payments, except for the Annual Supplemental Payment payable for 2017, which is due by December 31, 2017. The Supplemental Annual Payments are due for 2017 in the following amounts: \$52,400 for the School District; \$13,474 for the County; and \$8,983 for the Township. Except for the Annual Supplemental Payment due for 2017, no additional Annual Supplemental Payments will be due. As provided in Section 6 of the Agreement, the Jewish Federation may request that real estate tax bills be sent directly to the American College, a tenant on a portion of the Property, and the Taxing Authorities agree to accept payment directly from the American College.
4. No Further Amendments. Except as specifically amended by this Amendment, the Agreement remains in full force and effect, including Section 10 thereof.
5. Counterparts. This Amendment may be executed in one or more counterparts, all of which shall together be one instrument, and all of which shall be considered duplicate originals.

A signed, faxed or electronically transmitted (PDF) copy of this Agreement shall have the same force and effect as the original signed Amendment.

IN WITNESS WHEREOF, the parties hereto have set their signatures to this Amendment as of the date set forth above.

RADNOR TOWNSHIP SCHOOL DISTRICT

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

JEWISH FEDERATION OF GREATER PHILADELPHIA

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

COUNTY OF DELAWARE

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

TOWNSHIP OF RADNOR

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** December 21, 2017

**TO:** Board of Commissioners

**FROM:** William M White, Finance Director

**LEGISLATION:** Resolution 2018-08 approving the extension of an agreement for the payment in lieu of taxes for the Jewish Federation of Greater Philadelphia

**LEGISLATIVE HISTORY:** In 2011, the Board of Commissioners entered into a PILOT agreement with the Jewish Federation of Greater Philadelphia (agreement attached).

**PURPOSE AND EXPLANATION:** The purpose of the resolution is to extend the agreement, which expired on December 31, 2017, for another two years, through December 31, 2019.

**FISCAL IMPACT:** This resolution will ensure that the Township continues to receive the annual PILOT payment of approximately \$26,500.

**RECOMMENDED ACTION:** The Administration respectfully recommends that the Board adopt this Resolution at the January 8, 2018 meeting.

# **Original PILOT Agreement**

**PAYMENT IN LIEU OF REAL ESTATE TAXES AGREEMENT**

This Payment in Lieu of Real Estate Taxes Agreement (hereinafter "Agreement") is by and between the Radnor Township School District (hereinafter "School District"), the Township of Radnor (hereinafter "Township"), the County of Delaware (hereinafter "County," and along with the School District and the Township, the "Taxing Authorities") and the Jewish Federation of Greater Philadelphia (hereinafter "Jewish Federation"), collectively the "Parties."

WHEREAS, the Jewish Federation is the owner of certain real property-bearing folio numbers 36-05-02858-00 and 36-05-02858-01 and situate at 270 Bryn Mawr Avenue, Bryn Mawr, Radnor Township, Delaware County, Pennsylvania (hereinafter "Property").

WHEREAS, the District, on behalf of the Taxing Authorities, appealed from the decision of the Delaware County Board of Assessment Appeals holding the entire Property tax-exempt, and was granted a trial de novo before the Court of Common Pleas of Delaware County, docket number 07-15448.

WHEREAS, the Jewish Federation believes that the Property should be deemed real estate tax-exempt, due to its purely public charity status;

WHEREAS, the Taxing Authorities believe that the Property should not be deemed fully tax-exempt.

WHEREAS, the Parties hereto now desire to fully resolve this matter and memorialize their agreement in writing.

NOW, THEREFORE, the Parties hereto, intending to be legally bound hereby for themselves, their successors and assigns do hereby enter into this Agreement as follows:

1. The Parties desire to resolve their differences regarding any real estate tax-exemption entitlement of the Property in order to avoid the costs of uncertainties of further litigation. The parties understand and hereby agree that this settlement is the compromise of disputed claims and that nothing herein is to be construed as an admission on the part of any Party hereto. All Parties have agreed to settle this matter in accordance with the Stipulation/Order and solely to avoid the expense and burden of further litigation.

2. The Property will be tax-exempt with an underlying fair market value of \$30,000,000 and an assessment of \$19,260,000.

3. Upon the commencement dates set forth in Paragraph 4 below, the Jewish Federation agrees to annually pay, in lieu of taxes, thirty-five percent (35%) of all amounts as would be otherwise due each of the School District, Township and County, for any given tax year were the Property fully taxable and assessed at \$19,260,000 (hereinafter "Assessment"). The calculation for this payment is derived by multiplying the Assessment by thirty-five percent (35%), resulting in a taxable assessment of \$6,741,000, and multiplying that value by the Taxing Authorities' properly calculated millage rates (the "Annual PILOT Payment") for the given year. For example, for the tax year 2011, the millage rate for the School District is 20.4085, the millage rate for the Township is 3.6411, and the millage rate for the County is 5.184. Based on the millage rates in effect for the tax year 2011, the Annual PILOT Payment of Jewish Federation for

the year 2011 would be \$137,574 to the School District, \$24,545 to the Township, and \$34,945 to the County.

4. The year for which the Annual PILOT Payment shall commence is the 2011-2012 school year for the School District (effective July 1, 2011), and the 2011 calendar year for the Township and County (effective January 1, 2011), and shall continue annually thereafter until this agreement is otherwise terminated as more specifically provided for hereafter.

5. In addition to the Annual PILOT Payment, the Jewish Federation agrees to make a supplemental payment of \$524,000, in annual payments of \$74,857 for a period of seven (7) years, with the first annual payment beginning December 31, 2011 and continuing on each anniversary thereof until December 31, 2017. The annual supplemental payment of \$74,857 (the "Annual Supplemental Payment") shall be divided among the Taxing Authorities as follows: \$52,400 to the School District, \$8,983 to the Township and \$13,474 to the County. The aggregate supplemental payment of \$524,000 represents full payment and satisfaction of all real estate taxes on the Property for all periods prior to the commencement dates set forth in Paragraph 4 above.

6. For purposes of the thirty-five percent (35%) PILOT allocation set forth in paragraph 3, it is agreed that said allocated portion of the Property shall consist of the leasehold interest of the American College and the real property it so occupies. At its option, the Jewish Federation may request that real estate tax bills be sent directly to the American College, and the Taxing Authorities agree to accept payment directly from the American College. However, in no event shall such allocation to the American College relieve the Jewish Federation of its obligations to make payments as set forth herein. In

its exercise of the aforesaid option, the Jewish Federation hereby waives any and all rights it may have with regard to notice of any and all associated real estate tax bills and it shall be the sole responsibility of the Jewish Federation and not the Taxing Authorities to confirm that the American College has tendered the appropriate payments pursuant to this Agreement.

7. All Annual PILOT Payments shall be made directly to the School District, Township and County according to the respective real estate tax millage rate for each then in effect as applied to the \$6,741,000 taxable assessment.

~~8. In order to effectuate the proper Annual PILOT Payments, the Jewish~~  
Federation shall pay to the School District, Township and County, their respective appropriate amounts due hereunder and as set forth in paragraphs 3 through 5 hereinabove, within one-hundred and twenty (120) days of the issuance of the Taxing Authorities' respective tax bills without any penalty or interest.

9. If the Jewish Federation does not make an Annual PILOT Payment, as set forth herein by the dates set forth in Paragraph 8 above, then interest, at the rate of six percent (6%), shall accrue until payment is made in full.

10. If the Jewish Federation fails to make an Annual PILOT Payment to the School District, the Township and/or the County by December 31, of the then current tax year, then the School District, Township and/or the County may confess judgment against the Jewish Federation, to include principal owed and any interest and penalty incurred, in the Court of Common Pleas of Delaware County, Pennsylvania or in any proper District Court of Radnor Township. If the School District, Township, and/or County are required to pursue such confession of judgment, then the foregoing confessed judgment shall



include the reimbursement to the School District, Township, and/or County as applicable, of their reasonable counsel fees and costs incurred in the course of such collection efforts provided. This fee and cost pertains only to pursuit of confessed judgment and does not extend to any other legal proceeding under this Agreement.

11. Interest shall be divided among the Taxing Authorities according to principal amounts owed to each. Any penalty assessed shall be divided among the Taxing Authorities according to the respective real estate tax millage rate of each then in effect.

12. In exchange for the Annual PILOT Payments, and other good and valuable ~~consideration the receipt and sufficiency of which is hereby acknowledged, the School~~ District, Township and the County agree to provide such services to the Jewish Federation and the Property in a manner consistent with the manner in which School District, Township, and County provide such services to other properties, taxpayers, and/or residences through the Radnor Township School District, Radnor Township and County of Delaware.

13. Each of the Taxing Authorities shall withdraw their appeals to the Delaware County Court of Common Pleas.

14. The parties hereto acknowledge that the Jewish Federation has or will cause to be recorded, in the Office of the Recorder of Deeds in and for Delaware County, appropriate documentation creating a covenant running with the land in order to assure the Taxing Authorities that the agreements as set forth in this Agreement remain binding on the Jewish Federation and its successors and assigns until such time as this Agreement is terminated as set forth herein. To effectuate the continuation of this Agreement pursuant to this paragraph, the Jewish Federation, upon transfer of title to the Property or

a portion thereof shall assign its rights and obligations hereunder to such successors and/or assigns and this Agreement shall be binding thereon. Additionally, any transfer or assignment of a leasehold interest in the Property or a portion thereof shall have no effect on this Agreement, and this Agreement shall continue to apply and remain binding on the Taxing Authorities and the Jewish Federation.

15. If, during the term of this Agreement, title to the Property is conveyed to a for-profit entity or to any entity that does not qualify as tax-exempt under the Institutions of Purely Public Charities Act (10 P.S. Sections 371-385 (Act 55)), the HUP test as established by the Pennsylvania Supreme court in *Hospital Utilization Project v. Commonwealth*, 487 A2d 1306 (Pa. 1985)) and/or the General County Assessment Law (72 P.S. §5020-1, *et seq.*), then this Agreement shall be terminated and of no further force or effect, except that the Jewish Federation shall be liable to make all Annual PILOT Payments, and any interest and penalty, due and owing as of the time of the conveyance of title.

16. Should the Jewish Federation, or a related entity thereof who may subsequently take title to the Property, lose its Internal Revenue Code §501(c)(3) designation or its non-profit corporate status then this Agreement shall be terminated and of no further force or effect except that the Jewish Federation shall be liable to make all Annual PILOT Payments, and any interest and penalties, due and owing as of the time of the loss of one of the foregoing designations and or statutes. The Jewish Federation or a related entity, shall notify the Radnor Township School District, Radnor Township and the County of Delaware in writing of the loss of its Internal Revenue Code §501 (c)(3) designation or its non-profit corporate status within then (10) business days of such loss.

17. In the event that the Jewish Federation should file for bankruptcy under any applicable section of the United State Bankruptcy Code during the life of this Agreement, then this Agreement shall be immediately terminated and of no further force or effect, except that the Jewish Federation shall be liable to make all Annual PILOT Payments, and any interest and penalty due and owing as of the date of filing for bankruptcy.

18. In the event this Agreement is terminated, the Jewish Federation shall remain responsible thereafter for making all outstanding Annual Supplemental Payments due under Paragraph 5 of this Agreement.

19. Prior to December 31, 2017, unless this Agreement is otherwise terminated as set forth herein, no party shall initiate proceedings to challenge the fair market value, assessment amount or the 65% tax-exemption agreed to herein (except as to errors in mathematical computations). At any time after December 31, 2017, any party can unilaterally terminate this Agreement by initiating proceedings to challenge the fair market value, the assessment amount and/or the tax-exemption applicable to the Property.

20. This Agreement may be executed in one or more counterparts, all of which together shall be one instrument, and all of which shall be considered duplicate originals. A signed, fax copy of this Agreement shall have the same force and effect as the original, signed agreement.

21. This Agreement constitutes the full and complete agreement between the Parties with respect to its subject matter. The terms and provisions of this Agreement are contractual and not mere recitals. Except for the Parties Stipulated Order and as

otherwise expressly provided herein, this Agreement supersedes all prior agreement, understanding and discussions relating to its subject matter. There are no representations, agreements, arrangements, or understandings, oral or written, concerning the subject matter hereof between the Parties that are not fully expressed or incorporated by reference herein. This Agreement may be amended, modified or waived only by an agreement in writing signed by all Parties.

---

SIGNATURES ON FOLLOWING PAGE

IN WITNESS WHEREOF, the parties hereto have set their signatures to this

Agreement as of the dates set forth below.

RADNOR TOWNSHIP SCHOOL DISTRICT

By: Patricia A. Booker  
Name: PATRICIA A. BOOKER  
Title: SCHOOL BOARD PRESIDENT  
Date: 5/24/2011

JEWISH FEDERATION OF GREATER PHILADELPHIA

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

COUNTY OF DELAWARE

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

TOWNSHIP OF RADNOR

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

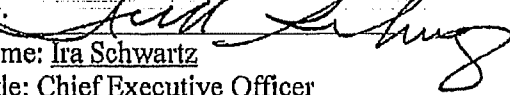
IN WITNESS WHEREOF, the parties hereto have set their signatures to this

Agreement as of the dates set forth below.

RADNOR TOWNSHIP SCHOOL DISTRICT

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

JEWISH FEDERATION OF GREATER PHILADELPHIA

By:   
Name: Ira Schwartz  
Title: Chief Executive Officer  
Date: 5/19/11

COUNTY OF DELAWARE

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

TOWNSHIP OF RADNOR

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

IN WITNESS WHEREOF, the parties hereto have set their signatures to this Agreement as of the dates set forth below.

RADNOR TOWNSHIP SCHOOL DISTRICT

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

JEWISH FEDERATION OF GREATER PHILADELPHIA

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

COUNTY OF DELAWARE

By: Wana Saadzi  
Name: Wana Saadzi  
Title: Asst. Delaware County  
Date: May 25, 2011

TOWNSHIP OF RADNOR

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

IN WITNESS WHEREOF, the parties hereto have set their signatures to this Agreement as of the dates set forth below.

RADNOR TOWNSHIP SCHOOL DISTRICT

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

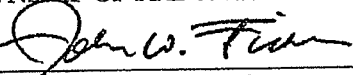
JEWISH FEDERATION OF GREATER PHILADELPHIA

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

COUNTY OF DELAWARE

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date: \_\_\_\_\_

TOWNSHIP OF RADNOR

By:   
Name: John W Fisher  
Title: Pres, BOC  
Date: 5/23/2011





*Excellence Delivered **As Promised***

**Date:** December 11, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**RE:** 123 Hickory Lane– Stormwater Waiver Request  
Grading Permit Application – GP 17-178

---

The applicant has submitted a grading permit for the removal of a 320 SF existing deck, and the construction of a 576 SF one-story addition located the rear of the existing home.

The applicant is requesting a waiver of §245-22 of the Township's Stormwater Management Ordinance which requires the maximizing of the ground water recharge capacity of the area being developed.

The applicant has performed infiltration testing at one (1) location on the site. The required infiltration is not feasible due to the infiltration testing results of zero inches per hour. The applicant is proposing to direct runoff from the proposed addition into an existing drainage channel located on the southeast side of the property.

The applicant has requested to appear before the Board of Commissioners to request a waiver from the above mentioned section of the Ordinance.

In addition to the waiver request, the applicant must address the following item(s) prior to the issuance of the Grading Permit:

1. The applicant must address the remaining grading permit review comments per the Gannett Fleming emails dated October 23, 2017 and December 6, 2017.

If you have any questions or require any additional information, please contact me.

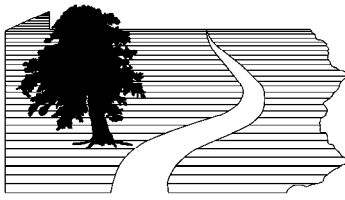
Very truly yours,

GANNETT FLEMING, INC.

A blue ink handwritten signature, appearing to read 'R. Phillips', is written over the printed name.

Roger A. Phillips, P.E.  
Senior Project Manager





**Penn's Trail Environmental, LLC**

**21 E. Lincoln Ave-Suite 160**

**Hatfield, PA 19440**

**Phone: (215) 362-4610**

**Fax: (215) 362-4620**

**e-mail: staff@pennstrail.com**

Mr. Steve Norcini, P.E.  
Radnor Township Engineer  
301 Iven Avenue  
Wayne, PA 19087

December 1, 2017

**RE: Request for Waiver  
Proposed Stormwater Facility  
123 Hickory Lane  
Radnor Twp., Delaware Co., PA  
PTE # 3204**

Dear Mr. Norcini:

On behalf of Catherine Wilkinson, owner of the property at 123 Hickory Lane, we are hereby requesting a waiver from Section 245-22 of the Radnor Township Stormwater Management Ordinance which requires the maximizing of the ground water recharge capacity of the area being developed. The ordinance requires the design of infiltration facilities to consider ground water recharge to compensate for the reduction in the recharge that occurs when the ground surface is disturbed or impervious surface is created.

The ordinance recognizes that infiltration may not be feasible on every site due to site-specific limitations such as soil type and states that the design professional is responsible to show that this cannot be physically accomplished.

Soil tests conducted on the site on November 2, 2017 showed that it was not feasible to provide the required percolation because of mottled soils, high ground water and infiltration testing results of zero. Stormwater can be redirected to an existing drainage ditch that currently collects stormwater from this lot and existing neighboring developed lots and flows along the southern property line.

We trust that this request can be considered for this site and can be approved by the Board of Commissioners if necessary at their next meeting. Should you have any questions or require any additional information, please let me know.

Sincerely,

**Penn's Trail Environmental, LLC**

Paul A. Golrick  
Soil Scientist/Geologist

cc: Andrew Allen  
Matt Prusko, Gannett Fleming, Inc.

***"Your Path to Environmental Solutions"***

# APPLICATION FOR GRADING PERMIT

RADNOR TOWNSHIP ENGINEERING DEPARTMENT

*The undersigned hereby makes application for Grading Permit under Chapter 175 and any amendments thereof.*

LOCATION: 123 Hickory Ln, Rosemont PA 19010

WHAT ARE YOU BUILDING: addition

**Five (5) copies of site plan to be submitted with application.**

**TWELVE (12) COPIES IF PLAN NEEDS TO BE REIVEWD BY SHADE TREE —SEE REQUIREMENTS ENCLOSED**

**DO PLANS SHOW ALL ITEMS LISTED ON PAGE 3**

*Plans must be folded and no larger than 24" x 36"*

GROSS LOT AREA 6,596 SQ. FT. (Fee schedule next sheet)

TOWNSHIP USE ONLY	
PERMIT NO.	<u>17-178</u>
SUBMISSION DATE	<u>10-9-17</u>
SHADE TREE DATE	_____
REVISION DATES	_____
RECEIVED DATES	_____
Zoning Officer	_____
APPROVED BY:	_____
FINAL APPROVAL DATE:	_____
Received from Applicant	_____
Fee schedule on page 2 <u>\$150</u> Consolidated Fee Schedule can be found at Radnor.com	

COVER TYPE	EXISTING SQUARE FEET		REMOVED SQUARE FEET	ADDED SQUARE FEET	TOTAL SQUARE FEET	
BUILDINGS	<u>1401</u>		-	+ <u>576</u>	= <u>1977</u>	
WALKS	<u>—</u>		-	+	=	
PATIOS	<u>—</u>		-	+	=	
DRIVES	<u>350</u>		-	+	= <u>350</u>	
DECKS	<u>320</u>	EXISTING %	- <u>320</u>	+	=	TOTAL NEW %
OTHER		OF LOT	-	+	=	OF LOT
<b>TOTAL</b>	<u>2071</u>	<u>31 %</u>	- <u>320</u>	+ <u>576</u>	= <u>2007</u>	<u>30 %</u>

**Ground Water Recharge and Storm Water Calculations**

- No credit for removal of impervious.
- Calculations are based on the total added impervious not the net.

↑ 500 to 1499 sq. ft. Ground Water Recharge Required  
1500 sq. ft. and over Storm Water Management Required  
(For additional information see Ordinance 05-11)

Estimated cubic yards of dirt involved (Total cut and fill) 15 CY Will this fill be taken off site  Yes  No

Number of trees to be removed (over 6" in diameter) 0 Is property in the Historical District?  Yes  No

Circle Zoning District Applicable

R-1 22%	R-2 30%	R-3 35%	R-4 40%	R-5 40% Semi/ 2 Family Detach	R-5 36% Multi Dwelling	R-6 70%	R-1A 30%	CO 50% (2 + 3 stories)	C-1 60%	C-2 70%	C-3 65%	PI 45%
PA 50%	GH-N 60%	GH-GA 80%	GH-CR 95%	GH-BC 50%	GH-OS 15%	WBOD N/A or 90%	PB 55%	PLO 55%	FC N/A	PLU 45%		

Signature of Owner: \_\_\_\_\_ Applicant: Andreas Allen

Date: 10-9-17 Relation to Owner: Coastin

Phone Number: 610-972-4491 Fax Number: 610-846-6324

Email: asallen.usmc@verizon.net

# ONE STORY REAR ADDITION FOR THE STEWART RESIDENCE 123 HICKORY LANE, RADNOR, PA

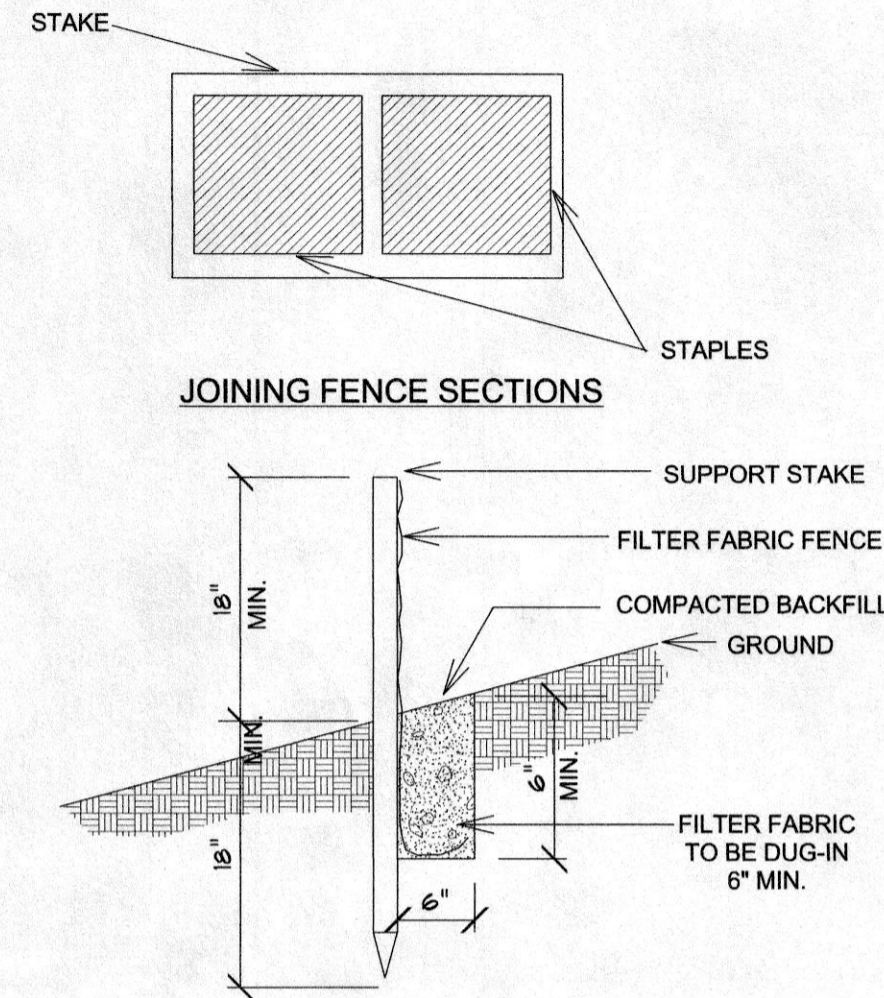
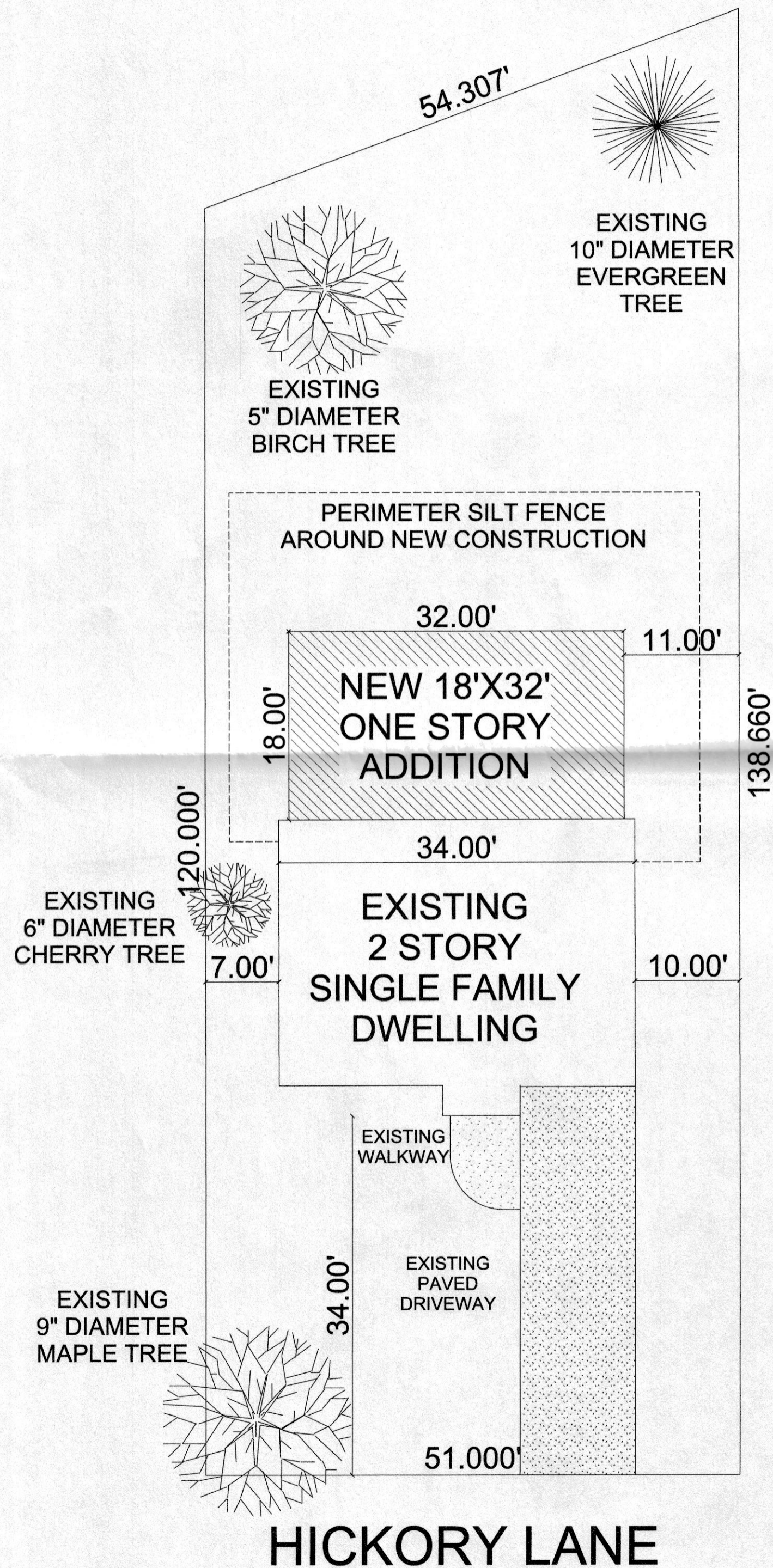
## 123 HICKORY LANE RADNOR TOWNSHIP DELAWARE COUNTY

LOT SIZE	6,596SF
EXISTING BLDG	1,020SF
NEW ADDITION	576SF
TOTAL BLDG COVERAGE	1,596SF
	24.2%
EXISTING PAVED DRIVE	350SF
EXISTING FRONT WALK	75SF
EXISTING WALK	2,021SF
TOTAL IMPERVIOUS	30.6%

ZONE	R4
FRONT YARD	30'
REAR YARD	30'
SIDE YARDS	12'/30'
BUILDING COVERAGE	30%
MAX. IMPERVIOUS	40%

### SITE PLAN

1" = 10'



#### 18" STANDARD FILTER FABRIC FENCE DETAIL

STAKES SPACED @ 8' MAXIMUM USING 2"x2" WOOD OR EQUIVALENT STEEL STAKES.

FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8' UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

CONTRACTOR SHALL INSTALL SILT FENCE ALONG PERIMETER PRIOR TO ANY EXCAVATION

EXISTING GRADING SHALL NOT BE MODIFIED OR ALTERED

EXISTING TREES WILL NOT BE DISTURBED AND ARE NOT CLOSE TO THE AREA OF CONSTRUCTION

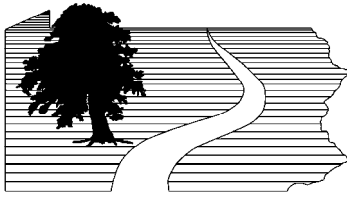
CURRENT CONDITIONS HAVE MINIMAL SLOPES AS LOT IS FAIRLY LEVEL

CONTRACTOR SHALL REMOVE ALL EXCAVATED MATERIAL FROM SITE

EARTH DISTURBANCE FOR NEW FOUNDATION WILL BE LIMITED TO LESS THAN 300SF ASSUMING A 2' WIDE TRENCH & LESS THAN 15 CUBIC YARDS

CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MINIMIZE ANY MATERIAL BEING LEFT ON SIDEWALKS, CURBS OR STREETS

	<b>Here's The Plan, LLC</b> 541 Street Road, 2nd floor, Southampton, PA 18966 Office: 215-355-1262 Fax: 215-355-2502 Email: herestheplanllc@gmail.com	
	ONE STORY REAR ADDITION for THE STEWART RESIDENCE	
123 HICKORY LANE RADNOR, PA	DRAWN BY: RA DATE: OCTOBER 6, 2017	
SITE PLAN	REV.	DRAWING NUMBER 61 of 1



**Penn's Trail Environmental, LLC**  
21 E. Lincoln Ave-Suite 160  
Hatfield, PA 19440  
Phone: (215) 362-4610  
Fax: (215) 362-4620  
e-mail: [staff@pennstrail.com](mailto:staff@pennstrail.com)

---

Mr. Andrew Allen  
2502 Slifer Valley Road  
Riegelsville, PA 18077

November 13, 2017

**RE: Evaluation for a Proposed Stormwater Facility**  
**123 Hickory Lane**  
**Radnor Twp., Delaware Co., PA**  
**PTE # 3204**

Dear Mr. Allen:

As requested, we are pleased to provide you with an evaluation of stormwater management options based on the detailed soil evaluation conducted on this site. The intent of this investigation is to evaluate the methods of storm water control that would best conform to Phase 2 NPDES Stormwater management policies and procedures as outlined by the Pennsylvania Department of Environmental Protection (PADEP), Township and County Conservation District. These initiatives guide the applicant/developer to consider the use of Best Management Storm Water controls and to incorporate water quality initiatives in their management plan.

Penn's Trail Environmental, LLC has evaluated a backhoe-excavated test pit on the referenced parcel. The test pit was described by a professional soil scientist and licensed geologist in accordance with United States Department of Agriculture-Natural Resource Conservation Service (USDA-NRCS) methodology. The intent of this evaluation was to determine the general subsurface characteristics as they relate to the suitability of this site for stormwater infiltration. Certain conditions, including redoximorphic features (mottling), fragipan (dense firm layer within the soil profile), are evidence that a soil is slowly to very slowly permeable. Direct observation and evaluation of the soil profile by a qualified soil scientist can indicate extremely limited potential stormwater infiltration. Detailed testing conducted during by this office confirmed this mapping. Redoximorphic features indicative of a seasonal saturation were observed and were observed immediately below the existing ground surface.

Having identified indications of the seasonal high/perched water table we have concluded that there are severe limitations to the volume of stormwater that can be infiltrated on this site. Detailed testing conducted for the purpose of delineating stormwater infiltration system(s) found that this site has severely limited suitable area for this use. Infiltration testing in areas to be used for a proposed system indicated that water would not infiltrate at acceptable rates. The observation of a fragipan and gleying from twenty inches and below in most areas indicates that infiltration into the underlying soil is limited.

In summary, there is extremely limited potential for stormwater disposal through infiltration on this site. Under these conditions stormwater management is best served through proposing a structure that allows for stormwater overflow to the ditch alongside the property. On behalf of the owners of the property at 123 Hickory Lane, we are hereby requesting a waiver from Section 245-22 of the Radnor Township Stormwater Management Ordinance which requires the maximizing of the ground water recharge capacity of the area being developed. The ordinance requires the design of infiltration facilities to consider ground water recharge to compensate for the reduction in the recharge that occurs when the ground surface is disturbed or impervious surface is created.

The ordinance recognizes that infiltration may not be feasible on every site due to site-specific limitations such as soil type and states that the design professional is responsible to show that this cannot be physically accomplished.

***"Your Path to Environmental Solutions"***

**Mr. Andrew Allen**  
**Evaluation for Stormwater Infiltration**  
**Stewart Residence – 123 Hickory lane, Radnor**

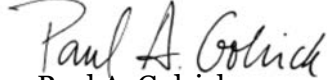
**November 13, 2017**  
**PTE 3204**  
**Page 2**

These findings are the result evaluations of soil profiles. Testing demonstrated no infiltration. Should evidence contrary to the findings in this report be discovered prior to, during or after construction, our office must be notified immediately so our recommendations can be reviewed and if necessary, revised. Penn's Trail expresses no guarantee that the soil conditions following excavation will be identical to those encountered during this investigation.

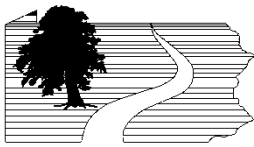
Please review the enclosed information and if any questions arise do not hesitate to contact our office.

Sincerely,

**Penn's Trail Environmental, LLC**

  
Paul A. Golrick  
Soil Scientist/Geologist

# Penn's Trail Environmental, LLC



21 East Lincoln Ave - Suite 160  
 Hatfield, PA 19440  
 ph. (215) 362-4610  
 fax (215) 362-4620

Date: 11/2/2017 Pit # 001 PTE # 3204  
 Project: Stewart residence  
 Location: 123 Hickory Lane  
Radnor Twp., Delaware Co., PA  
 Soil Series: Made Land – Glenville

Horizon	Depth (In.)	Color	Redox Features	Texture	Structure	Consistence	Boundary
A fill	0-13	10YR 4/4		channery silt loam	moderate medium abk	friable	abrupt wavy
C fill	10-34	10YR 4/1	many prominent	very gravelly silty clay loam	massive weak fine sbk	friable/firm	clear wavy
Cg	25-44	Gley1 4/10Y	few prominent	silt loam	massive	firm	

Soil Scientist: Paul A. Golrick, PG

## Notes:

### EPIPEDON

Ochric

### SUBSURFACE HORIZON(S)

Argillic

### SOIL ORDER

Ultisol

### DRAINAGE CLASS

Poorly drained

### LANDFORM

Upland

### POSITION

Toeslope

### PARENT MATERIAL

fill  
 Residuum

### BEDROCK LITHOLOGY

Schist

### REDOX FEATURES

#### **Abundance**

*Few* ..... <2%

*Common*.. 2-20%

*Many*.....>20%

#### **Contrast**

*faint*

hue & chroma of matrix and redox are closely related.

#### **distinct**

matrix & redox features vary 1-2 units of hue and several units of chroma & value.

#### **prominent**

Matrix & redox features vary several units in hue, value, & chroma.

### STRUCTURE

#### **Grade**

*Structureless* - No observable aggregation or arrangement of lines of weakness.

*Weak* - Poorly formed, indistinct peds barely observable in place.

*Moderate* - Well-formed, distinct peds moderately durable & evident in place.

*Strong* - Durable peds evident in undisturbed soil & become separated when disturbed.

### COARSE FRAGMENTS (% of profile)

**15-35%**      **35-65%**      **>65%**

gravelly      very gravelly      extremely gravelly

channery      very channery      extremely channery

cobbly      very cobbly      extremely cobbly

flaggy      very flaggy      extremely flaggy

stony      very stony      extremely stony

### BOUNDARY

#### **Distinctness**

*abrupt*...<1" (thick)      *gradual*...2.5-5"

*clear*.....1-2.5"      *diffuse*.....>5

#### **Topography**

*smooth* - boundary is nearly level

*wavy* - pockets with width greater than depth

*irregular* - pockets with depth greater than width

#### **Type**

*pl* - platy

*pr* - prismatic

*cpr* - columnar

*gr* - granular

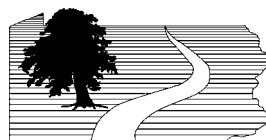
*abk* - angular blocky

*sbk* - subangular blocky

## Double Ring Infiltrometer Data Reporting Sheet

Job Name:	<b>Stewart</b>	Job #:	<b>3204</b>
Location:	1200 Morea Road	Date:	11/5/2017
Township:	Mahanoy Township	Ring #:	001
County:	Schuylkill County	Technician:	Paul A. Golrick
Witness:	---	Tax Parcel:	
Water Temp:	50 °F	Weather:	sunny 58°F
Test Depth:	24 inches	pH:	6.9

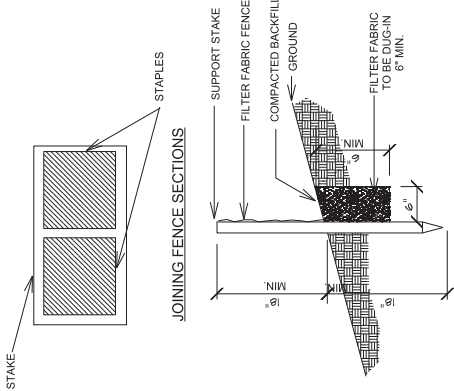
Time (hr:min)	Interval (min.)	Inner Ring Drop (in.)	Inner Ring Volume change (ml)	Outer Ring Drop (in.)	Outer Ring Volume Change (ml)	Rate (ml/min)	Infiltration rate (in/hr)
10:30 AM	<del> </del>		fill		fill	<del> </del>	<del> </del>
11:00 AM	30	0	0	0	0	0.00	0.00
11:30 AM	30	0	0	0	0	0.00	0.00
12:00 PM	30	0	0	0	0	0.00	0.00
<i>Average</i>	<del> </del>		0.00		0.00	0.00	0.00





# ONE STORY REAR ADDITION FOR THE STEWART RESIDENCE 123 HICKORY LANE, RADNOR, PA

STANDARD FILTER FABRIC FENCE (16" HIGH)



## 18" STANDARD FILTER FABRIC FENCE DETAIL

STAKES SPACED @ 8' MAXIMUM USING 2"x2" WOOD OR EQUIVALENT STEEL STAKES. FILTER FABRIC FENCE MUST BE PLACED AT LEVEL EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8' UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET.

CONTRACTOR SHALL INSTALL SILT FENCE ALONG PERIMETER PRIOR TO ANY EXCAVATION

EXISTING GRADING SHALL NOT BE MODIFIED OR ALTERED

EXISTING TREES WILL NOT BE DISTURBED AND ARE NOT CLOSE TO THE AREA OF CONSTRUCTION

CURRENT CONDITIONS HAVE MINIMAL SLOPES AS LOT IS FAIRLY LEVEL

CONTRACTOR SHALL REMOVE ALL EXCAVATED MATERIAL FROM SITE

EARTH DISTURBANCE FOR NEW FOUNDATION WILL BE LIMITED TO LESS THAN 300SF ASSUMING A 2' WIDE TRENCH & LESS THAN 15 CUBIC YARDS

CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO MINIMIZE ANY MATERIAL BEING LEFT ON SIDEWALKS, CURBS OR STREETS

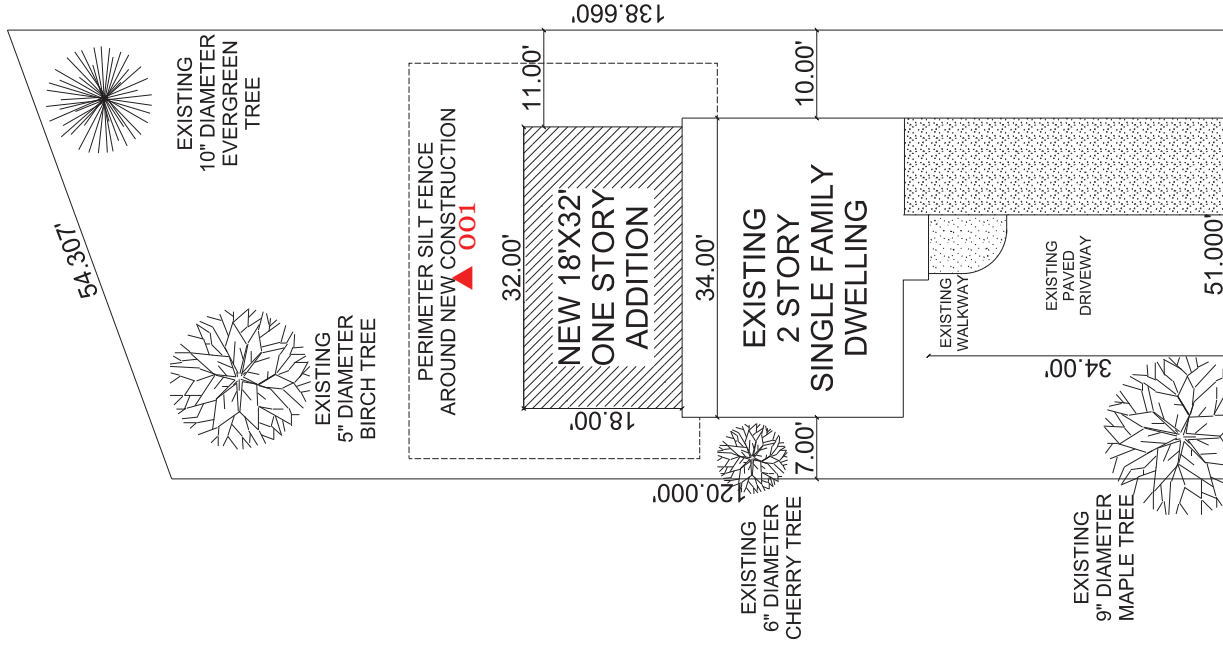
**123 HICKORY LANE  
RADNOR TOWNSHIP  
DELAWARE COUNTY**

LOT SIZE	6,596SF
EXISTING BLDG	1,020SF
NEW ADDITION	576SF
TOTAL BLDG COVERAGE	1,596SF
	24.2%
EXISTING PAVED DRIVE	350SF
EXISTING FRONT WALK	75SF
EXISTING WALK	2,021SF
TOTAL IMPERVIOUS	30.6%

ZONE	R4
FRONT YARD	30'
REAR YARD	30'
SIDE YARDS	12/30
BUILDING COVERAGE	30%
MAX. IMPERVIOUS	40%

## SITE PLAN

1" = 10'



▲ Stormwater infiltration test location

HICKORY LANE

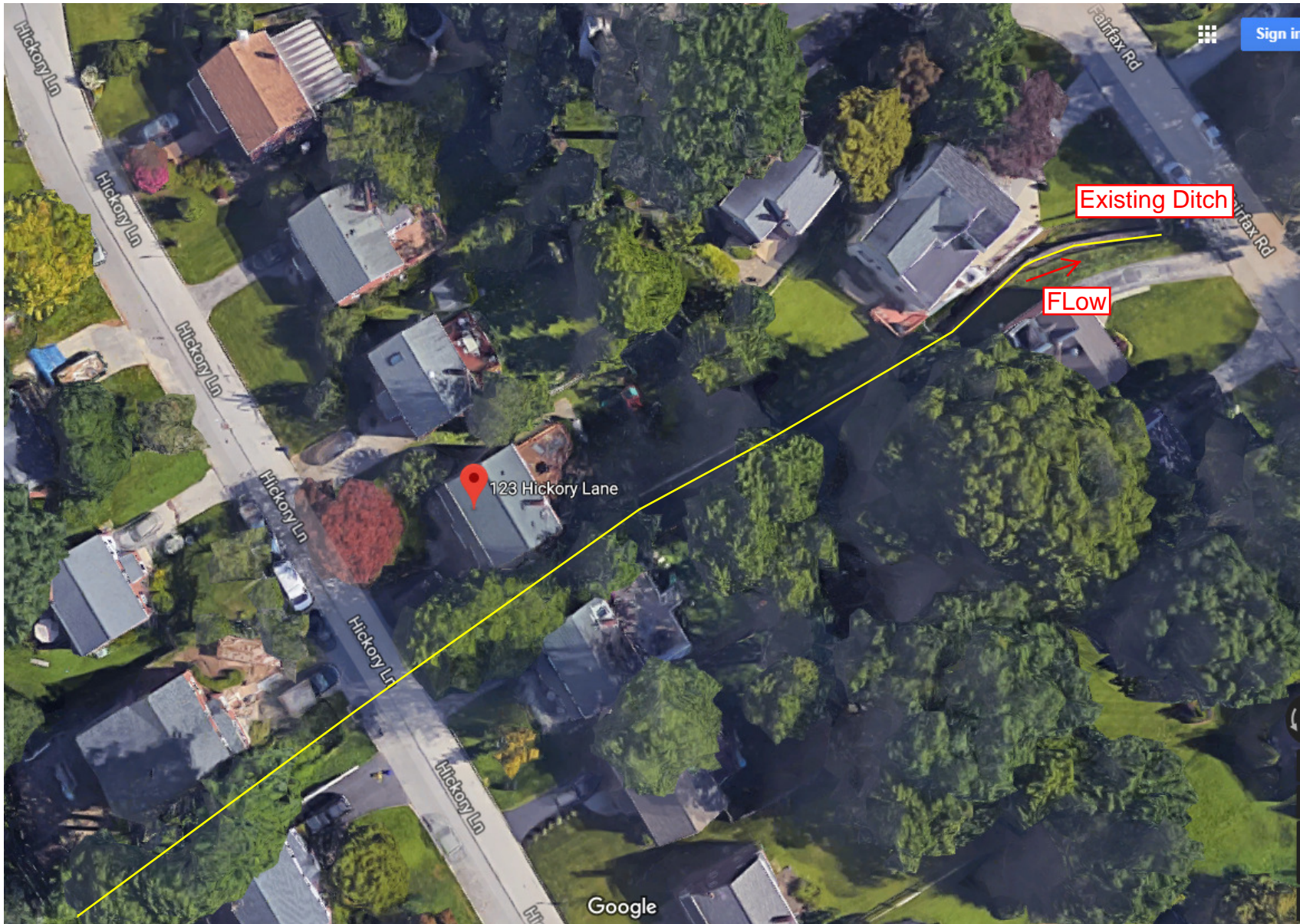
**Here's The Plan, LLC**

541 Street Road, 2nd floor, Southampton, PA 18966  
Office: 215-355-1282 Fax: 215-355-2502 Email: herestheplanllc@gmail.com

ONE STORY REAR ADDITION FOR  
THE STEWART RESIDENCE

DRAWN BY: RA  
DATE: OCTOBER 6, 2011

REV.  
DRAWING NUMBER  
51 of 1



## Public Participation

*The public is invited to address the Board of Commissioners during the public comment portions of the meeting regarding items on the meeting agenda or other topics of interest related to the township.*

- Please print your name on the sign-in sheet at the table next to the podium*
- Clearly state your name, ward and/or street address and topic(s) to be addressed*
- Individual comment shall be limited to not more than five (5) minutes per Board policy*

Discussion and Possible  
Motion Regarding the  
Process for Appointment  
of Interim Commissioner  
by Vacancy Board

Interviews of Potential  
Ward 1 Interim  
Commissioner

Possible Appointment of  
Interim 1<sup>st</sup> Ward  
Commissioner

Appointments to Chair and  
Members of Standing  
Committees

Reappointments to  
Advisory Boards and  
Commissions



Discussion regarding  
Radnorshire Room  
Equipment Replacement

ORDINANCE NO. 2017-19

AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING CHAPTER 262 TOWING, SECTIONS 262-4.B.(9) AND 262-4.B.(10), OF THE RADNOR TOWNSHIP CODE OF ORDINANCES TO INCREASE THE APPOINTMENT TERMS OF DUTY TOWERS FROM TWO YEARS TO FOUR YEARS AND TO INCREASE THE EFFECTIVE PERIOD FOR DUTY TOWING LICENSES FROM TWO YEARS TO FOUR YEARS.

