

## **BOARD OF COMMISSIONERS**

### **AGENDA**

**Monday, October 23, 2017 - 6:30 PM**

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of October 23, 2017

#### **1. Consent Agenda**

- a) Disbursement Review and Approval: 2017-10A, 2017-10B
- b) Acceptance of Department Monthly Reports
- c) Motion to Authorize to Receive Sealed Bids for Gasoline and Diesel Fuel
- d) Resolution #2017-117 - Authorizing the Township Manager to enter into a replacement operating lease agreement with KDI to provide various copiers / printers to Township Departments
- e) Authorization to file an Enforcement Action Re: 5 Marlyn Circle and 713 Miller Street
- f) Resolution #2017-119 - Awarding Contract for the Installation of Sidewalk - South Devon Avenue

2. Resolution #2017-121 - Declaring Its Support for Small Business Saturday In Radnor Township on November 25, 2017

3. Proclamation - Baha'i Community of Radnor Township Celebrating 200<sup>th</sup> Anniversary

4. Recognition of the Radnor Police SWAT Officers

5. Recognition of Radnor Township Police Officers

6. Announcement of Boards and Commissions Vacancies

*Shade Tree Commission; Board of Health; Stormwater Advisory Committee – 1 Vacancy Each*

7. Public Participation

8. Committee Reports

### **PERSONNEL & ADMINISTRATION**

A. Election of President & Vice President of the Board of Commissioners

B. Motion to Appoint Stephen Harris as Special Counsel to the Radnor Township Ethics Board

### **COMMUNITY DEVELOPMENT**

C. Motion to Authorize Advertising for the Adoption of Ordinance #2016-13 at the November 13, 2017 Board of Commissioners Meeting - Ordinance #2016-13 – Amending Chapter 280 Zoning, Article Xv, PLO Planned Laboratory-Office District, Sections 280-62, 280-63 And 280-64, By Providing For Additional Uses In The PLO Planned Laboratory-Office District Including Mixed Use Developments; Providing For Revised Dimensional Requirements For Mixed Use Developments Including Financial Subdivisions And Providing For Additional Accessory Uses



***PUBLIC WORKS & ENGINEERING***

- D. Ordinance #2017-15 – (***Introduction***) - Establishing Rules and Regulations for The Management of Its Rights-Of Way; Requiring A Permit Application Fee And Plan For Any Street, Driveway, Or Utility Installation Upon Any Portion Of A Township Road Or Other Public Road Or Right-Of-Way
- E. 220 Gulph Creek GP# 17-175 – Requesting a waiver from §245-22 the Stormwater Management Requirements for Groundwater Recharge
- F. SALDO Application # 2017-S-06 – ***Caucus*** – 585 County Line Road – Minor Final Subdivision
- G. SALDO Application #2017-D-04 Cabrini Master Plan Revision – ***Caucus*** - Preliminary Land Development
- H. SALDO Application #2017-D-05 Cabrini Phase 2 – ***Caucus*** - Final Land Development
- I. Presentation and Possible Resolution #2017-120- Authorizing the Grant Application for Improvements to the King of Prussia Road/Eagle Road/Pine Tree Road Intersection, in partnership with Cabrini University and Eastern University

***FINANCE & AUDIT***

- J. Capital Plan Discussion
- K. Resolution #2017-115 – Adopting the Township Manager’s Recommended Budget as the comprehensive budget under §7.06(A)(2) of the Radnor Township Charter
- L. Q3 Finance Update Presentation

***PUBLIC SAFETY***

***LIBRARY***

***PUBLIC HEALTH***

***PARKS & RECREATION***

Old Business

New Business

Public Participation

Adjournment



**RADNOR TOWNSHIP**  
**DISBURSEMENTS SUMMARY**  
**October 23, 2017**

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The table below summarizes the amount of disbursements made since the last public meeting held on October 9, 2017. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://radnor.com/728/Disbursements-List>

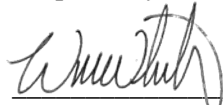
<b>Fund (Fund Number)</b>	<b>2017-10A October 6, 2017</b>	<b>2017-10B October 13, 2017</b>	<b>Total</b>
General Fund (01)	\$406,635.38	\$373,760.62	\$780,396.00
Sewer Fund (02)	1,035.77	10,843.05	11,878.82
Liquid Fuels Fund (03)	12,135.66	0.00	12,135.66
Storm Sewer Management (04)	0.00	29,572.95	29,572.95
Capital Improvement Fund (05)	0.00	25,192.65	25,192.65
Investigation Fund (12)	0.00	250.66	250.66
Comm. Shade Tree Fund (15)	1,140.00	0.00	1,140.00
Police K-9 Fund (17)	300.00	0.00	300.00
The Willows Fund (23)	51.70	50.35	102.05
Library Improvement Fund (500)	465,453.08	0.00	465,453.08
Park & Trail Improvement Fund (501)	104,865.09	52,000.00	156,865.09
<b>Total Accounts Payable Disbursements</b>	<b>\$991,616.68</b>	<b>\$491,670.28</b>	<b>\$1,483,286.96</b>
<i>Electronic Disbursements</i>	n/a	n/a	2,715,385.81
<b>Grand Total</b>	<b>\$991,616.68</b>	<b>\$491,670.28</b>	<b>\$4,198,672.77</b>

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to insure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,



William M. White  
Finance Director



# ELECTRONICALLY PAID DISBURSEMENT LISTING

Estimated Through November 13, 2017

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	11/10/2017	10/17 Credit Card Revenue Processing Fees	\$5,000.00 *
Debt Payment	Various Funds	11/1/2017	US Bank GOB Series 2012	\$345,388.75
Debt Payment	Various Funds	11/1/2017	US Bank GOB Series 2015	\$632,993.75
Debt Payment	Various Funds	11/1/2017	US Bank GOB Series 2014	\$401,755.00
Payroll [Pension] Transaction - Estimated	07-492-4980	11/1/2017	11/17 Police Pension Payments	\$186,839.03
Payroll [Pension] Transaction - Estimated	11-495-4980	11/1/2017	11/17 Civilian Pension Payments	\$137,409.28
Payroll [Bi-Weekly] Transaction - Estimated	01-various	10/19/2017	Salaries and Payroll Taxes - General Fund	\$485,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	10/19/2017	Salaries and Payroll Taxes - Sewer Fund	\$17,500.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	10/19/2017	Salaries and Payroll Taxes - K-9 Fund	\$500.00
Payroll [Bi-Weekly] Transaction - Estimated	01-various	11/2/2017	Salaries and Payroll Taxes - General Fund	\$485,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	11/2/2017	Salaries and Payroll Taxes - Sewer Fund	\$17,500.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	11/2/2017	Salaries and Payroll Taxes - K-9 Fund	\$500.00
<b>Period Total</b>				<b>\$2,715,385.81</b>

Submitted:

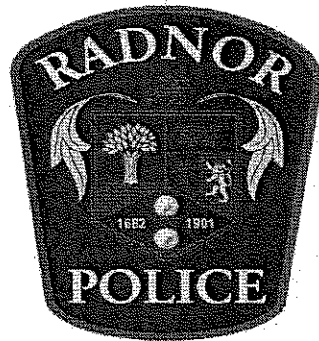
\* Credit card fees are charged to the Township's accounts on the tenth of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$485,000.00	10/5/2017	Salaries and Payroll Taxes - General Fund	\$444,948.03
\$17,500.00	10/5/2017	Salaries and Payroll Taxes - Sewer Fund	\$19,335.68
\$500.00	10/5/2017	Salaries and Payroll Taxes - K-9 Fund	\$49.10
<b>\$503,000.00</b>			<b>\$464,332.81</b>



# **RADNOR TOWNSHIP POLICE DEPARTMENT**

## **Monthly Report**



**August 2017**

**William A. Colarulo  
Police Superintendent**





# **RADNOR TOWNSHIP POLICE DEPARTMENT**

301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297  
OFFICE: (610) 688-0503  
FAX: (610) 688-1238

**WILLIAM A. COLARULO**  
**POLICE SUPERINTENDENT**

## **Executive Summary**

### **August 2017**

The Radnor Police Department responded to 1,719 calls for service for the month of August 2017. Officers issued 395 traffic citations for motor vehicle violations. 54 non-traffic citations were issued for various summary offenses such as Disorderly Conduct, Underage Drinking and Public Drunkenness. A total of 1,098 parking tickets were issued for expired meter violations. Radnor Police Officers made 31 misdemeanor/felony arrests during August 2017.



# ***PATROL HIGHLIGHTS***



**1<sup>st</sup> Platoon: Sergeant George Smith**  
**3<sup>rd</sup> Platoon: Sergeant Mark Stiansen**

**2<sup>nd</sup> Platoon: Sergeant Anthony Radico**  
**4<sup>th</sup> Platoon: Sergeant Joseph Pinto**

## **August 2017**

On August 1<sup>st</sup>, Deputy Superintendent Block reported a Township Ordinance violation at 318 Iven Avenue. Officer contacted the resident and explained the violation regarding the landscaping rocks that he installed along the roadway. He was given a copy of the Township Ordinance for Visual Obstructions. The resident would make changes to his landscaping.

On August 2<sup>nd</sup>, Radnor Fire Company (RFC) responded to 139 East Lancaster Avenue for a building fire. Officers met with the Facilities Manager who said that a painter was torching the window sills and smoke entered the air conditioning system. Officers updated Del Com, RFC, Berwyn, and Bryn Mawr Fire Departments who responded and cleared after checking the sill for any extension.

On August 3<sup>rd</sup>, Officer reported speaking with an employee from the Beer Yard who confiscated two counterfeit licenses from underage subjects. Both were identified and refused service. Citations were mailed for misrepresentation of age to secure liquor.

On August 5<sup>th</sup>, Officer reported spray paint graffiti on the R5 bridge near Eagle Road and Overhill Road. Officer arrived and observed the graffiti and took photos.

On August 8<sup>th</sup>, a female came into the Police Department to file a theft report. The resident stated on 8/7/17 she was at Zoe's Kitchen having lunch. She reported that she placed her order and sat down near the front of the store and noticed a w/m sitting behind her. She got up to get a fork and left her purse unattended at her table and when she returned she noticed the male was gone. She said that around 1600 hours she began to get notifications from her credit card companies about possible fraudulent purchases. She contacted the credit card companies and realized that her wallet was stolen. She reports that all the fraudulent purchases and attempts were made at the King of Prussia Mall. She filled out a statement and was advised to contact police if any more purchases were made. Officer will be following up with the store to try and obtain surveillance video to get a description and possibly develop a suspect.

On August 11<sup>th</sup>, a resident of Barcladen Road called the Police Station regarding a solicitor who was at her residence on 8/9/17. The resident advised she was arriving home from work when a w/m approached her stating he was from WHYY TV and was soliciting donations for the annual fund drive. She requested to see the male's permit which he responded he did not have and left the area.

On August 12<sup>th</sup>, while patrolling Bryn Mawr Avenue, Officer discovered criminal mischief at 736 Bryn Mawr Avenue. Officer reported contacting the resident who stated that sometime overnight, his mailbox was spray painted red. He advised police that there is no security footage in the area.



On August 13<sup>th</sup>, a resident of County Line Road discovered a theft from vehicle that occurred overnight and when his wife went out to the vehicle, he noticed the inside was disheveled. An unknown amount of change was taken from a diaper bag located inside the vehicle. Nothing else was taken from inside of the vehicle. He showed police security footage of the actor walking up to the vehicle. The actor was a b/m wearing all black clothing. Officer reported the footage does not show the actor's face. A statement was left for the resident.

On August 15<sup>th</sup>, a female reported a theft occurred at Panera Bread. Officer contacted the female who was playing bridge and was seated at a dining room table. Her purse had fallen, she picked it up and noticed her wallet was missing. The Officer is aware from recent investigations that the dining room does not have cameras. However, follow up will be conducted for the entrance door to identify the woman seen leaving.

On August 16<sup>th</sup>, Cabrini College Public Safety Officer reported the left front tire of her vehicle was punctured in the parking lot on King of Prussia Road. The side wall of the tire was flat and had a cut that was leaking when she attempted to inflate the tire.

On August 17<sup>th</sup>, a resident of Earles Lane requested a call back regarding a theft from a vehicle. Officer spoke with the resident who advised that she parked her vehicle at Saw Mill Park. The vehicle's window was slightly opened. After returning to the vehicle, it was determined that the victim's debit/credit card had been removed from the center console. There were no signs of forced entry and no other items were taken. There had been fraudulent activity on her credit cards in the Target Store and the credit card had since been cancelled. Officer would follow-up with Target to obtain surveillance video.

On August 18<sup>th</sup>, the House Manager of the property at 845 Church Road, reported criminal mischief discovered round the pool area of the home. Officer reported contacting the House Manager who advised the family was on vacation until August 20, 2017. She went outside and observed the pool lounge chairs were thrown in the pool and a bottle of beer was floating inside the pool. There appeared to be no damage to the pool equipment or surrounding pool house. The house was secured and alarmed overnight. Police would be conducting added patrol to the area.

On August 19, 2017, Del Com reported an attempted burglary on Villanova Road. Officer reported contacting the resident who stated she checked her residence after receiving an alarm on 8/20/17 at 0305 hours. RTPD responded checking the residence due to the alarm going off. The resident stated she wanted to look more closely in the daylight. She did notice that one of her screens on the side of her residence was bent away from the window. Upon police arrival, she showed where the window was bent away and was unaware that the window was previously damaged. Photos were taken of the damage. Police checked the residents on Villanova Road to see if any had cameras which showed negative results.

On August 21<sup>st</sup>, OEO Gallagher received a fax from the Pennsylvania Department of Health regarding a dog bite on Overhill Road. On August 17<sup>th</sup>, a mail carrier was bit while delivering mail to a residence on Overhill Road. OEO Gallagher attempted to contact the mail carrier with negative results. Paperwork was left with the dog's owner who would contact the Health Department.

On August 23<sup>rd</sup>, Del Com reported wires down at 919 Conestoga Road with the pole on fire. Officer reported to the rear of the location where a pole was on fire but no wires down. Bryn Mawr Fire Company arrived before police and notified PECO and SEPTA. While on location, the fire began to get worse causing two wires to blow. After PECO and SEPTA were notified, PECO arrived, cut the power and put the fire out.

On August 24<sup>th</sup>, a resident called for a w/m who went into the dental office trying to buy flowers. He said he thought the dental office was a florist because of the flowers outside. Lower Merion Police Department (LMPD) arrived and stated that the male lives on the Lower Merion side of County Line Road. The male was checked in NCIC. LMPD arrived and confirmed his address. He was offered a ride home but decided to walk back.

On August 26<sup>th</sup>, a resident of Hunt Road reported theft from his auto. The resident completed a written statement in which he reported his unlocked vehicles were entered sometime overnight while parked in the driveway at his



residence. Taken from the first car was approximately \$1.00 in change; taken from the second car was approximately \$20.00 in bills. No other items were missing.

On August 28<sup>th</sup>, while conducting a follow up to an incident, Officer located two vehicles entered on Maplewood Avenue. Officer contacted the owner who checked the vehicles and advised that nothing was missing.

On August 30<sup>th</sup>, a resident of Hermitage Drive reported coming home to find her garage door open. She was sure she had locked the door prior to leaving the house. Officers checked the interior of the residence and found it to be in order. Laptops, I-pads and keys were all sitting out and not disturbed. The resident walked through the residence and did not report anything out of order.

On August 30<sup>th</sup>, a resident of Radnor Avenue reported criminal mischief. Two or three w/m's struck a mailbox with a baseball bat then got into an SUV driving towards Conestoga Road. The area was checked for the males with negative results.



September 15, 2017

# Calls for Service - by UCR Code

Incidents Reported Between 08/01/2017 and 08/31/2017

## RADNOR TOWNSHIP



Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
0313	ARMED - FIREARM - COMMERCIAL HOUSE	1			
0490	ASSAULT - REPORTS	1			
0514	BURGLARY-FORCE ENTRY-NON-RESID-NIGHT	1			
0523	UNLAWFUL ENTRY-NO FORCE-RESIDENCE-UNK.	1			
0531	ATTEMPT FORCIBLE ENTRY-RESIDENCE-NIGHT	1			
0611	THEFT-\$200 & OVER-POCKET PICKING	2			
0613	THEFT-\$200 & OVER-RETAIL THEFT	2			
0614	THEFT-\$200 & OVER-FROM AUTO (EXCPT 0615)	3			
0616	THEFT-\$200 & OVER-BICYCLES	1			
0617	THEFT-\$200 & OVER-FROM BUILDINGS	2			
0619	THEFT-\$200 & OVER-ALL OTHER	4			
0623	THEFT-\$50 TO \$200-RETAIL THEFT	2			
0624	THEFT-\$50 TO \$200-FROM AUTO (EXCPT 0625)	3			
0626	THEFT-\$50 TO \$200-BICYCLES	1			
0631	THEFT-UNDER \$50-POCKET PICKING	1			
0633	THEFT-UNDER \$50-RETAIL THEFT	1			
0634	THEFT-UNDER \$50-FROM AUTO (EXCEPT 0635)	7			
0637	THEFT - UNDER \$50 - FROM BUILDINGS	1			
0710	MOTOR VEHICLE THEFT-AUTO	1			
0712	M.V. THEFT - STREET - RESIDENTIAL AREA	2			
0713	M.V. THEFT - AUTOS - DRIVEWAY	1			
0800	ASSAULTS - OTHER ASSAULTS (SIMPLE)	4			
0810	SIMPLE PHYSICAL ASSAULTS	1			
1100	FRAUD	6	1		
1130	FRAUD - ALL OTHERS (FLIM-FLAM, ETC.)	3			
1140	UNAUTHORIZED USE OF A MV	1			
1150	FRAUD - CREDIT CARDS	1	1		
1191	FRAUD - REPORTS	4			
1410	CRIMINAL MISCHIEF TO AUTOMOBILES	9			
1440	CRIMINAL MISCHIEF - ALL OTHER	5	1		
1490	CRIMINAL MISCHIEF - REPORTS	9	1		
1812	NARCOTICS-SALE-MARIJUANA, HASHISH, ETC.	1			
1822	NARCOTICS-MANUFACTURE-MARIJUANA,ETC.	1			
1832	NARCOTICS-POSSESSION-MARIJUANA,ETC.	8	2		
1834	NARCOTICS-POSSESSION-OTHER DANGEROUS	0	1		
1890	NARCOTICS - REPORTS	1			
2110	DRIVING UNDER THE INFLUENCE-LIQUOR/DRUGS	1			
2111	DRIVING UNDER THE INFLUENCE - ALCOHOL	1			
2112	DRIVE UNDER INFLUENCE-ALCOHOL-IMPAIRED	1			
2122	DRIVE UNDER INFLUENCE - DRUGS-IMPAIRED	1			
2211	LIQUOR LAW-UNDERAGE-PURCH,CONSP,POSSES	3		1	
2230	LIQUOR LAW-ALL OTHER VIOLATIONS	1			
2300	PUBLIC DRUNKENESS	2	1		1
2400	DISORDERLY CONDUCT	1			
2410	HARASSMENT BY COMMUNICATION	1			
2420	DISORDERLY CONDUCT-PUBLIC PLACES	1			
2440	DISORDERLY CONDUCT-DISTURBING THE PEACE	1			
2450	HARASSMENT	3			



**Calls for Service - by UCR Code**

Incidents Reported Between 08/01/2017 and 08/31/2017

**RADNOR TOWNSHIP**

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
2480	DISORDERLY CONDUCT-ALL OTHERS	1		1	
2640	ALL OTHER ORDINANCE VIOLATIONS	6	2		
2647	ALL OTHERS - PROTECTIVE ORDERS	1			
2660	TRESPASSING OF REAL PROPERTY	2	1		
2830	TWP ORD-ALL OTHER	1			
2900	JUVENILE RUNAWAYS	2			
2910	LOST/MISSING PROPERTY	1			
3200	CHECK ON WELFARE	5			
3300	CIVIL DISPUTES	8			
3320	DOA	2			
3500	DISTURBANCE - DISORDERLY PERSONS	7			
3501	DISTURBANCE-COMPLAINT OF NOISE,MUSIC,ETC	15			
3520	DOMESTIC PROBLEM (NO ARREST)	12	1		
3610	DISTURBANCES-JUVENILE	4			
3620	DISTURBANCES-OTHER (FIGHTS,DISPUTES,ETC)	5			
3650	PECO-ENEGY NOTIFICATION/POWER OUTAGES	4			
3700	FIRE - RESIDENTIAL	1			
3701	FIRE-COMMERCIAL	2			
3702	FIRE-VEHICLE	1			
3703	FIRE-ALL OTHERS	13	1		
3850	HAZARDOUS CONDITIONS	1			
3860	SERVICE CALL-LOCKOUTS (VEHICLE/BLDG)	1			
3900	GAS LEAKS (NATURAL GAS)	5			
4000	JUVENILE PROBLEMS (NO ARREST)	6	1		
4016	NON-CRIMINAL - PEDESTRIAN CONTACTS	1			
4018	NON-CRIMINAL-ST. LIGHT OUT, ST. REPAIRS.	2			
4301	MENTAL HEALTH-ALL OTHERS	11			
4500	OPEN DOORS/WINDOWS	11			
4510	DEATHS - UNATTENDED	1			
4600	ORDINANCE VIOL.-EXCEPT BURNING/SOLICIT	7	1		
4650	POLICE INFORMATION	35			
4655	CID/DTF INVESTIGATION	0	1		
4660	911 HANG UP CALL	38			
4700	ADDED PATROL-REQUEST FOR	63			
4701	ADDED PATROL - BUSINESS CHECKS	97			
4702	ADDED PATROL - SCHOOL CHECKS	4			
4800	SOLICITING-WITHOUT PERMIT	0	1		
4801	SOLICITING-COMPLAINTS	1			
4900	SUSPICIOUS PERSON	15			
4901	SUSPICIOUS CIRCUMSTANCE	40		1	
4902	SUSPICIOUS VEHICLES	16			
5000	TELEPHONE CALLS-HARASSING/SUSPICIOUS	4			
5002	LOST & FOUND - FOUND ANIMAL	1			
5004	LOST & FOUND - FOUND ARTICLES	9			
5005	FOUND BICYCLES	1			
5006	LOST & FOUND - LOST ANIMAL	2			
5100	TRAFFIC SIGNALS-DAMAGED/NEED REPAIR	6			
5200	TRAFFIC HAZARD-POTHoles/OBSTRUCTIONS/ICE	8			



September 15, 2017

# Calls for Service - by UCR Code

Incidents Reported Between 08/01/2017 and 08/31/2017

## RADNOR TOWNSHIP



Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
5300	TREES DOWN AND/OR BLOCKING ROADWAY,ETC	4			
5400	VEHICLES-ABANDONED	2			
5401	VEHICLES-ASSIST MOTORIST(INCL LOCKOUTS)	13			
5402	VEHICLES-DISABLED	14			
5403	VEHICLES-MV VIOLATIONS & MVV COMPLAINTS	28	1		
5404	VEHICLES-PARKING COMPLAINTS	8			
5405	VEHICLES-TOWED	10			
5501	WIRES DOWN - NO HAZARD	6			
5502	ANIMAL COMPLAINTS - BARKING DOGS	2			
5504	ANIMAL COMPLAINTS - DOG BITES	1			
5506	ANIMAL COMPLAINTS - STRAY ANIMALS	3			
5510	ANIMAL COMPLAINTS - OTHER	8			
5590	ANIMAL COMPLAINTS - REPORTS	2			
5600	WARRANT-ARREST (ISSUED OUTSIDE RADNOR)	0	1		
6001	ACCIDENT - WITH INJURIES	5			
6002	ACCIDENT - NO INJURIES (REPORTABLE)	10			
6003	ACCIDENT - NON REPORTABLE	52			
6004	ACCIDENT - HIT & RUN	13			
6005	ACCIDENT - NO REPORT DONE	5			
6612	TRAFFIC RELATED - SIGNALS-SIGNS OUT	1			
6690	TRAFFIC RELATED SERVICES - REPORTS	1			
7002	NOTIFICATION - COMMUNITY DEVELOPMENT	1	1		
7006	NOTIFICATION - HIGHWAY DEPT.	1	1		
7014	PUBLIC SERVICE - OTHERS (OFFICER ASSIST)	8			
7090	PUBLIC SERVICES - REPORTS	1			
7506	ASSISTING OTHER AGENCIES - ALL OTHERS	1			
8000	BURG/HOLDUP/PANIC ALARM - CIT ISSUED	7			
8001	BURG/HOLDUP/PANIC ALARM - NO CITATION	99	1		
8002	FIRE/MEDICAL ALARM - CITATION ISSUED	2	1		
8003	FIRE/MEDICAL ALARM - NO CITATION	28			
9000	ANIMALS - DOG COMPLAINTS	4			
9001	ANIMALS-RABID/SICK	1			
9002	ANIMALS - ALL OTHER	6			
9003	ANIMALS-BITES	1			
9005	ANIMALS - ALL INVOLVING DEER	2			
9038	K-9 ASSIST	1	1		
9039	K-9 ASSIST OTHER LAW ENFORCEMENT	1			
9040	ASSIST LOWER MERION PD	1			
9041	ASSIST HAVERFORD PD	2			
9045	ASSIST TREDYFFRIN PD	4			
9046	ASSIST UPPER MERION PD	1			
9047	ASSIST PSP	1			
9049	ASSIST VUPD	10	3		
9050	ASSIST SICK/INJURED	102			
9051	ASSIST AMBULANCE	15			
9052	ASSIST OTHER POLICE DEPARTMENT	3			
9055	ASSIST SICK/INJURED ALCOHOL/DRUG RELATED	1	1		
9060	ASSIST SICK NALOXONE APPLICATION	1			



September 15, 2017

## Calls for Service - by UCR Code

Incidents Reported Between 08/01/2017 and 08/31/2017



### RADNOR TOWNSHIP

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
9090	ADMINISTRATION - REPORTS	1			
9966	SELECTIVE ENFORCEMENT-CITATION ISSUED	95	3	1	
9968	SELECTIVE ENFORCEMENT-WARNING ISSUED	33			
9970	SELECTIVE ENFORCEMENT-NO ISSUANCE	59			
9972	MOTOR OFFICER ACTIVITY	0	9		
CITN	NON-TRAFFIC CITATION	54			
CITT	TRAFFIC CITATION	395	1		
Total Calls		1,719			



**Radnor Township Police Department**  
**August 2017 Property Stolen Recovered Report**

Type of Property	Aug-17 Stolen	2017 YTD Stolen	Aug-17 Recovered	2017 Y-T-D Recovered
Currency, Notes, Stocks Etc.	\$15,206.00	\$34,441.00	\$0.00	\$65.00
Clothing & Furs	\$1,130.00	\$20,759.00	\$0.00	\$15.00
Locally Stolen Motor Vehicles	\$65,000.00	\$490,000.00	\$0.00	\$240,000.00
Office Equipment	\$5,575.00	\$25,030.00	\$0.00	\$795.00
Televisions, Radios, Cameras	\$0.00	\$4,843.00	\$0.00	\$600.00
Firearms	\$0.00	\$850.00	\$0.00	\$500.00
Household Goods	\$1,638.00	\$0.00	\$0.00	\$0.00
Consumable Goods	\$0.00	\$330.00	\$0.00	\$0.00
Jewelry & Precious Metals	\$112,285.00	\$158,630.00	\$0.00	\$0.00
Livestock	\$0.00	\$0.00	\$0.00	\$0.00
Miscellaneous	\$3,160.00	\$148,157.00	\$0.00	\$0.00
<b>Total Property Value</b>	<b>\$203,994.00</b>	<b>\$883,040.00</b>	<b>\$0.00</b>	<b>\$241,975.00</b>



**Radnor Township Police Department**  
**August 2017 Accidents / Violations / Investigations / Juvenile Report**

<b><i>Accidents</i></b>	<b>Aug-17</b>	<b>YTD 2017</b>	<b>Aug-16</b>	<b>YTD 2016</b>	<b>YTD from 17 to 16</b>
Accidents - Fatal	0	0	0	2	-2
Accidents - Reportable- With Injuries	5	43	7	42	1
Accidents - Reportable - No Injuries	10	98	17	126	-28
Accidents - Non Reportable	52	366	57	419	-53
Accidents - Hit & Run	13	82	9	84	-2
Accidents - No Report	5	77	6	61	16
Pedestrian Accidents - With Injuries	0	1	0	0	1
Pedestrian Accidents - Fatal	0	0	0	1	-1
<b>Total Accidents</b>	<b>85</b>	<b>667</b>	<b>96</b>	<b>735</b>	<b>-68</b>
<b><i>Violations</i></b>					
Arrests - Felony & Misdemeanor	31	174	16	134	40
Traffic Violations	395	4266	523	4336	-70
Non-Traffic Violations	54	411	28	320	91
Parking Meter Violations	1098	8281	929	9459	-1178
Abandoned Vehicles	2	11	2	10	1
<b>Total Violations</b>	<b>1580</b>	<b>13143</b>	<b>1498</b>	<b>14259</b>	<b>-1116</b>
<b><i>Complaints</i></b>					
Complaints	1270	11554	1404	11195	359
Unlocked Businesses	11	93	11	82	11
Alarms	136	1022	170	1147	-125
Animal Complaints	12	99	13	129	-30
<b>Total Complaints</b>	<b>1429</b>	<b>12768</b>	<b>1598</b>	<b>12553</b>	<b>215</b>



**Radnor Township Police Department**  
**August 2017 Crime Report**

<b>CLASS 1 Offenses</b>							
<b>Offense</b>	<b>Inc 8/17</b>	<b>Inc YTD 17</b>	<b>Clr'd 8/17</b>	<b>Clr'd YTD 17</b>	<b>Inc YTD 16</b>	<b>Clr'd YTD 16</b>	<b>Inc YTD 17 to 16</b>
Criminal Homicide	0	0	0	0	0	0	0
Forcible Rape	0	0	0	0	1	1	-1
Robbery	1	2	0	0	0	0	2
Assault	5	35	1	14	27	16	8
Burglary	3	16	0	3	25	2	-9
Larceny	30	172	0	9	172	16	0
Auto Theft	4	14	1	2	4	0	10
Arson	0	0	0	0	0	0	0
<b>Total Class 1 Off.</b>	<b>43</b>	<b>239</b>	<b>2</b>	<b>28</b>	<b>229</b>	<b>35</b>	<b>10</b>
<b>CLASS 2 Offenses</b>							
Vandalism	23	100	0	0	80	0	20
Illegal Drugs	10	65	2	44	48	33	17
DUI	4	40	4	33	28	25	12
Disorderly Conduct	8	66	2	14	71	26	-5
Fraud Related	15	125	1	2	117	1	8
Underage Drinking	4	25	5	20	13	11	12
All Other Class 2	8	99	2	29	65	44	34
<b>Total Class 2 Off.</b>	<b>72</b>	<b>520</b>	<b>16</b>	<b>142</b>	<b>422</b>	<b>140</b>	<b>98</b>
<b>Grand Total</b>	<b>115</b>	<b>759</b>	<b>18</b>	<b>170</b>	<b>651</b>	<b>175</b>	<b>108</b>



## Radnor Township Police Department August 2017 Burglary Report

<i>Time of Day</i>	Res-Forced	Res-No Force	Res-Attempt	Non Res-Forced	Non Res-No Force	Non Res-Attempt
Day (6 AM to 6 PM)	0	0	0	0	0	0
Night (6 PM to 6 AM)	0	0	1	1	0	0
Time Unknown	0	1	0	0	0	0
Total Burgs - 8/17	0	1	1	1	0	0
Total Burgs - YTD	4	3	2	5	0	2
<b>Burglaries by Area</b>						
Patrol Area	District	Burgs 8/17	Burgs YTD 17			
Northeast Beat	1	0	2			
Northwest Beat	2	0	7			
Southwest Beat	3	2	2			
Southeast Beat	4	1	5			
Villanova University	7	0	0			
Total Burglaries		3	16			



## Radnor Township Police Department

[illegible]



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# Interoffice Memorandum

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**TO:** BOARD OF COMMISSIONERS  
**FROM:** KEVIN KOCHANSKI, DIRECTOR  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
**SUBJECT:** SEPTEMBER MONTHLY REPORT  
**DATE:** OCTOBER 2, 2017  
**CC:** ROBERT A. ZIENKOWSKI, TOWNSHIP MANAGER



**Community Development  
Department**

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Attached for your review is the Community Development Monthly Report for the month of September 2017. Please note the following highlights:

- Building Permit Fee Revenue totaled \$54,413.00 with 81 permits issued
  - Electric Permit Fee Revenue totaled \$5,844.00 with 34 permits issued
  - Fire Permit Fee Revenue totaled \$250.00 with 2 permits issued
  - Mechanical Permit Fee Revenue totaled \$7,153.00 with 23 permits issued
  - Plumbing Permit Fee Revenue totaled \$4,606.00 with 31 permits issued
  - Zoning Permit Fee Revenue totaled \$900.00 with 12 permits issued
  - Design Review Board Application Fee Revenue totaled \$600.00 with 5 applications received
  - Historic and Architectural Review Board Revenue totaled \$50.00 with 1 application received
  - Zoning Hearing Board Application Fee Revenue totaled \$3,450.00 with 5 applications received
- 
- |  |                |
|--|----------------|
| • Permit and application revenue for September 2017: | \$ 77,266.00   |
| • Permit and application revenue year to date:       | \$3,002,745.00 |
- 
- |  |       |
|--|-------|
| • Permits and applications for September 2017: | 194   |
| • Permits and applications year to date:       | 1,911 |
- 
- |   |       |
|---|-------|
| • Inspections conducted for September 2017: | 516   |
| • Inspections conducted year to date:       | 5,665 |





## **RECREATION & COMMUNITY PROGRAMMING DEPARTMENT**

### **SEPTEMBER 2017 REPORT**

#### **Programs/Excursions/Community Events**

##### **Programs/Excursions**

- Men's Pickup Basketball (13 participants)
- Junior/Adult Tennis with David Broida at Radnor Racquet Club (20 participants)
- Radnor Steps Community Walking Program along the Trail – (participation varies each week)
- Teeball with Jump Start Sports at Clem Macrone Park (21 participants)
- Soccer with Soccer Shots at Clem Macrone Park (158 participants/3 sessions per week)
- Junior Soccer with World Cup Sports Academy at Warren Filipone Park (34 participants/2 sessions per week)
- US Open Tennis Championships Excursion (47 participants)
- After School Chess Club at Ithan Elementary School (32 participants)
- After School Science Club at Ithan Elementary School (21 participants)

##### **PRPS Discount Ticket Program**

- Regal Movie Discount Ticket Program (173 sold to date 2017)
- PRPS Amusement Park Tickets (228 sold to date 2017)

##### **Community Events:**

- Clem Macrone Park Grand Re-Opening on Saturday, September 9 (2,000 in attendance)
- Active Aging Awareness Event/Wayne Senior Center Open House on Sunday, September 17

##### **Additional Programming Activity:**

- Prepared season-end financial reporting and evaluation of programming, discount ticket program, community events, and projects.
- Met with fall/winter programming and event vendors/instructors, developed program details, contractual agreements, coordinated facility schedules, program logistics, participant communications, and emergency/safety procedures.
- Met with ESF Camps CEO to discuss potential partnership opportunities.
- Distributed Fall 2017 Recreation Activities Brochure and began development of Winter & Spring 2018 Recreation Activities Brochure; developed information for new Township Magazine, Radnor Life & Style.
- Continued working with our professional organization, the PA Recreation and Parks Society (PRPS), regarding the child care licensing requirements for preschool-age programming participants under the Pennsylvania Department of Human Services; a structured, operating protocol was developed and submitted to the DHS under which public recreation providers would operate – consideration and waiver request by the DHS has been denied; the PRPS group will continue to evaluate next steps on this topic.
- Coordinated with Recreation/Public Works/Police/Fire Departments to prepare and plan for upcoming events including the Clem Macrone Park Grand Opening; Fall Harvest & Great Pumpkin Patch Event; Janice Grant Berenstain Plaque Dedication; discussed logistics and set up, activities and entertainment, staffing, registration, promotions, and supplies relative to each event.
- Met with representatives from the Saturday Club and the Radnor Girls Scouts to plan logistics for upcoming community events.
- Met with American Lung Association Representative to discuss and plan for upcoming Radnor Run event in October.
- Continued sponsorship development by working with local businesses and organizations for current events and programs; conducted meetings with potential and current sponsors; continued soliciting sponsorship proceeds for 2017 for remaining events and programs.
- Continued event and programming collaboration development with various businesses and organizations within the community.