*The Radnor Township Board of Commissioners does hereby enact and ordain as follows:*

**Section 1.** Chapter 262, Towing, Sections 262-4.B.(9) and B.(10) are hereby amended to read as follows:

- (9) After consideration of the Township Manager's recommendations, the Board of Commissioners shall appoint one or more duty towers meeting the requirements of this Ordinance by January 31<sup>st</sup> of each year to serve for a period of ~~two~~ [four] years. The Police Department shall determine an on call schedule for all licensed duty towers in the township.
- (10) Each duty tower shall pay a license fee as fixed by resolution of the Board of Commissioners. Upon payment of the license fee, the Police Department shall issue a license to appointed duty towers. Such licenses shall be effective for a period of ~~two~~ [four] years from the date of issuance.

**Section 2. Repealer.** All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are hereby repealed to the extent of such conflict.

**Section 3. Severability.** If any sentence, clause, section, or part of this Ordinance is for any reason found to be unconstitutional, illegal, or invalid, such unconstitutionality, illegality, or invalidity shall not affect or impair any of the remaining provisions, sentences, clauses, sections or parts of this Ordinance. It is hereby declared the intent of the Board of Commissioners of Radnor Township that this Ordinance would have been adopted had such unconstitutional, illegal, or invalid sentence, clause, section or part thereof not been included therein.

**Section 4. Effective Date.** This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

[Added]

*ENACTED AND ORDAINED* this \_\_\_\_\_ day of \_\_\_\_\_, 2018.

RADNOR TOWNSHIP

BY: \_\_\_\_\_  
Name:  
Title:

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Secretary

J. LAWRENCE GRIM, JR.  
MARY C. EBERLE  
JOHN B. RICE  
DIANNE C. MAGEE \*  
DALE EDWARD CAYA  
DAVID P. CARO \*  
DANIEL J. PACI \*+  
JONATHAN J. REISS ◊  
GREGORY E. GRIM †  
PETER NELSON \*  
PATRICK M. ARMSTRONG  
SEAN M. GRESH  
KELLY L. EBERLE \*  
COLBY S. GRIM  
JOEL STEINMAN  
MATTHEW E. HOOVER  
STEPHEN J. KRAMER  
REBECCA A. O'NEILL\*\*  
MICHAEL K. MARTIN

\* ALSO ADMITTED IN NEW JERSEY  
◊ ALSO ADMITTED IN NEW YORK  
† MASTERS IN TAXATION  
\* ALSO A CERTIFIED PUBLIC ACCOUNTANT

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[www.grimlaw.com](http://www.grimlaw.com)

Stephen J. Kramer  
e-mail: [skramer@grimlaw.com](mailto:skramer@grimlaw.com)

JOHN FREDERIC GRIM, OF COUNSEL

104 S. SIXTH STREET  
P.O. BOX 215  
PERKASIE, PA. 18944-0215  
(215) 257-6811  
FAX (215) 257-5374  
  
(215) 536-1200  
FAX (215) 538-9588  
  
(215) 348-2199  
FAX (215) 348-2520

December 15, 2017

**VIA ELECTRONIC CORRESPONDENCE**

Delaware County Daily Times  
Attn: Legal Department  
500 Mildred Avenue  
Primos, PA 19018

**RE: Radnor Township – Towing Ordinance**

Dear Legal Department:

Enclosed please find for advertisement one (1) time in the December 19<sup>th</sup> edition of your newspaper, a Legal Notice for the possible enactment of the above ordinance by the Board of Commissioners of Radnor Township at their meeting on January 8, 2018. Kindly provide proof of publication and your invoice for the advertisement directly to Radnor Township, c/o Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087. A full copy of the text of the ordinance is enclosed for public inspection. If you have any questions regarding the enclosed, please do not hesitate to contact my office.

Very truly yours,  
**Grim, Biehn & Thatcher**

  
Stephen J. Kramer

SJK/hlp

cc: Jennifer Destefano (w/encl. – via email)  
Robert A. Zienkowski (w/encl. – via email)  
John B. Rice, Esquire (w/encl. – via email)

## LEGAL NOTICE

Notice is hereby given that the Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, will consider for possible enactment an ordinance, of which this Notice is a summary, amending Chapter 262 Towing, of the Radnor Township Code, Sections 262-4.B.(9) and 262-4.B.(10), to increase the terms of appointment for duty towers and to increase the effective period for duty towing licenses.

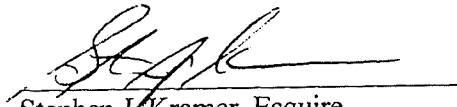
**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING CHAPTER 262 TOWING, SECTIONS 262-4.B.(9) AND 262-4.B.(10), OF THE RADNOR TOWNSHIP CODE OF ORDINANCES TO INCREASE THE APPOINTMENT TERMS OF DUTY TOWERS FROM TWO YEARS TO FOUR YEARS AND TO INCREASE THE EFFECTIVE PERIOD FOR DUTY TOWING LICENSES FROM TWO YEARS TO FOUR YEARS.**

The Board of Commissioners will hold a public hearing on January 8, 2018, at 6:30 p.m., at the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087 to consider the ordinance. Copies of the full text of the proposed ordinance are available at the Township offices, the Delaware County Law Library, and the offices of this newspaper during normal business hours.

RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS  
301 Iven Avenue  
Wayne, PA 19087-5297

ATTEST:

I do hereby certify that this is a true and correct copy of the proposed Ordinance of Radnor Township, being advertised for possible adoption by the Radnor Township Board of Commissioners on January 8, 2018.

A handwritten signature in black ink, appearing to read 'S. Kramer', is written over a horizontal line.

Stephen J. Kramer, Esquire  
Grim, Bieln & Thatcher  
Township Solicitor

**RESOLUTION NO. 2018-05**  
**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE**  
**COUNTY, PENNSYLVANIA, AUTHORIZING GANNETT**  
**FLEMING, INCORPORATED, TO PERFORM A**  
**STRUCTURAL EVALUATION OF THE ROBERTS ROAD**  
**CULVERT ENDWALL**

*WHEREAS*, as a precursor to the design of the repair of the Roberts Road Culvert Endwall, a structural evaluation is necessitated.

*WHEREAS*, Gannett Fleming, Incorporated has provided a cost proposal to provide the evaluation of the pedestrian bridge, in the amount of \$20,178

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby Authorize Gannett Fleming, Incorporated, to Perform a Structural Evaluation of the Roberts Road Culvert Endwall for the cost of \$20,178

*SO RESOLVED* this 8th day of January, A.D., 2018

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski  
Manager/Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: January 2, 2018

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer *SFN*

CC: Robert A. Zienkowski, Township Manager  
William M. White, Assistant Township Manager/Finance Director  
Roger Phillips, PE, Gannett Fleming, Incorporated

LEGISLATION: **Resolution #2018-05:** Award of the Evaluation and Permitting for Repairs to the Roberts Road Endwall

LEGISLATIVE HISTORY: This item has not been before the Board of Commissioners previously.

PURPOSE AND EXPLANATION: The Township was alerted to a deteriorating headwall on Roberts Road, just south of Robinhood Road. This endwall, on the east side of the road, supports Roberts Road at the location of a culvert, which conveys Valley Run. The endwall is of masonry construction and exhibits cracking, loose stones, and in one area, a storm sewer pipe has undermined and separated from the other pipes. If this situation is not addressed, eventually the endwall will give way, and Roberts Road will be compromised. The storm sewer will continue to undermine, and pipes will continue to separate.

Gannett Fleming, Incorporated, has submitted a cost proposal to perform: 1) a Structural Evaluation, 2) Survey, and 3) Permitting. I recommend we move forward with the Structural Evaluation and Permitting. The structural evaluation will be the basis for the design, and the permitting with DEP is a long lead item, which should be started up front in the project. Upon completion of the structural evaluation, I will request a cost proposal form Gannett Fleming for design and bidding documents, as well as survey. Once received and reviewed, this design proposal will be before the Board of Commissioners.

IMPLEMENTATION SCHEDULE: Pending Board of Commissioners authorization, a requisition would be entered into our financial system. Upon receipt of a purchase order number, Gannett Fleming would begin work immediately. It is anticipated that the permitting process could take three months (or longer due to the permitting). I would anticipate being back before the Commissioners in the spring to request award of the design and survey work.

FISCAL IMPACT: This project will be funded from the "04" Stormwater Fund. The cost proposal for the Structural Inspection and Permitting is \$20,178.

Recommendation: *I respectfully request that the Board of Commissioners Award of the Evaluation and Permitting for Repairs to the Roberts Road Endwall to Gannett Fleming, Incorporated, in the amount of \$20,178.*

Enclosure: Gannett Fleming Cost Proposal





**Gannett Fleming**

*Excellence Delivered **As Promised***

October 25, 2017

Stephen Norcini, P.E.  
Township Engineer  
Radnor Township  
301 Iven Avenue  
Radnor, PA 19087

Dear Steve:

RE: Roberts Road Endwall

Gannett Fleming, Inc. is pleased to submit the following technical and price proposal for providing engineering services for the structural inspection of the stone arch culvert at Roberts Road.

## **I. PROJECT UNDERSTANDING**

The project involves an investigation of the existing stone arch culvert in South Roberts Road over Valley Run Creek.

Gannett Fleming will complete the structural inspection as part of the base scope of work. Additional optional scope items for site survey and permitting have been included at the request of the Township. If the survey is desired, Gannett Fleming has selected Hunt Engineering to perform the survey work on this project. The proposal from the sub-consultant is attached at the end of this document.

## **II. SCOPE OF WORK**

Gannett Fleming, Inc. and their sub-consultants will perform the following services:

1. Structural Inspection (BASE SCOPE)
  - a. GF will perform a general, visual structural inspection of the culvert to approximate the extent of deterioration/remaining section of the accessible elements towards a recommendation to repair/rehabilitate the culvert and its budgetary/planning estimate. Inspection access will use ladders, if needed. Inspection is expected to be performed during normal daytime hours M-F; nighttime or weekend work is not expected. Due to the nature and purpose of the work, inspection of portions that are not easily accessible by ladder will be visual.



- b. The visibly accessible areas of the culvert and walls will be examined for missing, loose, or cracked stones/brick, bulging, rotation, and settlement, as well as deteriorated or missing mortar/pointing. Nondestructive testing or material sampling and testing will not be performed. Inspection and evaluation of the channel and embankments will be limited to the rock ledges upstream and downstream.
  - c. Upon completion of the inspection, our findings will be summarized in a letter report, and include a summary of inspection findings, conclusions/recommendations for repairs and an associated construction cost estimate, and color photos of typical conditions and deficiencies. The letter report will also consider access issues in performing the recommended repairs.
  - d. A draft letter report will be submitted to the Township for review and comment. Upon receipt of the Township's comments, the final letter report will be prepared, addressing the comments, and submitted to the Township for approval. At that time an estimated cost of design will be provided based on the recommendations in the report.
2. Survey of the project site. (OPTIONAL SCOPE)
- a. See attached proposal from Hunt Engineering for assumptions.
3. Preparation of Permits (OPTIONAL SCOPE)
- a. Gannett Fleming assumes that a General Permit #11 (GP-11) will be required for this project. The permit package will include the application forms required for all GP's, plus the information necessary for the GP-11 including, an E&SC Plan, Project Inventory Worksheet and the Bridge and/or Culvert Replacement Projects or Projects That Change the Waterway Opening Worksheet. We assume that a paper copy of the GP-11 will be prepared and submitted for processing by PADEP. Gannett Fleming will address one rounds of comments one from PADEP. We assume that PADEP will issue a PASPGP-5 Permit on behalf of USACE for the project. In the event that the Township approved repair alternative selected will include alterations to the cross sectional area of the culvert, an H&H study may be required. At this time, we are assuming that there will be no change to the cross sectional area of the culvert and therefore no H&H study is proposed as part of this scope. This approach will be verified with the agencies at a preapplication meeting. We will seek advance authorization for any additional services prior to proceeding with the work.
  - b. We assume that there are no cultural or archaeological resources present. We assume that there will be no work required to obtained agency clearance for involvement with state or federal threatened or endangered species. A wetland presence/absence investigation will be conducted to

verify that wetlands are not present onsite. If wetlands are present then a wetland delineation can be conducted as an amendment to the scope of work. At this time we assume that, if wetlands are present, the impacts will not exceed 0.05 acres.

Radnor Township will provide the following to assist Gannett Fleming, Inc. in the prosecution of the work:

- Provide access to the site and provide any plans, documents, and reports associated the project.

## II. COST

**Based on the above scope of work, we will perform the services for the following estimated costs. Costs are estimates only due to the nature of the work. Total billings will not be exceeded without written notification:**

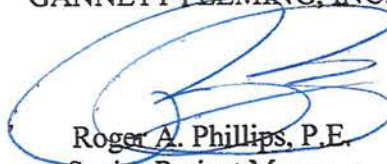
<b><u>Structural Inspection (Base Scope)</u></b> <b>Report</b>	<b>\$10,860.00</b>
<b><u>Survey (Optional Scope)</u></b> <b>Survey</b>	<b>\$30,000.00</b>
<b><u>Permitting (Optional Scope)</u></b> <b>GP-11</b>	<b>\$9,318.00</b>

We are prepared to begin this assignment upon your authorization to proceed.

We appreciate this opportunity to offer our services. If you have any questions concerning our proposal please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



October 16, 2017

Mr. Matthew J. Prusko  
Project Designer/Specialist  
Gannett Fleming, Inc.  
1010 Adams Avenue  
Audubon, PA 19403-2402

RE: Roberts Road Culvert  
S. Roberts Road over Valley Run, Radnor, PA  
Land Surveying Services

Dear Mr. Prusko:

Hunt Engineering Company is pleased to submit this proposal to provide professional land surveying services for the Roberts Road culvert repair/stabilization project.

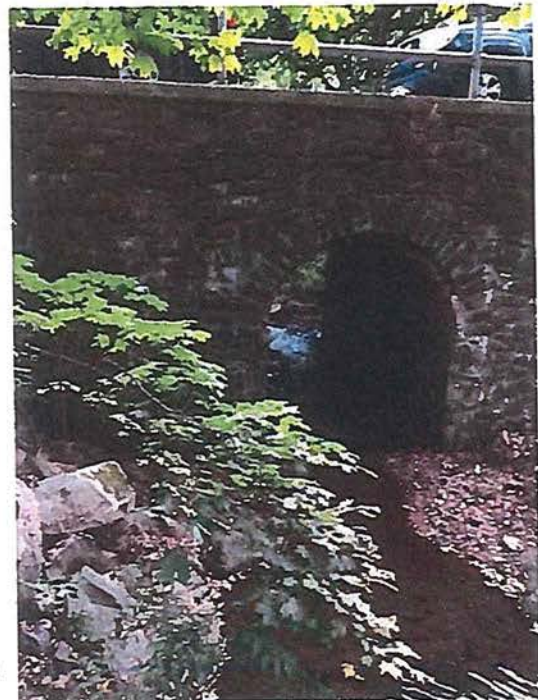
### **Project Understanding**

The project involves repairs to an existing stone arch bridge/culvert in South Roberts Road over Valley Run creek, guiderail improvements and associated stream bank stabilization upstream and downstream of the culvert. The structure is located between 354 and 400 Roberts Road. The structure is showing signs of deterioration and possible displacement.

The site is identified on FEMA flood insurance rate map number 42045C0039F, last revised 11/18/2009 as being within Zone A. Zone A is identified as having an undetermined base flood elevation.

### **Scope of Services**

- Attend a project kick-off meeting at the site with Gannett Fleming to review the survey scope and site conditions.
- Prepare and mail Notice of Intent to Enter letters to the owners of tax parcels 079, 080, 142 and 175
- Place a design phase PA One-Call to request utility plans of the area to be surveyed.
- Conduct research to obtain the following information:



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- Delaware County Tax map 36-07
- Owner names and copies of deeds for tax parcels 079, 080, 142 and 175
- Right-of-way information for Roberts Road
- FEMA Flood Insurance Rate Map 42045C0039F
- Establish survey control points that will be referenced horizontally to the PA State Plane Coordinate System (NAD83) and vertically to North American Vertical Datum (NAVD 1988).
- Establish a site benchmark and one set of reference circles near the bridge.
- Conduct topographic surveys of S. Roberts Road extending 100 feet from either side of the bridge, and 15 feet beyond the back of curb, to obtain the location and elevation of the edge of pavement, top and bottom of curb, depressed curb locations, driveways, mail boxes, utility poles, fences, walls, lights, bridge railing, pavement striping, signs, tree masses, individual trees greater than 6" caliper, and surface utility features (such as inlets, manholes, junction boxes, valves, overhead power lines), utility mark-outs resulting from the PA One-Call and other significant existing features.
- Obtain the locations of wetland and watercourse flags within the 150 feet of the culvert, as set by others prior to the field survey.
- Perform conventional field surveys to search for and locate existing property boundary evidence such as concrete monuments, iron pins, and use lines (such as fences).
- Obtain the rim and invert elevation of existing sanitary sewer manholes.
- Obtain the inlet grate and invert elevation of existing stormwater inlets. Obtain the pipe sizes and directions if able.
- Conduct a detailed survey of the face of culvert on the upstream and downstream sides. Obtain elevations and measurements of the arch opening, top and bottom of wall, railing, and bridge deck.
- Perform stream surveys to obtain overbank topography and stream cross sections to locate and obtain the elevation of the top of bank, grade breaks, water's edge, and thalweg. The stream cross sections will begin at the upstream and downstream face of bridge and will be surveyed at approximately 25-foot intervals for 150 feet from the bridge face (both upstream and downstream of the structure), and approximately 10 feet beyond the top of bank on either side of the stream. Locate trees of 6" caliper or greater within this area.
- Obtain the locations of wetland and watercourse flags within 150 feet of the bridge, as set by others prior to the field survey.
- Obtain the location and elevation of exterior building corners closest to the stream on tax parcels, 079, 080, 142 and 175.
- Prepare field sketches showing the dimensions of the bridge and dam structures.
- Prepare an Existing Conditions Plan in AutoCAD 2014 (.DWG) format depicting the information obtained from the tasks above and with contours plotted at one-foot intervals. Underground utilities will be plotted from PA One-Call information provided by the responding utility service providers and field observations and measurements of visible utilities. The property boundaries will be plotted from deeds of record, plans made available to Hunt Engineering Company and boundary evidence obtained from the field surveys. The approximate 100-year floodplain will be sketched onto the Existing Conditions Plan from FEMA map 42045C0039F last revised November 18, 2009.
- Provide Gannett Fleming with the following:
  - Copies of the utility plans received through the PA One-Call system
  - Copies of the deeds for Tax Parcels 079, 080, 142 and 175
  - A copy of the Existing Conditions Plan in portable digital file (.PDF) format
  - A copy of the Existing Conditions Plan in AutoCAD 2014 (.DWG) format
  - A copy of the DTM surface created to generate the contours shown on the Existing Conditions Plan

## Assumptions

The foregoing scope is based on the following assumptions:

1. Acceptance of this proposal constitutes agreement with Hunt Engineering Company's General Terms and Conditions of Service as attached.
2. Gannett Fleming will:
  - Provide any available plans of the bridge structure and of S. Roberts Road
  - Provide Radnor Township letterhead upon which the NOITE letters will be prepared and obtain the appropriate signature of a representative from Radnor Township
  - Provide copies of field sketches from the wetland delineation efforts
3. The following are not included in this proposal:
  - ALTA, construction and as-built surveys
  - Boundary resolution
  - Wetland delineations
  - Remobilization to locate wetland flags
  - Tree identification
  - Setting property corner or right-of-way monumentation
  - CAD drawings of the elevation and section of the existing bridge structures
  - Preparation of drawn roadway and stream cross sections
  - Preparation of right-of-way plans
  - Preparation of wetlands delineation plans, wetlands (if applicable) will be plotted on the Existing Conditions Plan
  - Preparation of plans or legal descriptions for the purposes of right-of-way vacation, subdivision, or establishment of easements
  - Subsurface explorations to expose existing underground utilities and/or identification through geo-physical means such as ground penetrating radar
  - Utility exploration including confined space-entry, vacuum truck excavation or open-pit excavation
  - Invert elevations of storm water, sanitary sewer and other utility pipes or structures that are inaccessible

In the event that the level of effort changes, we will seek advance authorization for any additional services prior to proceeding with work.
4. Utility plans received through the One-Call system typically show only utilities along public roads and not on private and/or municipal properties. Therefore, we expect to receive only limited information through the PA One-Call system for areas outside the road right-of-way.
5. Underground utility lines will be plotted to the best of our ability from field observations/measurements and plans provided by the County and the utility companies responding through the PA One-Call Process. As a result, some underground utility locations may be approximate and other utilities may exist that are not shown on plans made available to us.
6. This proposal is predicated on the assumption that the effected property owners will allow Hunt Engineering Company's field staff entry to their premises. If such permission is not granted the requested work may not be completed as scoped
7. This proposal assumes the wetland delineation will be performed prior to the start of field survey. Re-mobilization to locate wetland delineations may incur additional charges not included in this proposal.

**Cost of Services**

The fees for the services described above are as follows:

<b>Classification</b>	<b>Hours</b>	<b>Hourly Rate</b>	<b>Subtotal</b>
Project Manager	4	\$175.00	\$700.00
Project Surveyor	8	\$160.00	\$1,280.00
Registered Surveyor	42	\$130.00	\$5,460.00
2-Person Survey Crew	80	\$145.00	\$11,600.00
CADD Supervisor	36	\$100.00	\$3,600.00
Survey Technician	64	\$80.00	\$5,120.00
<b>Total</b>			<b>\$27,760.00</b>

Additional services will be provided by Hunt Engineering Company on a time and expenses basis will be billed monthly in accordance with the following rates:

<b><u>Classification</u></b>	<b><u>Hourly Rate</u></b>
Principal	\$175
Project Manager	\$165
Project Engineer	\$145
Sr. Engineer	\$130
Engineer	\$120
Landscape Architect	\$105
Designer	\$90
Project Surveyor	\$160
Registered Surveyor	\$130
Survey Crew	\$145
Technician	\$80
CADD Supervisor	\$100
CADD	\$60

Mileage, postage and printing charges will be billed on a per unit price as follows:

Mileage Rate:	\$0.535 / mile
Overnight Postage:	\$13/standard size package
Plan Sheets Reproduction/ Printing:	\$0.25 / Square Foot

We appreciate the opportunity to provide this proposal to you. We trust that this proposal is in keeping with your expectations; if otherwise, please let us know. If you have any questions, please do not hesitate to call.

Sincerely,  
HUNT ENGINEERING COMPANY



Susan D. Menno, RLA  
Principal

Please complete the following and return to Hunt Engineering Company as Authorization to Proceed with the scope of services outlined herein in accordance with Hunt Engineering Company's General Terms and Conditions of Service.

Accepted by: \_\_\_\_\_  
(Signature of Authorized Individual)

Company: \_\_\_\_\_

\_\_\_\_\_  
(Printed Name and Title)

Date: \_\_\_\_\_



## Hunt Engineering Company General Terms and Conditions of Service

**Client:** Gannett Fleming  
**Project Name:** Roberts Road Endwall  
**Project Location:** Radnor Township, Delaware County, PA  
**Date:** October 16, 2017

The terms and conditions which shall govern the performance of services pursuant to this agreement are set forth below.

**1.0 SCOPE OF SERVICES AND ADDITIONAL SERVICES:** Hunt Engineering Company (HEC) will be covered by this Agreement regardless of commencement date. Unless modified in writing by the parties, the duties of HEC shall not be construed to exceed those Services specifically set forth in the proposal. However, if requested by the CLIENT and agreed to by HEC, HEC will perform additional services ("additional Services"), and such Additional Services shall be governed by these provisions. Unless otherwise agreed to in writing, the CLIENT shall pay HEC for the performance of any Additional Services based upon HEC's then-current hourly rates.

**2.0 STANDARD OF CARE:** The standard of care for services performed or furnished by HEC under this Agreement will be the level of care and skill ordinarily exercised by members of the same profession practicing under similar conditions at the same time and in the same locality based on facts and information available at the time services are provided.

**3.0 CLIENT RESPONSIBILITIES:** In addition to other responsibilities described herein, The CLIENT shall (i) provide all information criteria as to the CLIENT's requirements, objectives, and expectations for the project, including numerical criteria that are to be met and all standards of development, design and construction; (ii) provide to HEC all previous studies, plans, or other documents pertaining to the project and all new data reasonably necessary in HEC's opinion, such as site survey and engineering data, environmental impact assessments or statements, zoning or other land-use regulations, upon all of which HEC may rely; (iii) furnish approvals and permits from governmental authorities having jurisdiction over the project and approvals and consents from other parties as may be necessary for completion of HEC's services; (iv) give prompt written notice to HEC whenever the CLIENT becomes aware of any development that affects the scope and timing of HEC's services or any defect or noncompliance in any aspect of the project; (v) provide all necessary escrow, permit, application and agency review fees, payable to the respective agency/agencies for the review, entitlement and construction of the subject project and (vi) bear all costs incident to the responsibilities of CLIENT.

**3.1 RELIABILITY OF INFORMATION:** HEC shall have the right to rely on the accuracy and completeness of all information furnished to it by the Client.

**3.2 RIGHTS OF ENTRY, DAMAGES TO PROPERTY:** Client will provide for the right of entry for HEC, its subcontractors, and all necessary equipment in order to complete the Services under the Agreement. While HEC will take all reasonable precautions to minimize any damage to the property, it is understood by Client that in the normal course of work some limited incidental damage such as localized disturbance of soil and vegetation may occur, the correction of which is not part of the Agreement.

**4.0 COMPENSATION:** HEC will be compensated according to the fees stipulated in the proposal. HEC shall submit monthly invoices to the CLIENT and a final bill upon completion of Services. Payment of undisputed invoice amounts is due upon receipt of invoice by CLIENT. Any invoices past-due thirty (30) days from the date of the invoice will be subject to Interest.

**4.1 REIMBURSABLE EXPENSES:** Client shall pay HEC for reimbursable expenses, including printing and reproduction, courier and express delivery service, bulk/special mailings, facsimile

transmissions, specialized equipment and laboratory charges, their costs of acquiring materials specifically for CLIENT and related charges. The reimbursable expenses will be added to each monthly invoice. HEC is not responsible for the posting or payment of escrow, permit, application and agency review fees. See 'Client Responsibilities'.

**4.2 DISPUTE OF INVOICE:** CLIENT shall notify HEC within two weeks of receipt of invoice of any dispute with the invoice. CLIENT and HEC will promptly resolve any disputed items.

**4.3 INTEREST:** If any invoice is not paid in full, the CLIENT shall pay as interest an additional charge of one-and-one-half percent (1.5%), or the maximum allowable by law, whichever is lower, per month of the Past Due amount. Payment after that shall first be applied to accrued interest and then to unpaid principal.

**4.4 SUSPENSION OF SERVICE:** If the CLIENT fails to make payment when due or otherwise is in breach of this Agreement, or in breach of any other agreement between client and HEC, then HEC may suspend performance of services at any time.

In the event of a suspension of services or termination of the Agreement by HEC in accordance with Section 5.0 of these General Terms and Conditions, HEC shall have no liability for any delay or damage of any kind actually or allegedly caused by such suspension of services or termination. The Client shall have no right of setoff against the amounts due to HEC and no deductions shall be made from HEC's compensation on account of any actual or alleged claim, action, breach, error, omission, tort, fault, wrong, liability, penalty or damage actually or allegedly caused by, arising from or relating to HEC, HEC's services on the Project, or this Agreement.

If HEC files a claim against the Client arising out of the Client's failure to make payments in accordance with this Agreement and Client subsequently asserts any claim or claims against HEC relating to allegations of professional negligence in performance of HEC'S services under this Agreement, HEC shall be entitled to reimbursement of any costs incurred by HEC in the defense of the professional negligence claim(s), including any expenses incurred as part of HEC'S professional liability insurance deductible, to the extent HEC is successful in its compensation claim or negligence defense.

**5.0 TERMINATION:** Except as otherwise provided in this Agreement, this Agreement may be terminated by either party upon not less than fourteen (14) calendar days' written notice should the other party fail substantially to perform in accordance with the terms and conditions of this Agreement through no fault of the party initiating the termination. If the defaulting party fails to cure its default within the fourteen (14) calendar day notice period or fails to commence action to cure its default if the cure cannot reasonably be completed within the fourteen (14) days, the nondefaulting party may terminate the Agreement. Failure of the Client to make payments to HEC in accordance with this Agreement shall be considered substantial non-performance and grounds for termination or suspension of services at HEC's option after such fourteen (14) day notice period or anytime thereafter. In the event of termination, HEC shall be compensated for all services performed and reimbursable expenses incurred prior to such termination and all termination expenses.

**6.0 INDEMNIFICATION:** The Client agrees to indemnify and hold HEC harmless from any damage, liability or cost (including reasonable attorneys' fees and costs of defense) to the extent caused by the Client's negligent acts, errors or omissions and those of his or her contractors, subcontractors or consultants or anyone for whom the Client is legally liable. HEC is not obligated to indemnify the Client for the Client's own negligence.

**7.0 LIMITATION OF LIABILITY:** Upon the review and advice of their respective attorneys or authorized agents, Client and HEC recognize and agree that HEC's liability for any and all claims or actions, regardless of how arising, shall be limited to the total sum of \$50,000.00, or HEC's total fee for services rendered on this project, whichever is less. Client hereby releases HEC from any liability above such amount. Such claims and causes include, but are not limited to

negligence, professional errors or omissions, strict liability, breach of contract or breach of warranty.

In no event shall HEC be liable for any incidental, indirect or consequential damages, including commercial loss, liquidated damages, or lost profits resulting from any Service furnished under this agreement.

**8.0 INSURANCE:** HEC maintains general and professional liability insurance, and workman's compensation insurance. Certificates will be issued to the Client upon written request.

**9.0 FORCE MAJEURE:** HEC shall not be responsible or liable for any delays in performance or failure of performance related to any force majeure event, including but not limited to fire, flood, explosion, the elements, or other catastrophe, acts of God, war, riot, civil disturbances, terrorist act, strike, lock-out, refusal of employees to work, labor disputes, inability to obtain materials or services, or delays caused by the Client, its agents, contractors, subcontractors, consultants, subconsultants or employees, or any governmental regulation or agency, or for any other reason beyond the control of HEC.

**10.0 OPINION OF COST:** Consistent with the Standard of Care in Section 2.0 of this Agreement, any opinions rendered by HEC as to costs, including, but not limited to, opinions as to the costs of construction, remediation and materials, shall be made on the basis of its experience and represent its judgment as an experienced and qualified professional familiar with the industry. HEC cannot and does not guarantee that proposals, bids, or actual costs will not vary from its opinions of cost. HEC's services required to bring costs within any limitation established by the CLIENT will be paid for as Additional Services.

**11.0 EARTHWORK ANALYSIS:** If the Scope of Services includes earthwork analysis, then the following provisions shall apply:

11.1 In reviewing HEC's earthwork analysis, calculations, reports or opinions, the client understands that HEC's data is based on the topographic mapping used as a Base Map for plan preparation and that such topographic mapping has certain standard tolerances and accuracy limits. The client further understands that due to earthwork differences that result from topographic map accuracy limitations, construction changes, topsoil depth, replacement of unsuitable soils, weather conditions, construction methods, soil conditions, earthwork calculation methods, soil volume calculation methods and other factors, some of which are unique to each contractor and construction site, it is not possible to definitively predict quantities that will ultimately be determined to be associated with a particular project. Earthwork data provided by HEC is provided to assist the client in understanding the general earthwork requirements. Since some degree of uncertainty may still exist, HEC's sole responsibility and liability with regard to the accuracy or completeness of the earthwork analysis is limited to the correction of any inaccurate information. To determine actual quantities and costs associated with required earthwork, the client must solicit actual construction bids from qualified contractors and must require such contractors to determine existing topographic conditions, subgrade conditions, construction plans and procedures.

**12.0 TOPOGRAPHIC SURVEY:** If the Scope of Services includes aerial survey or topographic survey, then the following provisions shall apply:

12.1 HEC shall retain an independent subconsultant to perform aerial survey services. The subconsultant shall provide the aerial survey in conformance with generally accepted standards for such services. HEC makes no warranty, expressed or implied, as to the accuracy of such aerial survey. HEC's sole responsibility and liability with regard to the accuracy or completeness of the aerial survey is limited to the correction of any inaccurate information, and this shall be the Client's sole remedy related to the adequacy or accuracy of the aerial survey and any information derived from that data.

12.2 If the location of subsurface information (i.e., underground utilities, storage tanks, structures, etc.) is to be provided by HEC, the topographic survey shall be limited to the extent of the information provided by the Client or others. HEC shall not be responsible for

any unknown conditions not identified in the information provided to HEC or any unknown condition beyond the reasonable scope of the information obtained as a result of any testing, test pit excavations, boring, or samples taken by HEC.

**13.0 GEOTECHNICAL ENGINEERING SERVICES:** If the Scope of Services includes geotechnical engineering services, then the following provisions shall apply:

13.1 **SITE ACCESS:** It is assumed that there will be free and uninterrupted access to and from the site in question for personnel and motor vehicle equipment during the course of work. If work is delayed or interrupted because of access difficulties, an additional \$200/hour rate will be charged for time lost. (Where clearing trees and other debris is required, time will be charged at the above stated rate.)

13.2 **SITE TRUCK ACCESS:** It is understood that the site is truck accessible, that the right-of-entry exists, and that all available underground utility information will be provided to HEC prior to our mobilization. HEC's drilling subcontractors will backfill each boring to the original grade before demobilizing from the site. Should settlement occur, it will be the responsibility of the client to maintain each boring at grade, after the drilling subcontractor demobilizes from the site.

13.3 **OBSTRUCTIONS:** When a test boring cannot be advanced to full depth due to the presence of any kind of obstruction, the test hole will be terminated and relocated. Abandoned holes will be invoiced at the rate established in the estimated cost. Delay time resulting from obstructions will be invoiced at \$150/hour.

13.4 **SITE INFORMATION:** It shall be the responsibility of the client to supply all available information regarding underground utilities to HEC. If this is an agreement for HEC to provide underground borings, HEC hereby represents that the borings taken provide information regarding only a very small portion of the project area. HEC, on the basis of the information provided by these borings, will use its professional expertise to endeavor to project the nature and extent of subsurface conditions but the accuracy of such projections is limited by the number of borings taken. Owner has been advised that additional borings may be done at an additional cost but has opted to engage HEC to perform the number of borings agreed upon with the understanding of the limitations on the conclusions that can be reached based upon that number of borings.

13.5 **DISPOSAL OF SAMPLES:** All samples, contaminated or otherwise ("Samples"), collected by HEC while performing services under this agreement are the property and responsibility of the Client. HEC may dispose of Samples in its possession after ninety (90) calendar days unless otherwise required by law or other arrangements are mutually agreed to in writing by the parties. At all times, any and all rights, title and responsibility for Samples shall remain with the CLIENT and under no circumstances shall these rights, title and responsibility be transferred to HEC.

13.6 **EXISTING CONDITIONS AND SUBSURFACE RISKS:** Special risks occur whenever engineering or related disciplines are applied to identify subsurface conditions. Even a comprehensive sampling and testing program implemented in accordance with a professional Standard of Care may fail to detect certain conditions. The environmental, geologic, geotechnical, geochemical, and hydrogeologic conditions that HEC interprets to exist between sampling points may differ from those that actually exist. Client recognizes that actual conditions may vary from those encountered at the locations where borings, sampling, surveys, observations or explorations are made by HEC and that the data, interpretation, and recommendations of HEC are based solely on the information available to it. Furthermore, CLIENT recognizes that passage of time, natural occurrences, and/or direct or indirect human intervention at or near the site may substantially alter discovered conditions. HEC shall not be responsible for interpretations by others of the information it develops or provides to the Client.

HEC will take reasonable precautions to avoid damage or injury to subterranean structures or utilities in the performance of its services. CLIENT agrees to defend, indemnify, and hold HEC harmless for any

damage to subterranean structures or utilities and for any impact this damage may cause where the subterranean structures and utilities are not called to HEC's attention or are not correctly shown on the plans furnished.

**14.0 HAZARDOUS MATERIALS:** It is agreed by the parties, unless otherwise expressly stated in the proposal scope of services, that HEC does not assume responsibility for identification, disposal, treatment or transportation of asbestos, asbestos containing materials, hazardous or toxic materials at the project site, or should it become known in any way that such materials may be present at the project site or any adjacent areas that may affect the performance of HEC's services, HEC may, at its sole option and without liability for consequential or any other damages, suspend performance of services on the project until the Client takes steps to identify, abate and/or remove the asbestos or hazardous or toxic materials, and to warrant that the project site is in full compliance with applicable laws. HEC's responsibility is limited to giving prompt notice to the CLIENT if HEC suspects it has encountered a potential hazardous material.

If the Scope of Services for this Agreement includes services related to hazardous materials, then the following provision shall apply:

In consideration of the substantial risks to HEC posed by the presence or suspected presence of asbestos or hazardous or toxic materials on or about the project site, the Client agrees, to the fullest extent permitted by law, to indemnify and hold harmless HEC, its officers, directors, employees, agents and independent consultants and any of them from all claims and losses, including reasonable attorney's fees and defense costs, arising out of, or in any way connected with, the performance or nonperformance of the obligations under this Agreement unless and until there has been an adjudication by a court or forum of competent jurisdiction that the claims at issue are a direct result of the sole negligence of HEC.

**15.0 CONSTRUCTION PHASE SERVICES:** It is the responsibility of the CLIENT to provide full time inspection of construction activities unless otherwise agreed to in writing between the CLIENT and HEC, or included in the Scope of Service. The CLIENT may elect to justify savings of inspection costs by assuming the added risk.

If the Scope of Services for this Agreement includes construction observation services, then the following provisions shall apply:

**15.1** During the project construction phase, HEC shall consult with and advise Client and act as Client's representative as provided in the Scope of Services. The extent and limitations of the duties, responsibilities and authority of HEC as outlined in the Scope of Services shall not be modified, except as HEC and Client may otherwise agree in writing.

**15.2** HEC's services during the construction phase are intended to provide Client a greater degree of confidence that the completed work of Contractor will conform in general to the approved plans and related documents. HEC shall not, during visits to the project site or as a result of observation of Contractor's work in progress, supervise, direct or have control over Contractor's work nor shall HEC have authority over or responsibility for the means, methods, techniques, sequences or procedures of construction selected by Contractor, for safety precautions and programs incident to the work of Contractor or for any failure of Contractor to comply with laws, rules, regulations, ordinances, codes or orders applicable to Contractor's furnishing and performing the work. Accordingly, HEC neither guarantees the performance of any Contractor nor assumes responsibility for any Contractor's failure to furnish and perform its work in accordance with the Contract Documents.

If the Scope of Services for this Agreement includes design services but does not include construction phase services, then the following provisions shall apply:

**15.3** It is understood and agreed that HEC's services under this Agreement do not include project observation or review of the Contractor's performance or any other construction phase services, and that the Client will provide such services. The Client assumes all responsibility for interpretation of the Contract Documents and for

construction observation and supervision and waives any claims against HEC that may be in any way connected thereto.

**15.4** In addition, the Client agrees, to the fullest extent permitted by law, to indemnify and hold HEC harmless from any loss, claim or cost, including reasonable attorney's fees and cost of defense, arising or resulting from the performance of such services by other persons or entities and from any and all claims arising from modifications, clarifications, interpretations, adjustments or changes made to the design plans, reports, or any other documents produced by HEC.

**15.5** If the Client requests in writing that HEC provide any specific construction phase services and if HEC agrees in writing to provide such services, HEC shall be compensated in accordance with the written Agreement between the Client and HEC.

**16.0 OWNERSHIP AND REUSE OF DOCUMENTS:** All reports, plans, specifications, computer files, field data, notes and other documents and instruments prepared by HEC pursuant to this Agreement ("Documents") are and remain the property of HEC as instruments of service with respect to this Agreement. The Documents are not intended or represented to be suitable for reuse by the Client or others on extensions of this project or on any other project. Any reuse of the Documents without the written approval by HEC will be at the Client's sole risk and without liability or legal exposure to HEC. The Client shall indemnify, defend and hold harmless HEC from and against any claims, damages or losses including attorney's fees and costs, arising out of or resulting there from.

HEC grants to the Client and only the Client a non exclusive, non assignable and non transferable license to reproduce, distribute and display the Documents, to the extent necessary for the Client to undertake construction and/or perform other acts that are all collectively required to construct the project. HEC shall retain all common law, statutory and other reserved rights to the Documents, including the copyright thereto. Both the Client and HEC agree that none of the services or Documents provided by HEC are "work made for hire" as defined in the Copyright Act.

**17.0 RIGHT TO REFERENCE PROJECT:** Client agrees that HEC has the authority to use its name as a client and a general description of the Project as a reference for other prospective clients.

**18.0 DISPUTE RESOLUTION:** HEC and Client agree that any disputes arising under this Agreement and the performance thereof shall be subject to non-binding mediation as a prerequisite to further legal proceedings.

**19.0 GOVERNING LAW:** The laws of the Commonwealth of Pennsylvania will govern the validity of this Agreement, its interpretation and performance. Any litigation arising in any way from this Agreement shall be brought in the State or Federal Courts of Pennsylvania.

**20.0 SURVIVAL:** All express representations, indemnifications or limitations of liability made in or given in this Agreement will survive the completion of all services of HEC under this Agreement or the termination of this Agreement for any reason.

**21.0 ENTIRE AGREEMENT:** This Agreement (consisting of (1) Proposal/ Scope of Services and (2) General Conditions) comprises the final and complete agreement between the Client and HEC. It supersedes all prior or contemporaneous communications, representations, or Agreements, whether oral or written, relating to the subject matter of this Agreement. Execution of this Agreement signifies that each party has read the document thoroughly, has had the opportunity to have questions explained by independent counsel and is satisfied with the terms and conditions contained herein. Amendments to this Agreement shall not be binding unless made in writing and signed by both the Client and HEC.

To the extent Client provides its own agreement and that agreement is silent with respect to any term or condition expressed herein, these conditions shall prevail and shall be binding upon the parties.

**RESOLUTION NO. 2018-09**  
**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE**  
**COUNTY, PENNSYLVANIA, AUTHORIZING THE**  
**APPLICATION OF A MULTIMODAL FUNDING GRANT**  
**APPLICATION FOR THE CONSTRUCTION OF**  
**INTERSECTION IMPROVEMENTS AT KING OF**  
**PRUSSIA, EAGLE, AND PINE TREE ROADS**

*Be it RESOLVED*, Radnor Township in Delaware County hereby requests a Multimodal Transportation Fund grant of \$1,302,979 from the Pennsylvania Department of Transportation to be used for roadway, signal and pedestrian safety improvements to the intersection of King of Prussia, Eagle and Pine Tree Roads.

*Be it FURTHER RESOLVED*, that the Applicant does hereby designate Lisa Borowski, President, Board of Commissioners, and Robert A. Zienkowski, Township Manager and Secretary, as the officials to execute all documents and agreements between Radnor Township and the Pennsylvania Department of Transportation to facilitate and assist in obtaining the requested grant.

I, Robert Zienkowski, duly qualified Secretary of Radnor Township in Delaware County, PA, hereby certify that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Board of Commissioners at a regular meeting held January 8, 2018 and said Resolution has been recorded in the Minutes of Radnor Township and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of Radnor Township, this 8th day of January 8th, A.D., 2018.

RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

BY: \_\_\_\_\_

Name: Lisa Borowski  
Title: President

ATTEST: \_\_\_\_\_

Name: Robert Zienkowski  
Title: Township Manager and Secretary

# Radnor Township

## PROPOSED LEGISLATION

DATE: January 2, 2018

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer

CC: Robert A. Zienkowski, Township Manager  
William M. White, Assistant Township Manager & Finance Director  
Brian Eury, Cabrini University  
Ingrid Cooper, Eastern University

LEGISLATION: **Presentation and Possible Resolution #2018-09:** Authorizing the Grant Application for Improvements to the King of Prussia Road/Eagle Road/Pine Tree Road Intersection, in partnership with Cabrini University and Eastern University

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LEGISLATIVE HISTORY: This project has not been before the Board of Commissioners previously.

PURPOSE AND EXPLANATION: The intersection of King of Prussia Road, Pine Tree Road, and Eagle Road is the point of considerable congestion. During peak hours, traffic can back up from this intersection to near Berwind Road. This congestion not only affects our residents, but it also affects Cabrini and Eastern Universities. To that end, the Universities approached the Township to partner in improving the intersection, via the use of a Multimodal Transportation Fund Grant (MTF). The following are highlights of the proposed intersection improvements:

- A dedicated left-hand turn lane for south bound King of Prussia Road on to Pine Tree Road
- A dedicated left-hand turn lane for north bound King of Prussia Road onto Eagle Road
- A dedicated right-hand turn lane for east bound Eagle Road onto south bound King of Prussia Road
- A left-hand turn lane from north bound King of Prussia Road into Cabrini University
- Road widening (along the frontage of Eastern and Cabrini Universities), as well as wearing course overlay
- New traffic signals

The plan set for the proposed project is attached for your convenience. The estimated total project cost is \$1,861,398. The amount requested in the grant application is \$1,302,979. Local matching (30%) funds of \$558,419 are required; the match would be split amongst Radnor Township, Cabrini University, and Eastern University equally, with our share being \$186,140. Pending Board of Commissioners approval of Resolution #2018-09, the requisite grant request letters (please see attached) letters would be signed by the Township Manager.

IMPLEMENTATION SCHEDULE: Upon approval by the Board of Commissioners, the appropriate funding commitment letters would be signed, and the Resolution attached to the grant applications. The project will still need to go through the Penn DOT approval process, as well as bidding procedure. The actual start of construction would be determined prior to the bidding process.

FISCAL IMPACT: The Township's portion of the grant would be funded from the Capital Improvement Plan (CIP), Traffic Signal Improvements, 005-04-430-48202, in the amount of \$186,140.

RECOMMENDED ACTION: I respectfully request the Board of Commissioners authorize the grant application, including the funding commitment letter, in partnership with Cabrini and Eastern Universities, for the Multimodal Transportation Fund Grant, with a total cost to the Township of \$186,140.

MOVEMENT OF LEGISLATION: It is being requested the Board of Commissioners authorize the submission of the grant applications.

Enclosures:    Plan Set  
                  Resolution  
                  Funding Letter  
                  Econ Partners Grant Summary



# Radnor Township Intersection Improvements (KOP, Eagle and Pine Tree Roads)

PennDOT MTF Application

## Multimodal Transportation Fund (MTF) Program

The Multimodal Transportation Fund Program supports the development, rehabilitation and enhancement of transportation assets to existing communities, streetscape, lighting, sidewalk enhancement, pedestrian safety, connectivity of transportation assets and transit-oriented development.

*Funding to be requested to support the complete scope of improvements at the intersection of King of Prussia, Eagle and Pine Tree Roads, including: the addition turn lanes off of King of Prussia Road; road widening, signal improvements; repaving; new signage; and related streetscape and stormwater management enhancements. These improvements are currently estimated to cost \$1,861,398.*

**Applicant:** Radnor Township

**Application Lead:** Cabrini University

**Application Deadline:** Anticipated January 2018

**Funding Decisions:** Summer – Early Fall 2018

**Local Cost Share Requirement:** 30% of total project costs (to be provided in thirds by Radnor Township, Eastern University and Cabrini University)

### Required Municipal Documents:

- Authorized official resolution  
(see Draft: *Radnor Township KOP\_Eagle Roads PennDOT MTF Resolution\_1.8.2018.doc*)
- Funding commitment letter identifying source of local matching funds  
(See Draft: *MTF Match Funding Commitment Letter\_Radnor Township\_KOP\_Eagle Roads\_January2018.doc*)
- Most recent audited financial statement for Radnor Township

## Possible Funding Scenario:

*Assuming full funding of the grant request and equal cost share between the Township, Cabrini University and Eastern University.*

### PennDOT Multimodal Grant

Total Project Cost:	\$1,861,398
PennDOT MTF Grant:	\$1,302,979
Local Match (30%):	\$558,419
<b>Each Party's Total Share:</b>	<b>\$186,140</b>

**LISA BOROWSKI**  
*President*

**LUCAS A. CLARK, ESQ.**  
*Vice President*

**JAKE ABEL**

**RICHARD F. BOOKER, ESQ.**

**SEAN FARHY**

**JOHN NAGLE**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
[www.radnor.com](http://www.radnor.com)

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**KATHRYN GARTLAND**  
*Treasurer*

January 3, 2018

David J. Bratina  
PennDOT Office of Multimodal Transportation  
Commonwealth Keystone Building  
400 North Street, 8th Floor  
Harrisburg, PA 17120-3457

RE: King of Prussia Road and Eagle Road Intersection Improvements Project, Radnor Township

Dear Mr. Bratina,

I am writing to acknowledge the intention of Radnor Township, in Delaware County, to submit an approximately \$1,302,979 Multimodal Transportation Fund grant request to complete roadway and pedestrian safety improvements at the intersection of King of Prussia and Eagle Roads in Radnor Township, PA. The municipality is partnering with Cabrini University and Eastern University to complete the project.

Grant funds received from PennDOT will be used to address congestion and multimodal circulation concerns at the intersection of King of Prussia and Eagle Roads. The improvements involve the overall enlargement of the intersection, including: the addition of a northbound turn lane off of King of Prussia Road; signal improvements; repaving; new signage; and related streetscape and stormwater management enhancements.

Cabrini University, Eastern University and Radnor Township will provide the matching funds for this project. The municipality is committed to providing one third (1/3), up to \$186,140, of the \$558,419 in matching funds towards the anticipated \$1,861,398 in total project costs. Collateral for the municipal match is the Township's taxing authority.

Thank you for your consideration of Radnor's MTF request. Should you have any questions about the project or the municipality's committed match funding, please contact me at (610) 688-5600 or [rzienkowski@radnor.org](mailto:rzienkowski@radnor.org).

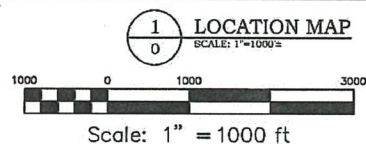
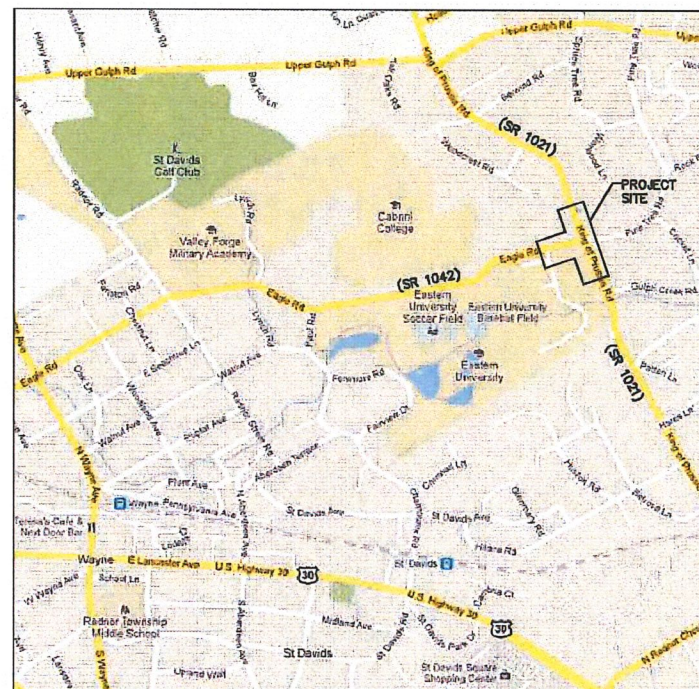
Sincerely,

Robert A. Zienkowski  
Township Manager and Secretary



# INTERSECTION IMPROVEMENTS FOR EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)

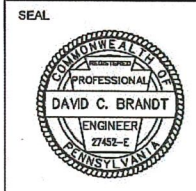
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY



CIVIL DRAWING SCHEDULE		DATE	ISSUE																
DRAWING NUMBER	DRAWING TITLE	11/19/11	05/17/12	06/26/12	03/11/13														
CS	COVER SHEET	•	•	•	•														
1	PENNDOT CONSTRUCTION PLAN	•	•	•	•														
2	EXISTING CONDITIONS & DEMOLITION PLAN	•	•	•	•														
3	EXISTING UTILITIES DEMOLITION PLAN	•	•	•	•														
4	SOIL EROSION CONTROL PLAN	•	•	•	•														
5	SITE DEVELOPMENT PLAN	•	•	•	•														
6	ENLARGED INTERSECTION SITE DEVELOPMENT PLAN	•	•	•	•														
7	SITE UTILITIES PLAN	•	•	•	•														
8	ENLARGED INTERSECTION SITE UTILITIES PLAN	•	•	•	•														
9	PAVEMENT MARKING AND SIGNAGE PLAN	•	•	•	•														
10	TYPICAL TRAFFIC CONTROL PLANS AND DETAILS	•	•	•	•														
11	PENNDOT SITE DETAILS	•	•	•	•														
12	PENNDOT STORM SEWER DETAILS	•	•	•	•														
13	STORM SEWER PROFILES AND SITE UTILITY DETAILS	•	•	•	•														
14	SOIL EROSION CONTROL DETAILS AND NOTES	•	•	•	•														
15	REQUIRED RIGHT-OF-WAY PLAN	•	•	•	•														
16	SPREAD OF FLOW DRAINAGE AREAS PLAN	•	•	•	•														
17	TRUCK TURNING MANEUVERS PLAN	•	•	•	•														
18	TRUCK TURNING MANEUVERS PLAN	•	•	•	•														
19	FIRE TRUCK TURNING MANEUVERS PLAN	•	•	•	•														

**aec**  
Associated Engineering Consultants Incorporated  
488 Devon Park Drive, Suite 113, Wayne, Pennsylvania 19087, Tel: 610-688-3800, Fax: 610-688-4000  
www.aecgroup.com

Civil | Structural | HVAC | Plumbing | Electrical | Fire Protection



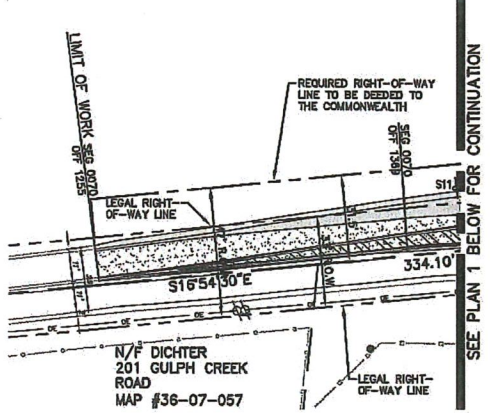
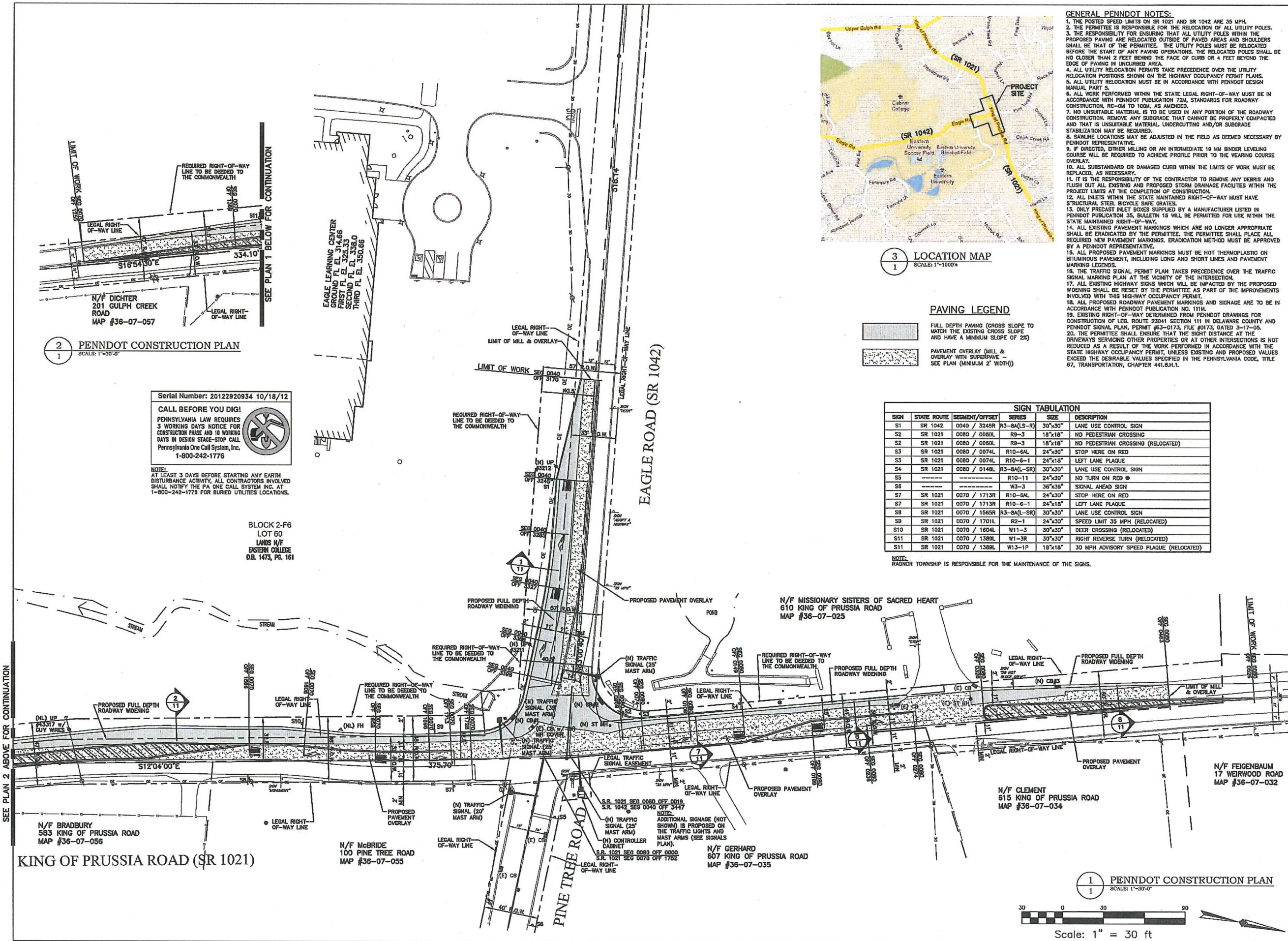
PROJECT  
**INTERSECTION IMPROVEMENTS**  
EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
11/19/11	H.O.P. SUBMISSION
05/17/12	H.O.P. RESUBMISSION
06/26/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE  
**COVER SHEET**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.  
**CS**  
SHEET NO. 1 OF 20  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

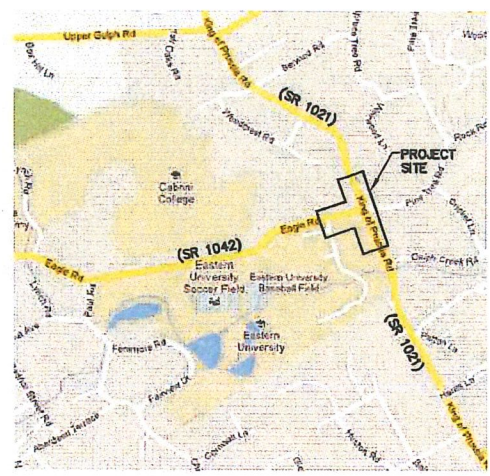


2 PENNDOT CONSTRUCTION PLAN  
SCALE: 1"=30'-0"

Serial Number: 2012292934 10/18/12  
**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

NOTE:  
 AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

BLOCK 2-F6  
 LOT 60  
 LANDS N/F  
 EASTERN COLLEGE  
 D.B. 1473, PG. 161



3 LOCATION MAP  
SCALE: 1"=1000'

PAVING LEGEND

- FULL DEPTH PAVING (CROSS SLOPE TO MATCH THE EXISTING CROSS SLOPE AND HAVE A MINIMUM SLOPE OF 2%)
- PAVEMENT OVERLAY (MILL & OVERLAY WITH SUPERPAVE - SEE PLAN (MINIMUM 2' WIDTH))

SIGN TABULATION						
SIGN	STATE ROUTE	SEGMENT/OFFSET	SERIES	SIZE	DESCRIPTION	
S1	SR 1042	0040 / 3245R	R3-BA(L-S-R)	30"x30"	LANE USE CONTROL SIGN	
S2	SR 1021	0080 / 0080L	R9-3	18"x18"	NO PEDESTRIAN CROSSING	
S3	SR 1021	0080 / 0080L	R9-3	18"x18"	NO PEDESTRIAN CROSSING (RELOCATED)	
S4	SR 1021	0080 / 0074L	R10-6AL	24"x30"	STOP HERE ON RED	
S5	SR 1021	0080 / 0074L	R10-6-1	24"x18"	LEFT LANE PLAQUE	
S6	SR 1021	0080 / 0148L	R3-BA(L-SR)	30"x30"	LANE USE CONTROL SIGN	
S7	SR 1021	0070 / 1713R	R10-6AL	24"x30"	STOP HERE ON RED	
S8	SR 1021	0070 / 1713R	R10-6-1	24"x18"	LEFT LANE PLAQUE	
S9	SR 1021	0070 / 1565R	R3-BA(L-SR)	30"x30"	LANE USE CONTROL SIGN	
S10	SR 1021	0070 / 1701L	R2-1	24"x30"	SPEED LIMIT 35 MPH (RELOCATED)	
S11	SR 1021	0070 / 1604L	W11-3	30"x30"	DEER CROSSING (RELOCATED)	
S12	SR 1021	0070 / 1389L	W1-3R	30"x30"	RIGHT REVERSE TURN (RELOCATED)	
S13	SR 1021	0070 / 1389L	W13-1P	18"x18"	30 MPH ADVISORY SPEED PLAQUE (RELOCATED)	

NOTE: RADNOR TOWNSHIP IS RESPONSIBLE FOR THE MAINTENANCE OF THE SIGNS.

- GENERAL PENNDOT NOTES:**
1. THE POSTED SPEED LIMITS ON SR 1021 AND SR 1042 ARE 35 MPH.
  2. THE PERMITTEE IS RESPONSIBLE FOR THE RELOCATION OF ALL UTILITY POLES.
  3. THE RESPONSIBILITY FOR ENSURING THAT ALL UTILITY POLES WITHIN THE PROPOSED PAVING ARE RELOCATED OUTSIDE OF PAVED AREAS AND SHOULDERS SHALL BE THAT OF THE PERMITTEE. THE UTILITY POLES MUST BE RELOCATED BEFORE THE START OF ANY PAVING OPERATIONS. THE RELOCATED POLES SHALL BE NO CLOSER THAN 2 FEET BEHIND THE FACE OF CURB OR 4 FEET BEYOND THE EDGE OF PAVING IN UNCURBED AREA.
  4. ALL UTILITY RELOCATION PERMITS TAKE PRECEDENCE OVER THE UTILITY RELOCATION POSITIONS SHOWN ON THE HIGHWAY OCCUPANCY PERMIT PLANS.
  5. ALL UTILITY RELOCATION MUST BE IN ACCORDANCE WITH PENNDOT DESIGN MANUAL PART 5.
  6. ALL WORK PERFORMED WITHIN THE STATE LEGAL RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, RC-04 TO 100M, AS AMENDED.
  7. NO UNSUITABLE MATERIAL IS TO BE USED IN ANY PORTION OF THE ROADWAY CONSTRUCTION. REMOVE ANY SUBGRADE THAT CANNOT BE PROPERLY COMPACTED AND THAT IS UNSUITABLE MATERIAL UNDERCUTTING AND/OR SUBGRADE STABILIZATION MAY BE REQUIRED.
  8. SANITARY LOCATIONS MAY BE ADJUSTED IN THE FIELD AS DEEMED NECESSARY BY PENNDOT REPRESENTATIVE.
  9. IF DIRECTED, EITHER MILLING OR AN INTERMEDIATE 19 MM BINDER LEVELING COURSE WILL BE REQUIRED TO ACHIEVE PROFILE PRIOR TO THE WEARING COURSE OVERLAY.
  10. ALL SUBSTANDARD OR DAMAGED CURB WITHIN THE LIMITS OF WORK MUST BE REPLACED, AS NECESSARY.
  11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH CUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
  12. ALL INLETS WITHIN THE STATE MAINTAINED RIGHT-OF-WAY MUST HAVE STRUCTURAL STEEL BICYCLE SAFE GRATES.
  13. ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PENNDOT PUBLICATION 35, BULLETIN 15 WILL BE PERMITTED FOR USE WITHIN THE STATE MAINTAINED RIGHT-OF-WAY.
  14. ALL EXISTING PAVEMENT MARKINGS WHICH ARE NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITTEE. THE PERMITTEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS. ERADICATION METHOD MUST BE APPROVED BY A PENNDOT REPRESENTATIVE.
  15. ALL PROPOSED PAVEMENT MARKINGS MUST BE HOT THERMOPLASTIC ON BITUMINOUS PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS.
  16. THE TRAFFIC SIGNAL PERMIT PLAN TAKES PRECEDENCE OVER THE TRAFFIC SIGNAL MARKING PLAN AT THE VICINITY OF THE INTERSECTION.
  17. ALL EXISTING HIGHWAY SIGNS WHICH WILL BE IMPACTED BY THE PROPOSED WORKING SHALL BE RESET BY THE PERMITTEE AS PART OF THE IMPROVEMENTS INVOLVED WITH THIS HIGHWAY OCCUPANCY PERMIT.
  18. ALL PROPOSED ROADWAY PAVEMENT MARKINGS AND SIGNAGE ARE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION NO. 111M.
  19. EXISTING RIGHT-OF-WAY DETERMINED FROM PENNDOT DRAWINGS FOR CONSTRUCTION OF LEG. ROUTE 23041 SECTION 111 IN DELAWARE COUNTY AND PENNDOT SIGNAL PLAN, PERMIT #03-0173, FILE #0173, DATED 3-17-05.
  20. THE PERMITTEE SHALL ENSURE THAT THE SIGHT DISTANCE AT THE DRIVEWAYS SERVING OTHER PROPERTIES OR AT OTHER INTERSECTIONS IS NOT REDUCED AS A RESULT OF THE WORK PERFORMED IN ACCORDANCE WITH THE STATE HIGHWAY OCCUPANCY PERMIT, UNLESS EXISTING AND PROPOSED VALUES EXCEED THE DESIRABLE VALUES SPECIFIED IN THE PENNSYLVANIA CODE, TITLE 67, TRANSPORTATION, CHAPTER 441.8.H.1.

SEE PLAN 2 ABOVE FOR CONTINUATION

Associated Engineering Consultants Incorporated  
 485 Down Park Drive, Suite 113, Wayne, Pennsylvania 19087, Tel: (610) 688-3800, Fax: (610) 688-4000  
 www.aecinc.com

DAVID C. BRANDT  
 ENGINEER  
 27452-E  
 PENNSYLVANIA

PROJECT  
**INTERSECTION IMPROVEMENTS**  
 EAGLE ROAD (S.R. 1042) AND  
 KING OF PRUSSIA ROAD (S.R. 1021)  
 SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

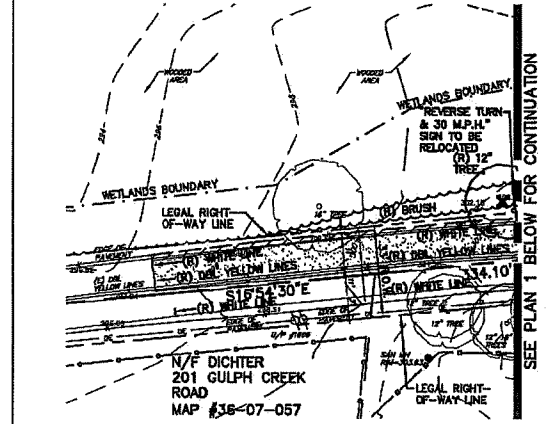
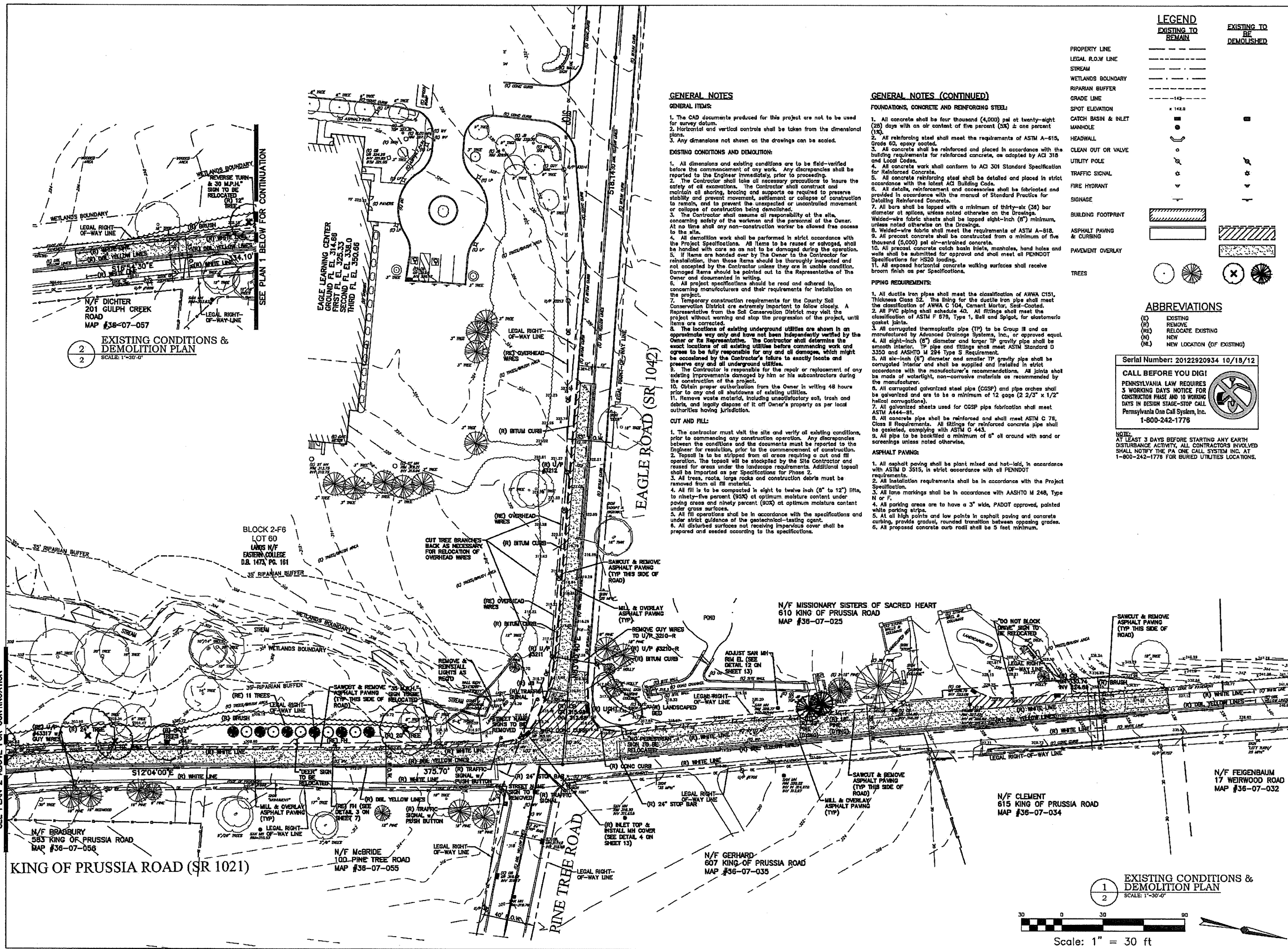
DATE	REVISION
11/18/11	H.O.P. SUBMISSION
05/17/12	H.O.P. RESUBMISSION
08/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE  
**PENNDOT CONSTRUCTION PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.  
**1**

SHEET NO. 2 OF 18  
 PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011



**EXISTING CONDITIONS & DEMOLITION PLAN**  
SCALE: 1"=30'-0"

SEE PLAN 2 ABOVE FOR CONTINUATION

SEE PLAN 1 BELOW FOR CONTINUATION

**GENERAL NOTES**

- GENERAL ITEMS:**
- The CAD documents produced for this project are not to be used for survey datum.
  - Horizontal and vertical controls shall be taken from the dimensioned plans.
  - Any dimensions not shown on the drawings can be scaled.

**EXISTING CONDITIONS AND DEMOLITION:**

- All dimensions and existing conditions are to be field-verified before the commencement of any work. Any discrepancies shall be reported to the Engineer immediately, prior to proceeding.
- The Contractor shall take all necessary precautions to insure the safety of all excavations. The Contractor shall construct and maintain all shoring, bracing and supports as required to preserve stability and prevent movement, settlement or collapse of construction to remain, and to prevent the unexpected or uncontrolled movement or collapse of construction being demolished.
- The Contractor shall assume all responsibility of the site, concerning safety of the workmen and the personnel of the Owner. At no time shall any non-construction worker be allowed free access to the site.
- All demolition work shall be performed in strict accordance with the Project Specifications. All items to be reused or salvaged, shall be handled with care so as not to be damaged during the operation.
- If items are handed over by The Owner to the Contractor for reinstallation, then those items should be thoroughly inspected and not accepted by the Contractor unless they are in usable condition. Damaged items should be pointed out to the Representative of The Owner and documented in writing.
- All project specifications should be read and adhered to, concerning manufacturers and their requirements for installation on the project.
- Temporary construction requirements for the County Soil Conservation District are extremely important to follow closely. A Representative from the Soil Conservation District may visit the project without warning and stop the progression of the project, until items are corrected.
- The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its Representative. The Contractor shall determine the exact locations of all existing utilities before commencing work and agree to be fully responsible for any and all damages, which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
- The Contractor is responsible for the repair or replacement of any existing improvements damaged by him or his subcontractors during the construction of the project.
- Obtain proper authorization from the Owner in writing 48 hours prior to any and all shutdowns of existing utilities.
- Remove waste material, including unsatisfactory soil, trash and debris, and legally dispose of it off Owner's property as per local authorities having jurisdiction.

**CUT AND FILL:**

- The contractor must visit the site and verify all existing conditions, prior to commencing any construction operation. Any discrepancies between the conditions and the documents must be reported to the Engineer for resolution, prior to the commencement of construction.
- Topsoil is to be stripped from all areas requiring a cut and fill operation. The topsoil will be stockpiled by the Site Contractor and reused for areas under the landscape requirements. Additional topsoil shall be imported as per Specifications for Phase 2.
- All trees, roots, large rocks and construction debris must be removed from all fill material.
- All fill is to be compacted in eight to twelve inch (8" to 12") lifts, to ninety-five percent (95%) of optimum moisture content under paving grass and ninety percent (90%) of optimum moisture content under grass surfaces.
- All fill operations shall be in accordance with the specifications and under strict guidance of the geotechnical-testing agent.
- All disturbed surfaces not receiving impervious cover shall be prepared and seeded according to the specifications.

**GENERAL NOTES (CONTINUED)**

**FOUNDATIONS, CONCRETE AND REINFORCING STEEL**

- All concrete shall be four thousand (4,000) psi at twenty-eight (28) days with an air content of five percent (5%) ± one percent (1%).
- All reinforcing steel shall meet the requirements of ASTM A-615, Grade 60, epoxy coated.
- All concrete shall be reinforced and placed in accordance with the building requirements for reinforced concrete, as adopted by ACI 318 and Local Codes.
- All concrete work shall conform to ACI 301 Standard Specification for Reinforced Concrete.
- All concrete reinforcing steel shall be detailed and placed in strict accordance with the latest ACI Building Code.
- All details, reinforcement and accessories shall be fabricated and provided in accordance with the manual of Standard Practices for Detailed Reinforced Concrete.
- All bars shall be lapped with a minimum of thirty-six (36) bar diameter at splices, unless noted otherwise on the Drawings.
- Welded-wire fabric shall meet the requirements of ASTM A-618, unless noted otherwise on the Drawings.
- All precast concrete shall be constructed from a minimum of five thousand (5,000) psi air-entrained concrete.
- All precast concrete catch basin inlets, manholes, hand holes and wells shall be submitted for approval and shall meet all PENNDOT Specifications for HS20 loading.
- All exposed horizontal concrete walking surfaces shall receive broom finish as per Specifications.

**PIPING REQUIREMENTS:**

- All ductile iron pipes shall meet the classification of AWWA C151, Thickness Class 52. The lining for the ductile iron pipe shall meet the classification of AWWA C 104, Cement Mortar, Sand-Coated.
- All PVC piping shall schedule 40. All fittings shall meet the classification of ASTM F 879, Type 1, Bell and Spigot, for elastomeric gasket joints.
- All corrugated thermoplastic pipe (TP) to be Group III and as manufactured by Advanced Drainage Systems, Inc., or approved equal.
- All eight-inch (8") diameter and larger TP gravity pipe shall be smooth interior. TP pipe and fittings shall meet ASTM Standard D 3350 and AASHTO M 294 Type S Requirement.
- All six-inch (6") diameter and smaller TP gravity pipe shall be corrugated interior and shall be supplied and installed in strict accordance with the manufacturer's recommendations. All joints shall be made of watertight, non-corrosive materials as recommended by the manufacturer.
- All corrugated galvanized steel pipe (CGSP) and pipe arches shall be galvanized and are to be a minimum of 12 gage (2 2/3" x 1/2" helical corrugation).
- All galvanized sheets used for CGSP pipe fabrication shall meet ASTM A444-81.
- All concrete pipe shall be reinforced and shall meet ASTM C 75, Class II Requirements. All fittings for reinforced concrete pipe shall be gasketed, complying with ASTM C 443.
- All pipe to be backfilled a minimum of 6" of soil around with sand or screenings unless noted otherwise.

**ASPHALT PAVING:**

- All asphalt paving shall be plant mixed and hot-laid, in accordance with ASTM D 3515, in strict accordance with all PENNDOT requirements.
- All installation requirements shall be in accordance with the Project Specification.
- All lane markings shall be in accordance with AASHTO M 248, Type II or F.
- All parking areas are to have a 3" wide, PADOT approved, painted white parking strips.
- All all high points and low points in asphalt paving and concrete curbs, provide gradual, rounded transition between opposing grades.
- All proposed concrete curb road shall be 5 feet minimum.

**LEGEND**

EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
PROPERTY LINE	---
LEGAL R.O.W LINE	---
STREAM	---
WETLANDS BOUNDARY	---
RIPARIAN BUFFER	---
GRADE LINE	---
SPOT ELEVATION	± 142.0
CATCH BASIN & INLET	□
MANHOLE	○
HEADWALL	▭
CLEAN OUT OR VALVE	○
UTILITY POLE	○
TRAFFIC SIGNAL	○
FIRE HYDRANT	○
SIGNAGE	○
BUILDING FOOTPRINT	▭
ASPHALT PAVING & CURBING	▭
PAVEMENT OVERLAY	▭
TREES	○

**ABBREVIATIONS**

(E)	EXISTING
(R)	REMOVE
(RS)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION (OF EXISTING)

Serial Number: 20122920934 10/18/12

**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PLANS AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

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Associated Engineering Consultants Incorporated  
485 Down Town Drive, Suite 113, Wayne Pennsylvania 18877 tel: 610 661 3800 fax: 610 661 0404  
www.aecinc.com

DAVID C. BRANDT  
REGISTERED PROFESSIONAL ENGINEER  
27452-E  
WAYNE COUNTY, PA

**INTERSECTION IMPROVEMENTS**  
EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

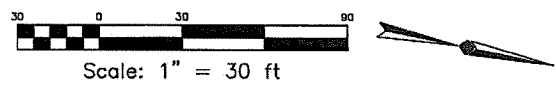
DATE	REVISION
11/19/11	H.O.P. SUBMISSION
05/17/12	H.O.P. RESUBMISSION
08/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE: **EXISTING CONDITIONS & DEMOLITION PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO. **2**

SHEET NO. 3 OF 18  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



Serial Number: 20122920934 10/18/12  
**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE-STOP CALL  
 Pennsylvania One Call System, Inc.  
 1-800-242-1776

NOTE:  
 AT LEAST 3 DAYS BEFORE STARTING ANY EARTH  
 DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED  
 SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT  
 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.



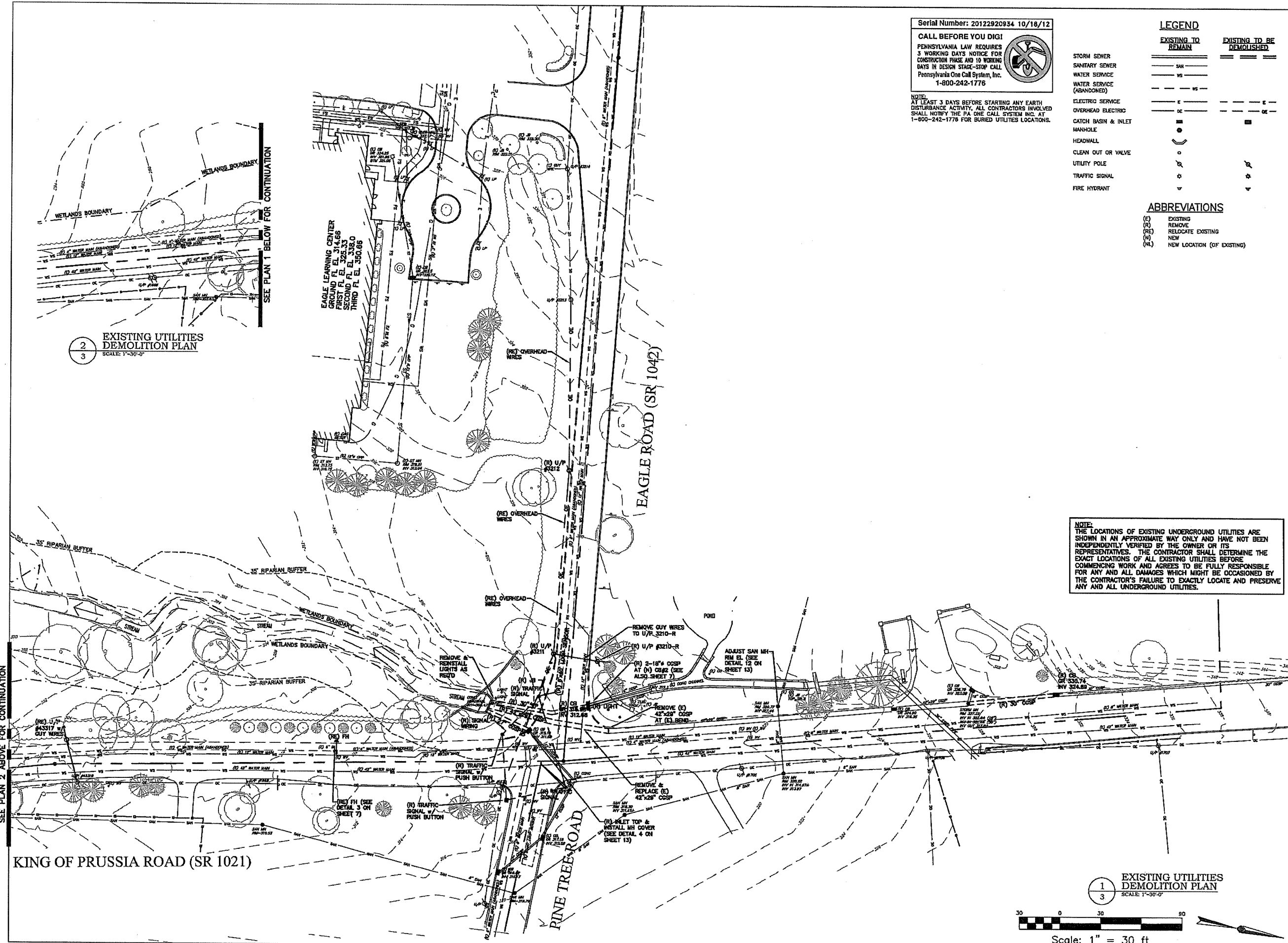
**LEGEND**

EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
STORM SEWER	---
SANITARY SEWER	---
WATER SERVICE	---
WATER SERVICE (ABANDONED)	---
ELECTRIC SERVICE	---
OVERHEAD ELECTRIC	---
CATCH BASIN & INLET MANHOLE	---
HEADWALL	---
CLEAN OUT OR VALVE	---
UTILITY POLE	---
TRAFFIC SIGNAL	---
FIRE HYDRANT	---

**ABBREVIATIONS**

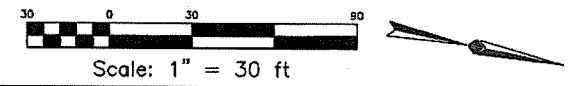
(E)	EXISTING
(R)	REMOVE
(RE)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION (OF EXISTING)

NOTE:  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



2  
 3  
**EXISTING UTILITIES DEMOLITION PLAN**  
 SCALE: 1"=30'-0"

1  
 3  
**EXISTING UTILITIES DEMOLITION PLAN**  
 SCALE: 1"=30'-0"



Associated Engineers, Inc. Consultants Incorporated  
 440 Down Park Drive Suite 113 Piquette Pennsylvania 19077 Tel: 610 688 2800 Fax: 610 688 4666  
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CH: Structural | HVAC | Plumbing | Electrical | Fire Protection

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SEAL

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PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
 SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

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SHEET TITLE

**EXISTING UTILITIES DEMOLITION PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM

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SHEET NO. **3**

SHEET NO. 4 OF 19

PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011

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**CONSTRUCTION SEQUENCE:**

**IN GENERAL:**

- A. All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.
- B. At least 7 days before starting any earth disturbance activities, the Contractor shall invite all subcontractors involved in those activities, the Owner, the Civil Engineer, and all appropriate municipal officials to an on-site pre-construction meeting.
- C. Township engineer shall be notified 48 hours prior to the start of earth disturbance activities.
- D. Figure numbers referenced herein refer to PennDOT's Maintenance and Protection of Traffic during construction in PennDOT Publication 213, "Work Zone Traffic Control Guidelines", as amended April 1, 2010, and Title 67 PA Code, Chapter 212, "Official Traffic Control Devices", dated February 4, 2009 or most current.
- E. Removal and replacement of the storm pipes shall be performed only when the weather forecast predicts at least 72 hours of rain-free weather.
- F. Any and all open excavations shall be plated at the end of each work day.