## **Administrative**

- Processed daily phone and email communications in order to provide information on community sports, recreational activities, and events; coordinated registrations for programs; prepared purchase orders/invoices, deposited income; prepared program financial reports that include participation reconciliation, instructor payments, and performance analyses; distributed program evaluations to participants; coordinated locations and logistics for programming, scheduled facility reservations/submitted applications, maintained Outlook event calendars, met with instructors and vendors to develop program agreements and process background checks; continued utilization of PEN (Programmer's Exchange Network) listserv to obtain and share information to evaluate operations; updated all Department areas of the Township website and social media page and distributed seasonal e-newsletters; filmed monthly segment for the *Radnor 411* television show and prepared slides for the Radnor Cable Channel; coordinated marketing efforts; managed inventories and distributed supplies to programs; worked with Township solicitor on various Department items.
- Monitored Department budgetary line items and developed year-to-date performance analyses for program and service areas.
- Continued to work with Program Supervisor and Program Coordinator on daily planning, programming, events, operations, and Department projects for 2017.
- Continued working at the direction of the Finance Department on the implementation of Tyler Munis Enterprise Resource Planning Project – worked through scheduling for upcoming implementation for the online registration modules for recreation programming.
- Attend Township Manager/Finance Director budget meetings and met internally with Department staff to discuss and plan budget goals and objectives and data assessments; developed budget presentation for Board of Commissioners.
- Attended weekly staff meetings with the Township Manager and Department Heads.
- Attended monthly Board of Commissioners Meetings; attended and prepared reports for monthly Parks Board Meeting.
- Attended monthly Design Review Board Meeting (Unkefer Park sign presented/approved).
- Attended monthly Wayne Senior Center Board Meeting.
- Attended monthly Staff Safety Committee Meeting.
- Attended monthly Radnor Committee for Special Education Meeting.
- Attended monthly Sports Legends of Delaware County Museum Board Meeting; attended SLDC event, Cavalcade of Stars.

## **Parks & Facilities Usage**

- **Athletic Fields:** Coordinated field scheduling and light schedules for fall 2017 with the community sports organizations, local schools, and programs - primary summer users are Radnor Soccer Club, Radnor High School Ultimate Frisbee; Radnor Middle School Soccer; Agnes Irwin School, St. Katharine of Siena School, Radnor Wayne Little League for baseball and softball, Philadelphia Sports League; and various private rentals.
- **Park Areas/Picnic Rentals:** Continued taking reservations for the 2017 season – rentals to date are as follows:
  - Bo Connor Park (1 rental)
  - Clem Macrone Park (7 rentals)
  - Cowan Park (2 rental)
  - Fenimore Woods (35 rentals)
  - Willows Park (17 rentals)
- **Radnor Activity Center:** 5 rentals took place in September – most were for multiple days; included Radnor Raiders Football and Cheer programs; fall seasonal programming started taking place for Men's Basketball.



## **Parks & Facilities Meetings/Projects**

- **Eagle Scout Projects:** Prospective projects continued – park kiosk replacement at the Willows picnic area and at the Skunk Hollow Garden entrance.
- **Park Mapping/Site Survey:** Began to evaluate a project to identify park boundaries.
- **Park Signage Replacement:**
  - Saw Mill Park sign has been put on hold as we evaluate the park traffic flow and logistics.
  - Clem Macrone Park, Fenimore Woods, Ithan Valley Park sign development is underway.
  - Radnor Skatepark informational signage development is underway.
- **Park/Pollution Reduction Planning:** Met with Township Engineer and Meliora Design to discuss potential impact on Township parks to reduce pollution and sedimentation impacts.
- **Park and Trail Improvements** – a bond ordinance was voted at the October 26, 2015 Board of Commissioners Meeting for the following parks and trails (\$5.75M - \$4.3M Parks/\$1.45M Trails); met with staff and continued working towards completion of the various park projects outlined –

Bo Connor Park
Cappelli Golf Range
Clem Macrone Park
Emlen Tunnel Park
Encke Park
Fenimore Woods
Ithan Valley Park
Petrie Park
Radnor Trail
Skunk Hollow
Warren Filipone Park
Arrossan Trail
West Wayne Segment (8A-E, 1C, 1D)
Marth Brown Segment
Villanova – Chew Segment (16A, 9C, ½) - omitted
Radnor Station to Harford Park (9F)

- **Bo Connor Park Improvements:** Coordinated engineering site survey and scope of work development for site improvements/continued working with Gannett Fleming to prepare bid documentation.
- **Clem Macrone Park Master Planning:** Comprehensive park renovation project underway since mid-November 2016 was completed in mid-September 2017 and that park opened on September 9<sup>th</sup> - grand re-opening was held with great success; project close-out and punch list completion is still underway; project utilized funding from several sources including grants, capital, and bond proceeds per Ordinance 2015-16; attended several project-related meetings and coordinated recognition plaque event for Janice Grant Berenstein.
- **Cowan Park Improvements:** Worked with Gannett Fleming to prepare bid documentation basketball court reconstruction/equipment replacement.
- **Emlen Tunnell Park:** Worked on comfort station design options with various vendors and coordinated site layout with Gannett Fleming to prepare bid documentation.
- **Fenimore Woods Rehabilitation Project:** Comprehensive park renovation project planning underway; park outbound site and topographical surveys have been prepared; preliminary/ conceptual park improvement plan #2 was reviewed with the Parks Board in March, preliminary review of this plan occurred with Township traffic engineer; working to further identify the improvement details and corresponding project budget; coordinated pond study; worked on comfort station and pavilion design options with various vendors.



- **Odorisio Park Bench Replacement:** Coordinated resident bench recognition/memorial plaque.
- **Petrie Park Improvements:** Coordinated park maintenance improvements and worked with Petrie Avenue neighbors on design of the park seating, trash receptacle, and playground unit.
- **Radnor Skatepark Improvements:** 2015 improvements to the skatepark entailed replacement and upgrades to structures along with resurfacing by utilizing funds received as part of the Township Building cell tower contract renegotiation. Due to a lack of adherence of the top color coating to the surface, the asphalt was milled and redone – this process was completed and the skatepark reopened in mid-June 2016 - subsequent to the recent process, surface delamination has occurred once again and the park was closed due to safety concerns in early August; after park structure modification and movement, the park reopened in mid-August; staff and council are pursuing a bond claim for the deficiencies that have occurred with a goal to repair the park commensurate to the expectations of the original scope of work.
- **Radnor Trail - Brookside Parking Lot Restroom:** worked on restroom design options with various vendors; coordinated site layout with Gannett Fleming to prepare bid documentation.
- **Veterans Park Planning:** (formerly St. Davids Community Park) – a planning project is underway to honor Veterans, educate visitors, and improve various features of the site with the conceptual plan prepared by Simone Collins Landscape Architecture; fundraising is underway by the Township Manager for the project.
- **Warren Filippone Park Improvement:** Coordinated engineering site survey and scope of work development for site improvements/continued working with Gannett Fleming to prepare bid documentation.
- **The Willows:** There is continued evaluation by the Board of Commissioners to find a viable use for the Mansion that will allow for its continued public use, public usage of the park with minimal impacts, building improvements to ensure code compliance consistent with intended use, and building updates – the BOC is working to determine feasibility of building renovations and ongoing operability for public use by the Willows Park Preserve. At the next BOC Meeting, terms of a potential MOU with the Willows Park Preserve will be discussed along with project funding.

Respectfully Submitted,



Tammy S. Cohen  
Director of Recreation & Community Programming



Motion to Authorize to  
Receive Sealed Bids for  
Gasoline and Diesel Fuel



**RESOLUTION NO. 2017-117**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, APPROVING A RENEWAL LEASE AGREEMENT WITH KEYSTONE DIGITAL IMAGING, INC. FOR MULTIFUNCTION COPIER SYSTEMS**

**WHEREAS**, the Township entered into a five-year lease agreement with Keystone Digital Imaging, Inc. for multifunction copier systems on June 10, 2013; and

**WHEREAS**, Keystone Digital Imaging, Inc. has routinely met service and customer service needs expected by the township administration; and

**WHEREAS**, the township administration has recommended that the Township enter into a new lease agreement with Keystone Digital Imaging, Inc. to upgrade currently leased multifunction copier systems and provide maintenance services for the new multifunction copier systems; and

**WHEREAS**, Keystone Digital Imaging, Inc. will relieve the Township of all remaining lease obligations on currently leased multifunction copier systems; and

**WHEREAS**, Keystone Digital Imaging, Inc. will pick up and return all currently leased multifunction copier systems back to the leasing company at no additional charge; and

**NOW, THEREFORE**, be it hereby **RESOLVED** that the Radnor Township Board of Commissioners does hereby approve the renewal Lease Agreement with Keystone Digital Imaging, Inc. for seven multifunction copier systems for a term of five, 12 month terms, pursuant to Pennsylvania Costars Contract # 001-014 at a monthly cost of \$1,326.00.

**SO RESOLVED** this 23<sup>rd</sup> day of October, 2017.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Elaine Schaefer  
Title: Vice President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Secretary



# Radnor Township

## PROPOSED LEGISLATION



**DATE:** Wednesday, October 18, 2017

**TO:** Board of Commissioners

**FROM:** William White, Finance Director

A handwritten signature in black ink, appearing to read "William White", is placed over the name in the "FROM:" line.

### LEGISLATION:

Resolution 2017-117 to approve the renewal a five, 12 month lease agreement for equipment and maintenance with Keystone Digital Imaging, Inc. (KDI) for upgraded multifunction copier systems.

### LEGISLATIVE HISTORY:

On June 10, 2013, the Board passed a motion authorizing the Township to enter into a five, 12 month agreement with KDI for multifunction copier systems.

### PURPOSE AND EXPLANATION:

Township administration would like to enter into a five, 12 month renewal lease agreement with KDI for seven new (7) Savin multifunction copier systems. The seven (7) new multifunction copier systems will have similar or slightly higher capabilities than the system it is replacing. KDI routinely met the service and customer service needs of the Township administration.

KDI's new lease agreement will include:

- Replacement or upgrades of all seven multifunction copying systems.
- All parts, labor, service and supplies (excluding paper, transparencies, and staples).
- Five year rate lock on current service and overage rates.

### FISCAL IMPACT:

The new lease agreement decreases the current monthly copier lease costs by \$686.85 per month (from \$2,012.25 to \$1,326.00 per month) entered pursuant to PA Costars Contract # 001-014. The cost for copying/printing overages rates will be locked for five (5) years at .0055 cents for b/w copies and .045 cents for color copies. The funds for this lease are within the amount appropriated in the Township's 2017 operating budget.

Keystone Digital Imaging, Inc. will relieve the Township of all remaining lease obligations on the currently leased multifunction copier systems.

### RECOMMENDED ACTION:

Township administration respectfully recommends that entering into a renewal equipment and maintenance lease with KDI for upgraded multifunction copier systems.



Authorization to file an  
Enforcement Action Re: 5  
Marlyn Circle and 713  
Miller Street



**RESOLUTION NO. 2017-119**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE  
COUNTY, PENNSYLVANIA, AWARDED THE  
CONTRACT FOR THE INSTALLATION OF THE  
SIDEWALK ON SOUTH DEVON AVENUE, FROM  
MORRIS CIRCLE TO LIBERTY LANE, TO TOMMY'S  
PAVING & EXCAVATING**

**WHEREAS**, the Board of Commissioners has approved the installation of sidewalk on South Devon Avenue, from Morris Circle to Liberty Lane

**WHEREAS**, a cost proposal was submitted by Tommy's Excavating & Paving for the installation of said sidewalk and ancillary work, in the amount of \$24,385

**NOW, THEREFORE**, be it **RESOLVED** by the Board of Commissioners of Radnor Township does hereby authorize and approve the award of the Contract for the Installation of Sidewalk on South Devon Avenue from Morris Circle to Liberty Lane, to Tommy's Paving & Excavating in the amount of \$24,385

**SO RESOLVED** this 23rd day of October, A.D., 2017

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: Philip Ahr

Title: President

ATTEST: \_\_\_\_\_

Robert A. Zienkowski  
Manager/Secretary



# Radnor Township

## PROPOSED LEGISLATION

DATE: October 17, 2017

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer *SFN*

CC: Robert A. Zienkowski, Township Manager  
William M. White, Assistant Township Manager & Finance Director

LEGISLATION: **Resolution #2017-119:** Awarding the Contract for the Installation of Sidewalk on South Devon Avenue

**LEGISLATIVE HISTORY:** Several pedestrian projects were brought to the Board of Commissioners requesting approval to submit grant applications for construction (*Lancaster Avenue: Garrett Ave. to Barley Cone Lane, Belrose Lane: King of Prussia Road to driveway, North Wayne Ave.: Woodsworth Ct. to Eagle Road, Lancaster Avenue: Iron Works Way to Chamounix Road*). The sidewalk link on South Devon Avenue from Morris Circle to Liberty Lane was among the projects requested for grant application submission. It was determined that the project did not qualify for the grants, as its cost was below the prescribed grant threshold. It was determined the project would be funded by the Commissioners Capital Account.

**PURPOSE AND EXPLANATION:** The proposed sidewalk on South Devon Avenue provides an important link to the Friends of the Radnor Trail Park, the Radnor Trail, as well as into downtown Wayne, as it fills the void between Morris Circle and Liberty Lane. As part of the construction, ADA compliant curb ramps, crosswalks, concrete curb, and the concrete sidewalk will be installed. Traffic control, as well as final restoration are also part of the cost proposal. A cost proposal was submitted by Tommy's Paving & Excavating.



**IMPLEMENTATION SCHEDULE:** Upon approval by the Board of Commissioners, a Requisition request will be processed. Upon receiving a purchase order number, the contractor will be given the notice to proceed. It is anticipated the work will be completed in early November of this year

**FISCAL IMPACT:** The cost proposal is in the amount of \$24,385. The contract will be

funded from: The Capital Improvement Fund-Commissioners Projects, account # 05-430-48210.

**RECOMMENDED ACTION:** I respectfully request the Board of Commissioners award the Contract for the Installation of Sidewalk on South Devon Avenue to Tommy's Paving & Excavating in the amount of \$24,385.

**MOVEMENT OF LEGISLATION:** It is being requested the Board of Commissioners approve the award of this contract.



**RESOLUTION NO. 2017-121  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA,  
DECLARING ITS SUPPORT FOR SMALL BUSINESS SATURDAY IN RADNOR  
TOWNSHIP ON NOVEMBER 25, 2017**

**WHEREAS**, according to the United States small business administration, there are currently 28.8 million small businesses in the United States representing 99.7 percent of all businesses with employees in the United States; and

**WHEREAS**, small businesses employ 48 percent of the employees in the private sector in the United States; and

**WHEREAS**, on average, 33 percent of consumers' holiday shopping will be done at small, independently-owned retailers and restaurants; and

**WHEREAS**, 91 percent of all consumers believe that supporting small, independently-owned restaurants and bars is important; and

**WHEREAS**, 76 percent of all consumers plan to go to one or more small businesses as part of their holiday shopping; and

**WHEREAS**, Radnor Township supports our local businesses that create jobs, boost our local economy and preserve our neighborhoods; and

**WHEREAS**, advocacy groups as well as public and private organizations across the country have endorsed the Saturday after Thanksgiving as Small Business Saturday.

**NOW, THEREFORE**, be it resolved that the Board of Commissioners of Radnor Township does hereby proclaim November 25, 2017 as **Small Business Saturday** in Radnor Township, and the Board does hereby further urge the residents of the Township to support small businesses and merchants on **Small Business Saturday** and throughout the year.