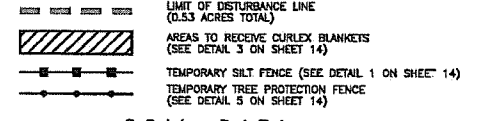
**SEQUENCE OF CONSTRUCTION:**

1. Utilizing Figure 10a along the south side of Eagle Road, the electric utility company shall install the new utility poles #3211 and #3212, relocate the overhead wires to the new poles and remove the old utility poles.
2. Utilizing Figure 10a along the west side of King of Prussia Road south of Eagle Road, the electric utility company shall install the new guy pole #A3317, relocate the overhead guy wires to the new pole and remove the old guy pole.
3. Utilizing Figure 10a along the west side of King of Prussia Road south of Eagle Road, the water utility company shall remove the existing fire hydrant, install the new water service to the relocated fire hydrant and install the relocated fire hydrant.
4. Install the silt fence adjacent to the existing headwall as shown on the "Soil Erosion Control Plan" Sheet 4.
5. Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 27" CGSP pipe from the existing curb inlet to the existing headwall. Install new CG#1, the new 27" CGSP pipe from the headwall to new CG#1, the new 21" CGSP pipe from new CG#1 to the existing curb inlet. Remove the inlet top and install manhole top. Backfill pipe trenches, patch pavement at copped inlet and install temporary inlet filter bag at new CG#1.
6. Install the temporary pump, intake pipe, pump discharge pipe and dam at the existing inlet on King of Prussia Road (see Plan for location).
7. Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 42"x29" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Install the new 42"x29" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Backfill the pipe trench and restore the pavement. Plate the opening at the ends of the existing and new pipes before the next step.
8. Utilizing Figure 10b along the north side of Eagle Road, excavate and remove the remainder of the existing 42"x29" CGSP pipe to the new ST MH location. Install new ST MH and the remainder of the new 42"x29" CGSP pipe. Backfill the pipe trench and restore the pavement.
9. Once ST MH and the new 42"x29" CGSP pipe are installed and backfilled, remove the temporary dam and pumping system at the existing inlet upslope of ST MH.
10. Install the temporary pump, intake pipe, pump discharge pipe and dam at the headwall below the existing concrete channel (see Plan for location).

**CONSTRUCTION SEQUENCE (CONTINUED):**

11. Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 30" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Install the new 27" RCP pipe from the existing headwall to the limit of the temporary traffic controls. Backfill the pipe trench and restore the pavement. Plate the opening at the ends of the existing and new pipes before the next step.
12. Utilizing Figure 10b along the north side of Eagle Road, excavate and remove the remainder of the existing 30" CGSP pipe, the existing inlet and the two 18" CGSP pipes at the new CG#2 location. Install new CG#2 and the remainder of the new 27" RCP pipe. Backfill the pipe trench and restore the pavement. Install temporary inlet filter bag at new CG#2.
13. Once CG#2 and the new 27" RCP pipe are installed and backfilled, remove the temporary dam and pumping system at the existing headwall.
14. Utilizing Figure 10b along the west side of King of Prussia Road north of Eagle Road, remove the existing curbing at the northwest corner of the intersection. Install the new pavement base drain to CG#2 and the new concrete curbing. Construct the full depth roadway widening. Regrade and seed between the roadway and the concrete channel. Adjust the sanitary manhole top as noted. Install curb blankets where shown at slopes steeper than 3:1.
15. Utilizing Figure 10a along the west side of King of Prussia Road south of Eagle Road, install the temporary silt fence, staggered up the slope as indicated on the Plan. Remove and relocate the existing trees along the roadway as indicated on Sheets 1 and 5. Relocate the existing signs as indicated. Remove the traffic signal and existing curbing south of new CG#1. Provide temporary traffic signal. Install the new concrete curbing south of new CG#1. Install the new traffic signal south of CG#1. Construct the full depth roadway widening. Regrade and seed the disturbed areas beyond the roadway. Remove the temporary silt fence. Stabilize the areas that are disturbed due to the removal of the temporary control measures.
16. Utilizing Figure 10b along the south side of Eagle Road, relocate the existing signs as indicated. Remove the traffic signal and existing curbing west of new CG#1. Provide temporary traffic signal. Install the new pavement base drain to CG#1 and the new concrete curbing west of new CG#1. Construct the full depth roadway widening. Install the new traffic signal west of CG#1. Regrade and seed the disturbed areas beyond the roadway.
17. Utilizing Figure 10a along the east side of King of Prussia Road north of Eagle Road, remove the existing traffic signal. Install the new traffic signal and new controller cabinet.
18. Remove the existing traffic signal located at the southeast corner of the intersection and install the new traffic signal in the same corner.
19. Install the silt fence north of the Coburn College entrance driveway and the temporary inlet filter in existing inlet at the driveway (see Plan for location).
20. Install the temporary pump, intake pipe, pump discharge pipe and dam at the existing inlet and manhole on King of Prussia Road (see Plan for location).
21. Utilizing Figure 10a along the west side of King of Prussia Road, remove the existing inlet and 30" CGSP pipe. Install new CG#3 and new 30" CGSP pipe. Backfill the pipe trench and restore the pavement.
22. Construct the full depth roadway widening in this area. Regrade and seed the disturbed areas beyond the pavement. Install curb blankets where shown at slopes steeper than 3:1.
23. Remove the temporary pump, pump pipes and dams.
24. Utilizing Figure 10a, mill and overlay the existing roadway areas where shown on Sheet 1. Install signs and pavement lane markings as indicated on Sheet 5.
25. Once the site area is stabilized to 70% uniform coverage of permanent vegetation, remove the remaining temporary control measures throughout the site. Stabilize all areas that are disturbed due to the removal of the temporary control measures.

**TEMP. CONSTRUCTION LEGEND**



**SOIL DATA**

G6C	GLSHELD CHANNERY SILT LOAM WELL-DRAINED, 8 TO 15% SLOPES DEPTH TO BEDROCK: VERY DEEP DEPTH TO HIGH WATER TABLE: 5'- PERMEABILITY: MODERATE HYDROLOGIC SOIL GROUP: 'B'
G6B2	GLENNVILLE SILT LOAM SOMEWHAT POORLY DRAINED, MODERATELY ERODED, 3 TO 8% SLOPES DEPTH TO BEDROCK: VERY DEEP DEPTH TO HIGH WATER TABLE: 0.5'-3' PERMEABILITY: SLOW HYDROLOGIC SOIL GROUP: 'C'
W6	WENHAKEE SILT LOAM POORLY DRAINED, 0 TO 3% SLOPES DEPTH TO BEDROCK: VERY DEEP DEPTH TO HIGH WATER TABLE: 0-0.5' PERMEABILITY: MODERATE HYDROLOGIC SOIL GROUP: 'D'

**EROSION AND SEDIMENT CONTROL GENERAL NOTES:**

1. Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. Stockpile spoil mounds shall be stabilized by applying temporary seed and a perimeter silt fence shall be installed as shown on the plan. Temporary seeding shall be per PENNDOT form 408, Section B04(E).
2. The operator shall ensure that the approved erosion and sediment control plan is properly and completely implemented.
3. Until the site achieves final stabilization, the operator shall ensure that the best management practices are implemented, operated and maintained properly and completely. Inspections shall include inspections of all best management practice facilities. The operator shall maintain and make available complete, written inspection logs of all these inspections. All maintenance work, including cleaning, repair, replacement, regrading and stabilization shall be performed immediately.
4. Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
5. Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the local Conservation District.
6. The operator shall ensure that an erosion and sediment control plan has been prepared, approved by the local Conservation District and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their location.
7. All pumping of sediment-laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
8. The operator is advised to become thoroughly familiar with the provisions of the Appendix B4, Erosion Control Rules and Regulations, Title 25, Part I, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
9. A copy of the approved erosion and sediment control plan must be available at the project site at all times.
10. The E&S control plan mapping must display a PA ONE CALL SYSTEM INCORPORATED symbol including the site identification number.
11. Erosion and sediment BMP's must be constructed, stabilized and functional before site disturbance begins within the tributary areas of these BMP's.
12. After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
13. At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sedimentation control plan preparator, and a representative of the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, incorporated at 1-800-242-1776 for buried utilities locations.

**EROSION AND SEDIMENT CONTROL GENERAL NOTES (CONTINUED):**

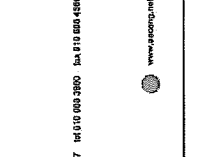
14. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
15. Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-planting periods, mulch must be applied at the specified rates. Disturbed areas which are not of finished grade and which will be restabilized within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
16. An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
17. Sediment must be removed from storm water inlet protection after each runoff event.
18. TEMPORARY STABILIZATION & PERMANENT STABILIZATION:  
18. Hay or straw mulch must be applied at 3.0 tons per acre.  
19. Provide "Curlex Blankets" as manufactured by American Excelsior Co. or approved equal, on all slopes 3:1 and steeper.  
20. Straw mulch shall be applied in long strands, not chopped or finely broken.  
21. Until the site is stabilized, all erosion and sediment control BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseed, re-mulching and renetting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.  
22. Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.  
23. The operator shall remove from the site, recycle or dispose of all building materials and waste in accordance with PADEP's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq. and 287.1 et seq. The contractor shall not illegally bury, dump or discharge any building material or waste at the site.

Serial Number: 20122920934 10/18/12

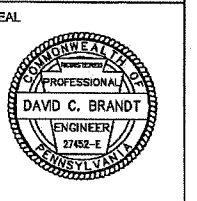
**CALL BEFORE YOU DIG!**  
PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

**NOTE:**  
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**WATERSHED NOTE:**  
THE PROJECT IS LOCATED IN THE GULPH CREEK WATERSHED, WHICH HAS A CHAPTER 83 RECEIVING WATER CLASSIFICATION OF WWF.



Associated Engineering Consultants Incorporated  
408 Down Park Lane, Suite 113, Wyalapa, Pennsylvania 19387  
Tel: 610-980-3800 Fax: 610-980-4888  
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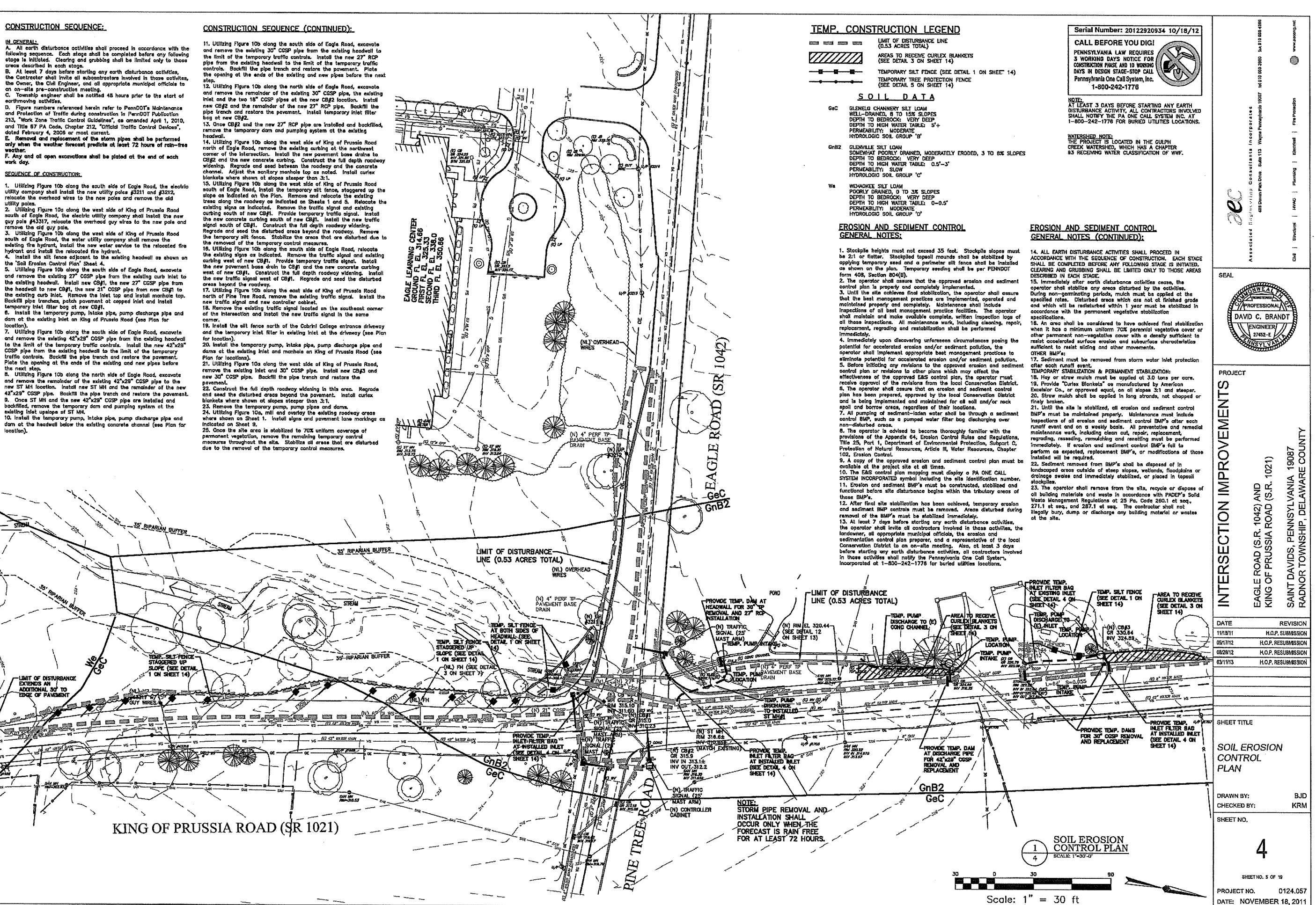
PROJECT  
**INTERSECTION IMPROVEMENTS**  
EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
11/19/11	H.O.P. SUBMISSION
05/11/12	H.O.P. RESUBMISSION
08/21/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE  
**SOIL EROSION CONTROL PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM  
SHEET NO.

4  
SHEET NO. 5 OF 19  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



Serial Number: 20122920934 10/18/12

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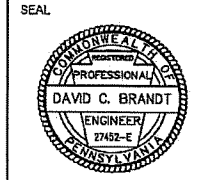
LEGEND	
EXISTING TO REMAIN	PROPOSED
PROPERTY LINE	---
LEGAL R.O.W LINE	---
STREAM	---
WETLANDS BOUNDARY	---
RIPARIAN BUFFER	---
GRADE LINE	---
SPOT ELEVATION	x 142.0
CATCH BASIN & INLET	■
MANHOLE	○
HEADWALL	U
CLEAN OUT OR VALVE	o
UTILITY POLE	+
TRAFFIC SIGNAL	☆
FIRE HYDRANT	+
SIGNAGE	+
BUILDING FOOTPRINT	▨
FULL DEPTH PAVING & CONCRETE CURB	▨
PAVEMENT OVERLAY	▨
TREES	○

ABBREVIATIONS

- (E) EXISTING
- (R) REMOVE
- (RE) RELOCATE EXISTING
- (N) NEW
- (NL) NEW LOCATION (OF EXISTING)

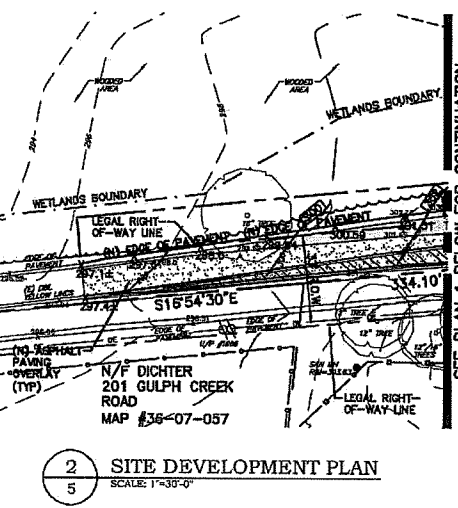
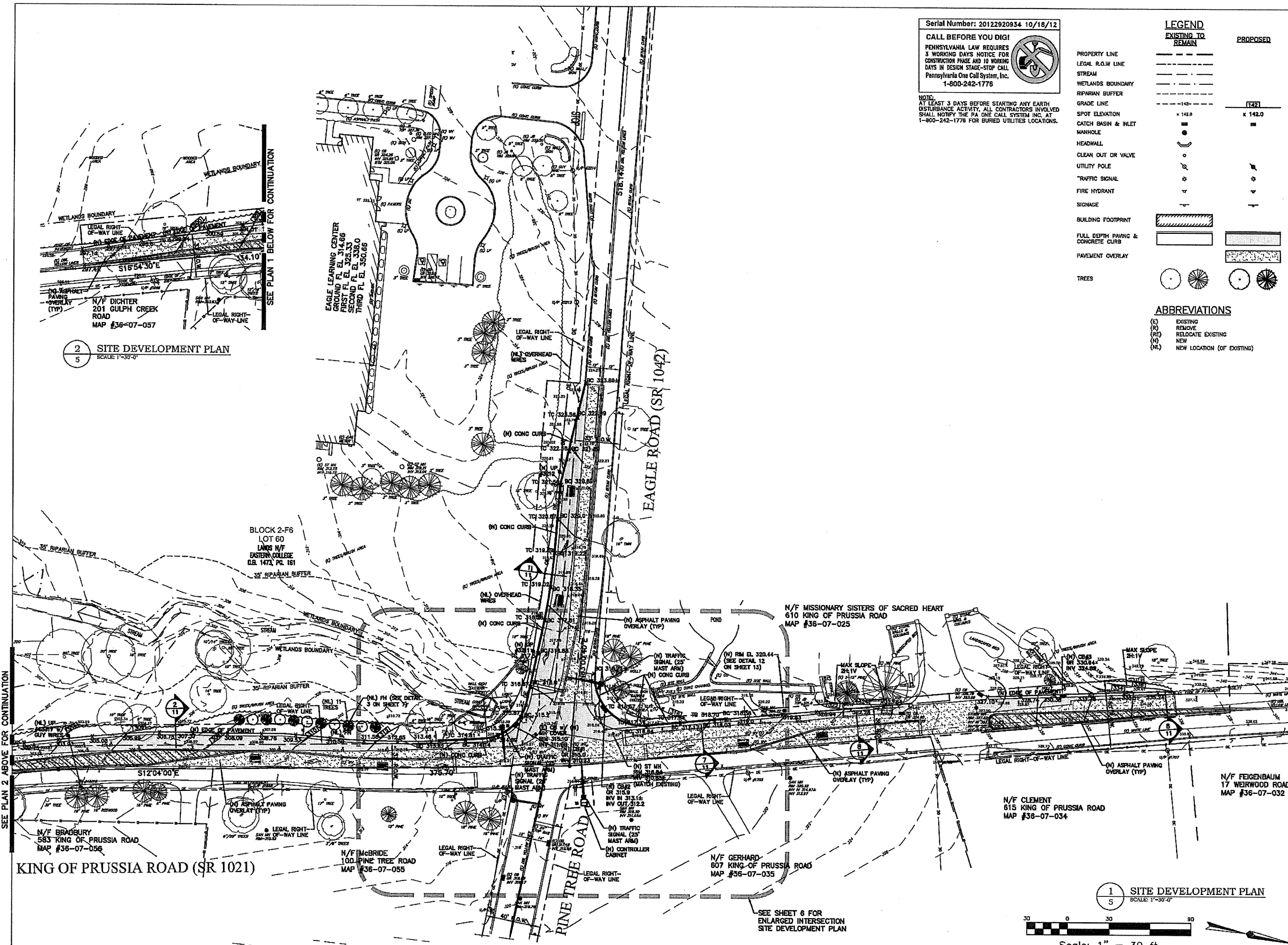
ec  
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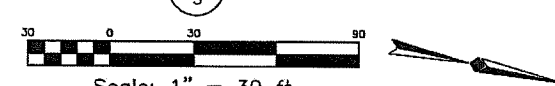
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09/28/12	H.O.P. RESUBMISSION
09/11/13	H.O.P. RESUBMISSION

SHEET TITLE	
SITE DEVELOPMENT PLAN	
DRAWN BY:	BJD
CHECKED BY:	KRM
SHEET NO.	5
PROJECT NO. 0124.057	
DATE: NOVEMBER 18, 2011	

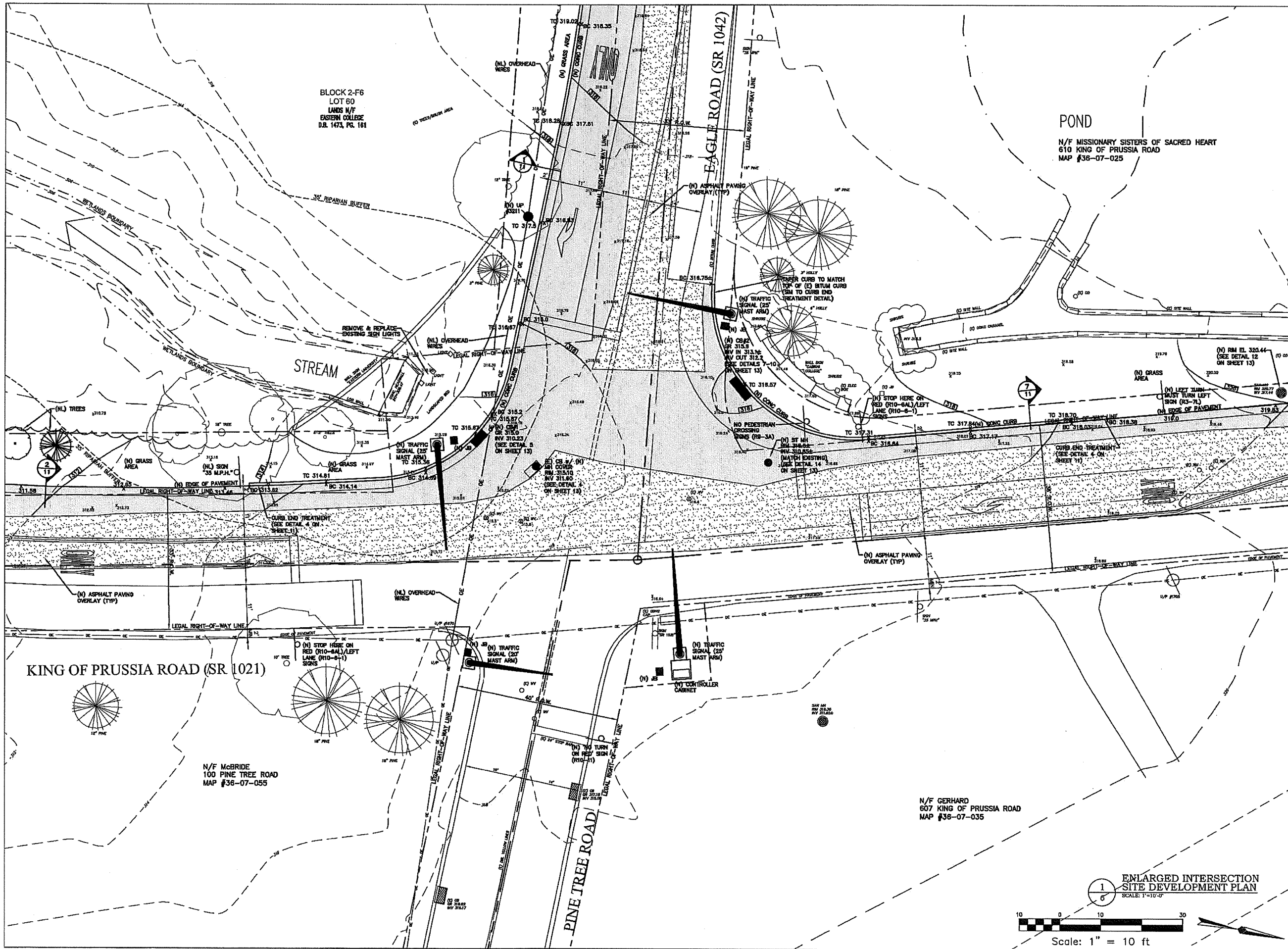


2 SITE DEVELOPMENT PLAN  
SCALE: 1"=30'-0"

1 SITE DEVELOPMENT PLAN  
SCALE: 1"=30'-0"



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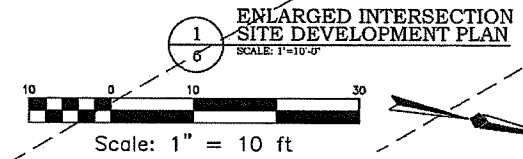
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SHEET TITLE  
**ENLARGED INTERSECTION SITE DEVELOPMENT PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.  
**6**  
 SHEET NO. 7 OF 19  
 PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011



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Serial Number: 20122920934 10/18/12

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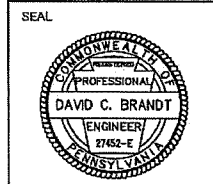
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MANHOLE	■
HEADWALL	⌋
CLEAN OUT OR VALVE	○
UTILITY POLE	⊕
TRAFFIC SIGNAL	⊕
FIRE HYDRANT	⊕

**ABBREVIATIONS**

(E)	EXISTING
(R)	REMOVE
(RE)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION (OF EXISTING)

Professional Engineer  
 DAVID C. BRANDT  
 ENGINEER  
 27452-E  
 PENNSYLVANIA



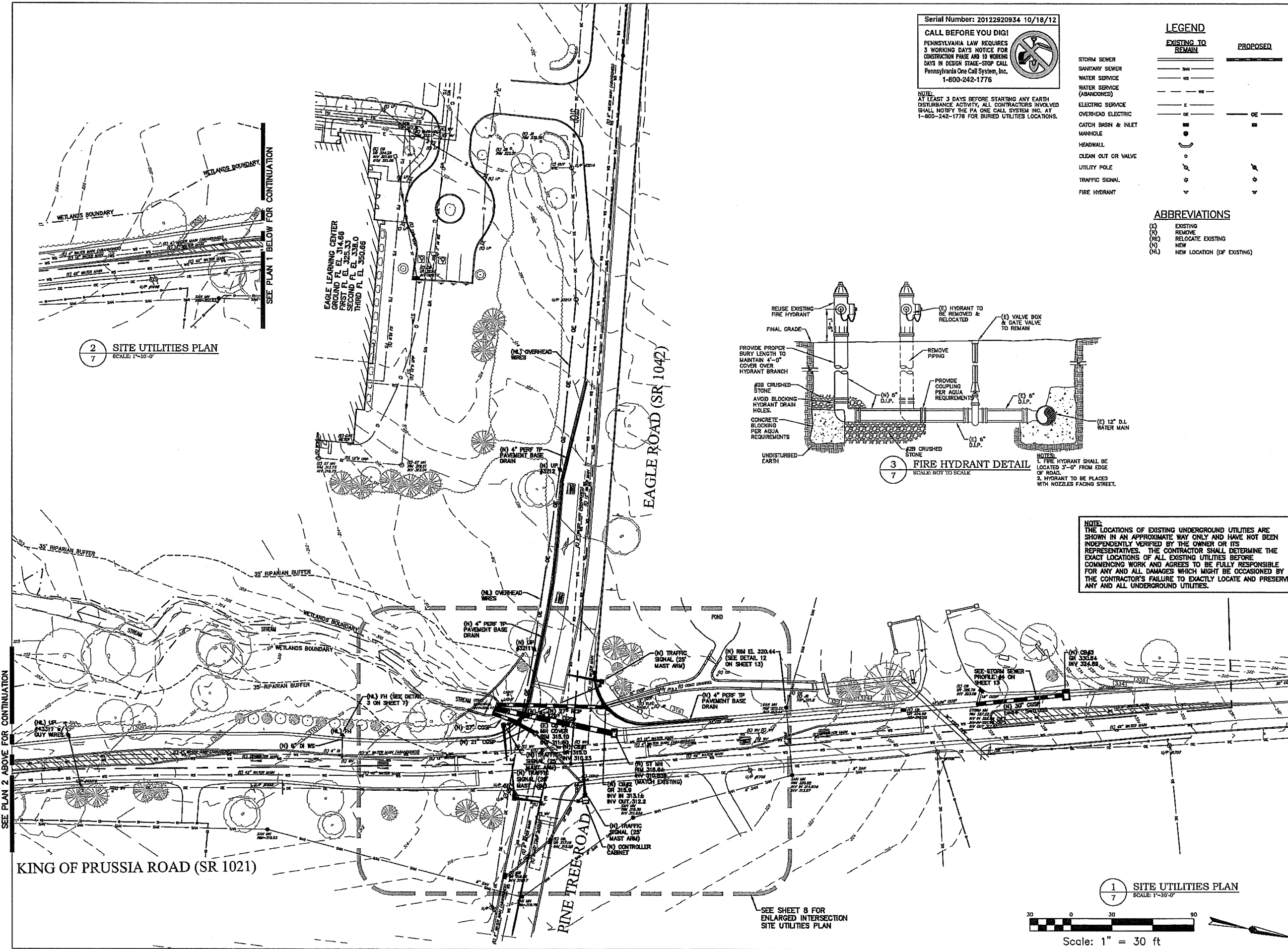
PROJECT

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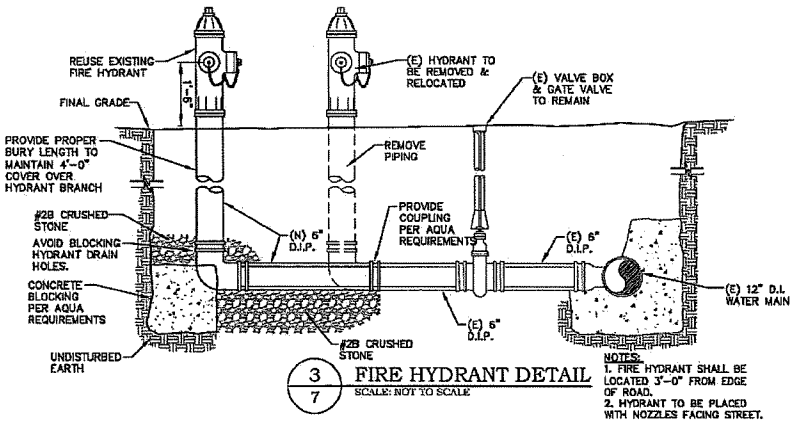
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SHEET TITLE  
**SITE UTILITIES PLAN**  
 DRAWN BY: BJD  
 CHECKED BY: KRM  
 SHEET NO.

**7**  
 SHEET NO. 8 OF 18  
 PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011

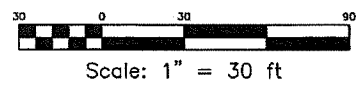


**2 SITE UTILITIES PLAN**  
 SCALE: 1"=30'-0"



NOTE: THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

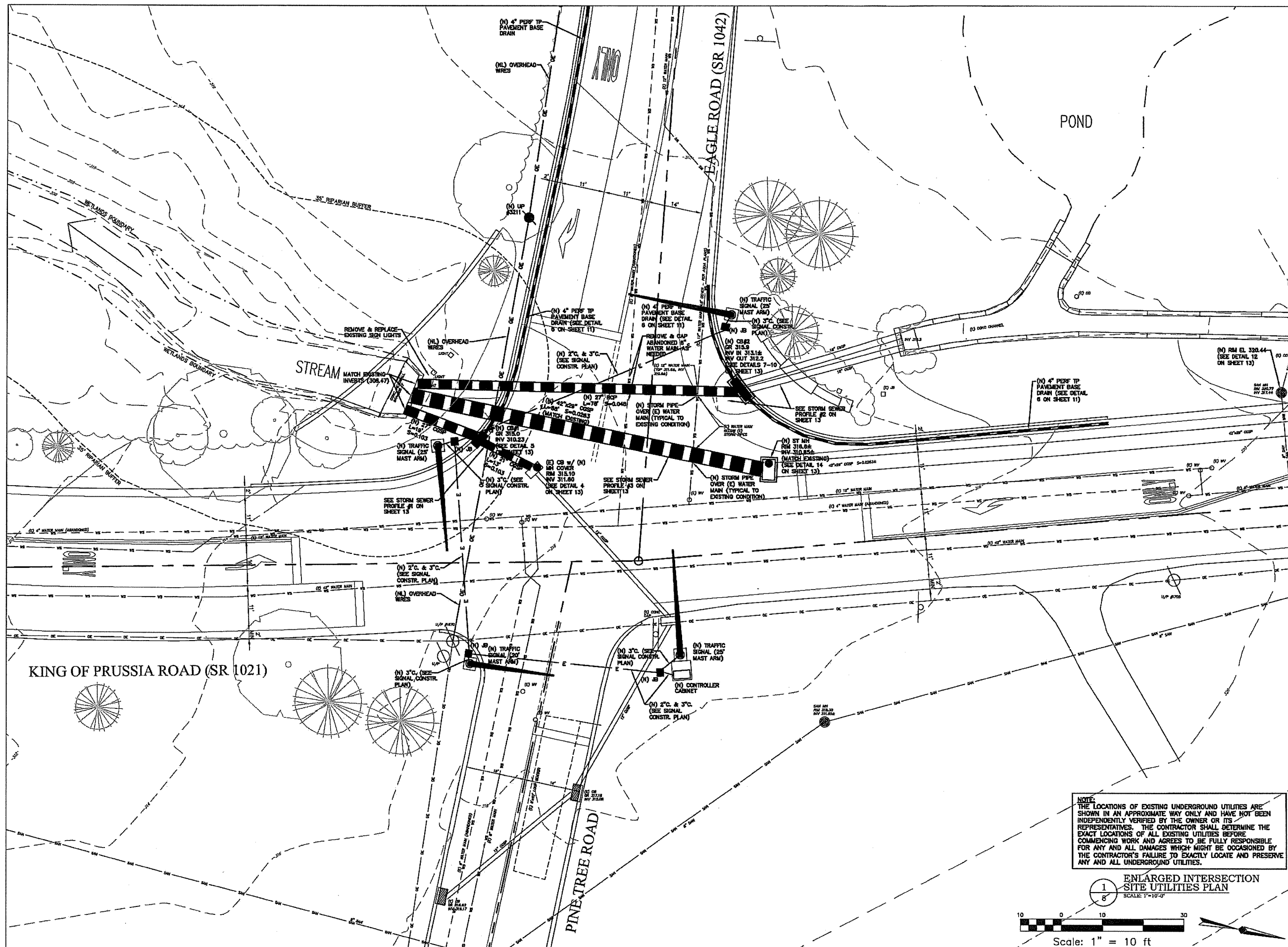
**1 SITE UTILITIES PLAN**  
 SCALE: 1"=30'-0"



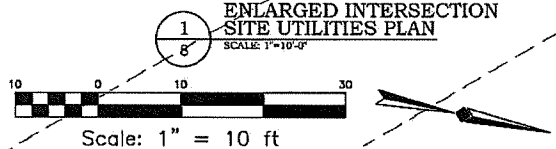
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E:\AEC\Projects\1124\1124.dwg 1:1000 11/18/11 11:51:11 AM



**NOTE:**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Associated Engineering Consultants Incorporated  
 485 Down Park Drive, Suite 113, Wyomissing, PA 19381  
 Tel: 610.668.6666

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**PROJECT**  
**INTERSECTION IMPROVEMENTS**  
 EAGLE ROAD (S.R. 1042) AND  
 KING OF PRUSSIA ROAD (S.R. 1021)  
 SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

---

DATE	REVISION
11/18/11	H.O.P. SUBMISSION
03/17/12	H.O.P. RESUBMISSION
08/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

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**SHEET TITLE**  
 ENLARGED INTERSECTION SITE UTILITIES PLAN

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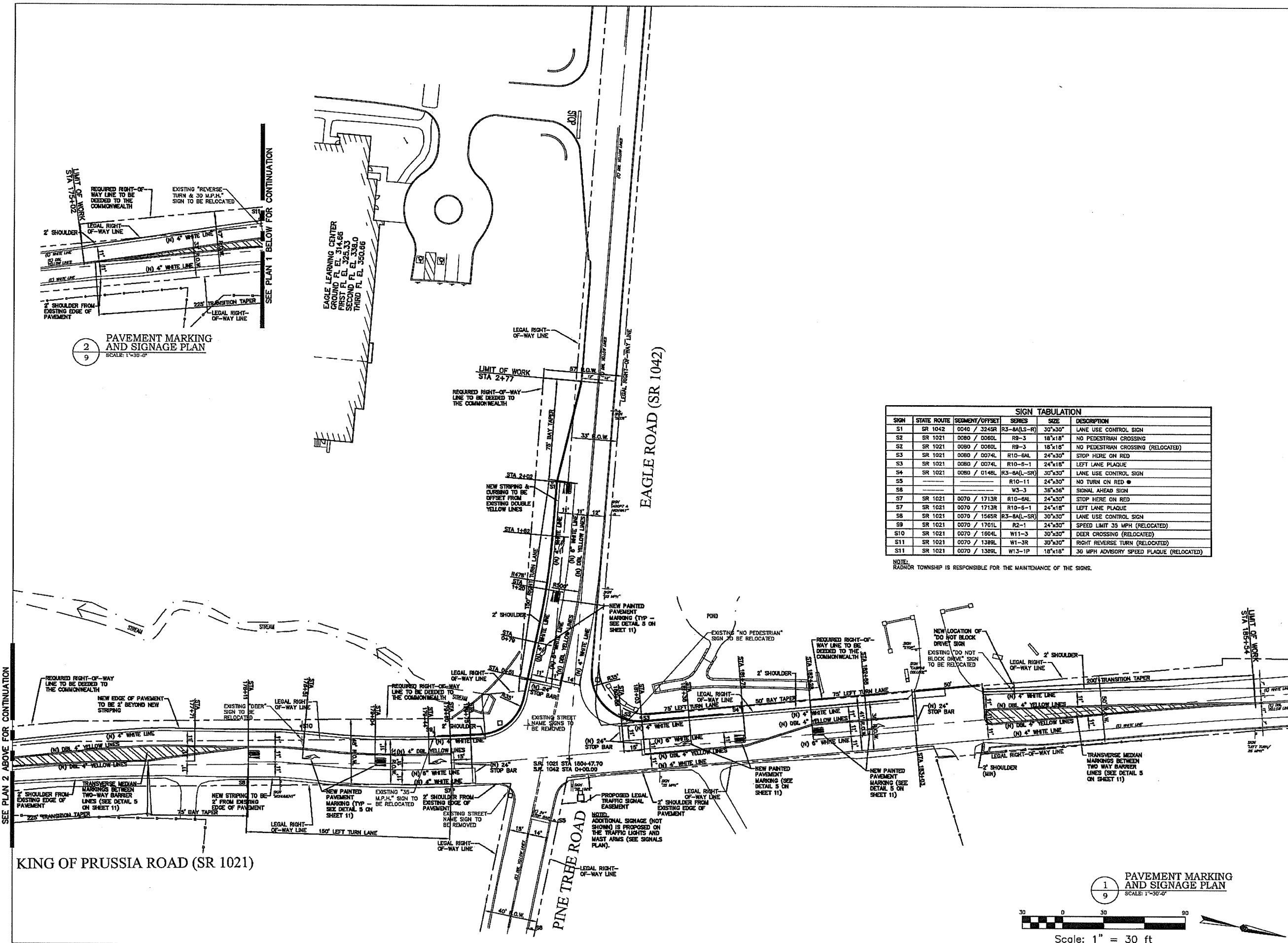
DRAWN BY: BJD  
 CHECKED BY: KRM

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SHEET NO. **8**

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SHEET NO. 9 OF 19  
 PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011



2  
9  
PAVEMENT MARKING AND SIGNAGE PLAN  
SCALE: 1"=30'-0"

SIGN TABULATION					
SIGN	STATE ROUTE	SEGMENT/OFFSET	SERIES	SIZE	DESCRIPTION
S1	SR 1042	0040 / 3245R	R3-8A(LS-R)	30"x30"	LANE USE CONTROL SIGN
S2	SR 1021	0080 / 0060L	R9-3	18"x18"	NO PEDESTRIAN CROSSING
S3	SR 1021	0080 / 0060L	R9-3	18"x18"	NO PEDESTRIAN CROSSING (RELOCATED)
S4	SR 1021	0080 / 0074L	R10-6-1	24"x30"	STOP HERE ON RED
S5	SR 1021	0080 / 0074L	R10-6-1	24"x18"	LEFT LANE PLAQUE
S6	SR 1021	0080 / 0148L	R3-8A(LS-R)	30"x30"	LANE USE CONTROL SIGN
S7	SR 1021	0070 / 1713R	R10-6-1	24"x30"	STOP HERE ON RED
S8	SR 1021	0070 / 1713R	R10-6-1	24"x18"	LEFT LANE PLAQUE
S9	SR 1021	0070 / 1565R	R3-8A(LS-R)	30"x30"	LANE USE CONTROL SIGN
S10	SR 1021	0070 / 1701L	R2-1	24"x30"	SPEED LIMIT 35 MPH (RELOCATED)
S11	SR 1021	0070 / 1804L	W11-3	30"x30"	DEER CROSSING (RELOCATED)
S12	SR 1021	0070 / 1389L	W1-3R	30"x30"	RIGHT REVERSE TURN (RELOCATED)
S13	SR 1021	0070 / 1389L	W13-1P	18"x18"	30 MPH ADVISORY SPEED PLAQUE (RELOCATED)

NOTE: RADNOR TOWNSHIP IS RESPONSIBLE FOR THE MAINTENANCE OF THE SIGNS.

SEE PLAN 2 ABOVE FOR CONTINUATION

SEE PLAN 1 BELOW FOR CONTINUATION

PROJECT  
INTERSECTION IMPROVEMENTS  
EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE: 11/19/11  
REVISION: H.O.P. SUBMISSION  
05/17/12  
08/28/12  
03/11/13

SHEET TITLE  
PAVEMENT MARKING AND SIGNAGE PLAN

DRAWN BY: BJD  
CHECKED BY: KRM

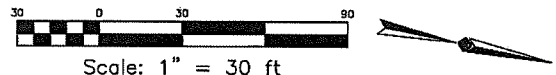
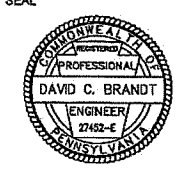
SHEET NO. 9

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

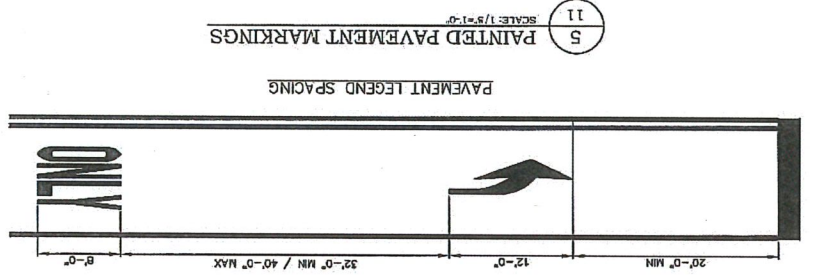
Scale: 1" = 30'

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460 Devon Park Drive Suite 113 Wyrms Pennsylvania 19087  
www.aec.com

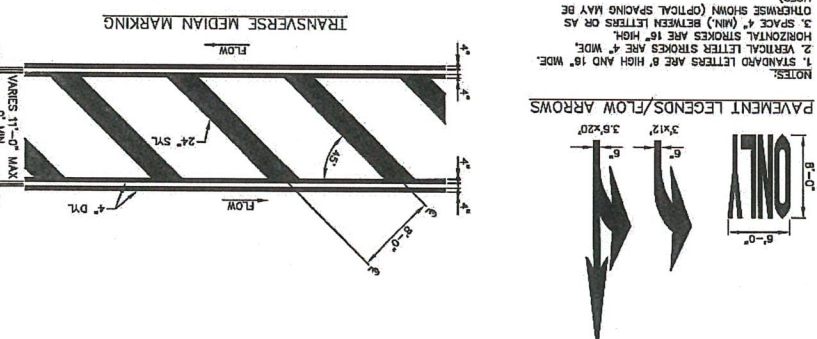
DAVID C. BRANDT  
ENGINEER  
27402-E







NOTES:  
 1. STANDARD LETTERS ARE 8" HIGH AND 16" WIDE.  
 2. VERTICAL LETTER STROKES ARE 4" WIDE.  
 3. SPACES 4" (MIN) BETWEEN LETTERS OR AS OTHERWISE SHOWN (OPTICAL SPACING MAY BE USED).