**SO RESOLVED**, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 23<sup>rd</sup> day of October, 2017.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: Elaine P. Schaefer  
Title: Vice President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski  
Township Manager/Secretary



Proclamation - Baha'i  
Community of Radnor  
Township Celebrating  
200<sup>th</sup> Anniversary



# Recognition of the Radnor Police SWAT Officers



# Recognition of Radnor Township Police Officers



Announcement of Boards  
and Commissions  
Vacancies

*Shade Tree Commission;  
Board of Health;  
Stormwater Advisory  
Committee  
1 Vacancy Each*



# Public Participation



Election of President &  
Vice President of the  
Board of Commissioners



Appointment of Stephen  
Harris to Radnor Township  
Ethics Board



**ORDINANCE NO. 2016-13**

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING CHAPTER 280 ZONING, ARTICLE XV, PLO PLANNED LABORATORY-OFFICE DISTRICT, SECTIONS 280-62, 280-63 AND 280-64, BY PROVIDING FOR ADDITIONAL USES IN THE PLO PLANNED LABORATORY-OFFICE DISTRICT INCLUDING MIXED USE DEVELOPMENTS; PROVIDING FOR REVISED DIMENSIONAL REQUIREMENTS FOR MIXED USE DEVELOPMENTS INCLUDING FINANCIAL SUBDIVISIONS AND PROVIDING FOR ADDITIONAL ACCESSORY USES**

**SECTION 1.** Chapter 280, Article XV, Sections 280-62, 280-63 and 280-64 are hereby revised to read as follows:

**Section 280-62 Purpose; application of regulations**

- A. PLO Planned Laboratory-Office Districts are designed primarily to provide for selected modern laboratory, office establishments and other compatible uses which:
  - (1) Provide for attractive large-site, low-lot-coverage development in areas where traditional business development would be inappropriate.
  - (2) Strengthen and diversify the Township's tax base.
  - (3) Are compatible with the character of the surrounding areas.
  - (4) Increase the effectiveness of the zoning district by providing the capability for a mixture of complementary uses.
  - (5) Decrease the negative external effects of parking and traffic on surrounding areas by providing the capability for a mixture of complementary uses.
- B. PLO Districts may be established and developed only in accordance with the special provisions of § 280-132 and subject to the regulations of this article and any other pertinent provisions of this chapter.
- C. In PLO Planned Laboratory-Office Districts, the regulations contained in this chapter shall apply.



### **Section 280-63 Use regulations**

A building or unified group of buildings may be erected or used and a lot may be used or occupied for any of the following purposes:

- A. Forty percent (40%) to one-hundred percent (100%) of the gross floor area may be used or occupied for the following:
  - (1) Scientific or industrial research, testing or experimental laboratory or similar establishment for research or product development, provided that there is no commercial production or storage of any commodity or substance except for storage necessary for scientific research.
  - (2) Office Building, including medical, dental, professional and sales.
- B. Subject to the requirements of § 280-64.G., up to sixty percent (60%) of the gross floor area may be used or occupied for the following:
  - (1) Hotel, including extended stay, which may contain restaurant and banquet space. Hotel pools and indoor health/fitness/recreation centers shall be for the use of hotel guests only.
  - (2) Skilled nursing and/or Senior Assisted Living facility.
  - (3) Senior Independent living facility.
  - (4) Ambulatory care facility - a health care facility or a distinct part of a health care facility which provides preventative, diagnostic, and treatment services to persons who come to the facility to receive services and depart from the facility on the same day, excluding medical and dental office uses. All land development plans proposing an Ambulatory care facility shall be limited to no smaller than 969 square feet per patient position yielding 103 patient positions per 100,000 square feet of gross floor area.
- C. Notwithstanding the minimum lot size of Section 280-64.A., properties with a total site area of less than 10 acres may be used or occupied as follows and may not be combined with any other principal use.
  - (1) Skilled nursing, Senior Independent Living, and/or Senior Assisted Living facility, excluding Drug and Alcohol Rehabilitation facilities.
  - (2) Hotel, including extended stay, which may contain restaurant and banquet space. Hotel pools and indoor health/fitness/recreation centers shall be for the use of hotel guests only.
- D. Accessory uses, which may include:



- (1) Storage within a completely enclosed building in conjunction with a permitted use.
- (2) A cafeteria or other service facility located within the building and operated for the exclusive use of the occupants of the building. An accessory cafeteria may include outdoor dining as permitted by § 280-115.3B. [Amended 4-8-2013 by Ord. No. 2012-09]
- (3) A recreational area for occupants.
- (4) Living quarters for watchmen, caretakers or similar employees.
- (5) A parking structure, when constructed as an accessory structure for the purpose of eliminating allowable surface parking. Parking structures may be located wholly or partly within the principal building, attached to and made a part of the principal building, or constructed as a detached accessory structure. Parking spaces within structures may be reduced to not less than nine feet in width by 19 feet in depth, exclusive of aisles, for each motor vehicle.
- (6) Restaurant accessory to a permitted principal use not including existing non-conforming uses. Outdoor dining is permitted in accordance with § 280-115.3 B.

#### **Section 280-64 Area and height regulations**

- A. Lot area and width. Every lot on which a building or combination of buildings is hereafter erected or used shall have a lot area of not less than 10 acres, and such lot shall not be less than 300 feet at the building line.
- B. Building area. Not more than 30% of the area of any lot may be occupied by buildings and structures, and not less than 45% of the total lot area, exclusive of those areas within the public right-of-way, shall be devoted to landscaping and planted in accordance with Chapter 255, Subdivision of Land. Landscaped areas shall include nonimpervious areas devoted to stormwater management, required buffer areas, and landscaping for parking facilities.
- C. Building placement. No building or accessory structure shall be located less than one hundred and fifty (150) feet from a street right-of-way line nor less than two hundred (200) feet from a side or rear property line and no surface parking area, driveway, service or interior roadway, with the exception of approved areas for vehicular access, shall be located less than 75 feet from a street right-of-way or other property line.
- D. Building size and spacing.
  - (1) Except for a Mixed Use development permitted under § 280-64.G., the greatest dimension in length or depth of a building shall not exceed 160 feet, and no more than



three buildings may be attached to each other, provided further that the facade of any building attached to another building be visibly offset from the adjoining building at an angle of approximately 90°.

- (2) The distance at the closest point between any two buildings or group of attached buildings, including accessory structures, shall not be less than 45 feet.
- (3) In no case shall the width of buildings or accessory structures or the aggregate widths of buildings or accessory structures fronting on a street on the same lot exceed 80% of the width of a lot.

E. Height regulations. Except for a Mixed Use development permitted under § 280-64.G., no building or accessory structure shall exceed three stories or 38 feet in height.

F. Riparian buffer setback: 35 feet

G. Mixed Use - A building or unified group of buildings may include the uses specified in § 280-63.A. and B. and no other, subject to the following conditions:

- (1) The minimum gross floor area of the B. uses shall be 30% of the Total Site Area. The maximum medical or dental office use shall be 30% of the gross floor area of the Total Site Area. Ambulatory Care facility uses shall be combined with a minimum 15% of gross floor area of the Total Site Area of one or more of the uses described in § 280-63.B.1, 2 or 3.
- (2) No building shall exceed 85 feet in height. Buildings in excess of three stories or 38 feet in height are subject to the following requirements:

Building Height (Tallest building on site)	Maximum Building Area (%)	Maximum Lot Coverage (%)	Set Back to Street ROW Line (ft)	Set Back to Side and Rear Property Line Adjacent to Residential Zoning District (ft)	Set Back to Side and Rear Property Line Adjacent to Non-Residential Zoning District (ft)	Set Back to Side and Rear Property Line Abutting Railway and Limited Access Highway (ft)
less than or equal to 55'	29	50	100	200	50	25
greater than 55' but less than or equal to 85'	28	45	100	200	50	25

- (3) The gross floor area for all buildings on lots/properties existing as of the date of this ordinance shall not exceed 25,500 square feet per acre of Total Site Area.
- (4) A parking garage or parking structure may have a height of up to 55 feet so long as such parking garage or parking structure does not exceed the height of any building on the site.



- (5) All other accessory structures shall not exceed 45 feet in height as long as the accessory structure does not exceed the height of any other building on the site.
- (6) Financial Subdivision - In connection with development of a Mixed Use within the PLO District, individual lots may be created for purposes of financing and/or conveyancing. Such individual lots shall not be required to comply on an individual basis with the dimensional requirements of this Article, provided that the site and uses comply with such requirements on an overall basis, and further provided that the deeds conveying such separate lots contain covenants requiring the purchasers to, at all times, operate and maintain such lots in good order and repair and in a clean and sanitary condition; that cross-easements for parking areas and all appurtenant ways, pedestrian access, and utilities shall be maintained between such lots; and that such covenants shall be subject to the approval of the Township. The purchaser of any such lot shall execute and file with the Township a written covenant agreeing to the forgoing conditions prior to purchasing.
- (7) In the event that development requires an expansion of the right of way; setbacks shall be measured from the proposed right of way line.
- (8) The greatest dimension in length or depth of a building (as specified in § 280.64.D) may be up to 350 feet provided that: (a) the façade is constructed of brick, stone, architectural concrete, architectural metal work, or articulated glass; (b) is constructed with vertical and horizontal articulation and; (c) is approved by the Township.
- (9) The Total Site Area for a Mixed Use development must be greater than or equal to 10 acres. Total Site Area is the gross area of a lot or lots as described in the deeds or from an actual survey but excluding the area of any public or private street or rights of way as of the date of this ordinance.
- (10) All Mixed Use developments shall submit a Transportation Impact and Mitigation Report to the Township as part of the land development application. The Transportation Impact and Mitigation Report shall address the following components for the proposed development:
  - (a) A description of all improvements proposed along the frontage of the property including curbs, sidewalks, drainage, and utility additions or extensions proposed as a result of the project.
  - (b) A description of all improvements to adjacent intersections or intersections within a 1/2 mile of the proposed project designed to mitigate the impact of the proposed development transportation at full build-out of the site.
  - (c) A description of all off-site transportation improvements proposed by the developer or a description of proposed improvements to existing public



transportation facilities including existing rail lines adjacent to or within ½ mile to the site.

- (d) A description of transportation improvements proposed to be constructed by the applicant as recommended in the Township's Comprehensive Plan.

- (11) No land development application shall be accepted or processed by the Township without the submission of the foregoing Transportation Impact and Mitigation Report.

**SECTION 2.** Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

**SECTION 3.** Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

**SECTION 4.** Effective Date. This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

***ENACTED*** and ***ORDAINED*** this \_\_\_\_\_ day of \_\_\_\_\_, 2017.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name:  
Title:

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Secretary



# Radnor Township

## PROPOSED LEGISLATION

DATE: October 17, 2017

TO: Radnor Township Board of Commissioners

FROM: Stephen F. Norcini, P.E., Township Engineer *SN*

CC: Robert A. Zienkowski, Township Manager  
William M. White, Assistant Township Manager/Finance Director  
John Rice, Township Solicitor

LEGISLATION: **Ordinance #2017-15** -Establishing Rules and Regulations for The Management Of Its Rights-Of-Way; Requiring A Permit Application Fee And Plan For Any Street, Driveway, Or Utility Installation Upon Any Portion Of A Township Road Or Other Public Road Or Right-Of-Way

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**LEGISLATIVE HISTORY:** This proposed ordinance is being introduced to the Board of Commissioners for the first time.

**PURPOSE AND EXPLANATION:** The proposed legislation encompasses many benefits to the Township. The benefit most forefront is the fact that due to the utility inspections required by this ordinance, Radnor Township residents and the motoring public will be able to travel roads under utility construction with far less angst. The Township is not staffed to perform more than spot inspections on Township streets, and there is a higher level of expectation by the Township, for work being completed on State streets, than is currently being provided. The Township will be able to have an inspector or inspectors on site at streets with utility work being performed, thereby ensuring a better quality of product for our residents. The inspection service costs will be reimbursed to the Township by the utility.

The ordinance formalizes many practices that have been instituted in the last six years, as well as instituting new requirements. A few of the benefits, practices, and requirements are as follows:

- Utilities performing work within the R.O.W of State or Township streets will be required to compensate the Township for inspections services, as part of the permit requirements
- All applicable State requirements (many of which are currently used by the Township) will be required for all work on Township streets, including, but not limited to:
  - Drainage control plan analysis
  - Following Penn DOT Publications 408, 72, PA Code Title 67, Chapters 203, 441, 459
- Proposed telecommunication facilities within State or Township R.O.W. shall meet the requirement of the Zoning Code, Chapter 28
- Compensation to the Township for instituting repairs, should a utility fail to rectify a defect within forty-eight hours
- Required mapping; on paper and GIS
- Utilities will be required to obtain corporate bond with a surety company in the amount of 15% of the estimated project cost
- Violations and enforcement

The ordinance will allow the Township to be compensated for inspection and oversight of the utility work, as well as require more stringent adherence to the specifications, for all utility work within Township and State Rights of Way. The utility work is estimated to continue for the next five to seven years.



**ORDINANCE NO. 2017-15****AN ORDINANCE OF THE TOWNSHIP OF RADNOR, COUNTY OF DELAWARE, COMMONWEALTH OF PENNSYLVANIA, ESTABLISHING RULES AND REGULATIONS FOR THE MANAGEMENT OF ITS RIGHTS-OF-WAY; REQUIRING A PERMIT APPLICATION FEE AND PLAN FOR ANY STREET, DRIVEWAY, OR UTILITY INSTALLATION UPON ANY PORTION OF A TOWNSHIP ROAD OR OTHER PUBLIC ROAD OR RIGHT-OF-WAY**

*WHEREAS*, Radnor Township is authorized to regulate its streets, rights-of-way and public areas with respect to construction activities, and to grant rights therein for the installation of public and private utilities; and

*WHEREAS*, the Township has determined that the establishment of new utility or telecommunication facilities in Township or State rights-of-way create traffic hazards; and

*WHEREAS*, the Township deems it necessary to determine and regulate all encroachments within the Township's right-of-way to insure traffic safety, appropriate stormwater management, and other health, safety and welfare concerns with respect to right-of-way construction.

*NOW, THEREFORE*, be it hereby **ORDAINED** that the Board of Commissioners of Radnor Township does hereby **ENACT** an amendment to the Radnor Township Code of Ordinances, repealing Article VI, Street Excavations, Sections 250-17 through 250-34, and replacing it with a new Article VI, **Right of Way Management**, as follows:

**SECTION I.****§ 250-17. Right-of-way construction and facilities.**

- A. No person, firm, corporation or other entity within the Township shall construct a driveway or install a utility or telecommunication facility within a street right-of-way, except as permitted by this section.
- B. Permit procedures.
  - (1) A permit must be acquired from Radnor Township for any work within a Township right-of-way and from the Pennsylvania Department of Transportation (PennDOT) for any work within a State right-of-way where such work involves construction or alteration of a driveway or the installation of a utility, telecommunication facility or other structure.
  - (2) An application for a driveway permit shall be submitted in the name of the owner or equitable owner of the property.



- (3) An application for a road opening permit or right-of-way construction for a utility or telecommunication facility must be submitted in the name of the owner or operator of the facility.
- (4) Forms, plans and fees shall be submitted in accordance with regulations and procedures adopted by either Radnor Township or PennDOT for work in Township or State rights-of-way, respectively. The application fees for work within Township rights-of-way shall be specified in the schedule of fees by resolution by the Board of Commissioners.
- (5) The Township Engineer may modify the requirements of this ordinance for residential property owners doing normal maintenance, repair or construction in the right of way.

C. Regulations and standards.

- (1) This section represents minimum requirements of certain types of activities within Township or State rights-of-way. Activities associated with approved subdivision or land developments shall be subject to any additional requirements of the final plans as approved by Radnor Township and/or PennDOT. Any activity not regulated by the Subdivision and Land Development Ordinance of Radnor Township shall be regulated by the requirements of this Ordinance.
- (2) A drainage control plan and analysis shall be submitted whenever an increase in flow of water into a street or into existing drainage facilities will result from the proposed activity. The design of all drainage facilities shall be based on the Rational Method as determined by the PennDOT Design Manual, Part 2, as amended, and the U.S. Department of Commerce, Hydraulic Design Series No. 5, Hydraulic Design of Highway Culverts, as amended.
- (3) All construction work, structures, paving and facilities shall conform to the design standards of PennDOT Publications 408 and 72 (Road Construction Standards), as amended. Work shall be done at such time and in such a manner as shall be consistent with the safety of the public. Any work within Township or State rights-of-way shall conform to all requirements and standards of PennDOT, except as otherwise supplemented or modified by this Ordinance. In the event regulations conflict, the most stringent regulations shall apply. If at any time it is found the work is not being done or has not been properly performed, the permittee, upon being notified in writing by either the Township or PennDOT, must immediately take the necessary steps, at its own expense, to replace the work in a condition to conform to such requirements or standards. In case any dispute arises between the permittee and the representative of the owner of the right-of-way, the owner's representative shall have the authority to suspend work until the question at issue can be decided by the Township and/or State.



- (4) The following PennDOT provisions shall regulate the occupancy of all Township and State rights-of-way, unless otherwise required by an approved subdivision or land development plan, this Ordinance, or the Township Engineer:
  - (a) Pennsylvania Code, Title 67 Transportation, Chapter 441 Access and Occupancy of Highways by Driveways and Local Roads, as amended.
  - (b) Pennsylvania Code, Title 67 Transportation, Chapter 459 Occupancy of Highways by Utilities, as amended.
- (5) A traffic control plan must be submitted to either close any portion of a travel lane during construction, during the hours of darkness when no active work is in progress or to detour traffic in order to perform the permitted work. All plans shall conform with § 6123 of the Motor Vehicle Code, as amended, and the applicable provisions of the Pennsylvania Code, Title 67 Transportation, Chapter 203, as amended.