DEPARTMENT OF PENNSYLVANIA  
 DIVISION OF HIGHWAY CONSTRUCTION

OVERLAY TRANSITIONS AND OVERLAY TRANSITION JOINTS

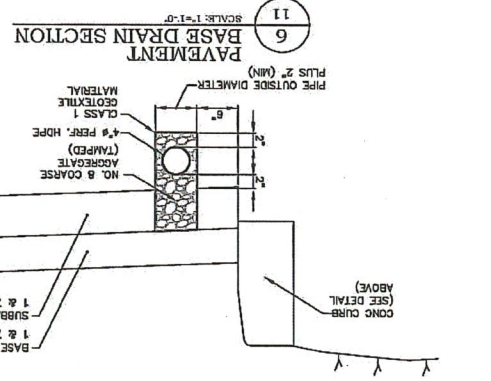
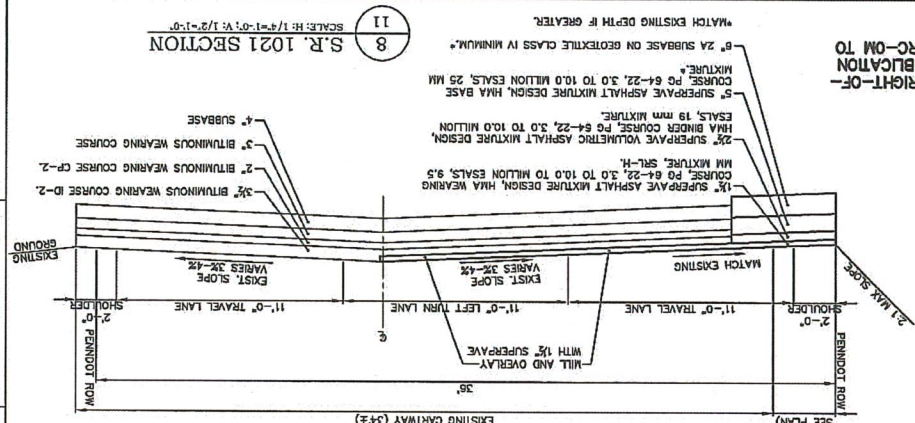
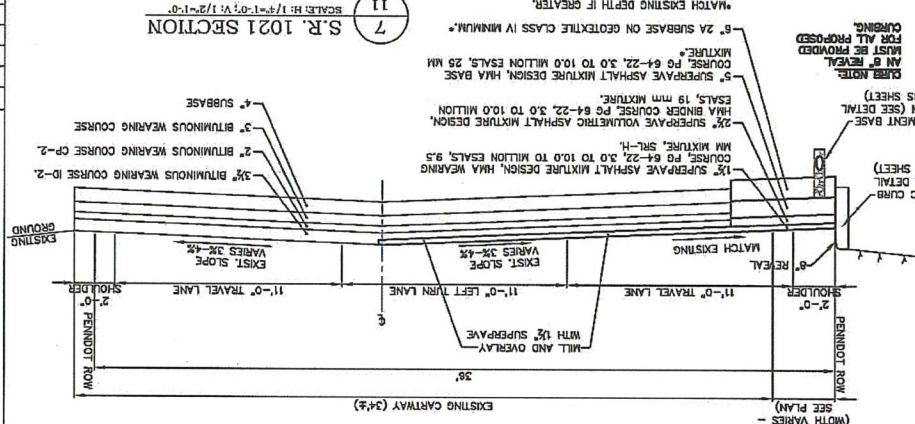
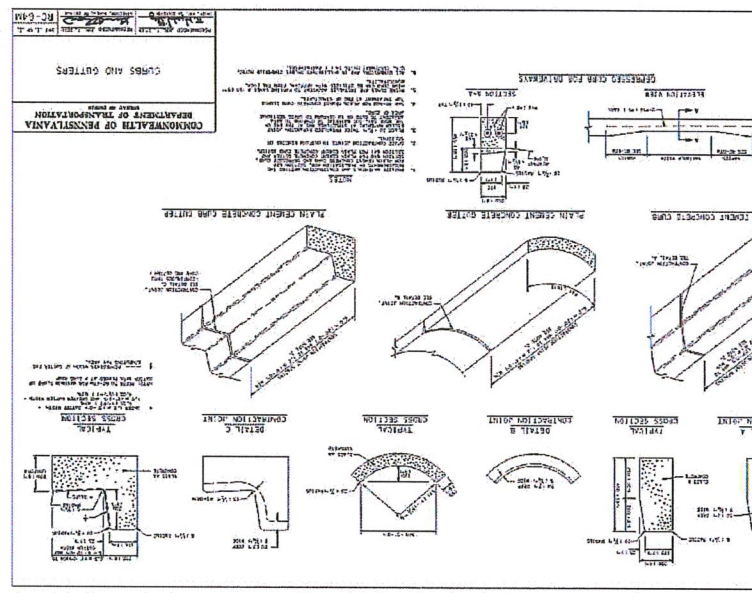
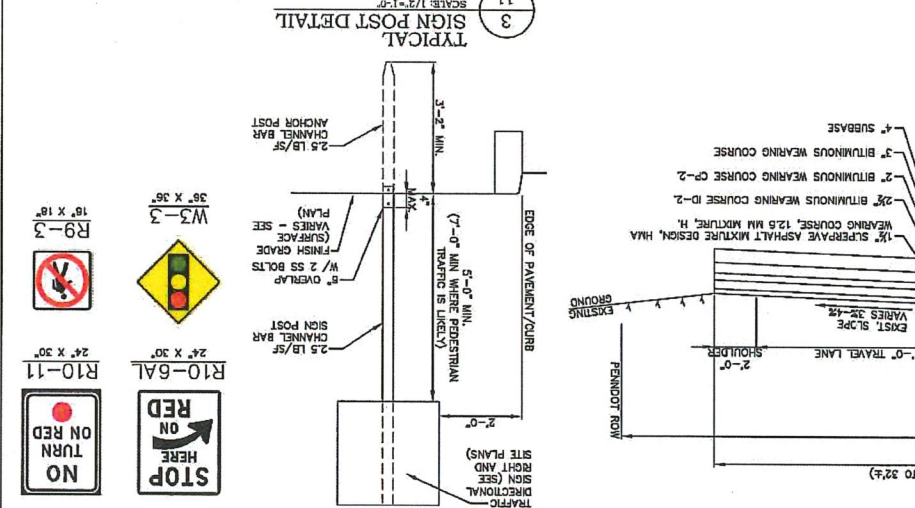
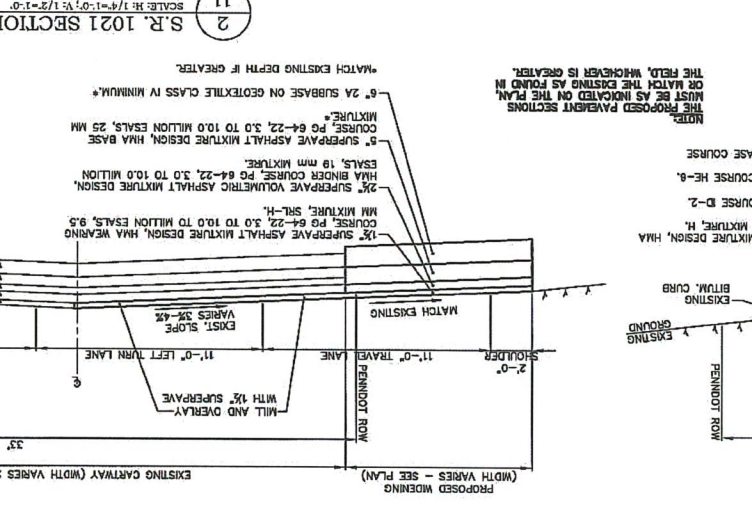
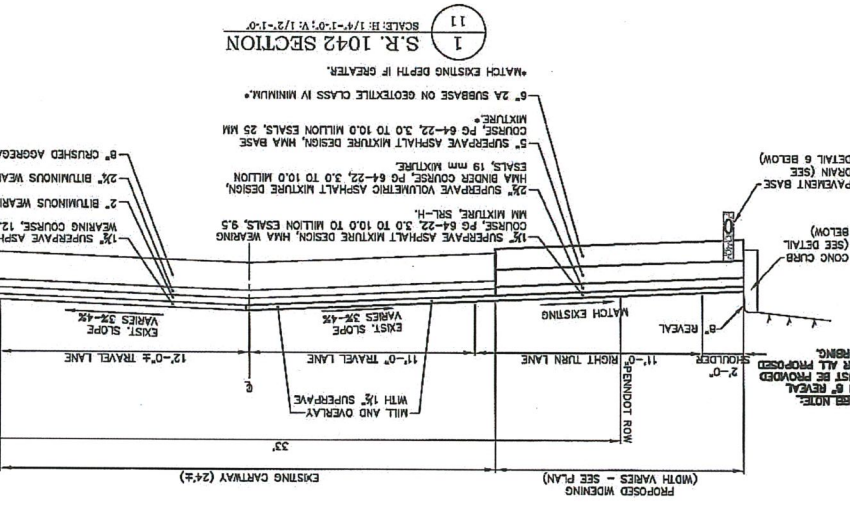
NOTE: EITHER ALL STRIPS OR ALL SECTION VALUES MUST BE USED FOR PAVING. STRIPS AND SECTION VALUES SHOULD NOT BE MIXED.

TABLE A  
 NORMAL MAINTENANCE OVERLAY

SECTION	THICKNESS	SPACING	DEPTH
1	1.5"	12"	1.5"
2	1.5"	12"	1.5"
3	1.5"	12"	1.5"
4	1.5"	12"	1.5"
5	1.5"	12"	1.5"
6	1.5"	12"	1.5"
7	1.5"	12"	1.5"
8	1.5"	12"	1.5"
9	1.5"	12"	1.5"
10	1.5"	12"	1.5"
11	1.5"	12"	1.5"
12	1.5"	12"	1.5"
13	1.5"	12"	1.5"
14	1.5"	12"	1.5"
15	1.5"	12"	1.5"
16	1.5"	12"	1.5"
17	1.5"	12"	1.5"
18	1.5"	12"	1.5"
19	1.5"	12"	1.5"
20	1.5"	12"	1.5"
21	1.5"	12"	1.5"
22	1.5"	12"	1.5"
23	1.5"	12"	1.5"
24	1.5"	12"	1.5"
25	1.5"	12"	1.5"
26	1.5"	12"	1.5"
27	1.5"	12"	1.5"
28	1.5"	12"	1.5"
29	1.5"	12"	1.5"
30	1.5"	12"	1.5"
31	1.5"	12"	1.5"
32	1.5"	12"	1.5"
33	1.5"	12"	1.5"
34	1.5"	12"	1.5"
35	1.5"	12"	1.5"
36	1.5"	12"	1.5"
37	1.5"	12"	1.5"
38	1.5"	12"	1.5"
39	1.5"	12"	1.5"
40	1.5"	12"	1.5"
41	1.5"	12"	1.5"
42	1.5"	12"	1.5"
43	1.5"	12"	1.5"
44	1.5"	12"	1.5"
45	1.5"	12"	1.5"
46	1.5"	12"	1.5"
47	1.5"	12"	1.5"
48	1.5"	12"	1.5"
49	1.5"	12"	1.5"
50	1.5"	12"	1.5"

TABLE B  
 NORMAL MAINTENANCE OVERLAY WITH PAVING NOTCH

SECTION	THICKNESS	SPACING	DEPTH
1	1.5"	12"	1.5"
2	1.5"	12"	1.5"
3	1.5"	12"	1.5"
4	1.5"	12"	1.5"
5	1.5"	12"	1.5"
6	1.5"	12"	1.5"
7	1.5"	12"	1.5"
8	1.5"	12"	1.5"
9	1.5"	12"	1.5"
10	1.5"	12"	1.5"
11	1.5"	12"	1.5"
12	1.5"	12"	1.5"
13	1.5"	12"	1.5"
14	1.5"	12"	1.5"
15	1.5"	12"	1.5"
16	1.5"	12"	1.5"
17	1.5"	12"	1.5"
18	1.5"	12"	1.5"
19	1.5"	12"	1.5"
20	1.5"	12"	1.5"
21	1.5"	12"	1.5"
22	1.5"	12"	1.5"
23	1.5"	12"	1.5"
24	1.5"	12"	1.5"
25	1.5"	12"	1.5"
26	1.5"	12"	1.5"
27	1.5"	12"	1.5"
28	1.5"	12"	1.5"
29	1.5"	12"	1.5"
30	1.5"	12"	1.5"
31	1.5"	12"	1.5"
32	1.5"	12"	1.5"
33	1.5"	12"	1.5"
34	1.5"	12"	1.5"
35	1.5"	12"	1.5"
36	1.5"	12"	1.5"
37	1.5"	12"	1.5"
38	1.5"	12"	1.5"
39	1.5"	12"	1.5"
40	1.5"	12"	1.5"
41	1.5"	12"	1.5"
42	1.5"	12"	1.5"
43	1.5"	12"	1.5"
44	1.5"	12"	1.5"
45	1.5"	12"	1.5"
46	1.5"	12"	1.5"
47	1.5"	12"	1.5"
48	1.5"	12"	1.5"
49	1.5"	12"	1.5"
50	1.5"	12"	1.5"



PROJECT: INTERSECTION IMPROVEMENTS  
 EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
 SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE: 11/11/11  
 REVISION: H.O.P. SUBMISSION  
 05/11/12 H.O.P. RESUBMISSION  
 02/22/12 H.O.P. RESUBMISSION  
 03/11/13 H.O.P. RESUBMISSION

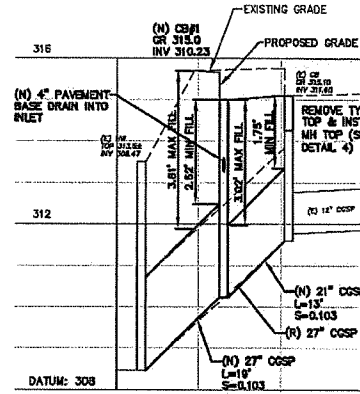
SHEET TITLE: PENNDOT SITE DETAILS  
 DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.: 11  
 SHEET NO. 12 OF 19  
 PROJECT NO.: 0124.057  
 DATE: NOVEMBER 18, 2011

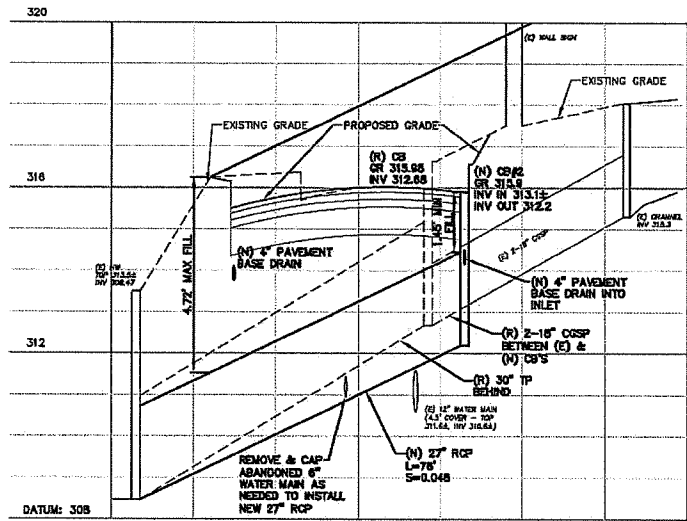
DAVID C. BRANDT  
 ENGINEER  
 PROFESSIONAL

Associated Engineering Consultants Incorporated  
 480 Dixon Farm Drive, Suite 110, Wayne, Pennsylvania 19078  
 (610) 688-3000 (610) 688-1600  
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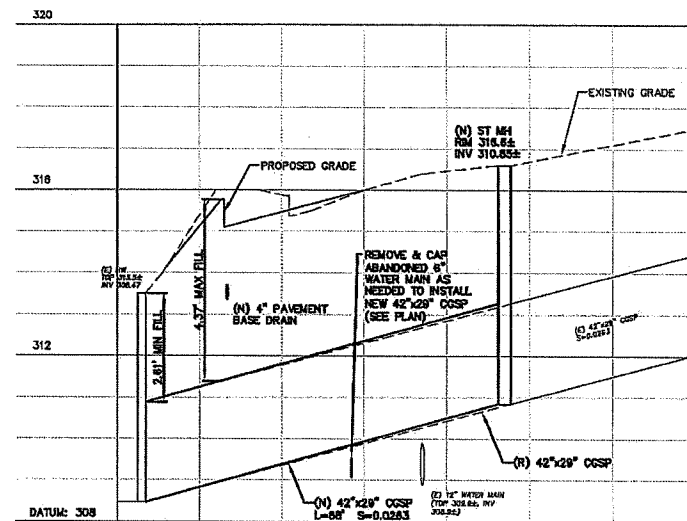




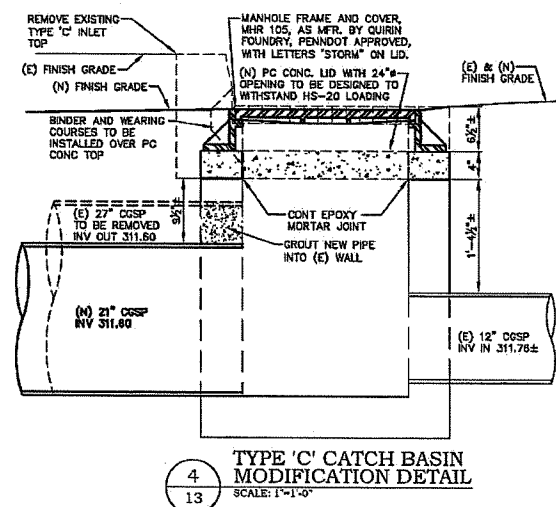
1 STORM SEWER PROFILE #1  
SCALE: H: 1"-20"; V: 1"-2"  
13



2 STORM SEWER PROFILE #2  
SCALE: H: 1"-20"; V: 1"-2"  
13



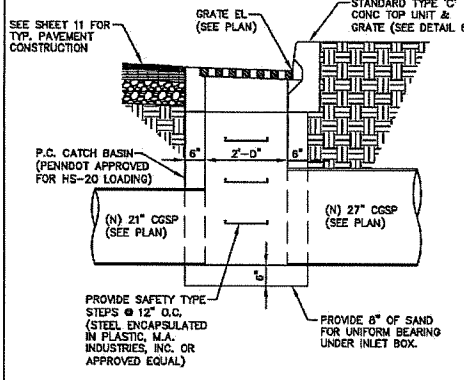
3 STORM SEWER PROFILE #3  
SCALE: H: 1"-20"; V: 1"-2"  
13



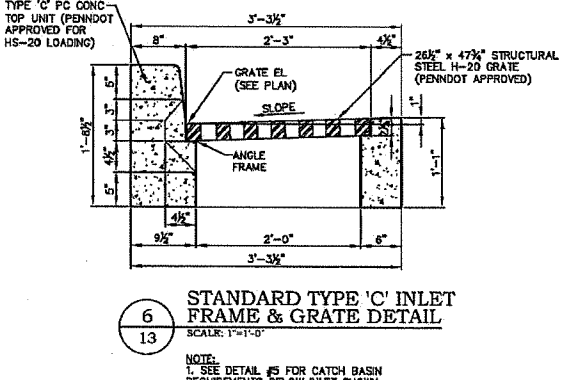
INLET & CATCH BASIN SCHEDULE

C.B. NO.	INLET BOX MIN. SIZE	INLET GRADE	FRAME & GRATE DETAIL	FRAME & GRATE MFR.	FRAME & GRATE CAT. NO.	REMARKS
CB#1	24"x48" 1/4"	5	28 1/2" x 47 3/4"	6	CAMPBELL TYPE 'C'	
CB#2	24"x72"	7-10	28 1/2" x 47 3/4"	11	CAMPBELL TYPE 'C'	
CB#3	48"x78"	16	28 1/2" x 47 3/4"	15	CAMPBELL TYPE 'S'	

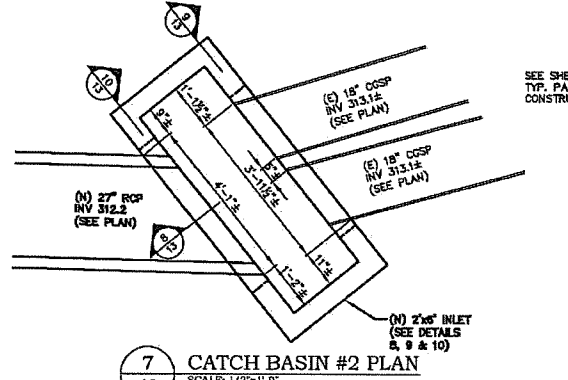
NOTE: 1. FOR CB LOCATIONS, SEE PLAN DRAWINGS.



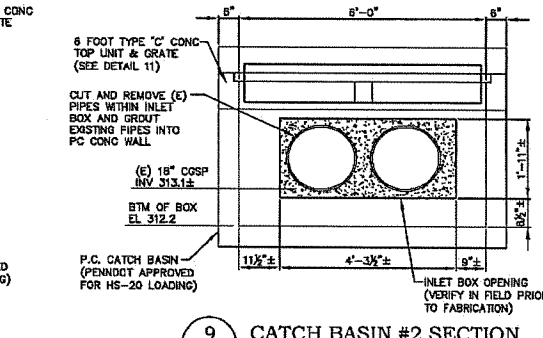
5 CATCH BASIN #1 SECTION  
SCALE: 1/2"-1'-0"  
13



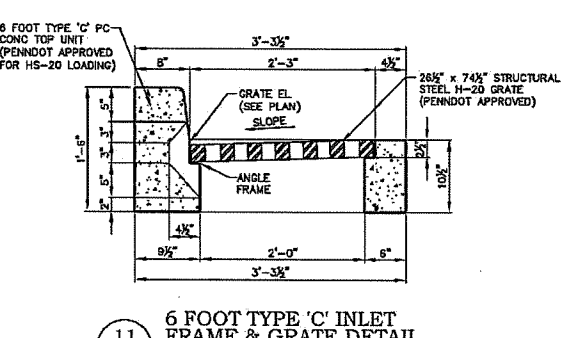
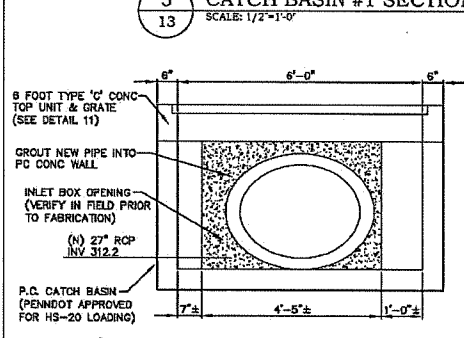
6 STANDARD TYPE 'C' INLET FRAME & GRATE DETAIL  
SCALE: 1"-1'-0"  
13



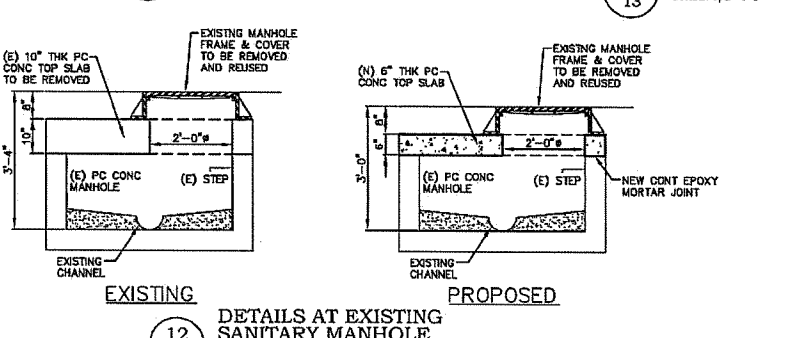
8 CATCH BASIN #2 SECTION  
SCALE: 1/2"-1'-0"  
13



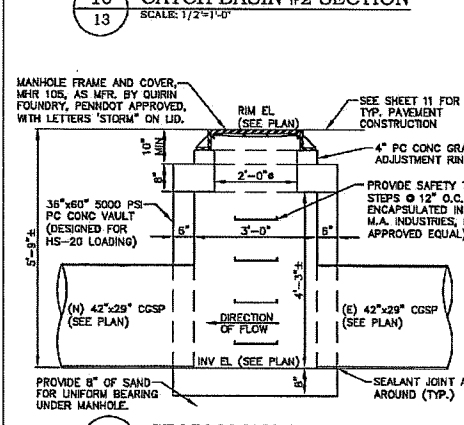
9 CATCH BASIN #2 SECTION  
SCALE: 1/2"-1'-0"  
13



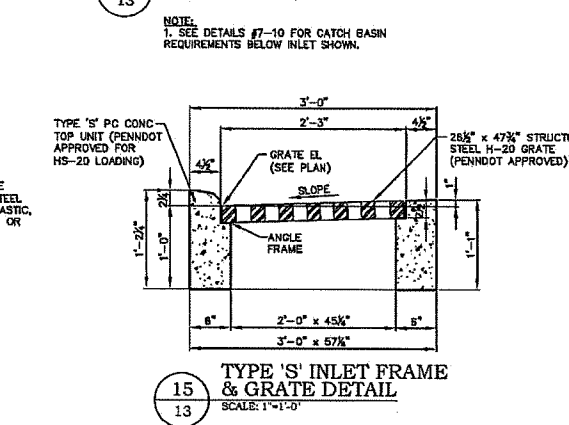
11 6 FOOT TYPE 'C' INLET FRAME & GRATE DETAIL  
SCALE: 1"-1'-0"  
13



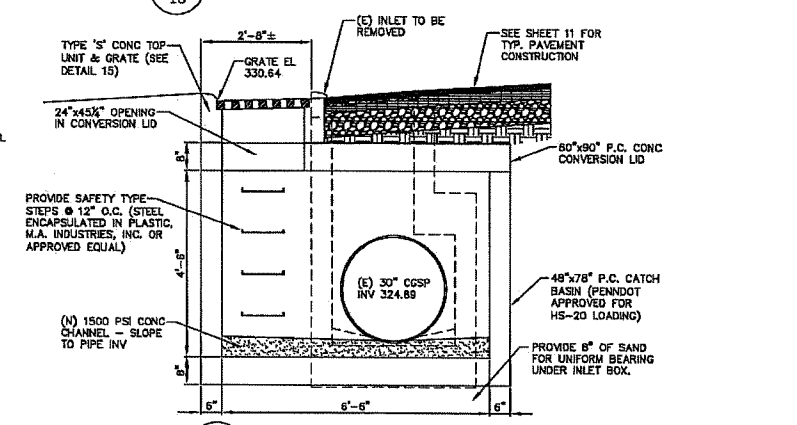
12 DETAILS AT EXISTING SANITARY MANHOLE  
SCALE: 1/2"-1'-0"  
13



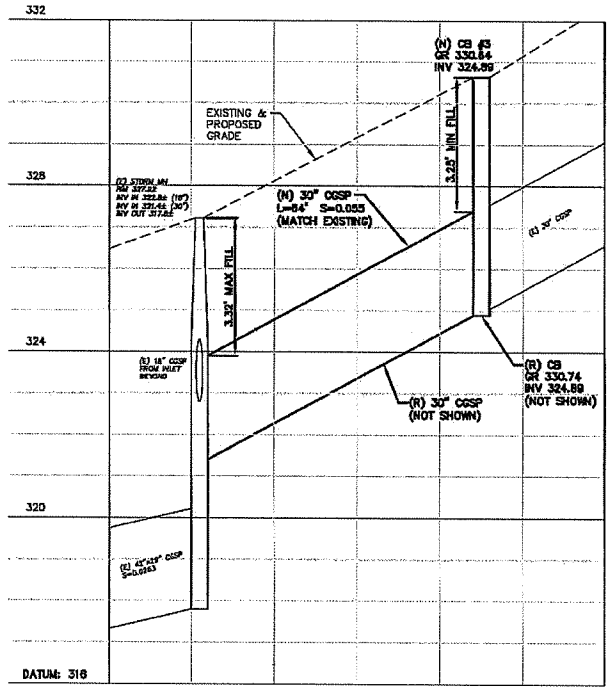
14 STORM MANHOLE DETAIL  
SCALE: 1/2"-1'-0"  
13



15 TYPE 'S' INLET FRAME & GRATE DETAIL  
SCALE: 1"-1'-0"  
13



16 CATCH BASIN #3 SECTION  
SCALE: 1/2"-1'-0"  
13



13 STORM SEWER PROFILE #4  
SCALE: H: 1"-20"; V: 1"-2"  
13

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www.aecinc.com

DAVID C. BRANDT  
ENGINEER  
27452-E

SEAL

PROJECT  
INTERSECTION IMPROVEMENTS  
EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)  
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PROJECT

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DATE REVISION

11/18/11	H.O.P. SUBMISSION
07/17/12	H.O.P. RESUBMISSION
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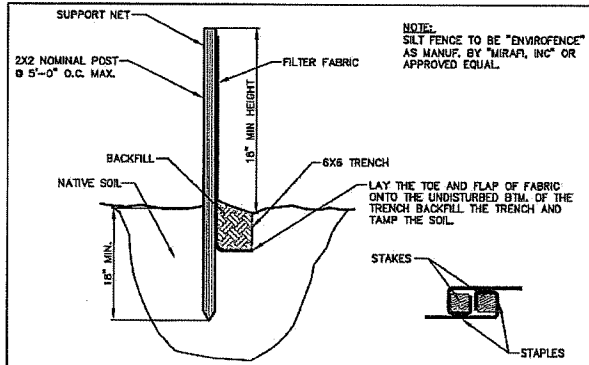
SHEET TITLE

STORM SEWER PROFILES AND SITE UTILITY DETAILS

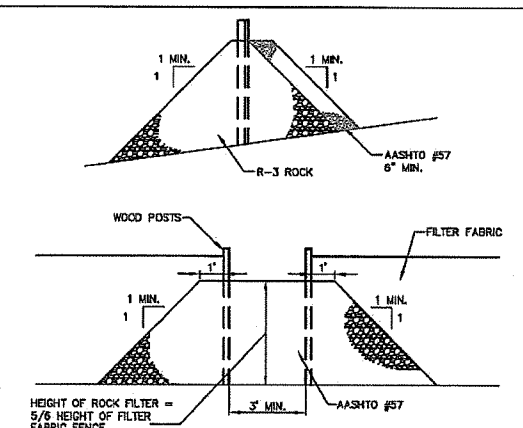
DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO. 13

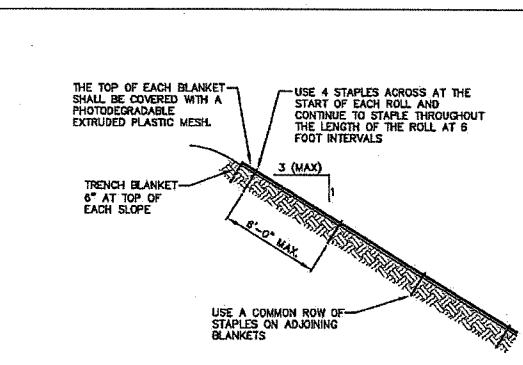
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



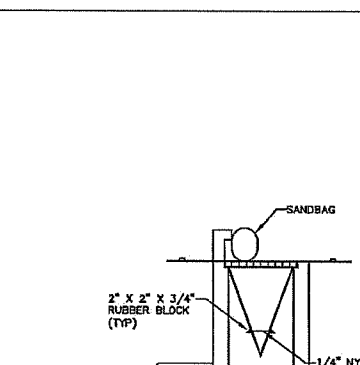
**1 SILT FENCE DETAIL**  
SCALE: NOT TO SCALE  
(LOCATION SHOWN THUS ON SHEET 3)  
NOTES:  
1. SILT FENCE SHALL NOT BE REMOVED UNTIL A 70% UNIFORM COVERAGE OF PERMANENT VEGETATION IS ESTABLISHED.  
2. SEDIMENT MUST BE REMOVED WHERE ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF SILT FENCING.  
3. LOCATION SHOWN THUS ON PLAN.



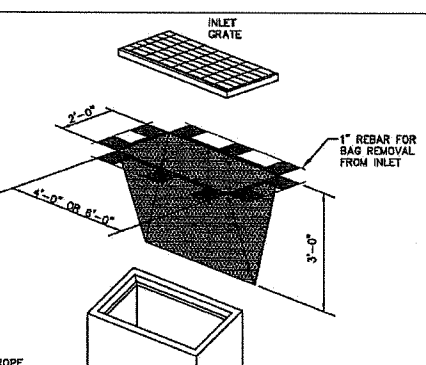
**2 ROCK FILTER OUTLET**  
SCALE: NOT TO SCALE  
NOTE:  
TO BE INSTALLED WHERE SILT FENCE HAS BEEN OVERSTRESSED BY SEDIMENT BUILD UP.



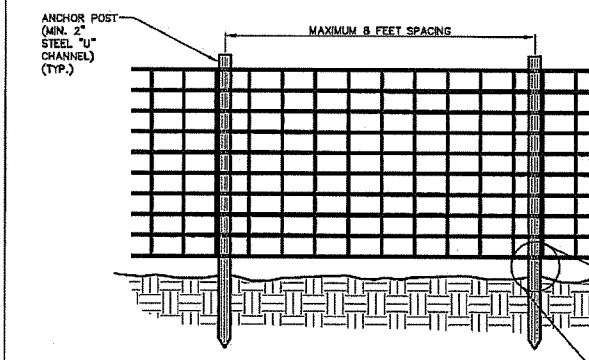
**3 TYPICAL CURLEX BLANKET INSTALLATION DETAIL**  
SCALE: NOT TO SCALE  
(LOCATION SHOWN THUS ON SHEET 3)  
NOTES:  
1. PROVIDE CURLEX BLANKET AS MANUFACTURED BY AMERICAN EXCELSIOR COMPANY, OR APPROVED EQUAL.  
2. INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.  
3. EACH EDGE OF FABRIC IS TO OVERLAP 6\"/>



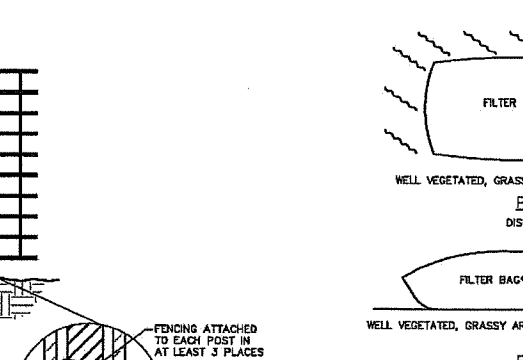
**4 TEMPORARY ROADWAY TYPE 'C' INLET FILTER BAG DETAIL**  
SCALE: NOT TO SCALE  
NOTES:  
1. INSPECT INLET FILTER BAG AFTER EACH RUNOFF EVENT. MAINTAIN AS REQUIRED TO ENSURE PROPER FUNCTIONING OF THE BAG.  
2. REMOVE ACCUMULATED SEDIMENT/DEBRIS WHEN THE INLET FILTER REACHES ONE-HALF MAXIMUM CAPACITY.  
3. REPLACE FILTER BAG IF RIPPED OR TORN.  
4. USE SANDBAGS AT TYPE C INLET CURB OPENINGS TO PREVENT BYPASS FLOW.  
5. REMOVE AND PROPERLY DISPOSE OF INLET FILTER BAG WHEN NO LONGER NEEDED.



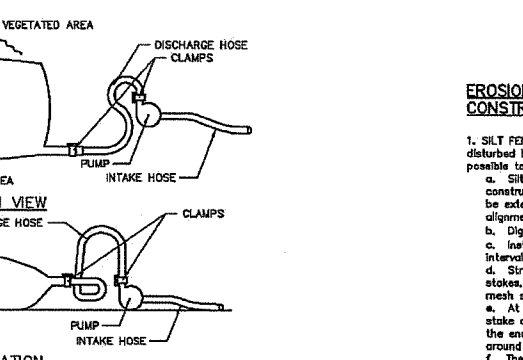
**ISOMETRIC VIEW**



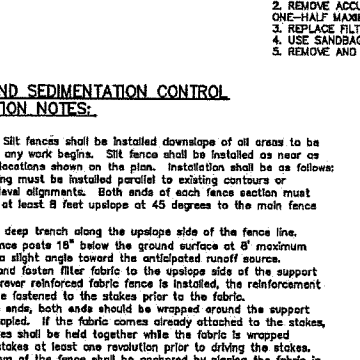
**5 TREE PROTECTION BARRIER FENCING DETAIL**  
SCALE: NOT TO SCALE  
(LOCATION SHOWN THUS ON SHEET 3)  
NOTES:  
1. PROTECTION BARRIER SHALL BE 4 FEET HIGH, CONSTRUCTED OF DURABLE AND HIGHLY VISIBLE MATERIAL (PLASTIC ORANGE CONSTRUCTION FENCE AND SNOW FENCE MAY BE USED).  
2. PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.  
3. ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE WORK ZONE.  
4. TREE PROTECTION FENCE SHALL BE INSPECTED & MAINTAINED BY THE CONTRACTOR AT THE END OF EVERY DAY FOR THE DURATION OF THE PROJECT. THE FENCE SHALL BE REPAIRED WHERE NECESSARY.



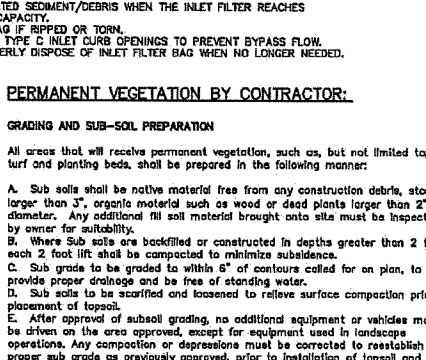
**6 DETAIL FOR PUMPING DIRTY WATER**  
SCALE: NOT TO SCALE  
FILTER BAG NOTES:  
1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED 'J' TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS.  
2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME HALF FULL. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED.  
3. BAGS SHALL BE LOCATED IN A WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS, WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. GEOTEXTILE TO BE MIRAMET EROSION CONTROL/REVEGETATION MAT, STYLE TMS AS MANUFACTURED BY TO MIRAF, INC. OR APPROVED EQUAL. INSTALL AS PER MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%.  
4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED.  
5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR HALF THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.  
6. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.  
7. INSTALL PUMP AT FIRST SIGN OF PONDING WATER.



**EROSION AND SEDIMENTATION CONTROL CONSTRUCTION NOTES:**  
1. SILT FENCE: Silt fences shall be installed downslope of all areas to be disturbed before any work begins. Silt fence shall be installed as near as possible to the locations shown on the plan. Installation shall be as follows:  
a. Silt fencing must be installed parallel to existing contours or constructed level alignments. Both ends of each fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.  
b. Dig a 6\"/>



**PERMANENT VEGETATION BY CONTRACTOR:**  
GRADING AND SUB-SOIL PREPARATION  
All areas that will receive permanent vegetation, such as, but not limited to, turf and planting beds, shall be prepared in the following manner:  
A. Sub soils shall be native material free from any construction debris, stones larger than 3\", organic material such as wood or dead plants larger than 2\"/>



**TOPSOIL APPLICATION AND TREATMENT:**  
A. After topsoil (6\"/>

**FILL MATERIAL NOTES:**  
If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the General Contractor.  
**DEFINITIONS:**  
Clean Fill is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).  
Clean Fill affected by a spill or release of a regulated substance: Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".  
Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions.  
**Environmental due diligence:** The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. Analytical testing is not a required part of due diligence unless visual inspection and/or review of the peak land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance. If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".  
**NOTE:**  
Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 267 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at [www.ecode.com](http://www.ecode.com).

**UTILITY LINE TRENCH EXCAVATION**  
1. Limit advanced clearing and grubbing operations to a distance equal to two times the length of the pipe installation that can be completed in one day.  
2. Work crews and equipment for trenching, pipe installation and backfilling shall be self-contained and separate from clearing, grubbing, site restoration and stabilization operations.  
3. All soil excavated from the trench shall be placed on the uphill side of the trench.  
4. Limit daily trench excavation to the length of pipe placement and backfilling that can be completed that same day.  
5. Water which accumulates in the open trench shall be completely removed by pumping before pipe placement and/or backfilling begins. Water removed from the trench shall be pumped through a filtration device.  
6. On the day following pipe placement and backfilling, the disturbed area shall be graded to final contours and appropriate temporary erosion and sediment pollution control measures/facilities shall be installed. Stabilization shall be done immediately after the backfilling is complete.

**SEEDING AND MULCHING:**  
A. Only Flatation Tire Equipment will be permitted after final grade approval.  
B. Drill seeding shall be accomplished by utilizing a 4\"/>

**MAINTENANCE:**  
A. Seeded lawn maintenance shall be for not less than 60 days after substantial completion.  
a. If seeded in fall and not given full 60 days of maintenance, or if not considered acceptable at that time, continue maintenance the following spring until acceptable lawn is established.  
B. Maintain lawns by watering, fertilizing, weeding, mowing, trimming and other operations such as rolling, regrading and replanting, as required, to establish a smooth, acceptable lawn free of eroded or bare areas.  
C. When seeding is completed, including maintenance, Owner will make an inspection to determine acceptability.  
D. When it becomes necessary, the Owner shall inform the Contractor of unsatisfactory conditions of erosion and sediment devices, at such time the Contractor shall improve the conditions of said devices to meet with the approval of the Owner.  
E. Should any erosive conditions develop during construction the Contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement.  
F. Seeded areas that have been washed away shall be filled and graded as necessary and then reseeded. This procedure shall be repeated after each storm or until no more signs of erosion are evident.