D. Driveway construction requirements.

- (1) Driveways shall be located at least 40 feet from street intersections, measured from the centerline of the driveway to the point of intersection of the street ultimate right-of-way lines (extended). When streets of different classifications are involved, driveways shall provide access to the street of lesser classification.
- (2) Driveways shall be provided with a stopping area of 20 feet, at a maximum grade of 3%, measured from the edge of cartway. In order to provide access for emergency vehicles, the maximum centerline grade for any portion of the driveway shall not exceed 8% and the maximum change in grade shall not exceed 6%.
- (3) Driveways shall be paved for a minimum of 50 feet from the edge of the street or to the ultimate right-of-way, whichever is greater. The pavement construction shall be in accordance with Township-approved construction details.<sup>1</sup> In the event additional width or a supplemental thickness is required by other rules and regulations of the Township or PennDOT, or as may be necessitated by site conditions, these minimum requirements shall be increased appropriately.
- (4) Driveways shall have a minimum radius of curvature at the street intersection of 10 feet.
- (5) A minimum distance of five feet shall be maintained between the driveway and the side lot lines.
- (6) Driveways shall have a minimum turnaround area of 10 feet by 20 feet.

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<sup>1</sup> Construction detail is on file and may be seen at the Township office.



- (7) A 50-foot clear sight triangle must be provided for all driveways, measured from the point of intersection of the street right-of-way line and edge of the driveway. The site plan shall contain a notation that states that the applicant is required to maintain the area of the clear sight triangle and the Township has the right to enter and perform required maintenance in the area if deemed critical to public welfare.
  - (8) Sight distances for all driveways shall comply with Pennsylvania Code, Title 67 Transportation, Chapter 441 Access and Occupancy of Highways by Driveways and Local Roads, as amended.
  - (9) When a sidewalk is proposed across a driveway, a concrete apron shall be installed in accordance with Township-approved construction details.<sup>2</sup> When a curb is proposed along a driveway, depressed curb shall be installed in accordance with the attached construction detail.
  - (10) A 15-inch RCP culvert, or equivalent size, shall be provided for all driveways. The minimum culvert length shall be 24 feet with flared end sections and end walls. Where an existing roadside drainage swale is too shallow to permit installation of a driveway culvert, a concrete trench box with grate may be utilized upon approval of the Township.
  - (11) Any associated grading, curb or sidewalk installation located within the street right-of-way shall be in accordance with the design standards of the Township's Subdivision and Land Development Ordinance (Chapter 180), as amended.
- E. Telecommunication facilities. All proposed telecommunication facilities within Township or State rights-of-way, shall meet the requirements of the Zoning Code, Chapter 28, of the Township. All new telecommunication facilities shall utilize existing poles, streetlights or other structures within the right-of-way or acquire additional areas adjacent to and outside of the right-of-way, or shall be placed underground.
- F. Maintenance period. Upon completion of the work authorized by the permit, the Township shall inspect the work and, when necessary, enforce compliance with the conditions, restrictions and regulations prescribed by the Township. In addition to such inspection, the Township may re-inspect the work not more than two years after its completion and if any settlement of any road surface trench or other defects shall appear in the work contrary to the conditions, restrictions and regulations of the Township, it may enforce compliance therewith. If the applicant shall fail to rectify a defect which presents an immediate or imminent safety or health problem in 48 hours, or any other defect within 30 days after written notice from the Township Engineer to do so, the Township, or its agents, may do the work and impose upon the applicant the costs thereof, together with an additional 20% of the costs, which may be recovered by a civil action in the Court of Common Pleas of Delaware County.

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<sup>2</sup> Construction detail is on file and may be seen at the Township office.



**§ 250-18. Standards of service for right-of-way construction.**

- A. Conditions of street occupancy. Facilities and equipment installed or erected by the permittee pursuant to the terms hereof shall be located so as to cause a minimum of interference with the proper use of public rights-of-way and with the rights and reasonable convenience of property owners who own property that adjoins any of said public rights-of-way.
- B. Restoration of public rights-of-way. If during the course of permittee's construction, operation, and/or maintenance of its facilities and equipment there occurs a disturbance of any public rights-of-way by permittee, permittee shall, at its expense, replace and restore such public rights-of-way to a condition which existed immediately prior to such disturbance. If permittee excavates the surface of any public rights-of-way, permittee shall be responsible for restoration of the public rights-of-way and its surface within the area affected by the excavation. The Township reserves the right, after providing notice to permittee, to remove and/or repair any work done by permittee which is inadequate. The reasonable cost thereof, including the cost of inspection and supervision, shall be paid by the permittee. All excavations made by permittee in the public rights-of-way shall be properly safeguarded for the prevention of accidents.
- C. Trees and shrubbery. The permittee shall notify Township and all affected property owners regarding permittee's need to trim trees or other natural growth upon and overhanging public rights-of-way so as to prevent the branches of such trees from coming in contact with its facilities or equipment. Trimming shall be limited to the area required to clear its facilities or equipment.
- D. Safety requirements. All such work in the public rights-of-way shall be performed in accordance with applicable safety codes and technical requirements.
- E. Maps. Prior to beginning any construction of facilities, permittee shall provide the Township with a construction schedule for work in the public rights-of-way which schedule shall be updated as changed. Upon completion of initial construction and upon completion of construction of any modification to its facilities, permittee shall provide the Township with a map showing the location of its installed facilities in the public rights-of-way. Such maps shall be provided in both paper form, as well as in an electronic format for placement on the Township's GIS system. Annually thereafter, permittee shall provide a map to the Township showing the location of permittee's facilities in the public rights-of-way on a scale of 150 feet per inch or whatever standard scale the Township adopts for general use.
- F. Excavations. Permittee may make excavations in public rights-of-way for any facility subject to obtaining excavation permits from the Township. Prior to doing such work, permittee must apply for, and obtain, appropriate permits from the Township, and give appropriate notices to any other licensees and/or permittees of the Township, and/or other units of government owning or maintaining facilities which may be affected by the proposed excavation.



- G. Reservation of the Township public rights-of-way. Nothing in this section shall be construed to prevent the Township or other agency of government or municipal authority from constructing sewers, grading, paving, repairing and/or altering any street and/or laying down, repairing and/or removing water mains and/or constructing and/or establishing any other public work or improvement. If any of the permittee's facilities or equipment interferes with the construction or repair of any street or public improvement, including construction, repair or removal of a sewer or water main, the permittee's facilities or equipment shall be removed or replaced in the manner the respective Township or other agency of government or municipal authority shall direct. Any and all such removal or replacement shall be at the expense of the permittee. Should permittee fail to remove, adjust or relocate its facilities by the date established by the Township or other agency of government or municipal authority, the Township or other agency of government or municipal authority may cause and/or effect such removal, adjustment or relocation, and the expense thereof shall be paid by permittee, including all reasonable costs and expenses incurred by the Township or other agency of government or municipal authority due to permittee's delay.

**§ 250-19. Insurance, indemnification and bonds or other surety for right-of-way construction.**

- A. Permittee shall save the Township, its agents, employees and elected and appointed officials, harmless from and against all claims, damages, losses and expenses, including reasonable attorney's fees, sustained on account of any suit, judgment, execution, claim or demand whatsoever arising out of the construction, leasing, operation or maintenance of the permittee's equipment, facilities, and services specified by this section, whether or not any act or omission complained of is authorized, allowed and/or prohibited by this section and the rights granted hereunder.
- B. Permittee shall obtain and maintain in full force and effect insurance with an insurance company licensed to do business and doing business in the Commonwealth of Pennsylvania and acceptable to the Township. All companies will be required to be rated A-VH or better by A.M. Best or A better by Standard and Poors. permittee shall provide Township with proof of such insurance so required.
- C. Permittee shall obtain and maintain in full force and effect, at permittee's sole expense, insurance coverage in the following types and minimum amounts:

<u>Type</u>	<u>Amount</u>
Workers' Compensation and Statutory Employers Liability	\$ 100,000/\$500,000/\$100,000



Commercial General (public) Liability to include coverage for the following where exposure exists:

Premises operations	Combined single limit for bodily
Independent contractors	injury and property damages
Products/completed operations	\$2,000,000 per occurrence or its
Personal Injury	equivalent
Contractual liability	
Explosion, collapse and underground	
property damage	

Comprehensive Vehicle insurance coverage for loading and unloading hazards, for:

Owned/leased vehicles	Combined single limit of bodily
Non-owned vehicles	injury and property damage
Hired vehicles	\$1,000,000 per occurrence or its
	equivalent

- D. The Township shall receive without expense copies of certificates of insurance evidencing coverage stated above.
- E. Permittee agrees that with respect to the above-required insurance, all insurance certificates will contain the following required provisions:
- (1) Name the Township and its officers as additional insureds.
  - (2) Provide for 60 days written notice to the Township for cancellation, non-renewal, or material change.
  - (3) Provide that all provisions of this section concerning liability, duty, and standard of care, including the indemnity provisions, shall be underwritten by contractual coverage sufficient to include such obligations within applicable policies, subject to policy terms and conditions.
- F. Companies issuing the insurance policies shall have no recourse against the Township for payment of any premiums or assessments which all are set at the sole risk of the permittee. Insurance policies obtained by permittee shall provide that the issuing company waives all right of recovery by way of subrogation against the Township in connection with any damage covered by these policies.
- G. Permittee shall obtain and maintain, at its sole cost and expense, and file with the Township, a corporate surety bond with a surety company authorized to do business in the Commonwealth of Pennsylvania in the amount of 15% of permittee's estimated costs to secure permittee's performance of its obligations and faithful adherence to all requirements of this section.



(1) No action, proceeding or exercise of a right with respect to such bond shall affect the Township's rights to demand full and faithful performance under this section or limit permittee's liability for damages.

(2) The bond shall contain the following endorsement:

It is hereby understood and agreed that this bond may not be cancelled by the surety nor any intention not to renew be exercised by the surety until 60 days after receipt by the Township of Radnor, by registered mail, of written notice of such intent.

H. All expenses of the above-noted insurance and bond shall be paid by the permittee.

I. The insurance policies mentioned herein shall contain an endorsement stating the following:

Should any policies of insurance be cancelled or coverages be reduced, before the expiration date of said policies of insurance, the issuer shall deliver 60 days advance written notice to the Township.

J. Neither the provisions of this section nor any insurance accepted by the Township pursuant hereto, nor any damages recovered by the Township thereunder, shall be construed to excuse faithful performance by the permittee and/or limit the liability of the permittee under this section issued hereunder and/or for damages, either to the full amount of the bond or otherwise.

K. Any person violating any provision of this Article shall upon conviction, be fined not less than fine hundred dollars nor more than one thousand dollars, for each day of violation plus court costs and reasonable attorney's fees incurred by the Township.

## **SECTION II.**

Sections 250-17 through 250-34. of Chapter 250, Article VI, of the Radnor Township Code of Ordinances are hereby repealed. Section 250-16. Definitions is saved from repeal.

## **SECTION III.**

Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.



**SECTION IV.**

Effective Date. This Ordinance shall become effective five (5) days after final enactment.

**ENACTED** and **ORDAINED** this                      day of                      , 2017.

RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS

Attest: \_\_\_\_\_  
Name: Robert Zienkowski  
Title: Township Secretary

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Title: \_\_\_\_\_





**Gannett Fleming**

*Excellence Delivered As Promised*

**Date:** October 13, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**RE:** 220 Gulph Creek Road – Stormwater Waiver Request  
Grading Permit Application – GP 17-175

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The applicant is requesting the following waivers from the Township's Stormwater Management Ordinance:

§245-22 – Ground Water Recharge

§245-23 – Water Quality Requirements

§245-24.B – The minimum orifice size in the outlet structure to the BMP shall be three inches in diameter where possible, and a trash rack shall be installed to prevent clogging.

The applicant has performed two (2) infiltration tests at the location of the proposed stormwater management system location. The required infiltration is not feasible due to the infiltration testing results of zero inches per hour and the presence of limiting zone (rock encountered at 72" depth). As a results, the applicant has made provisions for the installation of a slow release underground system which is comprised of 175 LF of 24" perforated piping surrounded by 6" of stone.

The applicant has requested to appear before the Board of Commissioners to discuss the implementation of the above mentioned stormwater system.

In addition to the above mentioned issues, the applicant must address the following items prior to the issuance of the Grading Permit:

1. The applicant is schedule to appear before the Shade Tree Commission on October 25, 2017. Any comments developed as a result of this meeting must be addressed prior to the issuance of the grading permit.
2. The applicant must receive approval for a Roadway Opening Permit for the proposed driveway location prior to the issuance of the Grading Permit.
3. The applicant must address the remaining grading permit review comments per the Gannett Fleming email dated October 10, 2017.





***Gannett Fleming***

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager







Yerkes Associates, Inc.

Consulting Engineers / Land Surveyors / Land Planners

September 22, 2017

Radnor Township  
Engineering Department  
301 Ivan Avenue  
Wayne, PA 19087

Re: Waiver Request Letter  
220 Gulph Creek Road

Mr. Norcini:

On behalf of our client, Maude Dinda, we are requesting the following waivers for the above referenced property:

**Section 245-24.B** *The minimum size in the outlet structure shall be three inches in diameter where possible.*

A waiver is requested for the use of a one inch orifice with a wire screen mesh to prevent clogging. This size is required in order to meet the stormwater Peak rate control requirements.

**Section 245-22** *Groundwater Recharge*

A waiver is requested from the groundwater recharge requirements due to insufficient infiltration rates on the site (see infiltration test results in the stormwater management report).

**Section 254-23** *Water Quality Requirements*

A waiver is requested from the Water Quality Requirements due to insufficient infiltration rates on the site (see infiltration test results in the stormwater management report).

Please contact me if you have any questions.

Sincerely,  
YERKES ASSOCIATES, INC.

Francis Greene, P.E.



# APPLICATION FOR GRADING PERMIT

RADNOR TOWNSHIP ENGINEERING DEPARTMENT

The undersigned hereby makes application for Grading Permit under Chapter 175 and any amendments thereof.

LOCATION: 220 Gulph Creek Rd

WHAT ARE YOU BUILDING:: Renovating House / New Drive

Five (5) copies of site plan to be submitted with application.

TWELVE (12) COPIES IF PLAN NEEDS TO BE REIVEWD BY SHADE TREE —SEE REQUIREMENTS ENCLOSED

DO PLANS SHOW ALL ITEMS LISTED ON PAGE 3

Plans must be folded and no larger than 24" x 36"

GROSS LOT AREA 27,692 SQ. FT. (Fee schedule next sheet)

## TOWNSHIP USE ONLY

PERMIT NO. 17-175

SUBMISSION DATE 9/25/17

SHADE TREE DATE 10/25/17

REVISION DATES \_\_\_\_\_

RECEIVED DATES \_\_\_\_\_

Zoning Officer \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

FINAL APPROVAL DATE: \_\_\_\_\_

Received from Applicant \_\_\_\_\_

Fee schedule on page 2 \$850

Consolidated Fee Schedule can be found at Radnor.com

COVER TYPE	EXISTING SQUARE FEET		REMOVED SQUARE FEET	ADDED SQUARE FEET	TOTAL SQUARE FEET	
BUILDINGS	953		0	+ 1153 (500 ft. x 23 ft.)	= 2106	
WALKS	265		138	+ 57	= 184	
PATIOS	28		14	+ 0	= 14	
DRIVES	0		0	+ 936	= 936	
DECKS	0	EXISTING %	0	+ 0	= 0	TOTAL NEW %
OTHER	217	OF LOT	217	+ 109	= 109	OF LOT
TOTAL	1463	%	369	+ 2255	3349	12.1 %

## Ground Water Recharge and Storm Water Calculations

- No credit for removal of impervious.
- Calculations are based on the total added impervious not the net.

↑ 500 to 1499 sq. ft. Ground Water Recharge Required  
1500 sq. ft. and over Storm Water Management Required  
(For additional information see Ordinance 05-11)

Estimated cubic yards of dirt involved (Total cut and fill) 85 Will this fill be taken off site Yes ☒ No ☐

Number of trees to be removed (over 6" in diameter) 0 Is property in the Historical District? Yes ☐ No ☒

## Circle Zoning District Applicable

R-1 22%	R-2 30%	R-3 35%	R-4 40%	R-5 40% Semi/ 2 Family Detach	R-5 36% Multi Dwelling	R-6 70%	R-1A 30%	CO 50% (2 + 3 stories)	C-1 60%	C-2 70%	C-3 65%	PI 45%
PA 50%	GH-N 60%	GH-GA 80%	GH-CR 95%	GH-BC 50%	GH-OS 15%	WBOD N/A or 90%	PB 55%	PLO 55%	EC N/A	PLU 45%		

Signature of Owner: Maudie Dinda

Applicant: Maudie Dinda

Date: 9/22/17

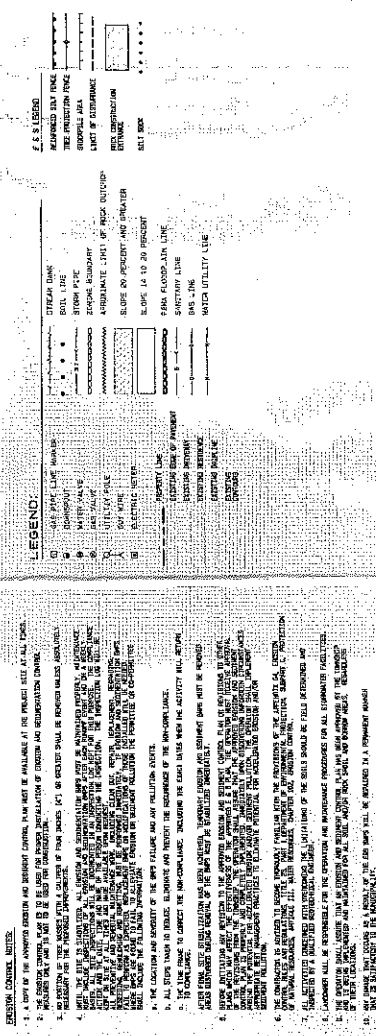
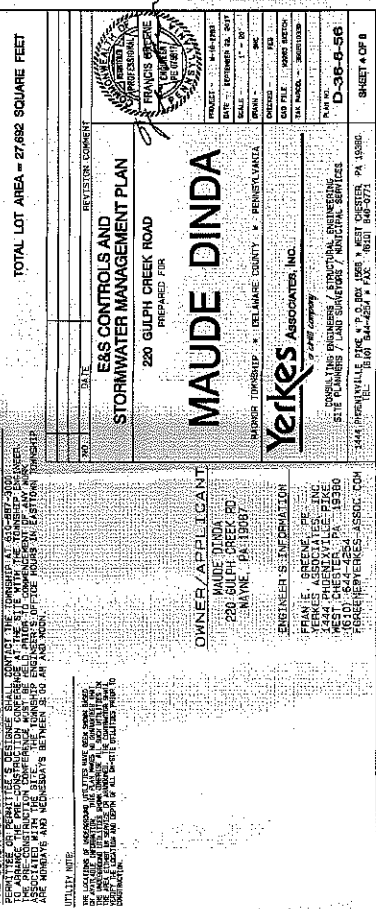
Relation to Owner: Self

Phone Number: 610 613 1171

Fax Number: \_\_\_\_\_

Email: Maudiedinda@gmail.com









**Gannett Fleming**

*Excellence Delivered As Promised*

**Date:** October 11, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** 585 County Line Road – Minor Final Plan  
James and Allison McGuckin – Applicant

Date Accepted: September 5, 2017

90 Day Review: December 4, 2017

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Gannett Fleming, Inc. has completed a review of the Lot Consolidation Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate the three existing parcels to form two parcels. This project does not meet the criteria for an administration review exemption. No improvements are proposed at this time.