**SOIL EROSION CONTROL DETAILS AND NOTES**  
DRAWN BY: BJD  
CHECKED BY: KRM  
SHEET NO. 14  
PROJECT NO. 0124.051  
DATE: SEPTEMBER 13, 2010

Associated Professional Consultants Incorporated  
485 Down Park Drive, Suite 113, Wyomissing, Pennsylvania 19381  
Tel: 610-666-3800 Fax: 610-666-4600  
www.apcinc.com

DAVID C. BRANDT  
ENGINEER  
27432-E

**EASTERN UNIVERSITY**  
PROPOSED STUDENT UNION BUILDING  
1300 EAGLE ROAD  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

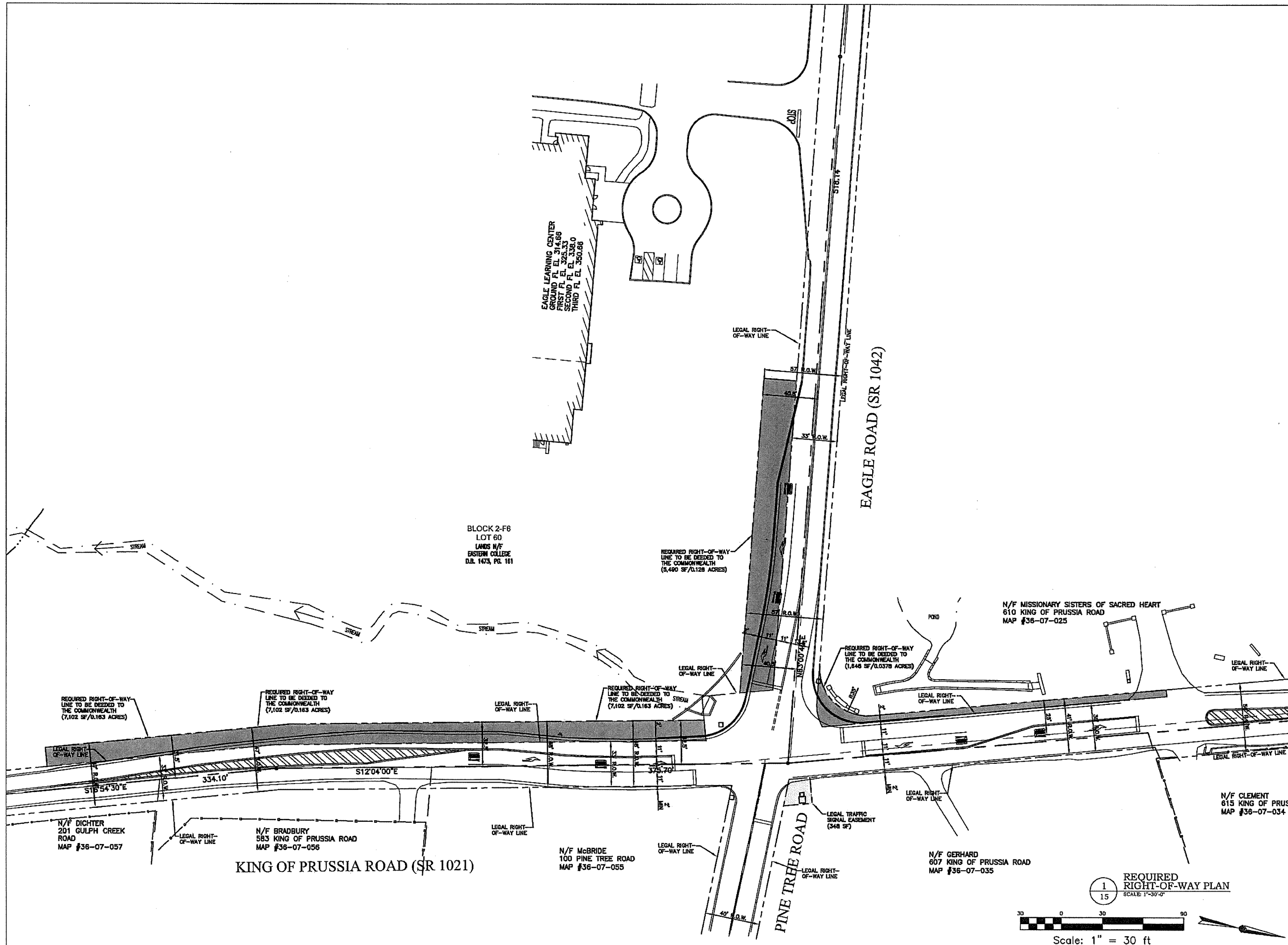
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11/19/11	H.O.P. SUBMISSION
09/17/12	H.O.P. RESUBMISSION
06/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE

**SOIL EROSION CONTROL DETAILS AND NOTES**

DRAWN BY: BJD  
CHECKED BY: KRM  
SHEET NO. 14  
PROJECT NO. 0124.051  
DATE: SEPTEMBER 13, 2010

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Associated Engineering Consultants Incorporated  
 485 Down Park Drive Suite 113 Wayne Pennsylvania 19087 tel: 610 688 2908 fax: 610 688 4244  
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SEAL

DAVID C. BRANDT  
 ENGINEER  
 27452-E  
 PENNSYLVANIA

PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
 KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
11/18/11	H.O.P. SUBMISSION
05/17/12	H.O.P. RESUBMISSION
09/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE

**REQUIRED RIGHT-OF-WAY PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO. **15**

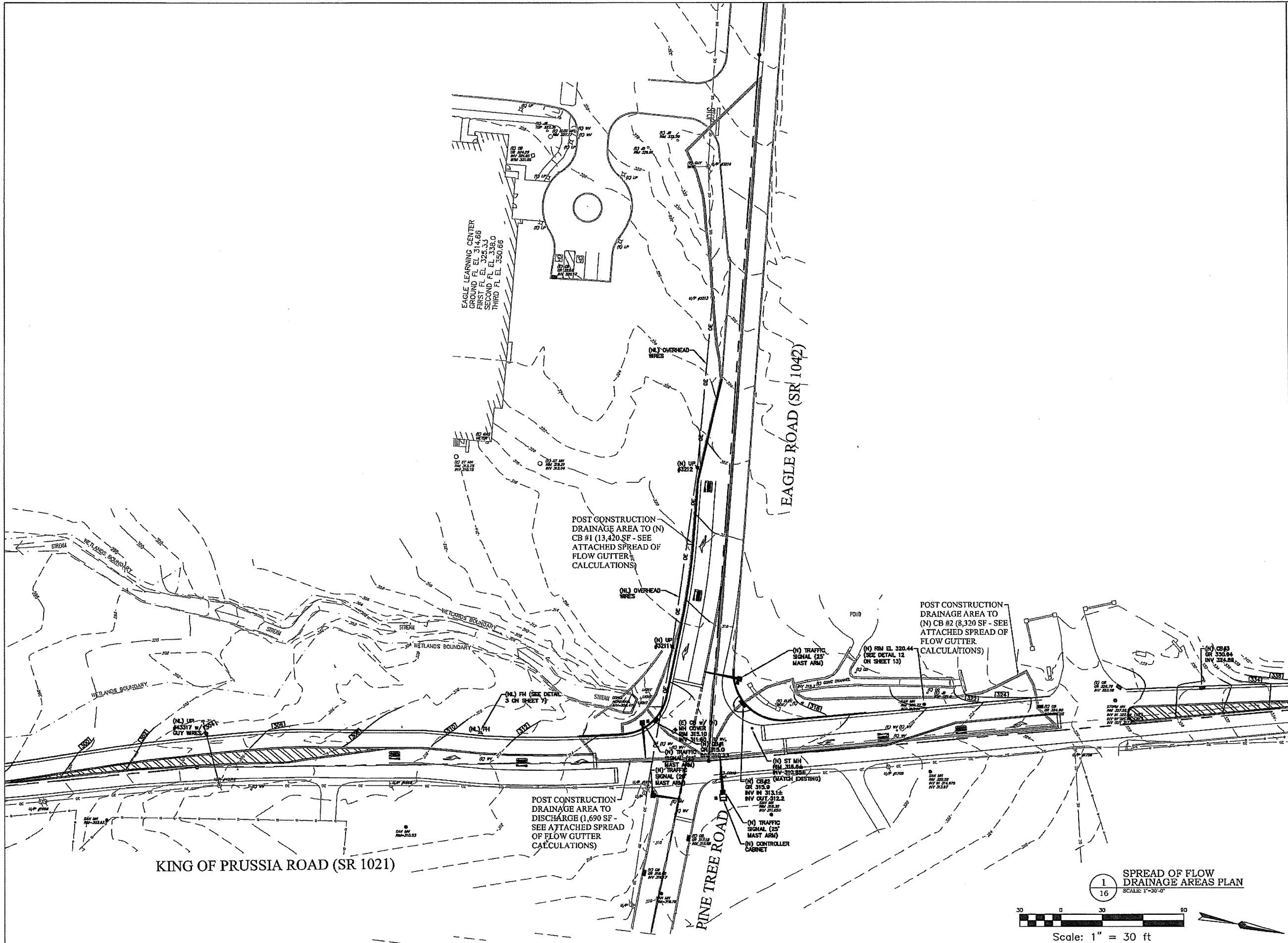
SHEET NO. 16 OF 19


PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011

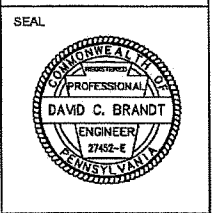
REQUIRED RIGHT-OF-WAY PLAN  
 SCALE 1"=30'-0"

Scale: 1" = 30 ft






  
 Associated Engineering Consultants Incorporated
   
 405 Down Park Drive Suite 113 Wayne Pennsylvania 19077
   
 Tel: 610.666.4500 Fax: 610.666.4504
   
 www.aecinc.com



PROJECT  
**INTERSECTION IMPROVEMENTS**  
 EAGLE ROAD (S.R. 1042) AND  
 KING OF PRUSSIA ROAD (S.R. 1021)  
 SAINT DAVIDS, PENNSYLVANIA 19087  
 RADNOR TOWNSHIP, DELAWARE COUNTY

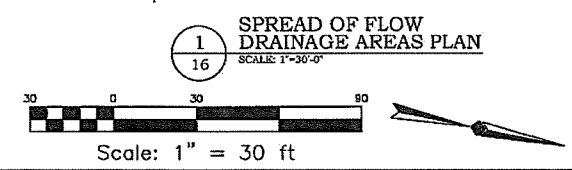
DATE	REVISION
11/13/11	H.O.P. SUBMISSION
05/17/12	H.O.P. RESUBMISSION
05/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

SHEET TITLE  
**SPREAD OF FLOW DRAINAGE AREAS PLAN**

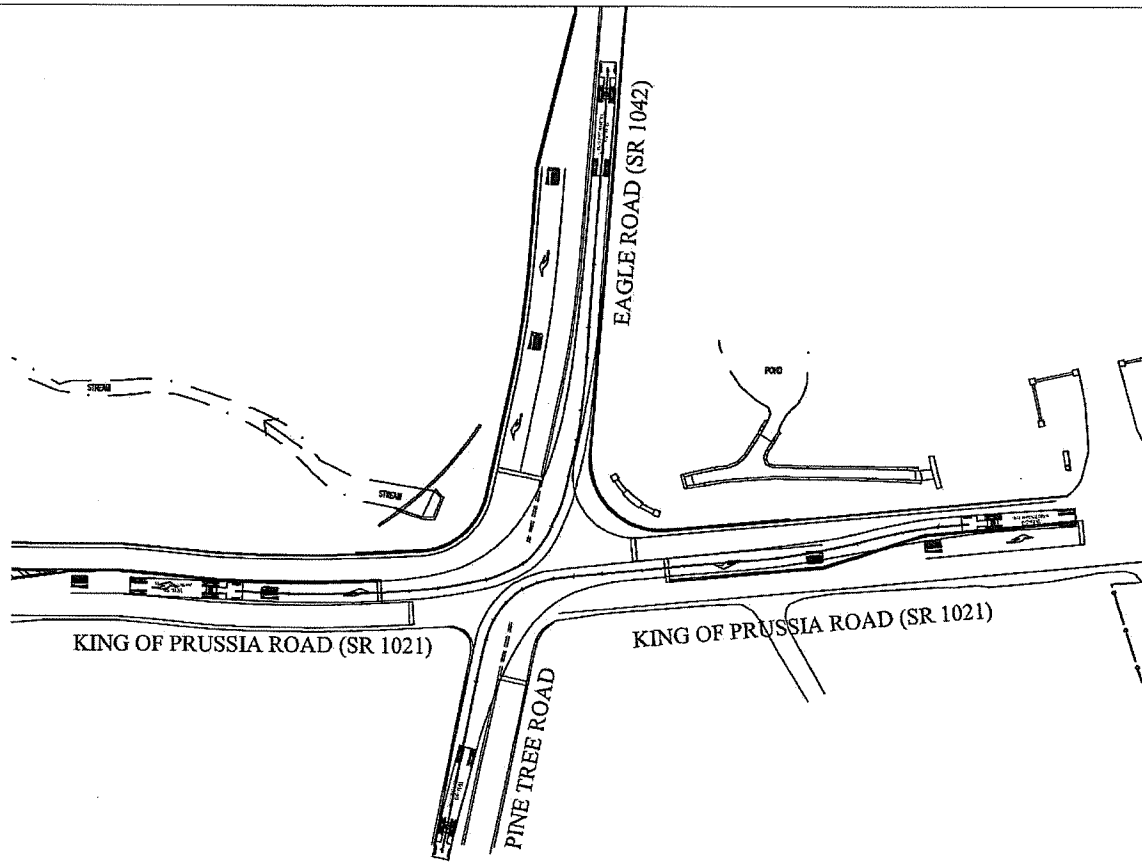
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SHEET NO.  
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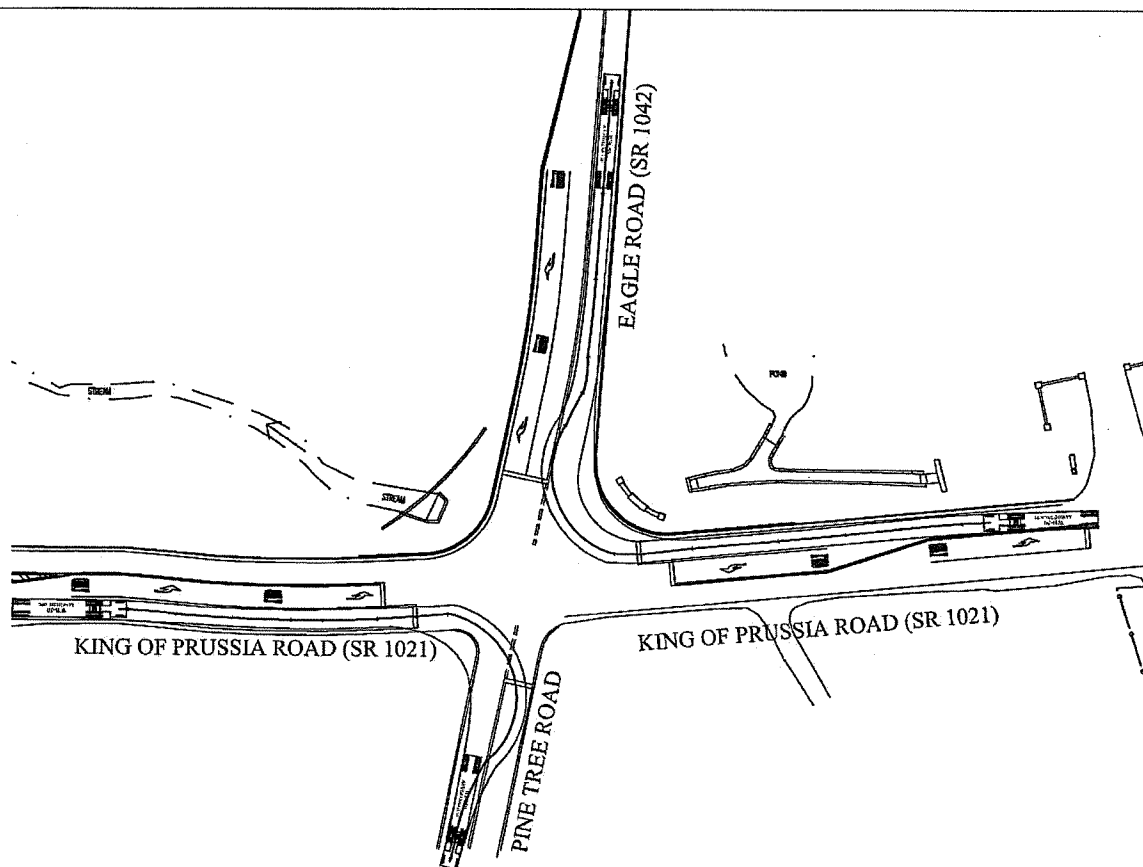
SHEET NO. 17 OF 19  
 PROJECT NO. 0124.057  
 DATE: NOVEMBER 18, 2011



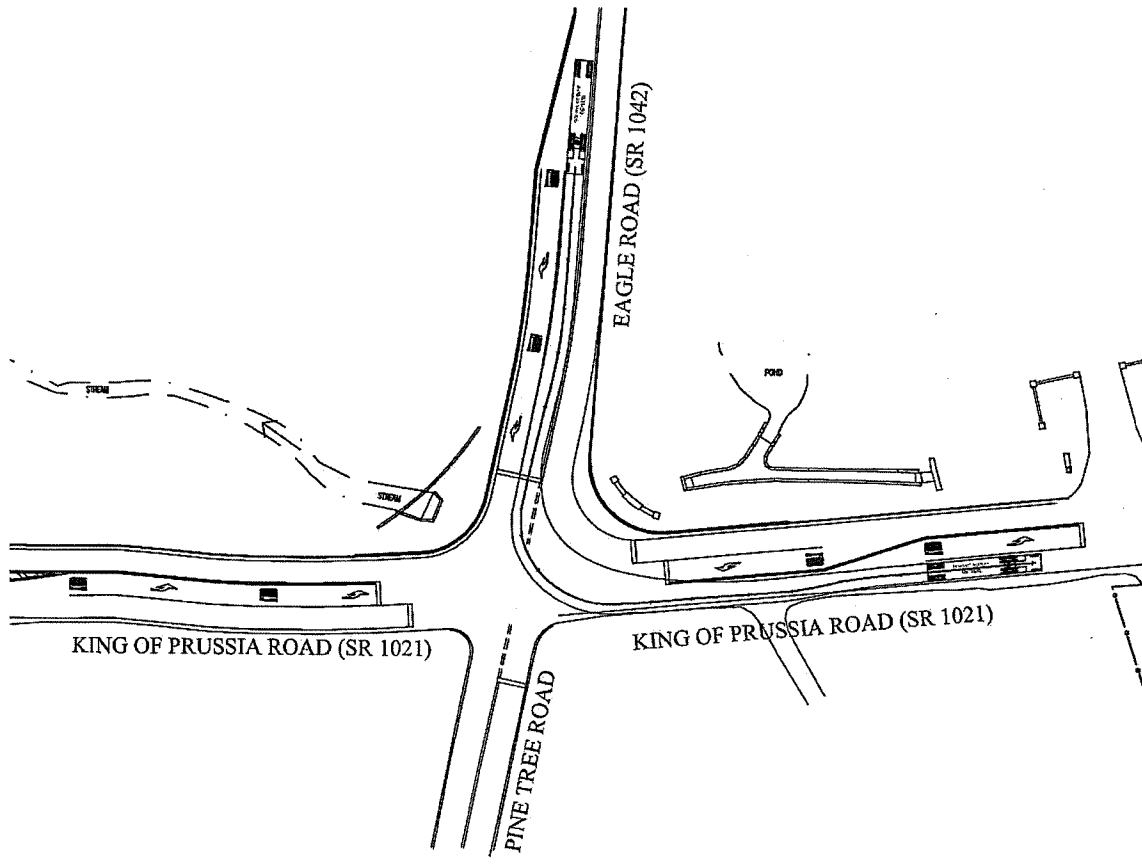
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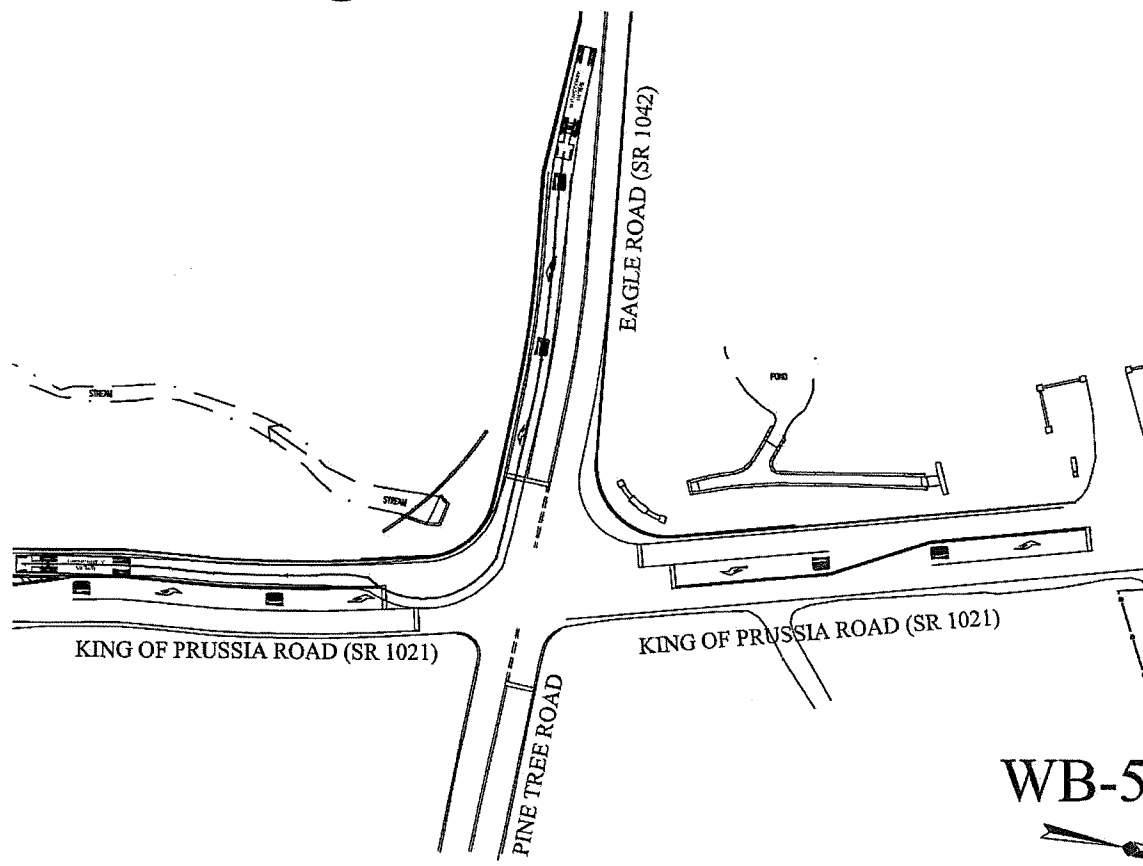
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S.R. 1021 LEFT TURN MANEUVERS PLAN  
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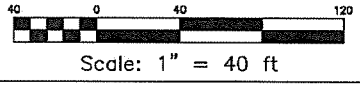
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17  
S.R. 1021 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



2  
17  
S.R. 1042 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



4  
17  
S.R. 1042 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



WB-50

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PROJECT  
**INTERSECTION IMPROVEMENTS**  
EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
08/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

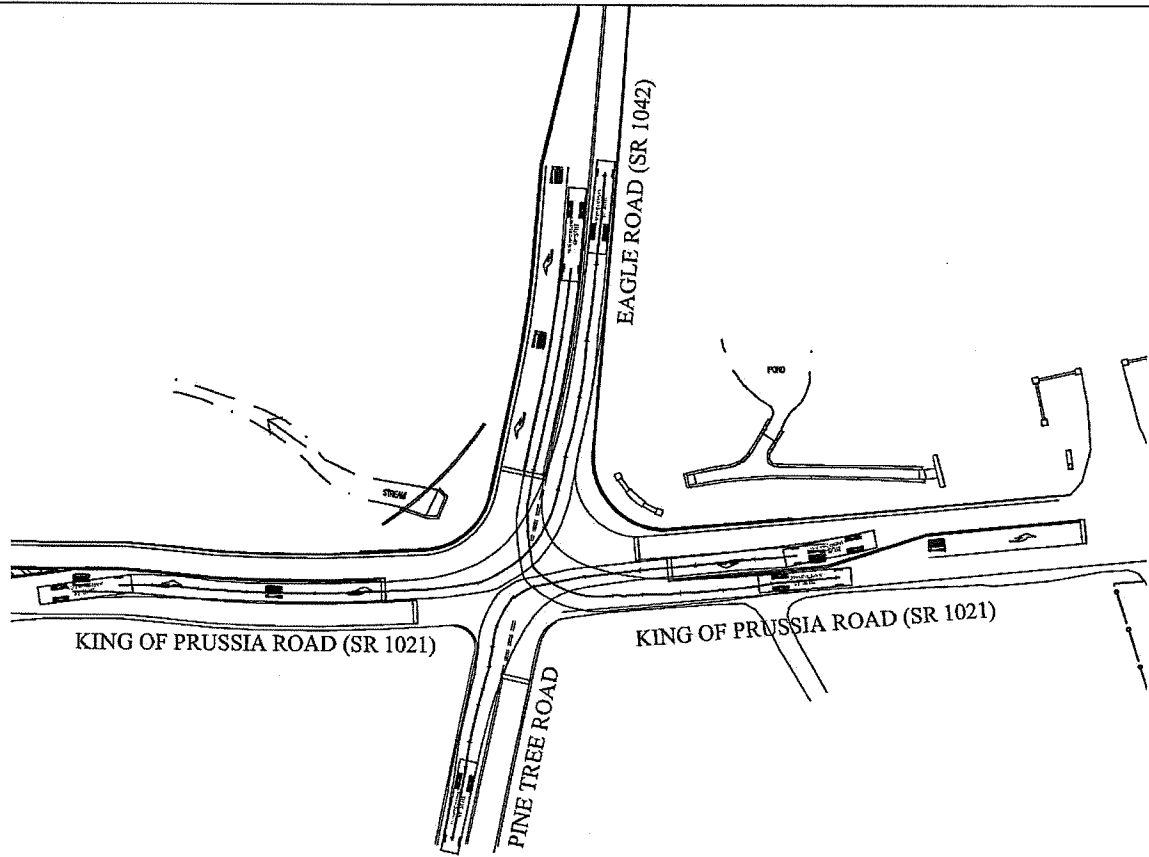
SHEET TITLE  
**TRUCK TURNING  
MANEUVERS  
PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

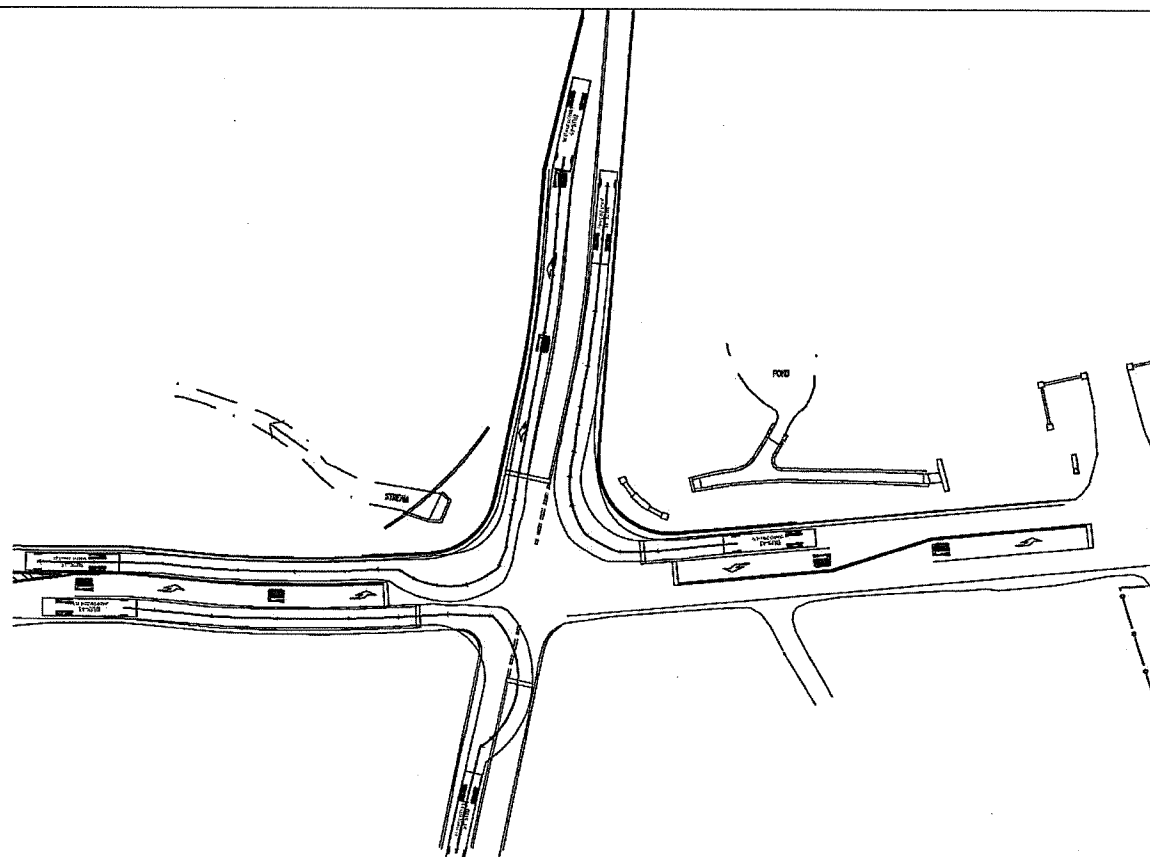
SHEET NO.  
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SHEET NO. 18 OF 19  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

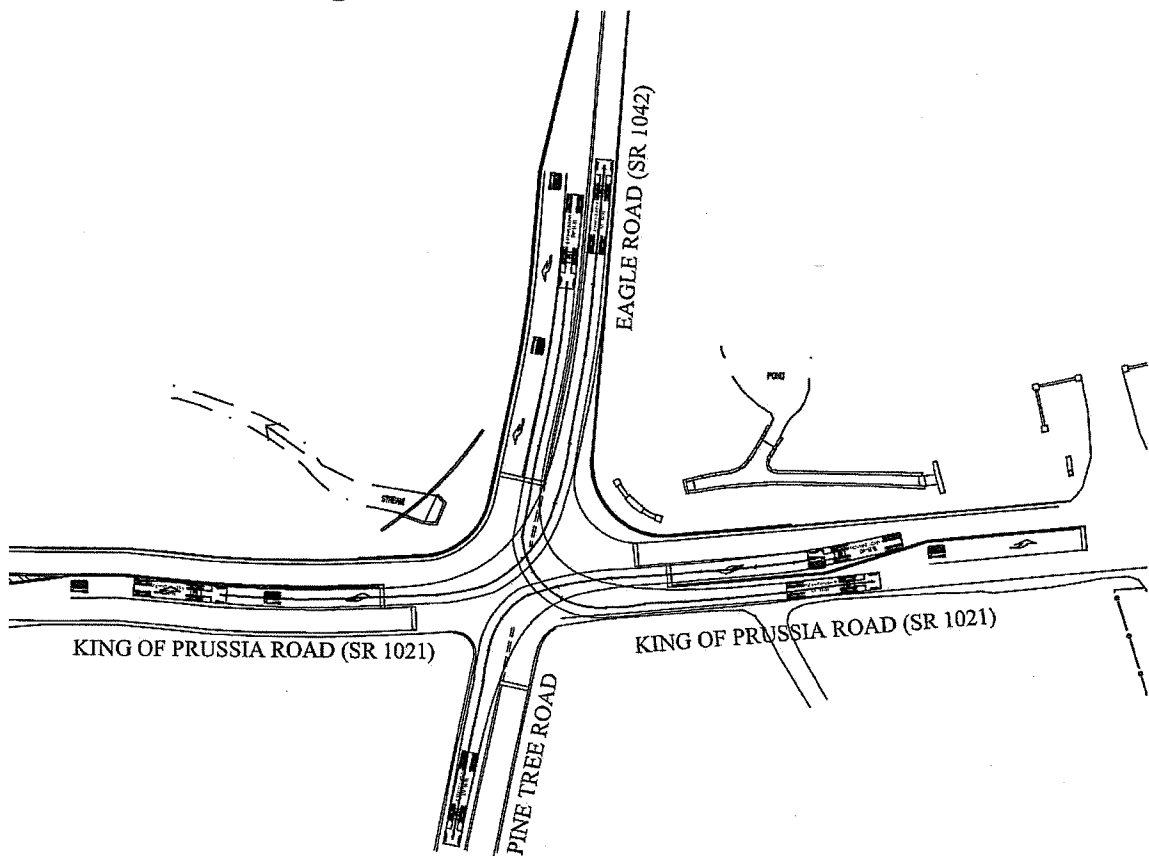
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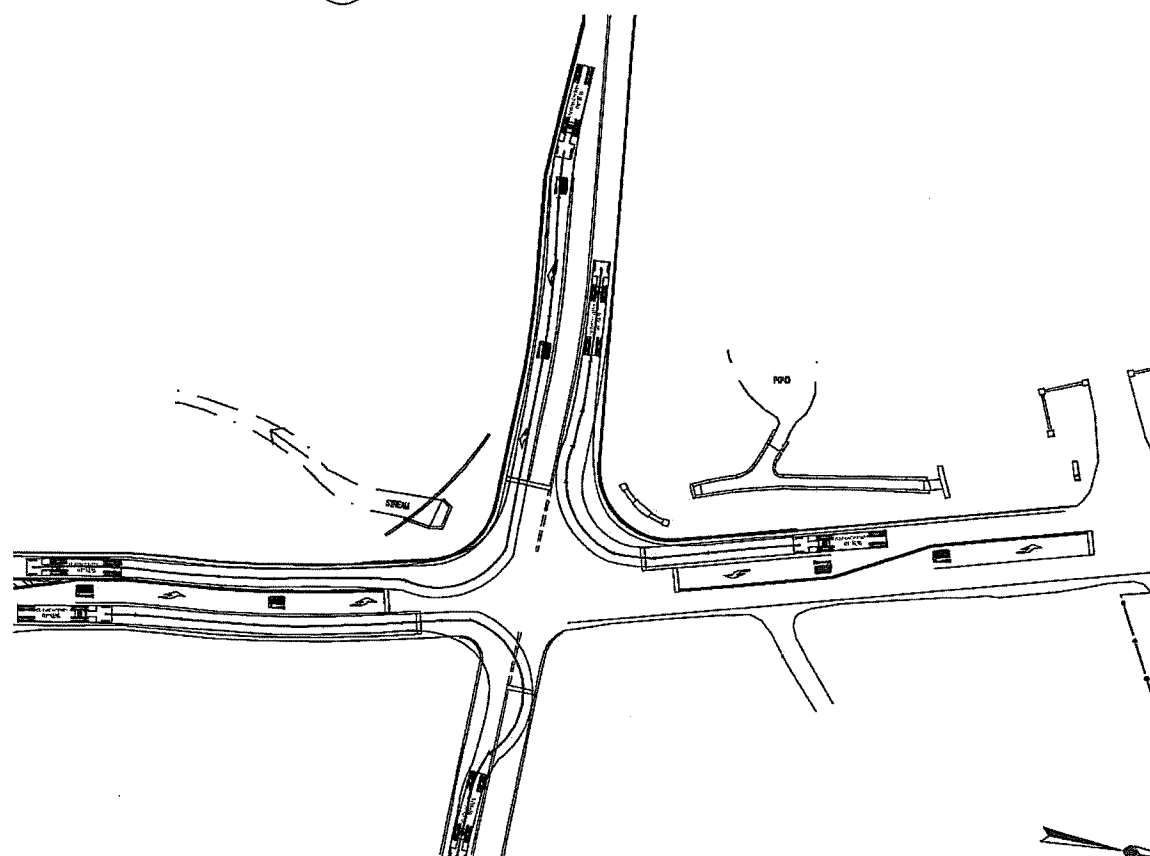
1 45' BUS LEFT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



3 45' BUS RIGHT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



2 WB-40 LEFT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"

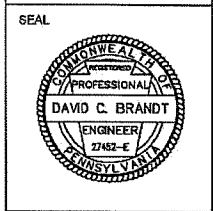


4 WB-40 RIGHT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



Scale: 1" = 40 ft

Associated Professional Consultants Incorporated  
465 Deventer Drive, Suite 115, Wexford, Pennsylvania 15087  
Tel: 724.838.2200 Fax: 724.838.4264  
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PROJECT  
**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
02/28/12	H.O.P. RESUBMISSION
03/11/13	H.O.P. RESUBMISSION

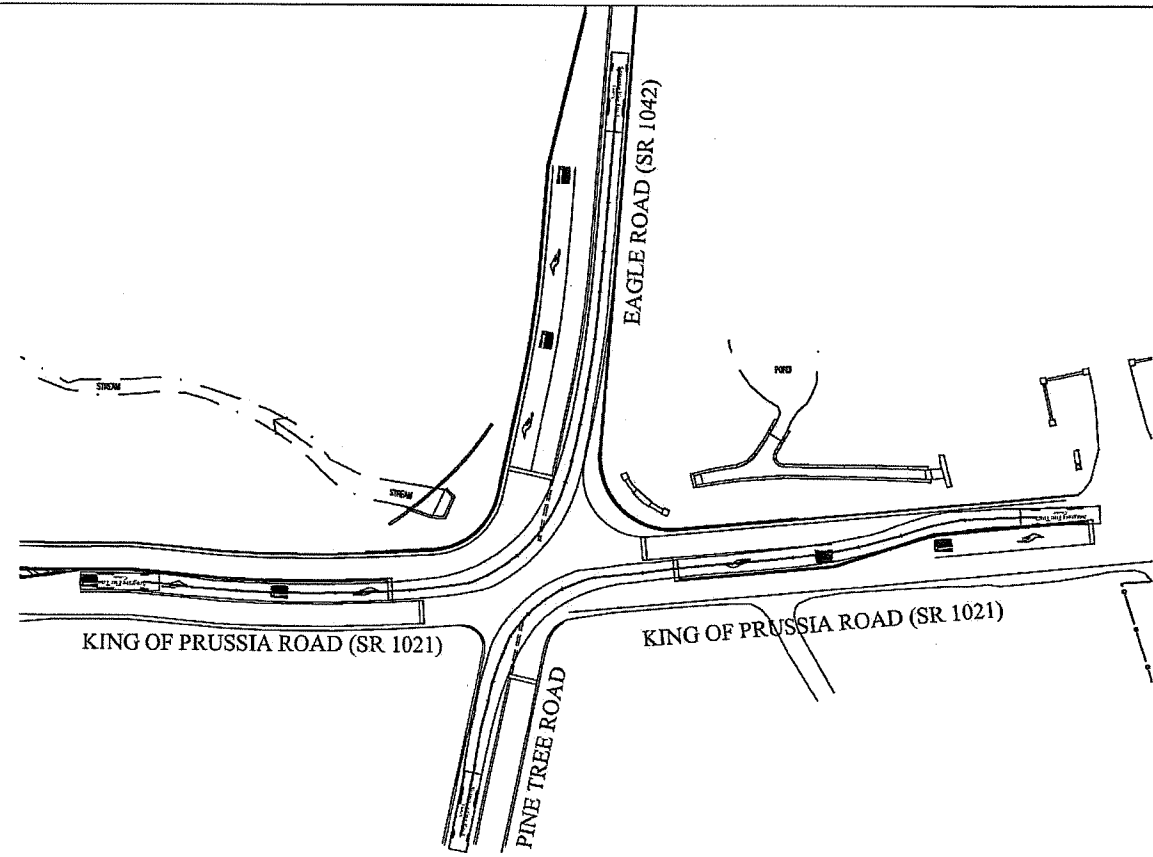
SHEET TITLE  
**TRUCK TURNING  
MANEUVERS  
PLAN**

DRAWN BY: BJD  
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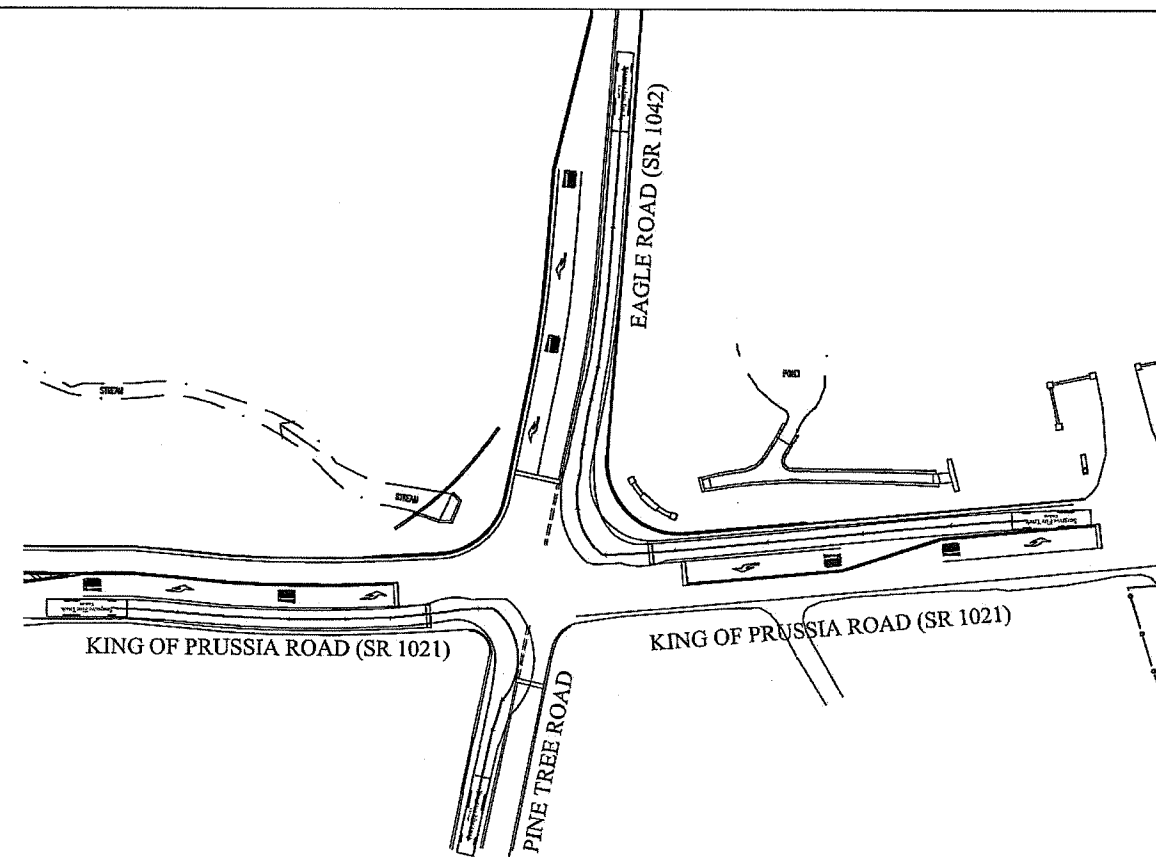
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SHEET NO. 18 OF 19  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

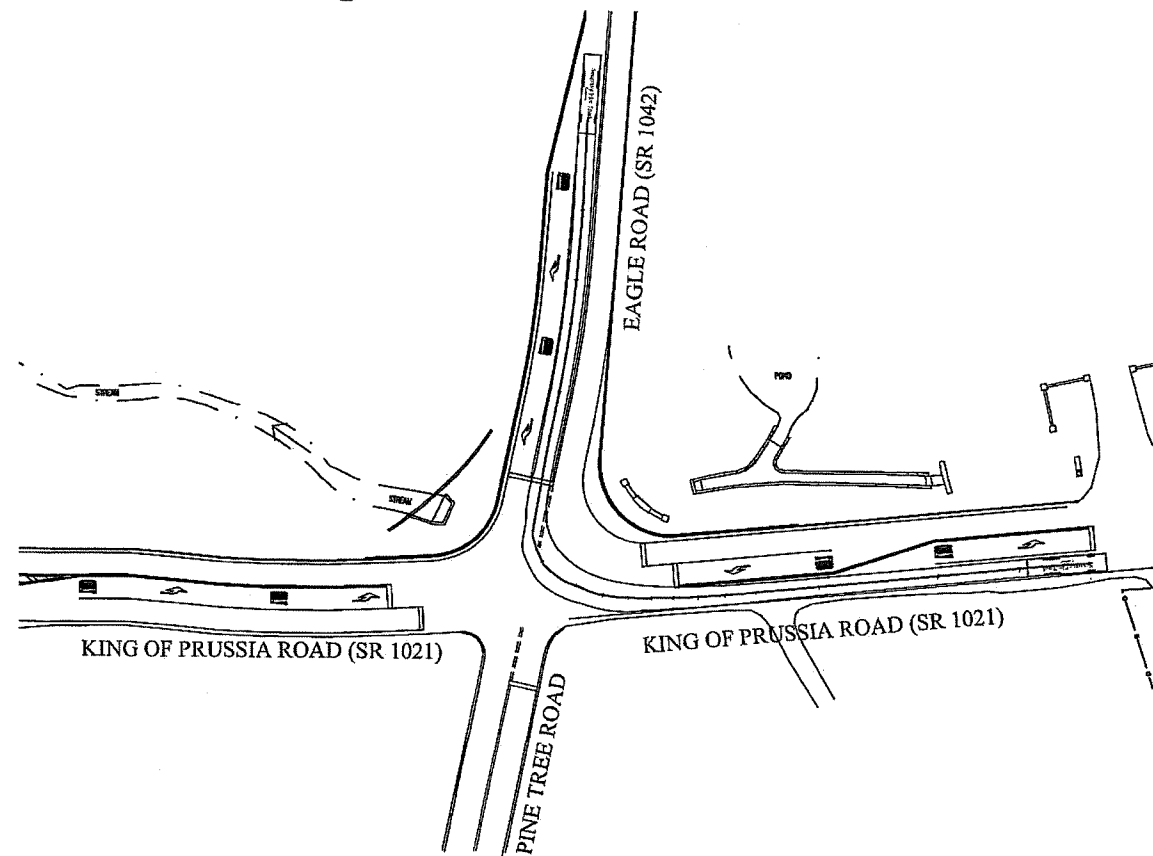
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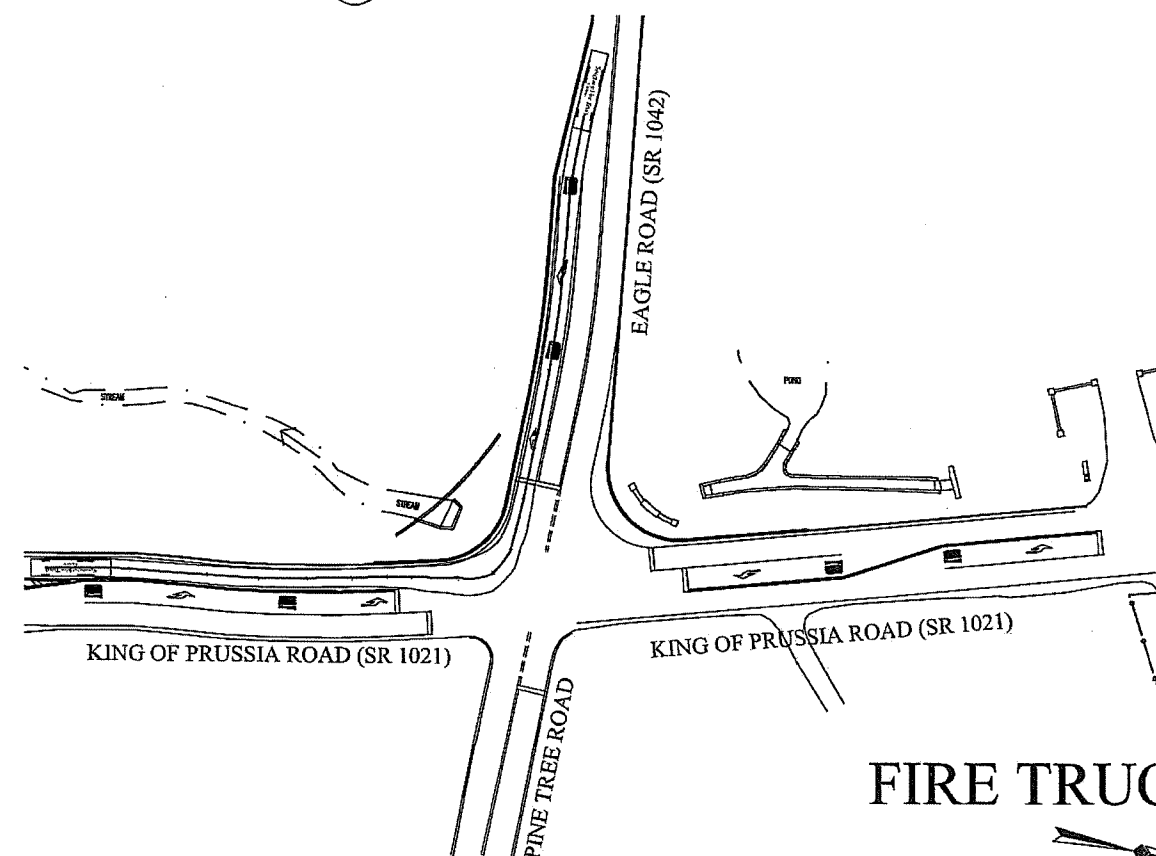
1  
19 S.R. 1021 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



3  
19 S.R. 1021 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



2  
19 S.R. 1042 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"




4  
19 S.R. 1042 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"

**FIRE TRUCK**



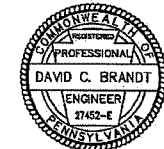
Scale: 1" = 40 ft



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SEAL



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PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

---

DATE	REVISION
03/11/13	H.O.P. RESUBMISSION

---

SHEET TITLE

**FIRE TRUCK TURNING MANEUVERS PLAN**

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DRAWN BY: BJD  
CHECKED BY: KRM

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SHEET NO.