Proposed Lot Line Change

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 09/01/2017

The applicant is requesting a waiver, to the extent necessary, from certain provisions of §255-22 requiring a minor subdivision plan to contain; existing improvements on and within 500' of the site; wetland delineations; contours; datum; large trees; and planning modules. The applicant has indicated that these items are unnecessary for this lot line change plan as there is not existing development on the existing parcel and no future development is proposed with this application.

**Zoning**

1. The zoning table summary must be revised to reflect the existing and proposed lot conditions.





**Subdivision and Land Development**

1. §255.22.B(1)(k) – Features within 500 feet of the site must be shown on the plan. The applicant has requested a waiver from this requirement.
2. §255.22.B(1)(p) – Contour Lines must be shown on the plan. The applicant has requested a waiver from this requirement.
3. §255.22.B(1)(q) – Datum of contour lines must be shown on the plan. The applicant has requested a waiver from this requirement.
4. §255.22.B(1)(r) – Large trees over 6” in caliper must be shown on the plan. The applicant has requested a waiver from this requirement.
5. §255.22.B(3) – Planning modules for land development as required must be submitted. The applicant has requested a waiver from this requirement.

**General**

1. New deeds that reflect the lot line changes must be prepared and recorded with the Delaware County Recorder of Deeds.


The applicant appeared before the Planning Commission on October 2, 2017. The Planning Commission recommended approval conditioned on the applicant complying with all staff comments along with the recommended approval of the following waiver:

- §255-22 - To the extent necessary, from certain provisions of §255-22 requiring a minor subdivision plan to contain; existing improvements on and within 500’ of the site; wetland delineations; contours; datum; large trees; and planning modules.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT

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### Memorandum

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To: Radnor Township Planning Commission

From: Stephen F. Norcini, PE, Township Engineer *STN*

CC: Robert A. Zienkowski, Township Manager  
Roger Phillips, PE, Gannett Fleming, Incorporated  
Amy Kaminski, PE, PTOE, Gilmore & Associates  
Kevin Kochanski, ZO  
Peter Nelson, Solicitor, Grim, Beihn, & Thatcher

Date: September 27, 2017

Re: 585 County Line Road, Lot Line Changes, James and Allison McGuckin

---

The application before the Planning Commission is being submitted by James and Allison McGuckin. Essentially, the lot line changes will eliminate the flag lot on County Line Road, leaving four lots, and enlarging the lot with access on Gulph Creek Road. The applicants are requesting waivers for requirements regarding contour lines and the datum, tree location, and the Sewage Facilities Planning Module (SFPD).

Enclosed are the detailed Gannett Fleming, Incorporated and Gilmore & Associates review letters, as well as a memorandum from the Township's Senior Building & Fire Code Official.





# **Gannett Fleming**

*Excellence Delivered As Promised*

**Date:** September 25, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Patricia Sherwin – Radnor Township Engineering Department  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** 585 County Line Road – Minor Final Plan  
James and Allison McGuckin – Applicant

Date Accepted: September 5, 2017

90 Day Review: December 4, 2017

---

Gannett Fleming, Inc. has completed a review of the Lot Consolidation Plans for compliance with the Radnor Township Code. These Plans was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The applicant is proposing to consolidate the three existing parcels to form two parcels. This project does not meet the criteria for an administration review exemption. No improvements are proposed at this time.

Proposed Lot Line Change

Plans Prepared By: Site Engineering Concepts, LLC

Dated: 09/01/2017

The applicant is requesting a waiver, to the extent necessary, from certain provisions of §255-22 requiring a minor subdivision plan to contain; existing improvements on and within 500' of the site; wetland delineations; contours; datum; large trees; and planning modules. The applicant has indicated that these items are unnecessary for this lot line change plan as there is not existing development on the existing parcel and no future development is proposed with this application.

**Zoning**

1. The zoning table summary must be revised to reflect the existing and proposed lot conditions.





**Subdivision and Land Development**

1. §255.22.B(1)(k) – Features within 500 feet of the site must be shown on the plan. The applicant has requested a waiver from this requirement.
2. §255.22.B(1)(p) – Contour Lines must be shown on the plan. The applicant has requested a waiver from this requirement.
3. §255.22.B(1)(q) – Datum of contour lines must be shown on the plan. The applicant has requested a waiver from this requirement.
4. §255.22.B(1)(r) – Large trees over 6" in caliper must be shown on the plan. The applicant has requested a waiver from this requirement.
5. §255.22.B(3) – Planning modules for land development as required must be submitted. The applicant has requested a waiver from this requirement.

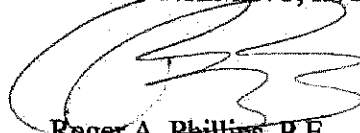
**General**

1. New deeds that reflect the lot line changes must be prepared and recorded with the Delaware County Recorder of Deeds.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager







**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

**Date:** September 20, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Amy Kaminski, P.E., PTOE  
Transportation Services Manager

**cc:** Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** 585 County Line Road  
Lot Subdivision and Consolidation  
Minor/Final Land Development Review 1  
Radnor Township, Delaware County, PA  
G&A 17-09027

Gilmore & Associates, Inc. (G&A) has completed a transportation review of the referenced Lot Subdivision and Consolidation Plan for 585 County Line Road. The Application is to subdivide 20,296 SF (Premise A) from Folio Number 36-02-00932-00 (owned by James & Nancy Schwartzman) and to convey and consolidate with Folio Number 36-02-00931-00 (owned by James and Allison McGuckin). No additional improvements are under consideration on this Application.

**A. DOCUMENTS REVIEWED**

1. Lot Consolidation and Minor/Final Subdivision Plans for 585 County Line Road, prepared by Site Engineering Concepts, LLC, prepared for James and Allison McGuckin, consisting of 3 sheets, dated September 1, 2017.
2. Radnor Township Subdivision and Land Development Application
3. Waiver Request letter dated September 1, 2017 prepared by Site Engineering Concepts, LLC.

**B. REVIEW COMMENTS**

1. §255-27.B(3)(c) and §255-27.C(1) County Line Road is identified as a major collector; as such, major collectors require a basic dimension of an 80' Right-of-Way and 48' cartway width. The plan identifies an existing 33' Right-of-Way on County Line Road along the site frontage. Although the project proposes no improvements the applicant may be required to provide the 80' Right-of-Way or request a waiver from this section of the ordinance. We defer to the Township Solicitor regarding this requirement.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901  
Phone: 215-345-4330 | Fax: 215-345-8606

[www.gilmore-assoc.com](http://www.gilmore-assoc.com)





**RADNOR TOWNSHIP**  
**MEMORANDUM**

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**TO:** MR. STEVE NORCINI  
**FROM:** RAY DALY  
**SUBJECT:** 585 COUNTY LINE ROAD  
**DATE:** SEPTEMBER 13, 2017  
**CC:** MR. PHILLIPS

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Mr. Norcini

I have no comments on the sub-division.

Respectfully,

Ray Daly

Building Codes/Fire Codes Official



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
[www.radnor.com](http://www.radnor.com)

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

September 7, 2017

James McGuckin, Jr.  
585 County Line Road  
Radnor, PA 19087

**RE: Minor Final Subdivision Application #2017-S-06**  
**585 County Line Road**

Dear Mr. McGuckin:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your minor final subdivision application to change a lot line to divide an existing parcel and merge with existing lots to create 2 large lots. Therefore, I have accepted the application for minor final subdivision for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday October 2, 2017.**

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Ave., Wayne, Pa 19087.

Sincerely,

A handwritten signature in black ink, appearing to read "Stephen F. Norcini", is written over a horizontal line.

Stephen F. Norcini, PE  
Township Engineer



**SITE ENGINEERING CONCEPTS, LLC**  
CIVIL ENGINEERING AND CONSULTING SERVICES

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**TRANSMITTAL**

TO: Stephen Norcini, P.E., Township Engineer	FROM: Patrick Spellman
COMPANY: Radnor Township	DATE: 9/1/2017
STREET ADDRESS: 301 Iven Avenue	PHONE:
CITY, ZIP: Wayne, PA 19087	SENDER'S REFERENCE NUMBER: 36-08-020:001 McGuckin County Line Rd
RE: Lot Line Change Application	CC: Jame McGuckin, Owner William Brennan, Attorney James Schwartzmann, Owner Nick Caniglia, Attorney

COPIES	SHEETS	DATE	ITEM
1	2	9/1/17	MINOR SUBDIVISION APPLICATION
1	1	9/1/17	ACT 247 REVIEW APPLICATION
1	CHK	8/28/17	\$350 LOT LINE CHANGE APPLICATION FEE
1	CHK	8/28/17	\$1,300 PROFESSIONAL SERVICES ESCROW FEE
1	CHK	8/28/17	\$170 ACT 247 FEE
26	3	9/1/17	LOT LINE CHANGE PLAN SET
7	3	9/1/17	LOT LINE CHANGE PLAN SET, 11X17
2	1	9/1/17	WAIVER REQUEST LETTER
2	6	3/29/96	DEED - 585 COUNTY LINE ROAD
2	43	11/14/16	TITLE REPORT AND DEED - 36-02-01047-00
10	-	9/1/17	USB DRIVE WITH PDF FILES

NOTES/COMMENTS:

Enclosed please find the above-referenced applications for the proposed Lot Line Change between 585 County Line Road and 401 Gulph Creek Road. If you have any questions or comments, please contact me at [pspellman@site-engineers.com](mailto:pspellman@site-engineers.com) or 610.523.9002.



## SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

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September 1, 2017

Mr. Robert Zienkowski  
Township Manager  
Radnor Township  
301 Iven Ave  
Wayne, PA 19087

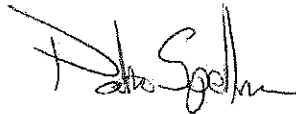
**Re: Waiver Requests  
Lot Line Change/Minor Subdivision Plan  
585 County Line Road**

The Owners adjoining parcel 36-08-024:001 propose to move the lot lines and consolidate the parcel with the adjoining properties, thereby eliminating the undeveloped lot. The following waiver is requested for Minor Subdivision Application.

The Applicant is requesting a waiver, to the extent necessary, from certain provisions of Chapter 255-22 requiring a minor subdivision plan to contain: existing improvements on and within 500' of the site; wetlands delineation; contours; datum; large trees; and planning modules. These items are unnecessary for this lot line change plan as there is no existing development on the existing parcel (lawn and landscaping only) and no future development is proposed with this application. A parcel will be eliminated by consolidating it with the adjoining properties.

We appreciate your consideration of this request. Should you have any questions and/or additional comments, please contact me at [pspellman@site-engineers.com](mailto:pspellman@site-engineers.com) or 610.523.9002.

Sincerely,



Patrick Spellman, P.E.



**RADNOR TOWNSHIP**  
**301 IVEN AVE**  
**WAYNE PA 19087**  
**P) 610 688-5600**  
**F) 610 971-0450**  
**WWW.RADNOR.COM**

**SUBDIVISION ~ LAND DEVELOPMENT**      **Lot Line Adjustments**

Location of Property 585 County Line Road

Zoning District R-1

Application No. \_\_\_\_\_  
(Twp. Use)

Fee \_\_\_\_\_

Ward No. \_\_\_\_\_

Is property in HARB District No

Applicant: (Choose one)    Owner X    Equitable Owner \_\_\_\_\_

Name James F. McGuckin, Jr. and Allison T. McGuckin

Address 585 County Line Road, Radnor, PA 19087

Telephone \_\_\_\_\_ Fax \_\_\_\_\_ Cell \_\_\_\_\_

Email jamesmcguckin03@gmail.com

Designer: (Choose one)    Engineer X    Surveyor \_\_\_\_\_

Name Rob Lambert, Site Engineering Concepts LLC

Address PO Box 1992, Southeastern, PA 19399

Telephone 610-240-0450 ext. 11    Fax 610-240-0451

Email rlambert@site-engineers.com

Area of property 50' x 400'    Area of disturbance none

Number of proposed buildings none    Proposed use of property residential

Number of proposed lots no additional lots

Plan Status:    Sketch Plan \_\_\_\_\_ Preliminary \_\_\_\_\_ Final \_\_\_\_\_ Revised \_\_\_\_\_

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

No



Are there any requirements of Chapter 255 (SALDO) not being adhered to?

Explain the reason for noncompliance.

Yes. See attached waiver request

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Are there any infringements of Chapter 280 (Zoning), and if so what and why?

No

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Individual/Corporation/Partnership Name

---

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature DocuSigned by:  
*James F. McGuckin, Jr.*  
1E8E51E088024F3...

DocuSigned by:  
*Allison T. McGuckin*  
420F468884304FC...

Print Name James F. McGuckin, Jr.

Allison T. McGuckin

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.



## DELAWARE COUNTY PLANNING COMMISSION

### APPLICATION FOR ACT 247 REVIEW

**Incomplete applications will be returned and will not be considered "received" until all required information is provided.**

Please type or print legibly

#### DEVELOPER/APPLICANT

Name James McGuckin, Jr E-mail jamesmcguckin03@gmail.com

Address 585 County Line Road Phone

Name of Development

Municipality Radnor

#### ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm SITE Engineering Concepts, LLC Phone 610-240-0450 x11

Address P.O. Box 1992; Southeastern, PA 19399

Contact Rob Lambert E-mail rlambert@site-engineers.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input type="checkbox"/> Public Sewerage	<input type="checkbox"/> Public Sewerage	
<input type="checkbox"/> Land Development	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input type="checkbox"/> Public Water	<input type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District R-1

Tax Map # 36 / 08 / 020-001

Tax Folio # 36 / 02 / 00931 / 00



**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

Single Family Residential. The owners propose a lot line change to divide an existing parcel and merge into their respective lots.

(net effect is 3 existing lots become 2 larger lots)

Total Site Area 16 Acres  
Size of All Existing Buildings n/a Square Feet  
Size of All Proposed Buildings n/a Square Feet  
Size of Buildings to be Demolished n/a Square Feet

James F. McGuckin, Jr.

Print Developer's Name

Allison T. McGuckin

DocuSigned by:

James F. McGuckin, Jr.

Developer's Signature

DocuSigned by:

Allison T. McGuckin

420F46B884304FC...

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting

Local Governing Body Regular Meeting

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

Print Name and Title of Designated Municipal Official \_\_\_\_\_

Phone Number \_\_\_\_\_

Official's Signature \_\_\_\_\_

Date \_\_\_\_\_

**FOR DCPD USE ONLY**

Review Fee: Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**



Fee Simple Deed No. 7525

Printed for and Sold by John C. Clark Co., 1326 Walnut St., Phila.

**This Indenture** Made the 29<sup>th</sup> day of  
March in the year of our Lord one thousand nine hundred and ninety-six (1996)

**Between** THOMAS E. McDYER

(hereinafter called the Grantor ), of the one part, and

Jr.  
JAMES F. McGUCKIN and ALLISON T. McGUCKIN, HUSBAND and WIFE

(hereinafter called the Grantee ), of the other part,

**Witnesseth** That the said Grantor

for and in consideration of the sum of  
**SIX HUNDRED FIFTY THOUSAND DOLLARS** ———— (~~\$650,000.00~~) ———— lawful  
money of the United States of America, unto them well and truly paid by the said Grantees,  
at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, has  
granted, bargained and sold, released and confirmed, and by these presents does grant, bargain and  
sell, release and confirm unto the said Grantee s, their heirs and assigns, as tenants by the entireties,  
in fee.

**ALL THAT CERTAIN** messuage or tenement and tract of land or piece of ground and being more  
accurately described on Exhibit "A", attached hereto and made a part hereof.

**UNDER and SUBJECT**, to conditions and restrictions as of record.

VOL 1463 PG 1692



**EXHIBIT "A"**

**ALL THAT CERTAIN** lot or piece of ground with the buildings and improvements thereon erected, **SITUATE** in Radnor Township, Delaware County, Pennsylvania, and described according to a subdivision Plan of John G. Bickell and Edna M. Bickell, made by Yerkes Engineering Co., Consulting Engineers and Surveyors dated March 6th, 1968 and last revised June 17th, 1976 as follows, to wit:

**BEGINNING** at a point on the title line in the bed of County Line Road (33 feet wide) said point being at the distance of 452.73 feet measured Northwardly along the line through the bed of County Line Road from its point of intersection with the title line of Gulph Creek Road; thence extending from said point of beginning South 62 degrees 37 minutes West crossing the Southwesterly side of County Line Road and extending along lands now or late of Charles G. Berwind 407.82 feet to a point; thence extending North 20 degrees 15 minutes 30 seconds West along the last mentioned lands 198.49 feet to a point in line of lands now or late of Catherine Des. F. Smith thence extending along the last mentioned lands the four following courses and distances (1) North 55 degrees 21 minutes East 15.99 feet to a point; (2) North 20 degrees 03 minutes West 120.17 feet to a point (3) North 41 degrees 46 minutes East 93.67 feet to a point and (4) 59 degrees 29 minutes East 52.44 feet to a point, a corner of Lot No. 1 on said plan; thence extending along Lot No. 1 the five following courses and distances (1) South 29 degrees 58 minutes East 175.08 feet to a point (2) North 60 degrees 58 minutes East 32.00 feet to a point (3) South 66 degrees 11 minutes East 97.51 feet to a point (4) South 29 degrees 58 minutes East 69.46 feet to a point and (5) North 62 degrees 37 minutes East recrossing the Southwesterly side of County Line Road aforesaid 106.41 feet to a point on the title line in the bed of same; thence extending South 29 degrees 58 minutes East along the title line through the bed of County Line Road 35.00 feet to the first mentioned point and place of beginning.

**CONTAINING** in Area 1.787 Acres.

**BEING LOT NO. 2** as shown on above mentioned plan.

**BEING FOLIO NO. 36-02-00931-00.**

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EXHIBIT "A" - CONT.

WHEREAS  
AND Grantor hereby grants to Grantees, owner of the Dominant Tenement, their Heirs,  
Successors, and Assigns the following Easements Appurtenant with the attendant legal  
liabilities as follows:

TOGETHER with the easements appurtenant to existing <sup>utilities</sup> servicing lot #2 of aforementioned  
Subdivision Plan at 583 County Line Road, viz., the water service lines and electric lines  
and poles and cables presently crossing just South of the existing driveway on the adjacent  
lot #1 and together with the right to establish easements for future natural gas lines and  
public sewage lines within six feet either side of existing water service <sup>line</sup>, provided no injury  
occurs to the property of Grantor including but not limited to present or future septic tank  
systems' parts or components located on lot # 1 of said Subdivision Plan and provided the owner  
of dominant tenement shall assume full and sole responsibility <sup>to any person or property arising out of the use</sup> for any and all liability  
or damage accruing to any and all structures and components of said utilities, for the  
reseeding of grass, and restoring to the original condition of ground, for the construction,  
maintenance, repair, replacement of said utilities systems, the usage of which engenders  
the creation of these easements running with the land. Both the servient and dominant  
tenement owners shall respect the mutual rights, liberties and privileges of one another  
with regard to these easements.

BEING the same premises interalia which Catherine T. Harrington,  
by deed dated 1/7/1980 and recorded 1/14/1980 in the County of Delaware,  
Commonwealth of Pennsylvania in Volume 2727 page 511, granted  
and conveyed unto Thomas E. McDyer, in fee.

BEING the same premises interalia which Thomas E. McDyer by deed  
dated 3/25/1996 and recorded 3/25/1996 in the County of Delaware,  
Commonwealth of Pennsylvania in Volume \_\_\_\_\_ Page \_\_\_\_\_,  
granted and conveyed unto Thomas E. McDyer, in fee.

Agreed to and accepted this 29th day of March, 1996 by the within Grantees:

  
JAMES F. MCGUCKIN

  
ALLISON T. MCGUCKIN

VOL 1463 PG 1694



9750.00 Radnor 6500.00 State

RADNOR TWP RTT	9750.00
PA TRANS TAX	6500.00
TOTAL	16250.00
CHECK	6500.00

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
REALTY TRANSFER TAX  
W2 CHECK 6500.00  
22CL 2711 04-22-96 12:54 PM

CHECK	9750.00
ITEM 2	
04-22-96 MON W2	BERRY 2711 12:54 PM

VOL 1463 PA 1695



**Together** with all and singular the buildings and improvements, ways, streets, alleys, driveways, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of

the said grantor, as well at law as in equity, of, in, and to the same.

**To have and to hold** the said lot or piece of ground described with the buildings and improvements thereon erected hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee s their heirs and assigns, to and for the only proper use and behoof of the said Grantee s their heirs and assigns forever.  
UNDER and SUBJECT, as aforesaid.

**And** the said Grantor, their heirs,

executors and administrators do covenant, promise and agree, to and with the said Grantees, their heirs and assigns, by these presents, that he the said Grantor and his heirs, all and singular the hereditaments and premises hereby granted or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns, against him, the said Grantor and his heirs, and against all and every person and persons whomsoever lawfully claiming or to claim the same or any part thereof, by, from or under him or any of them, shall and will SUBJECT, as aforesaid.

**WARRANT** and forever **DEFEND**.

**In Witness Whereof**, the party of the first part has hereunto set his hand and seal. Dated the day and year first above written.

**Scaled and Delivered**  
IN THE PRESENCE OF US:

*Thomas E. McDyer*  
**THOMAS E. MCDYER**

VOL 1463 PG 1696



Commonwealth of Pennsylvania  
County of *Delaware*

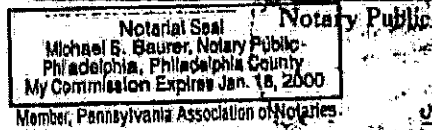
On this, the *29th* day of *March*, 19*96*, before me, a Notary Public for  
the Commonwealth of Pennsylvania, residing in the County of Delaware

the undersigned Officer,

personally appeared Thomas E. McDyer, James F. McGuckin and Allison T. McGuckin

known to me (satisfactorily proven) to be the persons whose names ~~in~~<sup>are</sup> subscribed to the within  
instrument, and acknowledged that they executed the same for the purposes therein contained.

I hereunto set my hand and official seal.



96 KEYSTONE AGENCY, INC.

96-7708-D

9750.00  
6500.00

H.F. 40.00  
20.00  
20.00  
20.00

**DEED**

THOMAS E. MCDYER

and

JAMES F. MCGUCKIN, JR. and  
ALLISON T. MCGUCKIN,  
HUSBAND and WIFE

PREMISES: 585 COUNTY LINE ROAD  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

John C. Clark Co., Phila.

7525

Keystone Agency, Inc.  
1500 Walnut St.  
Suite 301  
Phila, PA 19102

RECORDER OF DEEDS  
DELAWARE COUNTY, PA

96 APR 22 PM 12:53

RECORDER OF DEEDS  
DELAWARE COUNTY, PA

1122520

**MAIL TAX BILL TO**

The address of the above-named Grantee

is 585 County Line Rd.  
Radnor PA 19057

On behalf of the Grantee

VOL 1463 PG 1697





**COMMITMENT FOR TITLE INSURANCE**  
ISSUED THROUGH AND PLEASE DIRECT INQUIRES TO:  
**CENTRAL MONTGOMERY ABSTRACT CO., INC.**

1904-1906 Swede Road  
East Norriton, Pennsylvania 19401  
Phone: (610) 279-2975 Fax: (610) 279-5783 E-Mail: closings@cmatitle.com

FILE No. 41750

Effective Date: November 14, 2016

**Schedule A**

1. Policy or Policies to be Issued:

A. Policy to be Issued:  
ALTA Owners 2006 (as modified by TIRBOP)  
**Proposed Insured:**  
**Amount of Insurance:**  
**Effective Date:**

B. Policy to be Issued:  
ALTA Loan 2006 (as modified by TIRBOP)  
**Proposed Insured:**  
**Amount of Insurance:**  
**Effective Date:**

2. Title to the estate or interest in the land described or referred to in this Commitment is a Fee Simple and is at the effective date hereof vested in:

James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife

3. The land referred to in this Commitment is described in Schedule C attached hereto and made part hereof.

For Information Purposes Only:

401 Gulph Creek Road  
County Line Road  
Radnor Township  
Delaware County, PA

Folio No. 36-02-01047-00 and  
Folio No. 36-02-00932-00





## Schedule B Section 1 Requirements

THIS TITLE INSURANCE COMMITMENT (THE "COMMITMENT") IS ISSUED PURSUANT TO THE AGREEMENT TO ISSUE POLICY CONTAINED ON THE AMERICAN LAND TITLE INSURANCE COMMITMENT (2006) FRONT COVER FORM (THE "FORM") AND IS SUBJECT TO THE CONDITIONS STATED THEREIN. ANY TITLE SEARCH AND EXAMINATION CONDUCTED BY OR FOR THE COMPANY IN CONNECTION WITH THE ISSUANCE OF THIS COMMITMENT IS SOLELY FOR THE BENEFIT OF THE COMPANY. THE SOLE LIABILITY OF COMPANY AND ITS AGENT SHALL ARISE UNDER AND BE GOVERNED BY THE COMMITMENT AND/OR POLICY SUBSEQUENTLY ISSUED. IF THIS COPY OF THE COMMITMENT IS NOT ACCOMPANIED BY THE FORM, A COPY OF THE FORM MAY BE OBTAINED FROM THIS COMPANY UPON REQUEST.

PLEASE BE ADVISED THAT A CONTINUATION SEARCH WILL BE MADE AT THE TIME OF CLOSING TO UPDATE THE EFFECTIVE DATE OF THE COMMITMENT AND THAT THE EARLIER EFFECTIVE DATE SHOWN AT THE BEGINNING OF THIS COMMITMENT WILL NOT AFFECT THE DATE OF COVERAGE OF THE POLICY. THE DATE OF THE POLICY WILL BE THE DATE OF RECORDING OF THE INSURED INSTRUMENT AND WILL COVER THE GAP BETWEEN THE LAST DATE COVERED BY THE OFFICIAL RECORD AT THE TIME OF CLOSING AND THE DATE OF RECORDING.

### THE FOLLOWING REQUIREMENTS MUST BE MET:

1. Instrument(s) satisfactory to us, creating the estate or interest to be insured must be executed, delivered and filed for record.
  - A. **DEED FROM:** James Charles Schwartzman and Nancy Hankin Schwartzman,  
husband and wife  
**TO:**  
**DATED:** \_\_\_\_\_  
**RECORDED:** \_\_\_\_\_
  - B. **MORTGAGE FROM:**  
**TO:**  
**DATED:** \_\_\_\_\_  
**RECORDED:** \_\_\_\_\_
2. Payment of full consideration to or for the account of the grantors or mortgagors.
3. Payment of the premiums, fees and charges for the policy.
4. Possible unfiled mechanics liens and municipal claims.
5. Terms of any unrecorded lease or rights of parties in possession.
6. Proof that all natural persons in this transaction are of full age and legally competent.
7. Proof of identity of parties as set forth in Recital.
8. **POWERS OF ATTORNEY:** If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.
9. Proof to be provided that any individuals holding record title have not, subsequent to acquisition of title, been a party to any divorce proceedings, whether currently ongoing or completed prior to the transaction that is the subject of this report/commitment. In the event such divorce proceedings have occurred, same to be examined and possible additional exceptions and requirements to be added. This requirement applies only to individuals and is not applicable if record owner is an LLC, LP, Corporation or other business entity.
10. Information must be furnished concerning the Social Security Number(s) and/or the Tax Identification Number(s) and future addresses of grantors for the completion of Substitute Form 1099 at the Closing of Transaction.
11. Proof that no parties to this transaction are involved in bankruptcy proceedings; if bankruptcy has been filed, same to be examined; possible additional requirements/exceptions to be added.
12. Satisfactory evidence should be provided that improvements and/or repairs or alterations thereto are completed; that contractor, sub-contractors, labor and materialmen are all paid; and have released of record all liens or notice of intent to perfect a lien for labor material.

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ALTA Commitment (6-17-06)





**Schedule B Section 1  
Requirements continued**

13. TAXES: Folio No. 36-02-01047-00 – 2017 Tax Assessment \$1,133,360.00  
Folio No. 36-02-00932-00 – 2017 Tax Assessment \$ 50,000.00  
Produce receipts for Township, County and School Taxes for the current and three prior years
14. WATER AND SEWER RENTS:  
Produce receipts for Water and Sewer Rents for the current and three prior years.
15. MECHANICS AND MUNICIPAL CLAIMS: NONE
16. MORTGAGES:
- A. \$12,000.00 (Closed End), George H. Earle, III and Jacqueline S. Earle, his wife to Jackson K. Heilner and Louise T. Heilner, his wife, dated 9/20/1954, recorded 9/22/1954 in Mortgage Book 2068 Page 616.
  - B. \$600,000.00 (Open End), James Charles Schwartzman and Nancy Hankin Schwartzman to First Penn Bank, dated 12/14/2001, recorded 1/17/2002 in Volume 2345 Page 1896; with Subordination of Mortgage recorded 7/5/2007 in Volume 4143 page 938, postponing lien of Mortgage to that as in Volume 4143 page 942.
  - C. \$350,000.00 (Open End), James Charles Schwartzman and Nancy Hankin Schwartzman to First Penn Bank, dated 6/29/2004, recorded 7/22/2004 in Volume 3244 Page 786; with Modification of Mortgage dated 10/01/2004, recorded 11/01/2004 in Volume 3331 page 1527 and Modification of Mortgage dated 01/12/2005, recorded 01/28/2005 in Volume 3403 page 457; with Subordination of Mortgage recorded 07/05/2007 in Volume 4143 page 930, postponing lien of Mortgage to that as in Volume 4143 page 942.
  - D. \$1,300,000.00 (Closed End), James Charles Schwartzman and Nancy Hankin Schwartzman to Arlington Capital Mortgage Corp., dated 4/14/2007, recorded 7/5/2007 in Volume 4143 Page 942; with Modification of Mortgage recorded 07/29/2008 in Volume 4407 page 1095; said Mortgage last Assigned to the use of First Priority Bank, by Assignment of Mortgage recorded 05/13/2010 in Volume 4740 page 2069.
17. FINANCING STATEMENTS:
- A. SECURED PARTY: First Penn Bank DEBTOR: James Charles Schwartzman and Nancy Hankin Schwartzman, FILED: 1/17/2002 in the Office of the Recorder of Deeds of Delaware County, PA, in Volume 2345 page 1905. Last Continuation recorded 04/23/2014 in Volume 5486 page 132.
18. JUDGMENTS: NONE
19. Prior to settlement, search of statewide support lien system (<http://www.childsupport.state.pa.us>) to be performed to determine the existence of support arrearages, if any. Company or its Agent to be provided with social security numbers of all natural persons that are a party to the transaction so that this search can be performed by the closing officer no more than 30 days in advance of closing.
20. Names of all relevant parties to the within real estate transaction to be searched prior to closing to verify that they are not Specially Designated Nationals subject to the provisions of President's Executive Order Targeting Terrorist Assets.
21. Owner's Affidavit on Company form to be executed by sellers or mortgagors and filed with Company.
22. Last Insurer: NONE AVAILABLE.
23. The following note is for Informational Purposes Only
- The following deed(s) affecting said land were recorded within six (6) months of the date of this report:
- Grantor: James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife  
Grantee: James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife  
Recorded: 06/29/2016 in Instrument Number: Volume 5832 page 1794
24. Names of Purchasers to be furnished and searched, and any additional objections by reason thereof to be certified prior to settlement.



## Schedule B Section 2 Exceptions

IN THE EVENT THAT ONE OR MORE OF THE EXCEPTIONS LISTED BELOW REFERENCES COVENANTS, CONDITIONS AND/OR RESTRICTIONS, PLEASE NOTE THAT THE EXCEPTION(S) SPECIFICALLY EXCLUDE ANY COVENANTS OR RESTRICTIONS, IF ANY, BASED UPON RACE, COLOR, RELIGION, SEX, SEXUAL ORIENTATION, FAMILIAL STATUS, MARITAL STATUS, DISABILITY, HANDICAP, NATIONAL ORIGIN, ANCESTRY, OR SOURCE OF INCOME, AS SET FORTH IN APPLICABLE STATE OR FEDERAL LAWS, EXCEPT TO THE EXTENT THAT SAID COVENANT OR RESTRICTION IS PERMITTED BY APPLICABLE LAW.

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date of the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this report.
2. Rights or claims of parties in possession of the land not shown by the public record.
3. Any lien, or right to a lien, for services, labor or materials heretofore or hereafter furnished, imposed by law and not shown by the public records.
4. Easements, encroachments, overlaps, shortages of area, boundary line disputes and other matters affecting title that an accurate and complete survey would disclose.
5. Real Estate Taxes and/or Municipal or Authority charges which constitute a lien;

Water Rents due from \_\_\_\_\_ Not yet payable.

Sewer Rents due from \_\_\_\_\_ Not yet payable.

County and Township/Borough Tax due for the current year. Not yet payable.

School Tax due for the current year. Not yet payable.

Possible additional tax assessment for new construction and/or major improvements. None currently due or payable.