19

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SHEET NO. 20 OF 20  
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

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**RESOLUTION NO. 2018-07**

**RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING THE FINAL MINOR SUBDIVISION  
PLAN FOR PROPERTY LOCATED AT 1 MEADOWOOD ROAD**

*WHEREAS*, Joseph L. Eremus and Margo P. Eremus (“Applicant”) submitted Final Minor Subdivision Plans for 1 Meadowood Road, prepared by Site Engineering Concepts, LLC dated September 28, 2017 to subdivide one existing lot into three lots for the possible future construction of single family dwellings on proposed lots 2 and 3 which will be reviewed as part of the grading permit process if said lots are developed in the future; and

*WHEREAS*, the plan has been reviewed by the Radnor Township Planning Commission; and

*WHEREAS*, the Board of Commissioners now intends to approve the Final Subdivision Plan for Applicant subject to certain terms and conditions.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Radnor Township Board of Commissioners does hereby approve the Final Minor Subdivision Plans for Joseph L. Eremus and Margo P. Eremus, prepared by Site Engineering Concepts, LLC dated September 28, 2017, consisting of four (4) sheets, subject to the following conditions:

1. The Applicant shall comply with the October 30, 2017 Gannett Fleming review letter, a copy of which is attached hereto as *Exhibit “A”*, except that sewage planning will be subject to a note on the plan and a restrictive covenant prohibiting the issuance of any grading or building permits for lots #2 and #3 in a form approved by the Township Solicitor until such time as the Pa. DEP approves the required planning modules.
2. The Applicant shall comply with the October 23, 2017 Gilmore & Associates review letter, a copy of which is attached hereto as *Exhibit “B”*. Additionally, access from Conestoga Road to lots #2 and #3 shall be by a shared driveway.
3. The Applicant shall comply with all other applicable ordinances with respect to sewage, stormwater management, zoning and building, and all county, state, federal rules, regulations and statutes, including the payment of all applicable park and recreation fees.
4. The Applicant shall execute Development Agreement and Financial Security

Agreements in a form and manner to be approved by the Township Solicitor.

In addition to the foregoing conditions of Final plan approval, the following Subdivision and Land Development Ordinance waivers are resolved as follows:

a. Subdivision and Land Development Section 255-22.B.(1)(h) regarding the requirement that the plan show wetlands delineated by an accredited consultant, and said delineation, unless waived by the Radnor Township Board of Commissioners, shall be approved by the Army Corps of Engineers.

      X                  Approved            \_\_\_\_\_            Denied

b. Subdivision and Land Development Section 255-22.B.(5) requiring that the plan show wetlands as delineated in accordance with the requirements of §255-20.B.(4)(d).

      X                  Approved            \_\_\_\_\_            Denied

c. Subdivision and Land Development Section 255-22.B.(1)(k) regarding the requirement that the plan show existing principal buildings (and their respective uses) and driveways on the adjacent peripheral strip. Sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads, and other significant man-made features within 500 feet of the site (including properties across the streets).

      X                  Approved            \_\_\_\_\_            Denied

***SO RESOLVED***, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this   8<sup>th</sup>   day of   January  , 2018.

RADNOR TOWNSHIP BOARD OF  
COMMISSIONERS

By: \_\_\_\_\_  
Name:  
Title:

ATTEST: \_\_\_\_\_

---

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



---

### Memorandum

To: Radnor Township Board of Commissioners

From: Stephen F. Norcini, PE, Township Engineer *LN*

CC: Robert A. Zienkowski, Township Manager  
William M. White, Assistant Manager/Director of Finance  
John Rice, Solicitor, Grim, Bien, & Thatcher

Date: January 2, 2018

---

**Re: Resolution #2018- 07- SALDO Application #2017-S-08 –Final - 1  
Meadowood Drive**

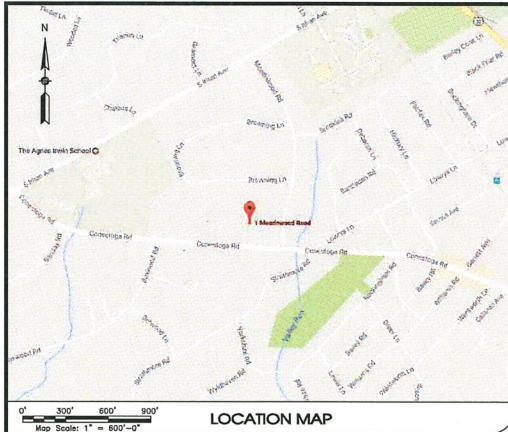
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The above referenced application is before the Board of Commissioners for possible final approval.

The applicant is proposing to subdivide an existing +/- 5.6-acre lot into three lots. The property is located at Conestoga and Meadowood Roads and backs up to Browning Lane, and contains a house that dates to the 19<sup>th</sup> century.

Enclosed are the detailed Gannett Fleming, Incorporated, Gilmore & Associates review letters and plan set.

# FINAL MINOR SUBDIVISION PLAN 1 MEADOWWOOD ROAD



AERIAL VIEW PLAN  
SCALE: 1"=100 +/-

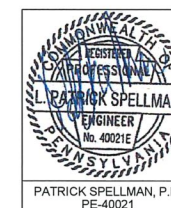
DRAWING SCHEDULE	SHEET No.
COVER SHEET	1
EXISTING FEATURES PLAN	2
FINAL SUBDIVISION PLAN (RECORDING SHEET 1 OF 1)	3
POTENTIAL SITE PLAN	4

THIS MINOR SUBDIVISION PLAN IS BEING  
SUBMITTED AS A FINAL PLAN PER §255-22.

NUM.	DATE	REVISION

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**JOSEPH L & MARGO P EREMUS**  
1 MEADOWWOOD ROAD  
BRYN MAWR, PA 19010  
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
DATE: 28 SEPT 2017

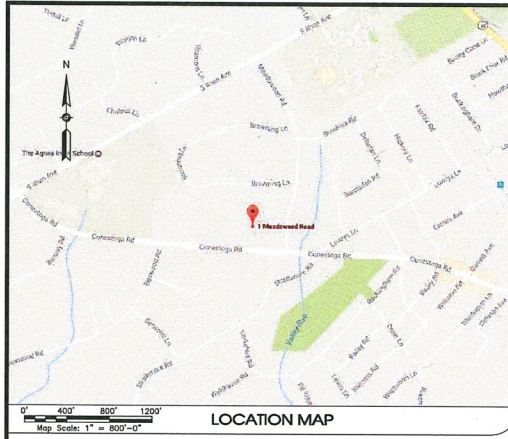


CIVIL ENGINEER:  
**SITE ENGINEERING CONCEPTS, LLC**  
ATTN: PATRICK SPELLMAN, P.E.  
P.O. BOX 1992 SOUTHEASTERN, PA 19399  
P: 610-523-9002  
E: PSPPELLMAN@SITE-ENGINEERS.COM

OWNERS, 1 MEADOWWOOD ROAD:  
**JOSEPH L. & MARGO P. EREMUS**  
1 MEADOWWOOD ROAD  
BRYN MAWR, PA 19010

COVER SHEET SHEET 1 of 4  
SCALE: 1" = 30'





NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20170761125



**TREE LEGEND**

AI	ALANTHUS	MB	MULBERRY
AS	ASH	MG	MAGNOLIA
AR	ARBORVITAE	MX	MAPLE
BE	BEECH	PK	PINE
BR	BIRCH	SA	SASSAFRAS
CD	CEDAR	SC	SWEETGUM
CH	CHESTNUT	SP	SPRUCE
CR	CHERRY	SR	SOURWOOD
DO	DOGWOOD	SY	SYCAMORE
EL	ELM	TU	TUPELO
FR	FRUIT	WP	WHITE PINE
HS	HICKBERRY	WA	WALNUT
HK	HICKORY	WI	WILLOW
HW	HEMLOCK	WP	WHITE PINE
HY	HOLLY	WD	WILD DOGWOOD
MA	MAPLE		
KD	KOUSSA		

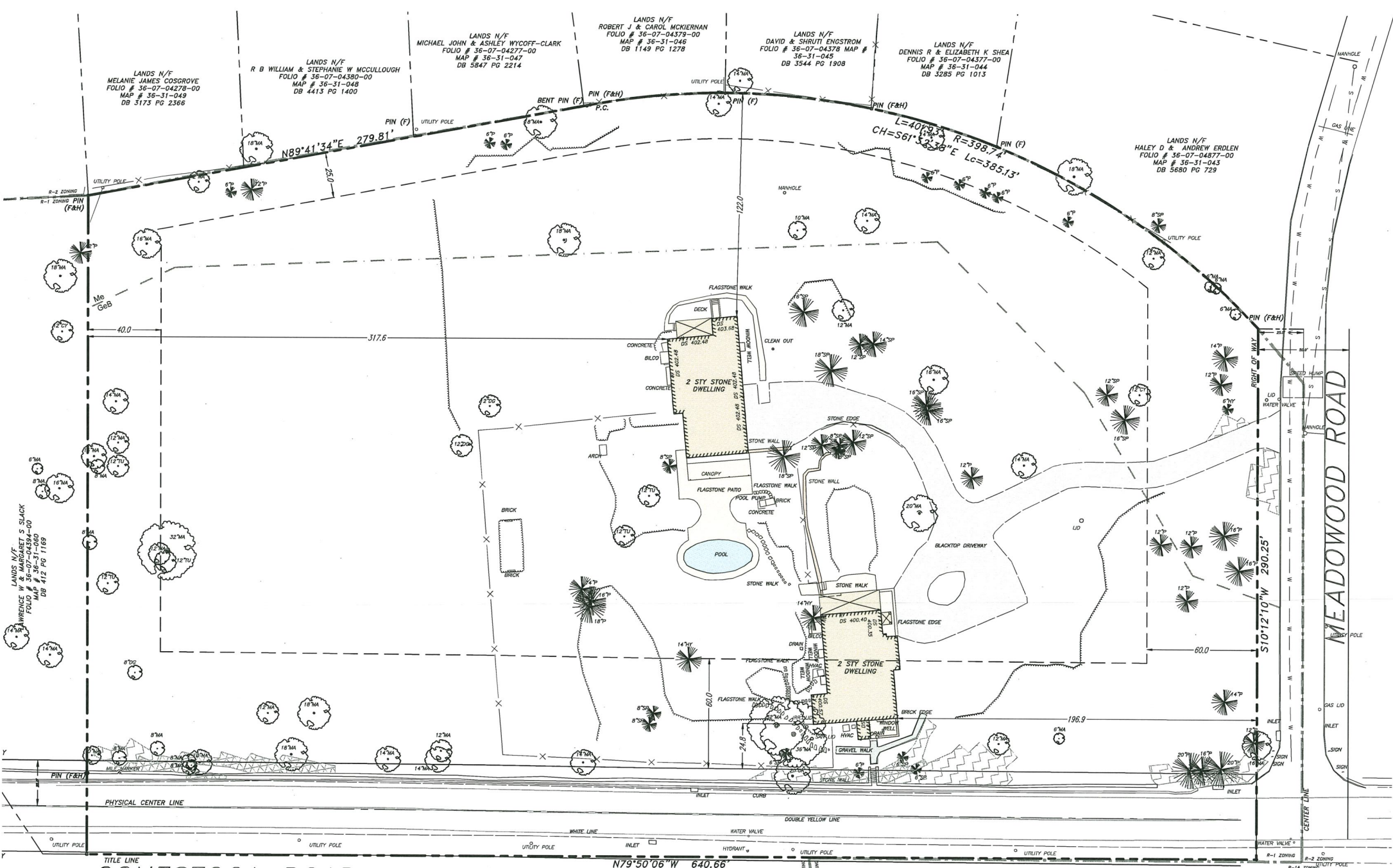
**PLAN LEGEND**

---	SUPPLEMENTAL CONTOUR (1' INTERVAL)
- - -	INDEX CONTOUR (5' INTERVAL)
---	EXISTING STORM SEWER PIPING
---	EXISTING SANITARY SEWER PIPING
---	EXISTING GAS MAIN
---	EXISTING WATER MAIN / SERVICE
---	EXISTING UNDERGROUND TELEPHONE
---	EXISTING EDGE OF WOODS
---	EXISTING EDGE OF PAVEMENT
---	EXISTING FENCE LINE
---	PROPERTY LINE
---	BUILDING SETBACK LINE
---	MAN-MADE SLOPES 2,511 SF 14% TO <20%+
---	MAN-MADE SLOPES 654 SF >=20%+
---	ZONING BOUNDARY
---	SOIL BOUNDARY & MAP SYMBOL



**GENERAL NOTES**

- PARCEL INFORMATION:  
TWP# 36-07-04403-00-0 Block 36-31 Unit 61  
DEED BOOK 976 PAGE 1199
- GROSS LOT AREA: 247,235 Sq. Ft.  
LOT AREA CLEAR OF ROAD RIGHT OF WAY: 215,315 Sq. Ft.
- ELEVATION BENCHMARK IS BASED ON APPROXIMATE USGS DATUM.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428-0006D OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.



**NET LOT CALCULATION (SF)**

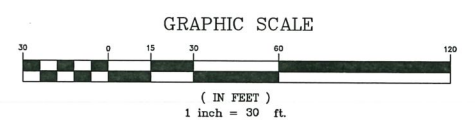
GROSS LOT AREA	247,235
LESS	
75% OF 100 YEAR FLOODPLAIN	0
75% OF WETLANDS	0
75% OF SLOPES >=20%	641
EXISTING PUBLIC ROW	31,279
NET LOT AREA	215,315

**ZONING SUMMARY**

R1 - RESIDENTIAL DISTRICT	
ORDINANCE ITEM	REQUIREMENT
MIN. LOT AREA	43,560 SF
MIN. LOT WIDTH @ BLDG	120 FT
MIN. SETBACKS	
FRONT	60 FT
SIDE (INDIVIDUAL/AGGREGATE)	25 FT / 60 FT
REAR	40 FT
MAX. BUILDING HEIGHT	35 FT
MAX. BUILDING COVERAGE	15%
MAX. IMPERVIOUS COVERAGE	22%

**IMPERVIOUS COVERAGE SUMMARY (SQ. FT.)**

GROSS AREA	EXISTING		PROPOSED	
	EXISTING	TO BE REMOVED	TO BE ADDED	NET
BUILDINGS	5,576	0	0	5,576
WALKS	1,513	0	0	1,513
PATIOS	1,673	0	0	1,673
DRIVES	8,510	0	0	8,510
DECKS	0	0	0	0
OTHER	238	0	0	238
TOTAL IMPERVIOUS COVERAGE	17,510	0	0	17,510
TOTAL BUILDING %	2.3%			2.3%
TOTAL IMPERVIOUS %	7.1%			7.1%

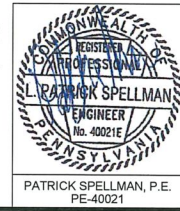


NUM. DATE REVISION

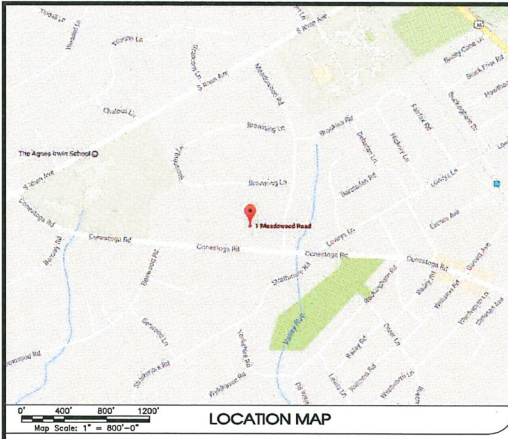
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PREPARED FOR:  
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1 MEADOWWOOD ROAD  
BRYN MAWR, PA 19010

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
DATE: 28 SEPT 2017



**EXISTING FEATURES PLAN**

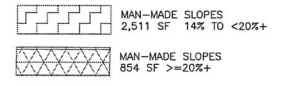


NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.



- DESIGN S/N: 20170761125
- TREE LEGEND**
- AI ALANTHUS
  - AS ASH
  - AV ARBORVITAE
  - BE BEECH
  - BR BIRCH
  - CH CHESTNUT
  - CH CHERRY
  - DO DOGWOOD
  - FR FRUIT
  - HA HACKBERRY
  - HE HICKORY
  - HM HEMLOCK
  - HL HULLY
  - MA MAPLE
  - KD KOUSSA DOGWOOD
  - MB MULBERRY
  - MG MAGNOLIA
  - JK J. MAPLE
  - OK OKALIPPO
  - SA SASSAFRAS
  - SW SWIFTGUM
  - PR PRINCE
  - SC Sycamore
  - SW SOURWOOD
  - TI TUPELO
  - TR TULIP
  - PO POPLAR
  - WA WALNUT
  - WI WILLOW
  - WP WHITE PINE

- PLAN LEGEND**
- BOLD LINES: PROPOSED**
- FACED LINES: EXISTING**
- 1" INTERVAL CONTOUR
  - 5" INTERVAL CONTOUR
  - ST STORM SEWER PIPING
  - S SANITARY SEWER PIPING
  - G GAS MAIN
  - M WATER MAIN / SERVICE
  - T UNDERGROUND TELEPHONE
  - EDGE OF WOODS
  - EDGE OF PAVEMENT
  - FENCE LINE
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - ZONING BOUNDARY
  - SOIL BOUNDARY & MAP SYMBOL



**PROPOSED LOT 1 IMPERVIOUS COVERAGE SUMMARY (SQ. FT.)**

GROSS AREA	EXISTING	TO BE REMOVED	TO BE ADDED	NET	PROPOSED
BUILDINGS	5,576	0	0	0	5,576
WALKS	1,513	0	0	0	1,513
PATIOS	1,513	0	0	0	1,513
DRIVES	8,510	0	0	0	8,510
DECKS	0	0	0	0	0
OTHER	238	0	0	0	238
TOTAL IMPERVIOUS COVERAGE	17,510	0	0	0	17,510
TOTAL BUILDING %	4.0%				4.0%
TOTAL IMPERVIOUS %	12.4%				12.4%

**NET LOT CALCULATION (SF)**

PARCEL	PARENT	LOT 1	LOT 2	LOT 3
GROSS LOT AREA	247,235	141,113	54,646	51,476
LESS				
75% OF 100 YEAR FLOODPLAIN	0	0	0	0
75% OF WETLANDS	0	0	0	0
75% OF SLOPES >=20%	641	0	0	641
EXISTING PUBLIC ROW	31,279	17,447	6,828	7,004
NET LOT AREA	215,315	123,666	47,818	43,831

- GENERAL NOTES**
- ELEVATION BENCHMARK IS BASED ON APPROXIMATE USGS DATUM.
  - THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
  - THERE IS NO IDENTIFIABLE FLOOD PLAIN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428-0080B OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
  - EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER. PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION.

**ZONING SUMMARY**

ORDINANCE ITEM	R-1 DISTRICT REQUIREMENT	EXISTING TRACT	PROPOSED LOT 1	PROPOSED LOT 2	PROPOSED LOT 3
MIN. LOT AREA-ZONING	43,500 SF	215,315 SF	123,666 SF	47,818 SF	43,831 SF
MIN. LOT WIDTH @ BLDG LINE - CONESTOGA	120 FT	640.7 FT	365.8 FT	138.9 FT	136.0 FT
MIN. LOT WIDTH @ BLDG LINE - MEADOWWOOD	120 FT	243.6 FT	243.6 FT	N/A	N/A
MIN. PRINCIPLE SETBACKS					
FRONT - CONESTOGA	60 FT	24.8 FT*	24.8 FT*	>=60 FT	>=60 FT
FRONT - MEADOWWOOD	60 FT	196.9 FT	196.9 FT	N/A	N/A
SIDE (INDIVIDUAL/AGGREGATE)	25 FT / 60 FT	122.0 FT**	42.5 FT**	>=25 FT / >=60 FT	>=25 FT / >=60 FT
REAR	40 FT	317.6 FT	122.0 FT	>=40 FT	>=40 FT
MAX. BUILDING HEIGHT	35 FT	< 35 FT	< 35 FT	<=35 FT	<=35 FT
MAX. BUILDING COVERAGE	15%	2.3%	4.0%	<=15%	<=15%
MAX. IMPERVIOUS COVERAGE	22%	7.1%	12.4%	<=22%	<=22%
MEAN DEPTH TO STREET LINE		640	365	349	322
WIDTH AT STREET LINE		240	329	137	138
DEPTH/WIDTH RATIO	2.5:1	2.7:1*	1.1:1	2.5:1	2.3:1

NOTES:  
\* EXISTING NON-CORNER CONDITION  
\*\* CORNER LOT W/ ONE SIDE YARD

**SOILS DATA**

CHP (712) - GLENELO CHANNERY LOAM, 3 TO 8 PERCENT SLOPES TO PARALITIC BERCOCK NATURAL DRAINAGE CLASS: WELL DRAINED DEPTH TO WATER TABLE MORE THAN 60 INCHES HYDROLOGIC SOIL GROUP: B HYDROIC SOIL RATING: NO

Me (29X) - MADE LAND, SCHIST & GNEISS, DEPTHS TO RESTRICTIVE FEATURES: 40 TO 72 INCHES TO PARALITIC BERCOCK NATURAL DRAINAGE CLASS: WELL DRAINED DEPTH TO WATER TABLE ABOUT 60 INCHES HYDROLOGIC SOIL GROUP: C HYDROIC SOIL RATING: NO

**WAIVER REQUESTED**

1. §255-22 - PLAN CONTENTS: THE APPLICANT IS REQUESTING A WAIVER, TO THE EXTENT NECESSARY, FROM CERTAIN PROVISIONS OF CHAPTER 255-22 REQUIRING A MINOR SUBDIVISION PLAN TO CONTAIN:

A. §255-22.B.(1)(h) & B.(5): WETLANDS DELINEATION;  
B. §255-22.B.(1)(a): MAN-MADE FEATURES WITHIN 500' OF THE SITE;

WETLANDS DELINEATION IS NOT NECESSARY AS THE PROPERTY IS FULLY DEVELOPED WITH IMPERVIOUS LAWN AND LANDSCAPING. IT CONSISTS OF HIGH GROUND WITH NO STREAMS OR OTHER CONDITIONS CONDUCIVE TO WETLANDS. THERE ARE NO HYDROIC SOILS ON THE PROPERTY PER USDA NRCS WEB SOIL SURVEY.

AN AERIAL SHOWING THE SIGNIFICANT MAN-MADE FEATURES IN THE SURROUNDING AREA WITHIN 500' OF THE PROPERTY HAS BEEN PROVIDED. A SITE SURVEY PROVIDES FEATURES ON THE SITE AND IMMEDIATELY ADJACENT TO THE PROPERTY LINES.

COMMONWEALTH OF PENNSYLVANIA, COUNTY OF ... BEFORE ME, NOTARY PUBLIC OF THE COMMONWEALTH OF PENNSYLVANIA, PERSONALLY APPEARED WHO ACKNOWLEDGED TO BE THE OWNERS OF THE PROPERTY SHOWN ON THE PLAN, THAT THE PLAN WAS MADE AT THEIR DIRECTION AND THAT IT IS THEIR INTENTION TO HAVE THE PLAN RECORDED.

(DECEASED)  
JOSEPH L. EREMUS, 1 MEADOWWOOD ROAD

MARGO P. EREMUS, 1 MEADOWWOOD ROAD  
NOTARY PUBLIC:  
MY COMMISSION EXPIRES:

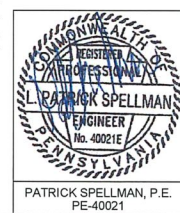
**PROJECT NARRATIVE**

THE OWNERS OF 1 MEADOWWOOD ROAD PROPOSE TO SUBDIVIDE THE PARENT TRACT INTO 3 LOTS FOR SINGLE FAMILY DWELLINGS. THE EXISTING IMPROVEMENTS WILL REMAIN ON LOT 1. BUILDING TYPES FOR LOTS 2 AND 3 WILL BE DETERMINED AS PART OF ANY GRADING PERMITS, IF DEVELOPED IN THE FUTURE.

NUM.	DATE	REVISION

PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**JOSEPH L & MARGO P EREMUS**  
1 MEADOWWOOD ROAD  
BRYN MAWR, PA 19010  
RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
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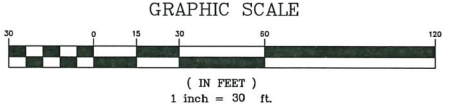
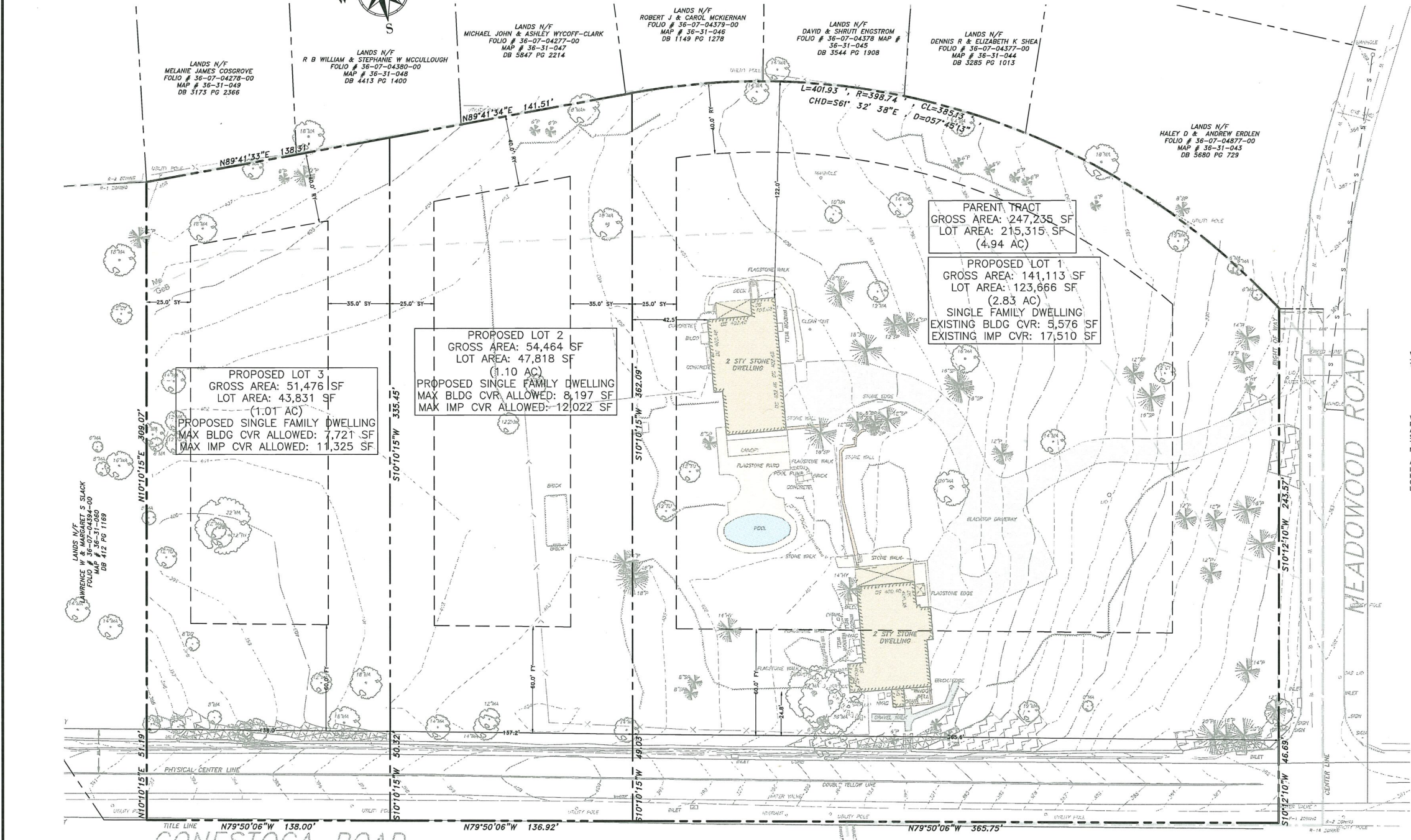


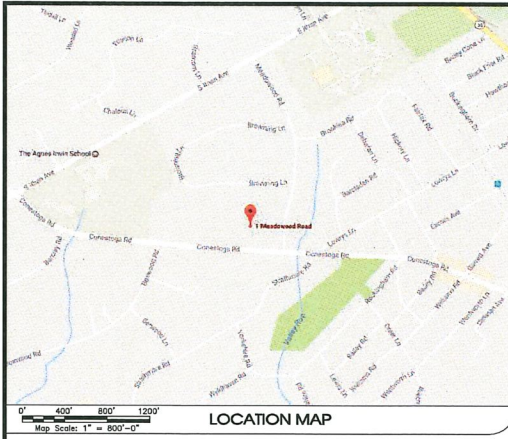
PATRICK SPELLMAN, P.E.  
PE-40021

**FINAL MINOR SUBDIVISION PLAN**

**SHEET 3 of 4**

SCALE: 1" = 30'





NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20170761125



**LOT 3 IMPERVIOUS COVERAGE SUMMARY POTENTIAL SITE PLAN (SQ. FT.)**

	EXISTING	TO BE REMOVED	TO BE ADDED	NET	PROPOSED
BUILDINGS	0	0	2,811	2,811	2,811
WALKS	0	0	184	184	184
PATIOS	0	0	1,013	1,013	1,013
DRIVES	0	0	4,652	4,652	4,652
DECKS	0	0	0	0	0
OTHER	0	0	1,500	1,500	1,500
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>0</b>	<b>0</b>	<b>10,160</b>	<b>10,160</b>	<b>10,160</b>
<b>TOTAL BUILDING %</b>	<b>0.0%</b>				<b>5.5%</b>
<b>TOTAL IMPERVIOUS %</b>	<b>0.0%</b>				<b>19.7%</b>

**LOT 2 IMPERVIOUS COVERAGE SUMMARY POTENTIAL SITE PLAN (SQ. FT.)**

	EXISTING	TO BE REMOVED	TO BE ADDED	NET	PROPOSED
BUILDINGS	0	0	2,540	2,540	2,540
WALKS	0	0	138	138	138
PATIOS	0	0	1,236	1,236	1,236
DRIVES	0	0	4,666	4,666	4,666
DECKS	0	0	0	0	0
OTHER	0	0	1,500	1,500	1,500
<b>TOTAL IMPERVIOUS COVERAGE</b>	<b>0</b>	<b>0</b>	<b>10,080</b>	<b>10,080</b>	<b>10,080</b>
<b>TOTAL BUILDING %</b>	<b>0.0%</b>				<b>4.6%</b>
<b>TOTAL IMPERVIOUS %</b>	<b>0.0%</b>				<b>18.4%</b>

- TREE LEGEND**
- AL ALANTHUS
  - AS ASPEN
  - AV ARBORVITAE
  - BE BEECH
  - BR BIRCH
  - CE CEDAR
  - CH CHESTNUT
  - CO COCKER
  - DO DOGWOOD
  - EL ELM
  - FR FRUIT
  - HB HACKBERRY
  - HK HICKORY
  - HM HEMLOCK
  - HT HOLLY
  - MA MAPLE
  - KD KOUSA DOGWOOD
  - MB MULBERRY
  - MJ MAGNOLIA
  - PK PINE
  - SA SASSAFRAS
  - SH SHRETBUM
  - SO SOURWOOD
  - SP SPICE
  - ST Sycamore
  - TU TUPELO
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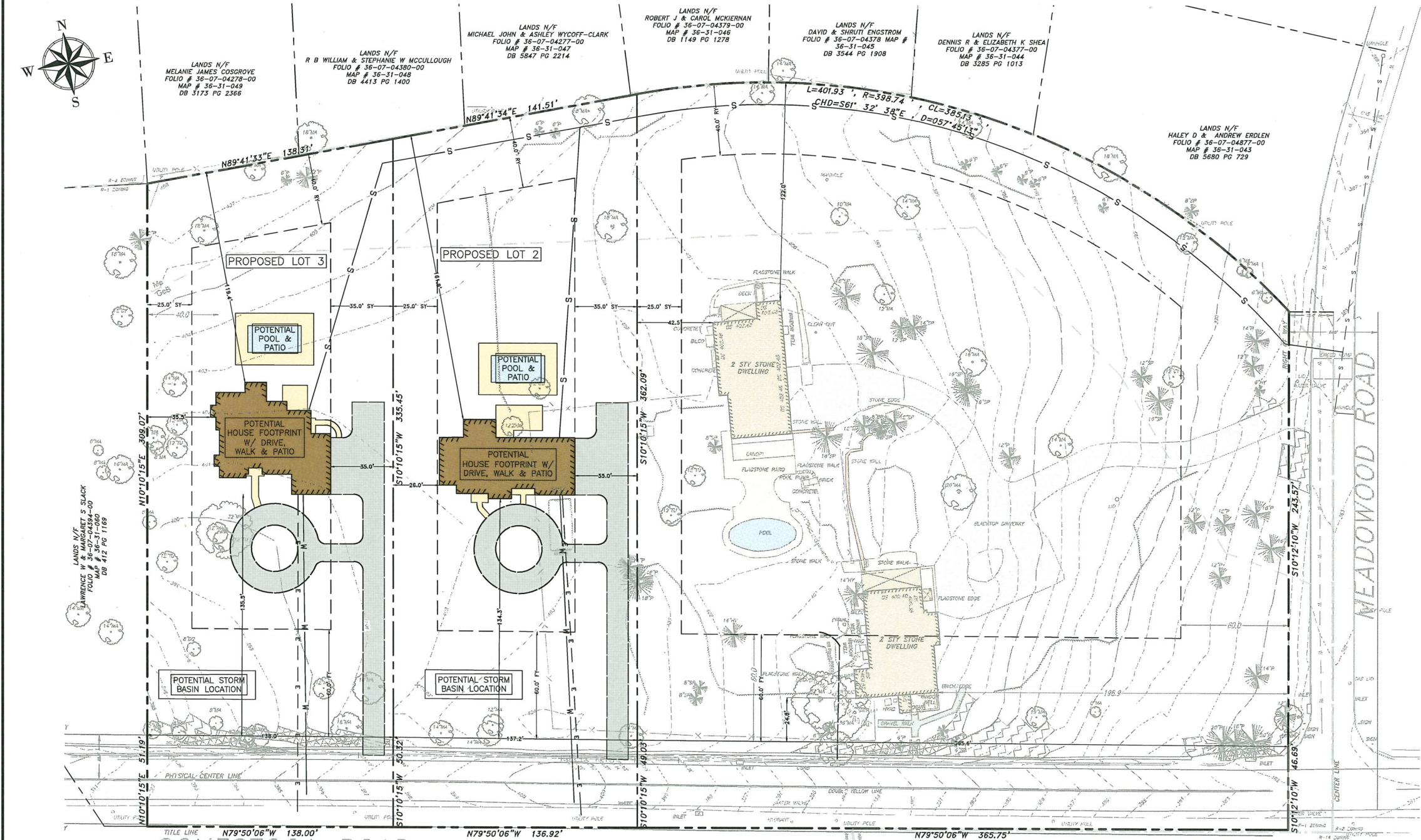
- PLAN LEGEND**
- BOLD LINES: PROPOSED
  - FADED LINES: EXISTING
  - 1' INTERVAL CONTOUR
  - 5' INTERVAL CONTOUR
  - ST STORM SEWER PIPING
  - S SANITARY SEWER PIPING
  - G GAS MAIN
  - W WATER MAIN / SERVICE
  - U UNDERGROUND TELEPHONE
  - E EDGE OF WOODS
  - EDGE OF PAVEMENT
  - X FENCE LINE
  - PROPERTY LINE
  - BUILDING SETBACK LINE
  - ZONING BOUNDARY
  - SOIL BOUNDARY & MAP SYMBOL
  - MAN-MADE SLOPES 2,511 SF 14% TO <20%+
  - MAN-MADE SLOPES 854 SF >=20%+

**GENERAL NOTES**

- ELEVATION BENCHMARK IS BASED ON APPROXIMATE USGS DATUM.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
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**ZONING SUMMARY FOR POTENTIAL LAYOUT**

ORDINANCE ITEM	R-1 DISTRICT REQUIREMENT	PROPOSED LOT 2	PROPOSED LOT 3
MIN. LOT AREA-ZONING	43,560 SF	47,818 SF	43,831 SF
MIN. LOT WIDTH @ BLDG LINE - CONESTOGA	120 FT	137.2 FT	138
MIN. PRINCIPLE SETBACKS			
FRONT - CONESTOGA	60 FT	134.3 FT	135.5 FT
SIDE (INDIVIDUAL/AGGREGATE)	25 FT / 60 FT	28.0 FT / 61.0 FT	35.0 FT / 70.5 FT
REAR	40 FT	161.9 FT	119.4 FT
MAX. BUILDING HEIGHT	35 FT	<=35 FT	<=35 FT
MAX. BUILDING COVERAGE	15%	4.6%	5.5%
MAX. IMPERVIOUS COVERAGE	22%	18.4%	19.7%
MEAN DEPTH TO STREET LINE		349	322
WIDTH AT STREET LINE		137	138
DEPTH/WIDTH RATIO	2.5:1	2.5:1	2.3:1



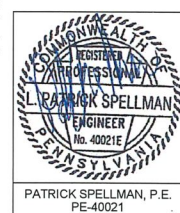
THIS PLAN REPRESENTS ONE POSSIBLE CONFIGURATION FOR LOTS 2 AND 3. FINAL PROPOSED SITE PLANS WILL BE SUBMITTED WITH GRADING PERMIT APPLICATIONS IF THE LOTS ARE DEVELOPED.

NUM.	DATE	REVISION

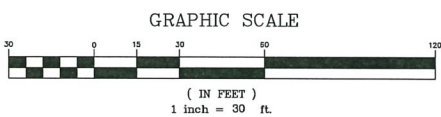
PLAN PREPARED BY:  
**SITE ENGINEERING CONCEPTS, LLC**  
 P.O. BOX 1992  
 SOUTHEASTERN, PA 19399  
 P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:  
**JOSEPH L & MARGO P EREMUS**  
 1 MEADOWOOD ROAD  
 BRYN MAWR, PA 19010

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA  
 DATE: 28 SEPT 2017



**CONESTOGA ROAD**  
 (SR 1019; MAJOR COLLECTOR)  
 (35 MPH)





# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** November 20, 2017

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department  
Ray Daly – Radnor Township Codes Official

**RE:** 1Meadowood Road– Minor Final Plan  
Margo P Ememus – Applicant

Date Accepted: October 2, 2017  
90 Day Review: December 31, 2017

---

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the tract into 3 lots. All the existing improvements will remain on Lot #1. Any buildings proposed for lot 2 and 3 will be reviewed as part of the grading permit process if the lots are developed in the future.

The applicant has indicated that the following waivers are being requested:

1. §255-22(B).1.h – Wetlands delineated by an accredited consultant, and said delineation, unless waived by the Radnor Township Board of Commissioners, shall be approved by the Army Corps of Engineers.
2. §255-22(B).5 – Wetlands, as delineated in accordance with the requirements of §255-20B(4)(d).
3. §255-22(B).1.k - The showing of sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site including properties across streets. These features are shown in the immediate vicinity of the site.



1 Meadowood Road

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 09/28/2017

Sewage Facilities Planning

1. A sewage facilities planning module must be prepared for the proposed subdivision. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

Zoning

1. §280.15.C – There shall be a front yard on each street on which a lot abuts, which shall not be less the 60 feet in depth. The existing house is 24.8 feet. This is a non-conformity that the applicant wishes to continue.

Subdivision and Land Development

1. §255-22(B).1.h – Wetlands delineated by an accredited consultant, and said delineation, unless waived by the Radnor Township Board of Commissioners, shall be approved by the Army Corps of Engineers, must be shown on the plans. The applicant has requested a waiver from this requirement.
2. §255-22(B).5 – Wetlands, as delineated in accordance with the requirements of §255-20B(4)(d), must be shown on the plans. The applicant has requested a waiver from this requirement.
3. §255.22.B(1)(k) – Existing principal buildings and their respective uses, and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets). The applicant has requested a waiver from this requirement.
4. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. The right-of-way for Conestoga Road and Meadowood Road must be shown on the plans.
5. §255.34.E – The depth of lots shall generally not exceed their width by more than 2.5 times.
6. §255-36 - Curbs shall be provided along streets when required by the Township.



7. §255-37.A – Sidewalks and pedestrian paths shall be provided when required by the Board of Commissioners.
8. §255-49 – Where appropriate, the developer shall install or cause to be installed, at the developer's expense, metal or fiberglass pole streetlights serviced by underground conduit in accordance with a plan to be prepared by the developer's engineer and approved by the Board of Commissioners and the Philadelphia Electric Company.
9. §255-51.A. – Sidewalks shall be constructed as required by §255-27C. These standards shall apply on all new streets and on existing streets, unless in the opinion of the Board of Commissioners they are unnecessary for public safety and convenience.

General

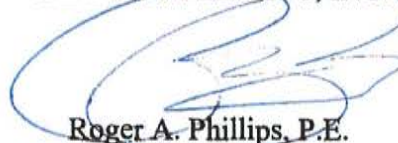
1. New deeds must be prepared and recorded at the Delaware County Court house at the time of plan recording.
2. The existing sanitary sewer connection to Lot 1 must be shown on the plans.
3. The potential site plan on sheet 4 of 4 indicates that the proposed driveway for Lot 3 will be through man made steep slopes of greater than 20% and it appears that the driveways for Lot 2 and 3 will be made through the existing retaining wall.
4. The potential site plan on sheet 4 or 4 indicates that the proposed sanitary sewer to service the lots will be through the back of the properties to Meadowood Road since there are no sanitary sewer lines in Conestoga Road. Easements must be provided through this subdivision process to ensure that sewer service will be provided to Lot 2 and Lot 3.

The applicant appeared before the Planning Commission on November 6, 2017. The Planning Commission recommended approval conditioned on the applicant only providing one curb cut for access to lots 2 and 3 and granting the requested waivers.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



## DELAWARE COUNTY PLANNING COMMISSION

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

### COUNCIL

MARIO J. CIVERA, JR.  
CHAIRMAN

COLLEEN P. MORRONE  
VICE CHAIRMAN

JOHN P. McBLAIN  
DAVID J. WHITE  
MICHAEL F. CULP

**Office Location:** Toal Building, 2<sup>nd</sup> & Orange Sts., Media, PA 19063  
**Phone:** (610) 891-5200 **FAX:** (610) 891-5203  
**E-mail:** [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

LINDA F. HILL  
DIRECTOR

November 16, 2017

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

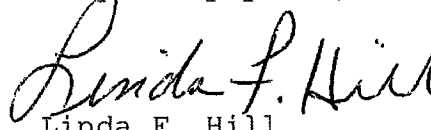
RE: Name of Dev't: 1 Meadowood Road  
DCPD File No.: 34-7278-17  
Developer: Joseph (Deceased) and Margo P. Eremus  
Location: Northwest corner of the intersection of  
Meadowood and Conestoga Roads  
Recv'd in DCPD: October 17, 2017

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on November 16, 2017, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

  
Linda F. Hill  
Director

cc: Joseph (Deceased) and Margo P. Eremus  
Site Engineering Concept LLC



# DCPD

## DELAWARE COUNTY PLANNING DEPARTMENT

Court House/ Government Center , 201 W. Front St., Media, PA 19063  
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

Date: November 16, 2017

File No.: 34-7278-17

PLAN TITLE: 1 Meadowood Road

DATE OF PLAN: September 28, 2017

OWNER OR AGENT: Joseph (Deceased) and Margo P. Eremus

LOCATION: Northwest corner of the intersection of Meadowood and Conestoga Roads

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Subdivision

ZONING DISTRICT: R-1

SUBDIVISION ORDINANCE: Local

PROPOSAL: Subdivide 5.67 acres into three lots

UTILITIES: Public

RECOMMENDATIONS: Approval

STAFF REVIEW BY: Michael A. Leventry

REMARKS:

### CURRENT PROPOSAL

The applicant proposes to subdivide one 5.67-acre parcel into three. Lot 1 will continue to be used as single-family detached residential, and Lots 2 and 3 are proposed to be developed as the same use.





Date: November 16, 2017

File No.: 34-7278-17

REMARKS (continued):

**SITE CHARACTERISTICS**

The site is located in a neighborhood that is predominantly single-family detached residential.

**APPLICABLE ZONING**

The proposal is located within the R-1 district and is subject to applicable regulations set forth in the Township zoning code.

**EXISTING NONCONFORMITIES**

The site's existing dwelling does not appear to comply with the front yard setback regulations established in the Township zoning code. The proposal does not exacerbate this existing nonconformity.

**COMPLIANCE**

With exception to the existing non-conforming structure, the proposal appears to comply with the R-5 district provisions.

**SEWAGE FACILITIES**

The developer should contact the Pennsylvania Department of Environmental Protection regarding the need for sewage facilities planning approval.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

**STORMWATER MANAGEMENT**

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

Date: November 16, 2017  
File No.: 34-7278-17

REMARKS (continued):

**HISTORIC AND ARCHEOLOGICAL SIGNIFICANCE**

There is a low potential for underground archeological resources, according to the County-wide Archeological Inventory and Management Plan. There are two homes on the site. Both appear to be historic, and one or more has a core dating 1804, with additions in the Colonial Revival style. More information is needed to determine if they are National Register-eligible. They are listed on the Radnor Historic Resource Survey as #H025, and are of local historic significance.

The proposed activity of subdividing the property should have no effect on the potential historic resources being left on Parcel 1.

**SIDEWALKS**

The applicant should construct sidewalks along the Conestoga and Meadowood Road property frontages. There is currently a sidewalk along Conestoga Road from Meadowood Road to the Garrett Hill business district to the east. With an extension of this sidewalk from Meadowood Road to the west and along Meadowood Road north of Conestoga Road, residents of this area would be able to safely walk along Conestoga Road to the Garrett Hill business district and the Norristown High Speed Line station.

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.

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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT



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### Memorandum

To: Radnor Township Planning Commission

From: Stephen F. Norcini, PE, Township Engineer *SN*

CC: Roger Phillips, PE, Gannett Fleming, Incorporated  
Amy Kaminski, PE, PTOE, Gilmore & Associates, Incorporated  
Kevin Kochanski, CZO, Director of Community Development  
Peter Nelson, Solicitor, Grim, Biehn, & Thatcher

Date: October 31, 2017

---

**Re: 1 Meadowood Road – Minor Final Plan**  
**Applicant: Margo P. Emerus**

---

The application before the Planning Commission for 1 Meadowood Road is proposing to subdivide an existing lot of +/- 5.6 acres into three lots. The subject property is bound by Conestoga Road and Meadowood Road, and backs up the homes on Browning Lane. The house on the parent lot was built at the turn of the 19<sup>th</sup> century.

As noted in the detailed review letters from Gannett Fleming, the applicant is requesting waivers from the requirements for wetlands delineation and the manmade features map.

Included in the packet, amongst the applications, etc., are the applicant's plan set, and the Gannett Fleming and Gilmore & Associates review letters.

Enclosures: Gannett Fleming Review Letter  
Gilmore & Associates Review Letter  
1 Meadowood Road Plan Set



# Gannett Fleming

*Excellence Delivered **As Promised***

**Date:** October 30, 2017

**To:** Steve Norcini, PE Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department  
Ray Daly – Radnor Township Codes Official

**RE:** 1Meadowood Road– Minor Final Plan  
Margo P Ememus – Applicant

Date Accepted: October 2, 2017

90 Day Review: December 31, 2017

---

Gannett Fleming, Inc. has completed a review of the Minor Final Subdivision Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to subdivide the tract into 3 lots. All the existing improvements will remain on Lot #1. Any buildings proposed for lot 2 and 3 will be reviewed as part of the grading permit process if the lots are developed in the future.

The applicant has indicated that the following waivers are being requested:

1. §255-22(B).1.h – Wetlands delineated by an accredited consultant, and said delineation, unless waived by the Radnor Township Board of Commissioners, shall be approved by the Army Corps of Engineers.
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1 Meadowood Road

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 09/28/2017

Sewage Facilities Planning

1. A sewage facilities planning module must be prepared for the proposed subdivision. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

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1. §280.15.C – There shall be a front yard on each street on which a lot abuts, which shall not be less the 60 feet in depth. The existing house is 24.8 feet. This is a non-conformity that the applicant wishes to continue.

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4. §255.27.C(2) – Where a subdivision abut or contains an existing street of inadequate right-of-way width, the Board of Commissioners may require the reservation or dedication of rights-of-way to conform with the required standards. The right-of-way for Conestoga Road and Meadowood Road must be shown on the plans.
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6. §255-36 - Curbs shall be provided along streets when required by the Township.



7. §255-37.A – Sidewalks and pedestrian paths shall be provided when required by the Board of Commissioners.
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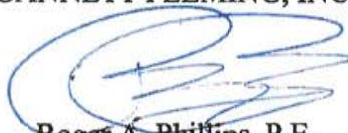
General

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2. The existing sanitary sewer connection to Lot 1 must be shown on the plans.
3. The potential site plan on sheet 4 of 4 indicates that the proposed driveway for Lot 3 will be through man made steep slopes of greater than 20% and it appears that the driveways for Lot 2 and 3 will be made through the existing retaining wall.
4. The potential site plan on sheet 4 or 4 indicates that the proposed sanitary sewer to service the lots will be through the back of the properties to Meadowood Road since there are no sanitary sewer lines in Conestoga Road. Easements must be provided through this subdivision process to ensure that sewer service will be provided to Lot 2 and Lot 3.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**MEMORANDUM**

---

**Date:** October 23, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Amy Kaminski, P.E., PTOE  
Transportation Services Manager

**cc:** Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** 1 Meadowood Road  
Minor Final Subdivision Review 1  
Radnor Township, Delaware County, PA  
G&A 17-10039

---

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following transportation comments for Radnor Township consideration:

**A. BACKGROUND**

The Applicant is proposing to subdivide one (1) existing lot into three (3) lots in addition to constructing two (2) single family dwelling units. The existing dwelling units, located at 1 Meadowood Road, will continue to take access to Meadowood Road while proposed lots 2 and 3 will take access to Conestoga Road (S.R. 1019).

**B. DOCUMENTS REVIEWED**

1. Final Minor Subdivision Plans for 1 Meadowood Road, prepared for Joseph & Margo Eremus, prepared by Site Engineering Concepts, LLC, dated September 28, 2017.
2. Waiver Request Letter for 1 Meadowood Road, prepared for Radnor Township, prepared by Site Engineering Concepts, LLC, dated September 28, 2017.
3. Subdivision and Land Development Application.
4. Application for Act 247 Review.

**C. SUBDIVISION AND LAND DEVELOPMENT ORDINANCE COMMENTS**

1. §255-22.B(1)(k) – The Applicant is requesting a waiver from providing man-made features within 500 feet of the site. An aerial image has been provided in lieu of this requirement.

2. §255-27.A(8) – Any Applicant who encroaches within the legal right-of-way of a state highway is required to obtain a highway occupancy permit from the Pennsylvania Department of Transportation. The Applicant shall initiate the HOP process simultaneous to the preliminary plan submission in accordance with the latest PennDOT procedures. The developer shall include the municipality in any and all meetings, including the Scoping Meeting and/or correspondence or discussions regarding the permitting process. Any documentation submitted as part of the HOP process shall be simultaneously submitted to the municipality for review purposes. Additionally, in order to facilitate our review of the highway occupancy plan submission, the Applicant shall include Gilmore & Associates as an “Engineering Firm” on the permit application within the PennDOT ePermitting System.
3. §255-27.B(3)(c) and §255-27.C(1) - Conestoga Road (S.R. 1019) is identified as a Major Collector and requires an 80’ right-of-way, a minimum 48’ cartway width, curb and sidewalk. Revise the plans to identify the right-of-way and cartway widths along Conestoga Road. The Applicant shall be required to widen the cartway and right-of-way width in addition to providing curb and sidewalk for the full length of the site frontage along Conestoga Road.
4. §255-27.H(6) – Minimum curb radii at street intersections shall be 10 feet for driveways.
5. §255-27.I(5) & §255-28.B Driveways shall be so located and designed as to provide a reasonable sight distance at street intersections. The plans shall be revised to include the calculated sight-distance for the proposed driveways utilizing the 85<sup>th</sup> percentile speed (or 5 mph above the posted speed limit) for Conestoga Road.

**D. GENERAL COMMENTS**

1. The plans should be revised to include driveway apron details in accordance with PennDOT RC-67M.



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
www.radnor.com

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

October 10, 2017

Margo P. Eremus  
1 Meadowood Road  
Bryn Mawr, PA 19010

**RE: Minor Final Subdivision Application #2017-S-08**  
**1 Meadowood Road**


Dear Ms. Eremus:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your minor final subdivision application to subdivide one lot into three lots. Therefore, I have accepted the application for minor final subdivision for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday November 6, 2017**.

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Ave., Wayne, Pa 19087.

Sincerely,

  
Stephen F. Norcini, PE  
Township Engineer  
Radnor Township

# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

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September 28, 2017

Mr. Robert Zienkowski  
Township Manager  
Radnor Township  
301 Iven Ave  
Wayne, PA 19087

**Re: Waiver Request  
Minor Subdivision Plan  
1 Meadowood Road**

The Owners of 1 Meadowood Road propose to subdivide the tract into 3 lots. The following waiver is requested for Minor Subdivision Application.

1. §255-22 - plan contents: the applicant is requesting a waiver, to the extent necessary, from certain provisions of chapter 255-22 requiring a minor subdivision plan to contain:
  - A. §255-22.b.(1)(h) & b.(5): wetlands delineation;
  - B. §255-22.b.(1)(k): man-made features within 500' of the site;

Wetlands Delineation is not necessary as the property is fully developed with impervious, lawn and landscaping. It consists of high ground with no streams or other conditions conducive to wetlands. There are no hydric soils on the property per USDA NRCS web soil survey.

An aerial showing the significant man-made features in the surrounding area within 500' of the property has been provided. A site survey provides features on the site and immediately adjacent to the property lines.

We appreciate your consideration of this request. Should you have any questions and/or comments, please contact me at [pspellman@site-engineers.com](mailto:pspellman@site-engineers.com) or 610.523.9002.

Sincerely,



Patrick Spellman, P.E.

SITE ENGINEERING CONCEPTS, LLC  
CIVIL ENGINEERING AND CONSULTING SERVICES

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TRANSMITTAL

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TO: Stephen Norcini, P.E., Township Engineer	FROM: Patrick Spellman
COMPANY: Radnor Township	DATE: 9/28/2017
STREET ADDRESS: 301 Iven Avenue	PHONE:
CITY, ZIP: Wayne, PA 19087	SENDER'S REFERENCE NUMBER: 36-31-061 Eremus 1 Meadowood Rd
RE: Final Minor Subdivision Application	CC: Joseph and Margo Eremus, Owner

COPIES	SHEETS	DATE	ITEM
1	2	9/22/17	MINOR SUBDIVISION APPLICATION
1	1	9/22/17	ACT 247 REFERRAL
1	CHK	9/22/17	\$1,400 MINOR SUBDIVISION APPLICATION FEE
1	CHK	9/22/17	\$7,000 PROFESSIONAL SERVICES FEE
1	CHK	9/22/17	\$180 ACT 247 FEE
26	4	9/28/17	FINAL MINOR SUBDIVISION PLAN SET
7	4	9/28/17	FINAL MINOR SUBDIVISION PLAN SET, REDUCED, 11X17
2	1	9/28/17	WAIVER REQUEST LETTER
2	16	6/23/92	DEED, 1 MEADOWOOD ROAD
10	-		USB DRIVE WITH PDF FILES

NOTES/COMMENTS:

Enclosed please find the Final Minor Subdivision Application for a 3 Lot Subdivision at 1 Meadowood Road. If you have any questions or comments, please contact me at [pspellman@site-engineers.com](mailto:pspellman@site-engineers.com) or 610.523.9002.

**DELAWARE COUNTY PLANNING COMMISSION**

**APPLICATION FOR ACT 247 REVIEW**

**Incomplete applications will be returned and will not be considered "received" until all required information is provided.**

Please type or print legibly

**DEVELOPER/APPLICANT**

Name JOSEPH L. (DECEASED) & MARGO P. EREMUS E-mail C/O PSPELLMAN@SITE-ENGINEERS.COM

Address 1 MEADOWOOD ROAD Phone 610.523.9002

Name of Development 1 MEADOWOOD ROAD

Municipality RADNOR

**ARCHITECT, ENGINEER, OR SURVEYOR**

Name of Firm SITE ENGINEERING CONCEPT LLC Phone 610.523.9002

Address PO BOX 1992, SOUTHEASTERN, PA 19399

Contact PATRICK SPELLMAN E-mail PSPELLMAN@SITE-ENGINEERS.COM

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input type="checkbox"/> Land Development	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input checked="" type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District R-1

Tax Map # 36 / 31 / 061

Tax Folio # 36 / 07 / 04403 / 00

**STATEMENT OF INTENT**  
WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

SINGLE FAMILY RESIDENTIAL

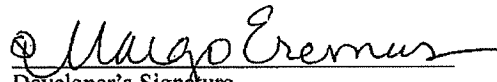
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Total Site Area                      247,235                      Acres  
Size of All Existing Buildings      5576                      Square Feet  
Size of All Proposed Buildings      5576                      Square Feet  
Size of Buildings to be Demolished 0                      Square Feet

MARGO EREMUS  
Print Developer's Name

  
Developer's Signature

**MUNICIPAL SECTION**  
ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission      Regular Meeting \_\_\_\_\_

Local Governing Body              Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

\_\_\_\_\_  
Print Name and Title of Designated Municipal Official

\_\_\_\_\_  
Phone Number

\_\_\_\_\_  
Official's Signature

\_\_\_\_\_  
Date

**FOR DCPD USE ONLY**

Review Fee:                      Check # \_\_\_\_\_                      Amount \$ \_\_\_\_\_                      Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**

RADNOR TOWNSHIP  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

SUBDIVISION ~ LAND DEVELOPMENT

Location of Property 1 MEADOWOOD ROAD

Zoning District R-1

Application No. \_\_\_\_\_  
(Twp. Use)

Fee \_\_\_\_\_

Ward No. \_\_\_\_\_

Is property in HARB District NO

Applicant: (Choose one)

Owner X

Equitable Owner \_\_\_\_\_

Name JOSEPH L. (DECEASED) AND MARGO P. EREMUS

Address 1 MEADOWOOD ROAD, BRYN MAWR, 19010

Telephone 610.523.9002 Fax \_\_\_\_\_ Cell \_\_\_\_\_

Email C/O PSPELLMAN@SITE-ENGINEERS.COM

Designer: (Choose one)

Engineer X

Surveyor \_\_\_\_\_

Name SITE ENGINEERING CONCEPTS, LLC

Address PO BOX 1992, SOUTHEASTERN, PA 19399

Telephone 610.523.9002 Fax \_\_\_\_\_

Email PSPELLMAN@SITE-ENGINEERS.COM

Area of property 215,315 SF NET Area of disturbance 0

Number of proposed buildings 0 Proposed use of property SINGLE FAMILY

Number of proposed lots 3

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary \_\_\_\_\_ Final X Revised \_\_\_\_\_

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

NO

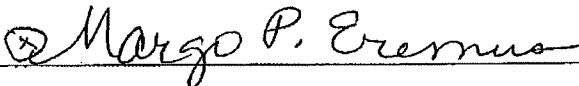
Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

WAIVERS ARE REQUESTED FOR WETLANDS DELINEATION (255-22.B(1)(h) AND  
USE OF AERILA FOR SIGNIFICANT FEATURES WITHIN 500' (255-22.B(1)(k).

Are there any infringements of Chapter 280 (Zoning), and if so what and why?  
NO

Individual/Corporation/Partnership Name  
JOSEPH L. (DECEASED) AND MARGO P. EREMUS

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature 

Print Name MARGO P. EREMUS

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

2

**This Indenture** Made the 23<sup>rd</sup> day of

in the year of our Lord one thousand nine hundred and NINETY-TWO (19 92)

**Between**

A. WILLING PATTERSON AND LEILA D. PATTERSON, HUSBAND AND WIFE

(hereinafter called the Grantors), of the one part, and

JOSEPH L. EREMUS AND MARGE P. EREMUS, husband and wife,

(hereinafter called the Grantees<sup>s</sup>), of the other part.

**Witnesseth** That the said Grantors

for and in consideration of the sum of

Seven hundred eighty thousand (\$780,000.00) Dollars lawful

money of the United States of America, unto them well and truly paid by the said Grantees, at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and

sell, release and confirm unto the said Grantee, their heirs and assigns, as tenants by entirety.

ALL THAT CERTAIN piece or parcel of land with the buildings and improvements thereon erected, situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Plan and Survey thereof made by M. R. and J. B. Yerkes, Civil Engineers, Bryn Mawr, Pennsylvania, dated January 16, 1945, as follows, to wit:

BEGINNING at an iron pin set in the title line at or near the Southerly side of Conestoga Road, which iron pin is at the distance of Two hundred seventy four and twenty three one-hundredths feet measured Northwestwardly along said title line from a stone marking the intersection of said title line with the extension of the middle line of Lowry's Lane; thence extending along the title line on or near the Southerly side of Conestoga Road, North eighty degrees, thirty one minutes, West, Six hundred forty and forty two one-hundredths feet to an iron pin; thence extending North nine degrees, twenty nine minutes East, Three hundred and sixty feet to an iron pin; thence extending North eighty eight degrees, fifty nine minutes, East Two hundred and eighty feet to an iron pin; thence extending on the arc of a circle curving to the right with a radius of Three hundred ninety eight and seventy four one-hundredths feet, the arc distance of Four hundred one and seventy one-hundredths feet to an iron pin; thence extending South nine degrees, twenty nine minutes, West, Two hundred and ninety feet to an iron pin, being the first mentioned point and place of beginning.

CONTAINING Five and six hundred and seventy two one-thousandths acres, more or less.

BEING Folio Number 36-07-04403-00.

YDLO976 PG1199



BEING the same premises which Girard Trust Company, a Pennsylvania Corp., by Indenture bearing date the 13th day of February AD, 1946 and recorded at Media in the Office for the Recording of Deeds, in and for the County of Delaware on 28th day of February AD, 1946 in Deed Book No. 1271 page 499 etc., granted and conveyed unto A. Willing Patterson and Leila D. Patterson, Husband and Wife, in fee.

9750  
7800

RADNOR TWP RTT	9750.00
PA TRANS TAX	7800.00
TOTAL	17550.00
CHECK	7800.00

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
REALTY TRANSFER TAX  
#2 CHECK 7800.00  
22CL 7883 07-16-92 13152TR

CHECK	2	9750.00
ITEM		
07-16-92 THU #2	GERRY	7883 13152TR

YDL0976 PGT200

**Together** with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of

them the said Grantors, as well at law as in equity, of, in, and to the same.

**To have and to hold** the said lot or piece of ground with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned, and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, to and for the only proper use and behoof of the said Grantee & their heirs and assigns forever. As tenants by entirety.

**And** the said Grantors, for themselves and their

heirs, executors and administrators do covenant, promise and agree, to and with the said Grantees, their heirs and assigns, by these presents, that they, the said Grantors, their heirs, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantee & their heirs and assigns, against them, the said Grantors and their

heirs, and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him, her, them, or any of them, shall and will WARRANT and forever DEFEND.

In Witness Whereof, the parties of the first part hereunto set their hands and seals. Dated the day and year first above written.

Sealed and Delivered  
IN THE PRESENCE OF US:

*Just T. Rider*

*A. Willing Patterson* (SEAL)  
A. WILLING PATTERSON

*Leta D. Patterson* (SEAL)  
LETTA D. PATTERSON

700976 PG1201

Commonwealth of Pennsylvania  
County of DELAWARE } as: Delaware

On this, the 23rd day of June, 1992, before me,

the undersigned Officer,  
personally appeared A. WILLING PATTERSON AND LEILA D. PATTERSON, HUSBAND AND WIFE

known to me (satisfactorily proven) to be the person s whose name s it (are) subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained.

In Witness Whereof, I hereunto set my hand and official seal.



*Teresa Lynn Fenwick*  
NOTARY PUBLIC

NOTARIAL SEAL  
TERESA LYNN FENWICK, Notary Public  
Smyth Manor, Delaware Co.  
My Commission Expires March 21, 1994

MERIDIAN TITLE INSURANCE CO.

453952-M



A. WILLING PATTERSON AND LEILA D. PATTERSON, HUSBAND AND WIFE

*D. L. 4/2*

TO

JOSEPH L. ERENUS AND MARGE F. ERENUS, HUSBAND AND WIFE

PREMISES:

765 Conestoga Road

Rednor Township

Delaware County, Pennsylvania

FOLIO #36-07-04403-00

MAIL TAX BILL TO: M/M Joseph L. Erenus  
765 Conestoga Rd. Rosemont, PA 19016

The address of the above-named Grantee

is 765 Conestoga Road

Rosemont, PA 19016  
On behalf of **DEEDS**  
**DELAWARE J. PA.**

92 JUN 15 2:12:59

VN 0976 PG 1202

**TRIDENT LAND TRANSFER COMPANY LP**  
431 West Lancaster Avenue, Devon, PA 19333  
Agent for  
**COMMONWEALTH LAND TITLE INSURANCE COMPANY**

Commitment No.: 16PA00068

**SCHEDULE A**

1. Commitment Date: December 11, 2015 at 12:00 AM

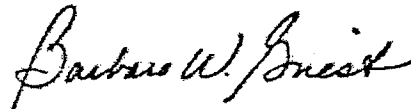
2. Policy (or Policies) to be issued:

(a) Owner's Policy	Amount
Proposed Insured:	\$0.00
To Be Determined	
(b) Loan Policy	Amount
Proposed Insured:	\$0.00
TBD, its successors and/or assigns as their respective interests may appear.	

3. Fee Simple interest in the land described in this Commitment is owned, at the Commitment Date, by:  
Joseph L. Eremus and Marge P. Eremus

4. The land referred to in the Commitment is described as follows:  
1 Meadowbrook Road , Bryn Mawr, PA 19010

SEE SCHEDULE C ATTACHED HERETO



Barbara W. Griest  
President  
Trident Land Transfer Company

COMMONWEALTH LAND TITLE INSURANCE COMPANY

Commitment No.: 16PA00068

**SCHEDULE B - SECTION I  
REQUIREMENTS**

The following are the requirements to be complied with:

1. Pay and/or disburse the agreed amounts for the interest in the land and/or the mortgage to be insured.
2. Pay us the premiums, fees and charges for the policy.
3. Pay all taxes and/or assessments, levied and assessed against the land which are due and payable.
4. The following documents, satisfactory to us, creating the interest in the land and/or the mortgage to be insured must be signed, delivered and recorded:  
  
Deed from Joseph L. Eremus and Marge P. Eremus to To Be Determined.  
  
Mortgage from To Be Determined to TBD, securing the principal amount of \$0.00.
5. Instrument(s) satisfactory to us, creating the estate or interest to be insured must be executed, delivered and filed for record.
6. Payment of full consideration to or for the account of the grantors or mortgagors.
7. Payment of the premiums, fees and charges for the policy.
8. Possible unfiled mechanics liens and municipal claims.
9. Terms of any unrecorded lease or rights of parties in possession.
10. Proof that all natural persons in this transaction are of full age and legally competent.
11. Proof of identity of parties as set forth in Recital.
12. **POWERS OF ATTORNEY:** If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.
13. Proof that no parties to this transaction are involved in bankruptcy proceedings; if bankruptcy has been filed, same to be examined; possible additional requirements/exceptions to be added.
14. Satisfactory evidence should be provided that improvements and/or repairs or alterations thereto are completed; that contractor, sub-contractors, labor and materialmen are all paid; and have released of record all liens or notice of intent to perfect a lien for labor material.
15. **TAXES:**Receipts for Township, County and School Taxes for the three prior years to be produced.Township, County and School Taxes for the current year 2016Assessment \$597,530.00 Tax ID / Parcel No. 36-07-04403-00
16. **WATER AND SEWER RENTS:**Receipts for Water and Sewer Rents for the three prior years to be produced.Water and Sewer Rents for the current year 2016.

## SCHEDULE B - SECTION I

(Continued)

17. MECHANICS AND MUNICIPAL CLAIMS: NONE
18. MORTGAGES:
  - a. Amount: \$383,500.00Mortgagor: Joseph L. Eremus and Margo P. EremusMortgagee: Trident Mortgage Company, LPDated: 5/6/2011 and Recorded 5/19/2011 in Volume Volume 4938 Page 987.
  - b. Amount: \$210,000.00 (Open-End Mortgage)Mortgagor: Joseph L. Eremus and Margo P. EremusMortgagee: The Bryn Mawr Trust CompanyDated: 4/24/2003 and Recorded 5/5/2003 in Volume 2761 Page 2184. Mortgage Subordination Agreement Recorded 5/19/2011 in Volume 4938 Page 1004
  - c. Note: The above mortgage appears to be an OPEN END MORTGAGE securing future advances. If this mortgage is to be paid in full/satisfied and removed from the policy to be issued on this matter, the equity loan account is to be closed or frozen before the payoff is issued. For further information on this requirement please review and comply with Company Underwriting Bulletin - No. 2011-RC-01.
19. JUDGMENTS: NONE
20. Names of all relevant parties to the within real estate transaction to be searched prior to closing to verify that they are not Specially Designated Nationals subject to the provisions of President's Executive Order Targeting Terrorist Assets.
21. Owner's Affidavit on Company form to be executed by sellers or mortgagors and filed with Company.
22. Possible additional Company approvals, which approvals depend on liability amount as shown on Schedule A, currently designated as TBD.
23. Name of mortgagor to be furnished and additional searches made.
24. Last Insured: Trident Land Transfer Company; No. 3446805; Dated: 5/19/2011; Amount: \$383,500.00.
25. The following note is for Informational Purposes Only:The following deed(s) affecting said land were recorded within six (6) months of the date of this report: NONE

## COMMONWEALTH LAND TITLE INSURANCE COMPANY

Commitment No.: 16PA00068

### SCHEDULE B - SECTION II EXCEPTIONS

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the company:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this report.
2. Rights or claims of parties in possession of the land not shown by the public record.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose.
5. Real estate taxes for the current and prior tax years which are hereafter assessed and are not yet due and payable.
6. Rights granted to Philadelphia Electric Company and Bell Telephone Company in Deed Book 1480 page 518.
7. Restrictions affecting title as in Deed Book 1609 page 102, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law.
8. Rights of the public and others entitled thereto in and to the use of that portion of the premises within the bounds of Conestoga Road.
9. Rights granted to Suburban Water Co. in Deed Books 1479 page 584 and 1481 page 285 and 1571 page 615.

DELAWARE COUNTY

RIGHT OF WAY: Old Oaks, Inc. (Pa. Corp.) to Philadelphia Electric Co. and The Bell Telephone Company of Pennsylvania, (Pa. Corporation) dated 7/5/1951 recorded 10/13/1951 DEED BOOK 1480 page 518.

GRANTING the full, free and uninterrupted right, liberty and privilege to place, renew, relocate, operate and maintain on, over under and across:  
All that certain lot of ground, situate in the Township of Radnor, County of Delaware Commonwealth of Pennsylvania, bounded and described as follows:  
Beginning at a stone on the Southwesterly side of Conestoga Road (50 feet wide) intersected by the center line of Lowry's Lane (33 feet wide); thence extending along the Southwesterly side of Conestoga Road, North 79 degrees 49 minutes West 274.23 feet to a point on the Westerly side of proposed Meadowood Road (50 feet wide); thence extending North 10 degrees 11 minutes East along said Westerly side of proposed Meadowood Road 289.88 feet to a point; thence extending along the arc of a circle curving to the left with a radius of 398.74 feet, the arc distance of 175.22 feet the chord of which arc bears North 45 degrees 11 minutes 40 seconds West 173.81 feet to a point; thence extending North 19 degrees 00 minutes 30 seconds East 285.77 feet to a point in the center line of proposed Browning Lane (50 feet wide); thence extending along the center line of said proposed Browning Lane on the arc of a circle curving to the left with a radius of 926.09 feet, the arc distance of 19.93 feet to a point; thence extending North 12 degrees 47 minutes East 130 feet to a point; thence extending South 68 degrees 39 minutes, East 176.88 feet to a point in the center line of proposed Meadowood Road (50 feet wide); thence extending along the center line of said Meadowood Road, South 10 degrees 26 minutes West 21.79 feet to a point; thence extending South 79 degrees 34 minutes East 261.02 feet to a point; thence extending along the arc of a circle curving to the left with a radius of 312 feet, the arc distance of 219.99 feet to reverse curve; thence extending along the arc of a circle curving to the right with a radius of 199 feet, the arc distance of 109.06 feet to another point of reverse curve; thence extending along the arc of a circle curving to the left with a radius of 780 feet, the arc distance of 381.20 feet to a point in the center line of Lowry's Lane (33 feet wide); thence extending along the center line of said Lowry's Lane South 67 degrees 33 minutes West 239.70 feet to first mentioned point of beginning.  
and the various highways now existing or subsequently established, intersecting and abutting said premises, such facilities as shall be necessary to supply the grantor and the other owners, tenants and occupiers of said premises, and those adjacent thereto, with electricity, gas and telephone service, together with the right of ingress and egress and the right to trim and keep trimmed, in a workmanlike manner, all trees to the extent deemed necessary by said grantees to provide sufficient clearance for the protection of the aforesaid facilities, and together with the right to attach and facilities to the buildings erected or to be erected on said premises.  
UNDER AND SUBJECT to the conditions that the facilities shall be placed at convenient locations on the said premises, and should the facilities of either of the said grantees, outside the limits of the said highways interfere with improvements or alterations to building thereon erected, the owner of such facilities shall, at its own expense, relocate same on the aforesaid premises so as to avoid such interference.



DELAWARE COUNTY

CONDITIONS AND RESTRICTIONS as set forth in Deed Book 1609 page 102.

UNDER AND SUBJECT to the condition and restriction that not more than one single family dwelling with its necessary garage shall ever be erected on any of the above described lots, and the location of the building on said lot or lots, together with plans and specifications must be approved by the Grantor herein before work whatsoever is started, which Grantor's approval shall not be unreasonably withheld.

DELAWARE COUNTY

RIGHT OF WAY: Old Oaks, Incorporated  
To  
Philadelphia Suburban Water Company (both Penna. Corp.)  
Dated 6/26/1951 Recorded 7/25/1951 Deed Book 1479 page 584

GRANTING the Right of Way for the laying of water pipe in Merwood Road and Browning Road;- in Merwood Road connecting to an existing water pipe in Conestoga Road and extending to a point 89 feet North of Browning Road, a distance of approximately 824 feet; in Browning Road connecting to a proposed water pipe in Merwood Road and extending Westwardly, a distance of approximately 208 feet;- all of which is in Radnor Township, Delaware County, Commonwealth of Pennsylvania, a distance of approximately 1032 feet as per plan attached. The land through which the said Old Oaks, Incorporated conveys the right of way to the Philadelphia Suburban Water Company by this instrument being deeded to it as per deed dated and recorded at Media, Pennsylvania, in Deed Book No.                      page no.

This right of way is granted to the Philadelphia Suburban Water Company for the purpose of laying their pipes or conduits, appurtenances and appliances thereto, to conduct water with the privilege of entering upon the same and making such excavations, fills and levels as may be requisite, and the privilege of laying such other pipe or pipes or their conduits, appurtenances and appliances thereto as they may deem necessary, and of making such repairs and laying other pipes or conduits, appurtenances and appliances thereto as may from time to time be necessary.

DELAWARE COUNTY

RIGHT OF WAY: Old Oaks, Incorporated, (a Pa. corp.)

To: Philadelphia Suburban Water Company ( Pa. corp.)  
dated 10-31-1951 Recorded 11-7-1951 Deed Book 1481/285.

GRANTING a right of way for laying of water pipe in South Browning Road connecting to an existing water pipe in South Browning Road, approximately 180 feet West of Meadowood Road and extending Westwardly in Racnor Township, Delaware County, Commonwealth of Pennsylvania, a distance of approximately 494 feet as per plan attached.

The Right of way is granted to the Philadelphia Suburban Water Company for the purpose of laying their pipes conduits, appurtenances and appliances thereto, to conduct water with the privilege of entering upon the same and making such excavations, fills and levels as may be requisite, and the privilege of laying such other pipe or pipes or other conduits, appurtenances and appliances thereto as they may deem necessary, and of making such repairs and laying other pipes or conduits, appurtenances and appliances thereto as may from time to time be necessary.

To have and to hold such Right of way for the purpose aforesaid unto the said Philadelphia Suburban Water Company, its successors and assigns forever.

... ..  
RESTRICTIONS AS IN DEED BOOK 1629 PAGE 440.

ENDER AND SUBJECT to the condition and restriction that not any more than one single family dwelling with its necessary garage shall ever be erected on any of the above described lots, and that the location of the building on said lot or lots together with plans and specifications, must be approved by Grantor herein before any work whatsoever is started, which Grantor's approval shall not be reasonably withheld.

DELAWARE COUNTY

RIGHT OF WAY: Old Oaks, Incorporated (a Penna. Corp.) to Philadelphia Suburban Water Company (a Penna. Corp.) Dated 1/23/1953 recorded 1/28/1953 in Deed Book 1571 page 615.

GRANTING a right of way for the laying of water pipe in Meadowood Road and Browning Lane, in Meadowood Road connecting to an existing water pipe in Meadowood Road approximately 90 feet North of Browning Lane and extending to Browning Lane, a distance of approximately 378 feet; in Browning Lane connecting to an existing water pipe in Browning Lane approximately 685 feet West of Meadowood Road and extending Northwestwardly a distance of approximately 480 feet; all of which is in Radnor Township, Delaware County, Commonwealth of Pennsylvania, a distance of approximately 858 feet as per plan attached.

This right of way is granted to the Philadelphia Suburban Water Company for the purpose of laying their pipes or conduits appurtenances and appliances thereto, to conduct water with the privilege of entering upon the same and making such excavations fills and levels as may be requisite and the privilege of laying such other pipe or pipes or other conduits appurtenances and appliances thereto as they may deem necessary and of making such repairs and laying other pipes or conduits appurtenances and appliances thereto as may from time to time be necessary.

COMMONWEALTH LAND TITLE INSURANCE COMPANY

Commitment No.: 16PA00068

**SCHEDULE C  
PROPERTY DESCRIPTION**

The land referred to in this Commitment is described as follows:

ALL THAT CERTAIN piece or parcel of land with the buildings and improvements thereon erected, Situate in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Plan and Survey thereof made by M. R. and J. B. Yerkes, Civil Engineers, Bryn Mawr, Pennsylvania, dated January 16, 1945 as follows, to wit:-

BEGINNING at an iron pin set in the title line at or near the Southerly side of Conestoga Road, which iron pin is at the distance of 274.23 feet measured Northwestwardly along side title line from a stone marking the intersection of said title line with the extension of the middle line of Lowry's Lane; thence extending along the title line on or near the Southerly side of Conestoga Road, North 80 degrees 31 minutes West 640.42 feet to an iron pin; thence extending North 9 degrees 29 minutes East 360 feet to an iron pin; thence extending North 88 degrees 59 minutes East 280 feet to an iron pin; thence extending on the arc of a circle curving to the right with a radius of 398.74 feet the arc distance of 401.70 feet to an iron pin; thence extending South 9 degrees 29 minutes West 290 feet to an iron pin, being the first mentioned point and place of beginning.

Tax Parcel Number: 36-07-04403-00

BEING the same premises which A. Willing Patterson and Leila D. Patterson, husband and wife by Deed dated June 23, 1992 and recorded July 16, 1992 in Delaware County in Volume 976 Page 1199 conveyed unto Joseph L. Eremus and Marge P. Eremus, husband and wife, in fee.

AND the said Marge P. Eremus is also known as Margo P. Eremus.

APPROVED HELP  
DESCRIBE  
FORM

# Gift Indenture

Made the 10th day of May

in the year of our Lord one thousand nine hundred and fifty-one (1951)

BETWEEN GIRARD TRUST COMPANY, a Corporation organized and existing under the laws of the Commonwealth of Pennsylvania, (hereinafter called the Grantor), of the one part,

AND

OLD OAKS, INC., a corporation organized and existing under the laws of the Commonwealth of Pennsylvania, (hereinafter called the Grantee), of the other part:

11/15/51

Witnesseth, That the said Grantor

for and in consideration of the sum of ELEVEN THOUSAND TWO HUNDRED DOLLARS (\$11,200.) lawful money of the United States of America, unto it well and truly paid by the said Grantee

it and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, enfeoffed, released and confirmed, and by these presents, does sell, alien, enfeoff, release and confirm unto the said Grantee, its Successors and Assigns,

ALL THAT CERTAIN lot or piece of ground, Situate in the Township of Radnor, County of Delaware and State of Pennsylvania, bounded and described according to a plan made for Townsend B. Young, by M.R. and J.B. Yerkes, Civil Engineers of Bryn Mawr, Pennsylvania, dated March 15th, 1951, and revised March 22nd, 1951, for Townsend B. Young as follows:

BEGINNING at a stone on the Southwesterly side of Conestoga Road (Fifty feet wide) intersected by the center line of Lowrys Lane (Thirty-three feet wide); thence extending along the Southwest side of Conestoga Road, North seventy-nine degrees, forty-nine minutes West Two hundred seventy-four feet and twenty-three one-hundredths feet to a point on the Westerly side of proposed Meadowood Road (Fifty feet wide); thence extending North ten degrees, eleven minutes East, along said Westerly side of proposed Meadowood Road Two hundred eighty-nine feet and eighty-eight one-hundredths feet to a point; thence extending along the arc of a circle curving to the left with a radius of Three hundred ninety-eight feet and seventy-four one-hundredths feet, the arc distance of One hundred seventy-five feet and twenty-two one-hundredths feet, the chord of which arc bears North forty-five degrees, eleven minutes, forty seconds West, One hundred seventy-three feet and eighty-one one-hundredths feet to a point; thence extending North nineteen degrees, 40 minutes, thirty seconds East, Two hundred eighty-five feet and seventy-seven one-hundredths feet to a point in the center line of proposed Broadwing Lane (Fifty feet wide); thence extending along the center line of said proposed Broadwing Lane on the arc of a circle curving to the left with a radius of Five hundred twenty-six feet and nine one-hundredths feet, the arc distance of Nineteen feet and ninety-three one-hundredths feet to a point; thence extending North twelve degrees, forty-seven minutes East, One hundred thirty feet to a point; thence extending South eight degrees, thirty-nine minutes East, One hundred seventy-six feet and eight one-hundredths feet to a point in the center line of proposed Meadowood Road (Fifty feet wide); thence extending along the center line of said Meadowood Road, South ten degrees, twenty-six minutes East, Twenty-one feet and seventy-nine one-hundredths feet to a point; thence extending South seventy-nine degrees, thirty-four minutes East, Two hundred one foot and two one-hundredths feet to a point; thence extending along the arc of a circle curving to the left with a radius of Three hundred twelve feet, the arc distance of Two hundred fifteen feet and fifty-nine one-hundredths feet to a point of reverse curve; thence extending along the arc of a circle curving to the right with a radius of One hundred ninety feet, the arc distance of One hundred nine feet and six one-hundredths feet to another point of reverse curve; thence extending along the arc of a circle curving to the left with a radius of One hundred eighty feet, the arc distance of One hundred nine feet and six one-hundredths feet to a point in the center line of Lowrys Lane (Thirty-three feet wide); thence extending along the center line of said Lowrys Lane, South fifty-seven degrees, thirty-three minutes East, Two hundred thirty-nine feet and seventy one-hundredths feet to the first corner and place of beginning. BEING Lots Numbered 21 to 43 inclusive and Number 44 on the above mentioned plan.

Said part of the same premises which George E. McFadden, Widower, by Indenture bearing date the 25th day of August, A.D. 1918, and recorded at Merion in the Office for the Recording of deeds, in and for the County of Delaware on the 12th day of August, A.D. 1918, in Book No. 428 page 228, etc., granted and conveyed unto Girard Trust Company, in Fee.

Together with all and singular the improvement, ways, streets, alleys, passages, Waters, Water-Courses, Rights, Liberties, Privileges, Hereditaments and Appurtenances whatsoever thereto belonging, or in any wise appertaining, and the Reversions and Remainders, Rents, Issues and Profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever, of the said Grantor,

in law, equity,

or otherwise howsoever, of, in, and to the same and every part thereof.

To Have and to Hold the said lot or piece of ground above described

Hereditaments and Premises hereby granted, or mentioned and intended so to be, unto the said Grantee, its Successors

and Assigns, to and for the only proper use and behoof of the said Grantee, its Successors

and Assigns forever.

1000000000

UNDER AND SUBJECT to the condition and restriction that not more than one single family dwelling with its necessary garage shall ever be erected on any of the above described lots, and the location of the building on said lot or lots, together with plans and specifications, must be approved by the Grantor herein before any work whatsoever is started, which Grantor's approval shall not be unreasonably withheld.

I hereby certify that the value (as defined by the Radnor Township Real Estate Transfer Tax Ordinance) of the real estate transferred herein is \$ 1200.00 and the tax imposed thereon in the amount of \$ 112.00 has been paid.

THE BRYN MAWR TRUST COMPANY  
Title Insurance Company of Owner  
Harold J. Harkness  
Settlement Clerk or Agent

And the said Grantor, for itself, its Successors

Do hereby

these presents, covenant, grant and agree, to and with the said Grantee, its Successors

and Assigns, that if the said Grantor and its Successors

all and singular the

Hereditaments and Premises herein described and granted, or mentioned and intended so to be, with the Appurtenances, unto the said Grantee, its Successors and Assigns, against it the said Grantor and its Successors,

and against all and every other Person and Persons whatsoever lawfully claiming or to claim the same or any part thereof, by, from or under it, them or any of them, shall and will Warrant and forever Defend

In Witness Whereof, the said Grantor has caused to be hereunto affixed its Common or Corporate Seal, duly attested at Philadelphia, the date the above written.

SEALED AND DELIVERED  
IN THE PRESENCE OF US:

H. L. Rhyno

GIARD TRUST COMPANY  
By G. H. Brown, Jr. (CORP. SEAL)  
Attest: J. M. Richards  
Vice President  
Assistant Secretary

Received on the day of the date of the above Indenture, of the above-named Grantee the full consideration herein mentioned.

WITNESS MY SIGNING:

H. L. Rhyno  
On the 10th day of May, Anno Domini 1931, before me, the undersigned, a Notary Public for the Commonwealth of Pennsylvania residing in the County of Philadelphia personally appeared J. M. RICHARDS ASSISTANT SECRETARY of the GIARD TRUST COMPANY

who being duly sworn according to law, says that he was personally present at the execution of the within Indenture, and saw the common or corporate seal of the said Corporation duly affixed thereto; that the seal so affixed is the common or corporate seal of the said Corporation; that the said Indenture was duly sealed and delivered by G. H. BROWN, JR. VICE PRESIDENT of the said Corporation, as and for the act and deed of the said Corporation, for the use and purpose therein mentioned

and that the names of this document as ASSISTANT SECRETARY and of G. H. BROWN, JR. as VICE PRESIDENT of the said Corporation, subscribed to the within Indenture in execution of its due execution and delivery, are of their seal and each of their respective handwritings.

Given to me and subscribed before me, the day and year

Notary Public  
Howard L. Rhyno  
My Commission Expires May 11, 1935  
Exp. date of my Notary Commission 5-11-35  
Residence May 11, 1931  
Written by H. Rhyno

J. M. Richards  
ASSISTANT SECRETARY  
The Residence of the within-named Grantee is  
Bryn Mawr, Pa. Issue attested on behalf of the  
Registered County of Delaware  
Pennsylvania May 11, 1931  
Witness

**GRAY BROTHERS SEPTIC SERVICES**  
**501 S MAIN STREET**  
**SUITE 102**  
**SPRING CITY, PA 19475**

Ph: 610-644-2800 Fax: 610-296-1607  
 Email: graybrothersinc@gmail.com

**Statement**

Billing Address
RADNOR TOWNSHIP 301 IVEN AVENUE RADNOR, PA 19087-

Service Address
PUMP STATION GULPH CREEK RD KING OF PRUSSIA ROAD WAYNE, PA19087

Phone: (610) 688-5600  
 Fax: 0

Cust #	Site #	Terms	Date	Page
RAD_0301_0	15598	UR	1/3/2018	Page1 / 1

Inv Date	Inv #	P.O.#	Amount	Paid	Balance
9/28/2017	126498		2,660.00	0.00	2,660.00
10/17/2017	126731		3,040.00	0.00	3,040.00
<b>Site: 15598: PUMP STATION Total Balance:</b>					<b>5,700.00</b>

**THANK YOU FOR YOUR VALUED PATRONAGE-MASTERCARD AND VISA ACCEPTED  
 PAYMENT DUE UPON RECEIPT**

**90 Day Past Due!**

Statement as of 1/3/2018

Future	Current	30 Day	60 Day	90 Day	Total Due
0.00	0.00	0.00	3,040.00	2,660.00	5,700.00

Please detach here and return the bottom portion with your payment.

Cust #: RAD\_0301\_0 Site #: 15598

**From** RADNOR TOWNSHIP  
 301 IVEN AVENUE  
 RADNOR, PA 19087-

Statement as of 1/3/2018

Future	Current	30 Day	60 Day	90 Day	Total Due
0.00	0.00	0.00	3,040.00	2,660.00	5,700.00

Payment Amount

**To** GRAY BROTHERS SEPTIC SERVICES  
 501 S MAIN STREET  
 SUITE 102  
 SPRING CITY, PA 19475

**Please provide your email address below.**

All invoices more than 10 days old are charged a late fee of 1.5% per month or 18% per year



New Business  
The Ward 7 Initiative –  
FeeLot  
*(Requested by  
Commissioner Farhy)*