6. Provisions of Acts of Assembly authorizing the State Highway Department to extend boundaries of state roads.
7. Restrictions as in Volumes 655 page 1765 and 5832 page 1797.
8. Easement Agreement as in Deed Book 2627 page 638.
9. Reservations as in Deed Book 1102 page 210.
10. Rights granted to Philadelphia Suburban Water Company as in Deed Book 1676 page 552.
11. Easement and rights as in Deed Book 2421 page 714.
12. Rights of the public and others entitled thereto in and to the use of that portion of the premises within the bounds of Gulph Creek Road and County Line Road.
13. Stormwater Controls and Best Management Practices Operation and Maintenance Agreement as in Volume 4055 page 530.
14. Notes, conditions, easements and building set back lines as shown on Plan of John Mott and James Schwartzman in Plan Volume 16 page 405.
15. Rights granted to Philadelphia Electric Company as in Deed Book 1476 page 341.
16. Rights granted to Philadelphia Suburban Water Co. as in Deed Book 1447 page 336.
17. Stream of water flows through premises hereon, subject to rights of other riparian owners abutting stream.
18. Use of waters of lake for riparian purposes excepted.
19. Title to bed of lake not vested in insured.

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ALTA Commitment (6-17-06)





**Schedule C**  
**Description and Recital**

**ALL THAT CERTAIN** lot or piece of ground, with the buildings and improvements thereon erected, hereditaments and appurtenances, **SITUATE** in the Township of Radnor, County of Delaware and Commonwealth of Pennsylvania, bounded and described according to a Lot Line Change Plan, for John Mott and James Schwartzman, made by Yerkes Associates, Inc., West Chester, Pennsylvania, dated January 17, 1990, recorded in the Office of the Recorder of Deeds of Delaware County, PA, in Plan Volume 16 page 405, as follows, to wit:

**BEGINNING** at a point on the title line in the bed of County Line Road (33 feet wide) a corner of lands now or formerly of John H. Leady and Jane Ruddle, as shown on said plan; thence extending along same, the two following courses and distances: (1) South 62 degrees 37 minutes West, (crossing the Southwesterly side of County Line Road), 416.87 feet to a point, and (2) South 19 degrees 38 minutes East 149.31 feet to a point, a corner of lands now or formerly of James D. Block, as shown on said plan; thence extending along same, the three following courses and distances: (1) South 65 degrees 51 minutes West 224.64 feet to a point, (2) South 9 degrees 31 minutes East 81.31 feet to a point, and (3) South 30 degrees 26 minutes 30 seconds West (crossing the Northwesterly side of Gulph Creek Road), 142.47 feet to a point on the title line in the bed of Gulph Creek Road (33 feet wide); thence extending along same, South 73 degrees 38 minutes West 638.48 feet to a point, a corner of lands now or formerly of John Mott, as shown on said plan; thence extending along same, the four following courses and distances: (1) North 04 degrees 01 minute 30 seconds West, (crossing the Northwesterly side of Gulph Creek Road) 379 feet to a point, (2) North 16 degrees 18 minutes 18 seconds East 176.89 feet to a point, (3) North 3 degrees 52 minutes 23 seconds West 65 feet to a point, and (4) North 45 degrees 11 minutes 47 seconds West 275.27 feet to a point, in line of lands now formerly of Richard Sylk, as shown on said plan; thence extending along same, the four following courses and distances: (1) North 62 degrees 35 minutes East 486.98 feet to a point, (2) North 27 degrees 25 minutes West 23.57 feet to a point, (3) North 65 degrees 59 minutes East 31.85 feet to a point, and (4) South 81 degrees 9 minutes 30 seconds East 36.66 feet to a point, a corner of lands now or formerly of John Devereaux as shown on said plan; thence extending along same, the two following courses and distances: (1) South 29 degrees 58 minutes East 224.80 feet to a point, and (2) North 59 degrees 29 minutes East 184.83 feet to a point, a corner of land now or formerly of Perry and Jean McRobert, as shown on said plan; thence extending along same, the three following courses and distances: (1) South 32 degrees 01 minute East 150 feet to a point, (2) South 19 degrees 26 minutes East 42.06 feet to a point, and (3) North 55 degrees 21 minutes East 144.01 feet to a point, a corner of lands now or formerly of Thomas E. McDyer, as shown on said plan; thence extending along same, the two following courses and distances: (1) South 20 degrees 15 minutes 30 seconds East 198.49 feet to a point, and (2) North 62 degrees 37 minutes East (crossing the Southwesterly side of County Line Road), 407.82 feet to a point on the title line in the bed of County Line Road (33 feet wide), aforesaid; thence extending along same South 29 degrees 58 minutes East 50 feet to the first mentioned point and place of beginning.

**BEING** Delaware County Folio Nos. 36-02-01047-00 and 36-02-00932-00.

**BEING**, in part, part of the same premises which C.G. Berwind, Jr., Thomas B. Morris, Jr. and Francis X. Morrissey, Jr., Trustees under

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ALTA Commitment (6-17-06)





**Deed of Trust of Charles G. Berwind dated February 28, 1963 for C.G. Berwind, Jr., etal by Deed dated February 15, 1989, recorded March 23, 1989, in the Office of the Recorder of Deeds of Delaware County, PA, in Volume 655 page 1765, conveyed unto James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife, in fee.**

**ALSO BEING, in part, the same premises which John C. Mott and Mary Lou Mott, his wife by Deed dated November 27, 1998, recorded December 14, 1998 in the Office of the Recorder of Deeds of Delaware County, PA, in Volume 1809 page 995, conveyed unto James Charles Schwartzman and Nancy Hankin Schwartzman, his wife, in fee.**

**AND BEING the same premises which James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife by Deed dated May 23, 2016, recorded June 29, 2016, in the Office of the Recorder of Deeds of Delaware County, PA, in Volume 5832 page 1794 conveyed unto James Charles Schwartzman and Nancy Hankin Schwartzman, husband and wife, in fee.**





**NOTICES**

1. PLEASE BE ADVISED THAT Fidelity National Title Insurance Company ("COMPANY") AND Central Montgomery Abstract Co., Inc. ("AGENT") HAVE NO KNOWLEDGE, TRAINING OR EXPERIENCE IN MATTERS THAT ARE UNRELATED TO TITLE INSURANCE, INCLUDING, BUT NOT LIMITED TO, SUCH MATTERS AS BULK SALE TRANSFERS, BULK SALE CLEARANCE CERTIFICATE REQUIREMENTS (IF APPLICABLE), ZONING/SUBDIVISION, STRUCTURAL REPAIRS, ENVIRONMENTAL, WATER INFILTRATION, WETLANDS, TERMITES OR ONSITE SEWAGE SYSTEMS, AND WE DO NOT INTEND TO, AND CANNOT, PROVIDE SERVICES OR ADVICE TO YOU ON SUCH MATTERS. IF YOU ARE FACED WITH ISSUES REGARDING SUCH MATTERS, YOU SHOULD CONSULT A LAWYER, ENGINEER, ARCHITECT OR OTHER APPROPRIATE CONSULTANT OR PROFESSIONAL OF YOUR CHOICE.
2. ALSO BE ADVISED THAT YOU MAY PURCHASE AT ADDITIONAL COST ENHANCED COVERAGES FROM THE BASIC POLICY OF TITLE INSURANCE. IF YOU WISH AN EXPLANATION OF THE ENHANCED COVERAGES AND THE COST FOR THESE ADDITIONAL COVERAGES, PLEASE CONTACT THE PARTY LISTED BELOW.
3. THE COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF INSURANCE REQUIRES THAT WE SEND THE FOLLOWING NOTICE TO YOU, OUR APPLICANT, PRIOR TO CLOSING. IF APPLICABLE, THE DEPARTMENT FURTHER REQUIRE THAT YOU, THE APPLICANT, FORWARD THIS NOTICE TO THE ULTIMATE CONSUMER IN ADVANCE OF THE DAY OF CLOSING:

YOUR TITLE INSURANCE FEE COVERS THE COST OF CLOSING ON THE INSURED REAL ESTATE PROPERTY IF IT TAKES PLACE DURING REGULAR OFFICE HOURS AND AT THE OFFICE OF THE TITLE INSURANCE AGENT OR UNDERWRITER. IF YOUR CLOSING TAKES PLACE AT A LOCATION OR TIME OF YOUR CHOOSING, OR THAT OF YOUR LENDER OR REALTOR, THE TITLE INSURANCE AGENT OR UNDERWRITER MAY IMPOSE AN ADDITIONAL CHARGE FOR THIS SPECIAL SERVICE. YOU MAY DETERMINE THE AMOUNT OF THIS ADDITIONAL CHARGE, IF ANY, BY CONTACTING THE PARTY LISTED BELOW.

***CENTRAL MONTGOMERY ABSTRACT CO., INC.***

1904-1906 Swede Road  
East Norriton, Pennsylvania 19401  
Phone: (610) 279-2975 Fax: (610) 279-5783 E-Mail: george@cmatitle.com

Countersigned at East Norriton, PA  
CENTRAL MONTGOMERY ABSTRACT CO., INC.

\_\_\_\_\_  
George J. Willans, President

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ALTA Commitment (6-17-06)





SV 3711 WW

TRUST DEED—Trustee, Corporation—Individual.

Recorded by and sold by John C. Clark Co., 1528 Walnut St., Phila.

# This Indenture made the

**FEBRUARY** 15th day of 1969 in the year of our Lord one thousand nine hundred and eighty-nine (1989)

Between C.G. BERWIND, JR., THOMAS B. MORRIS, JR., and FRANCIS X. MORRISSEY, JR., TRUSTEES UNDER DEED OF TRUST OF CHARLES G. BERWIND, DATED 2/28/1963 FOR C.G. BERWIND, JR., ETAL

AND

JAMES CHARLES SCHWARTZMAN AND NANCY HANKIN SCHWARTZMAN, his wife

of the other part, ~~Witnesseth~~ That the said Grantors

for and in consideration of the sum of ONE MILLION THREE HUNDRED THOUSAND AND NO/100 (\$1,300,000.00)

lawful money of the United States of America, unto them, well and truly paid by the said grantees

it and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, HAVE granted, bargained, sold, aliened, conveyed, released and confirmed and by these presents

RECEIVES "A" do grant, bargain, sell, alien, convey, release and confirm unto the said Grantees, their heirs and assigns,

ALL THAT CERTAIN TRACT of ground, SITUATE in the Township of Redbank, County of Delaware, Pennsylvania, described according to a certain Map thereof made by H.R. & J.B. Yarness, Civil Engineers and Surveyors, as follows, to wit:

BEGINNING at a point in the title line in the bed of Gulph Creek Road at the distance of ninety-four and twenty-three one-hundredths (94.23) feet measured South seventy-three degrees thirty-eight minutes West along same from a spike therein which spike is at the distance of seven hundred thirty-nine and eighteen one-hundredths (739.18) feet measured South seventy degrees twenty-two minutes West along said title line in the bed of Gulph Creek Road from its intersection with the title line in the bed of County Line Road; thence from the point of beginning along said title line in the bed of Gulph Creek Road, South seventy-three degrees thirty-eight minutes West six hundred thirty-three and forty-eight one hundredths (633.48) feet to a spike; thence leaving Gulph Creek Road, North four degrees one minute thirty seconds West eight hundred sixty-eight and eighty one-hundredths (868.80) feet to a point; thence extending North sixty-two degrees thirty-five minutes East three hundred fifty-four and seventy-two one hundredths (354.72) feet to a stone; thence extending South twenty-nine degrees fifty-eight minutes East two hundred twenty-four and eighty one-hundredths (224.80) feet to a point; thence extending North fifty-nine degrees twenty-nine minutes East one hundred eighty-four and eighty-three one-hundredths (184.83) feet to a stone; thence South thirty-two degrees one minute East one hundred fifty (150) feet to a point; thence extending South nineteen degrees twenty-six minutes East one hundred three and sixty-five one-hundredths (103.65) feet to a point; thence extending South four degrees fifty minutes East three hundred twenty-three and two one-hundredths (323.02) feet to an

(Continued)

VOL 655-181765



**BEGINNING** at an interior point, which point is at the distance of seven hundred feet measured South fifty-nine degrees, fifty minutes West along the Southeastern side of a certain Forty feet wide right of way from a point in the center line of County Line Road thence extending South Sixty-two degrees, thirty-five minutes West sixty-one and thirty-five one-hundredths feet to a point; thence extending North twenty-seven degrees, twenty-five minutes West, twenty-three and fifty-seven one-hundredths feet to a point in the center line of a Thirty feet wide right of way; thence extending through the bed of said right of way (which right of way is of varying width) the two following courses and distances (1) North sixty-five degrees, fifty-nine minutes East thirty-one and eighty-five one-hundredths feet to a point and (2) South eighty-one degrees, nine minutes thirty seconds East thirty-six and sixty-six one-hundredths feet to the first mentioned point and place of beginning.

**UNDER AND SUBJECT** to Easement and Rights as granted in Deed Book 2421, page 714.

**BEING THE SAME PREMISES** which C.G. Berndt, Jr. and Thomas B. Morris, Jr., Executors under the Will of Ellen Mott Berndt a/k/a Ellen M. and Ellen McMichael Berndt, deceased, by Deed dated the 19th day of August A.D. 1987 and recorded in the Office for the Recording of Deeds in and for the County of Delaware in Deed Book 512 page 1353, granted and conveyed unto C.G. Berndt, Jr., Albert W. Gilmer and Thomas B. Morris, Jr., Trustees of Trust Under Deed of Charles G. Berndt, dated 2/28/1963 for C.G. Berndt, Jr. et al, in fee.

Albert W. Gilmer has been replaced as Trustee by Francis X. Morrissey, Jr.

**UNDER AND SUBJECT** to the restriction, which shall be perpetual and run with the land, that no buildings shall be constructed on the premises in addition to the existing residence and outbuildings. This restriction, however, shall not prohibit the addition of rooms or wings to the existing residence and outbuildings, the construction of a small functional pool house limited to bathroom facilities and changing rooms, or the repair or reconstruction of any such buildings after damage. If this restriction is violated, the Grantors herein, their successors or assigns, in addition to any other rights and remedies which may be available to them at law or in equity, shall have the right to compel the removal of any building in violation of this restriction, notwithstanding any passage of time or forfeiture.

BEING COUNTY PVCEL HUNGRY 102-010420

Date MAR 23 1989  
Transfer Tax in the amount of \$300.00  
State  
has been paid on account  
of Adams

COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
REALTY  
TRANSFER TAX  
MAR 27 1989  
PR. 11274  
00.00

13000 Mary Ann Blair



On this, the 10<sup>th</sup> day of February 1969, before me, the undersigned Officer, personally appeared Francis X. Morrissey, Jr., Trustee Under Deed of Trust of Charles G. Barvind, dated 2/19/1963 for C.G. Barvind, Jr., et al, known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that he executed the same in the capacity therein stated and for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Virginia C. Duncan  
Notary Public

My Commission Expires:

[Notarial Seal]

VIRGINIA C. DUNCAN  
NOTARY PUBLIC, State of New York  
No. 31-4322180  
Qualified in New York County  
Commission Expires March 20, 1971



STATE OF *Pennsylvania*  
COUNTY OF *Philadelphia*

On this, the *9th* day of February 1989, before me, the undersigned Officer, personally appeared Thomas B. Morris, Jr., Trustee Under Deed of Trust of Charles G. Barwind, dated 3/28/1983 for C.G. Barwind, Jr., et al, known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that he executed the same in the capacity therein stated and for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

*Christine Jackson Tharrell*  
Notary Public

My Commission Expires:

[Notarial Seal]

NOTARIAL SEAL  
Christine Jackson Tharrell, Notary Public  
Philadelphia, Philadelphia County  
My Commission Expires September 28, 1991



iron pin; thence extending South nine degrees thirty-one minutes East eighty-one and thirty-one one-hundredths (81.31) feet to an iron pin; thence extending South thirty degrees twenty-six minutes thirty seconds West one hundred forty-two and forty-seven one-hundredths feet (142.47) feet to the first mentioned point and place of beginning.

**PREMISES "D"**

ALL THAT CERTAIN lot or piece of ground SITUATE in Radnor Township, Delaware County, Pennsylvania and described in accordance to a survey of property of John Tyson made by H.R. and J.B. Mackay, Civil Engineers and Surveyors, Bryn Mawr, Pennsylvania revised April 21st, 1935, as follows, to wit:

**BEGINNING** at a point in the center line of County Line Road (thirty-three feet wide) which point is measured along the said center line of County Line Road, North twenty-nine degrees fifty-eight minutes West four hundred two and sixty-eight one-hundredths feet from the intersection of the center line of County Line Road with the center line of Gulph Creek Road, (thirty-three feet wide); thence from the beginning point and leaving the center line of County Line Road, South sixty-two degrees thirty-seven minutes West four hundred sixteen and eighty-seven one-hundredths feet to a point; thence extending South nineteen degrees thirty-eight minutes East one hundred forty-nine and thirty-one one-hundredths feet to an iron pin; thence extending South Sixty-six degrees fifty-one minutes West two hundred twenty-four and sixty-four one-hundredths feet to an iron pin; thence extending North four degrees fifty minutes West three hundred twenty-three and two one-hundredths feet to a point; thence extending North nineteen degrees twenty-six minutes West sixty-one and fifty-nine one-hundredths feet to a point; thence extending North Fifty-five degrees twenty-one minutes East one hundred forty-four and one one-hundredths feet to a point; thence extending South twenty degrees fifteen minutes thirty seconds East one hundred ninety-eight and forty-nine one-hundredths feet to a point; thence extending North sixty-two degrees thirty-seven minutes East four hundred seven and eighty-two one-hundredths feet to a point in the center line of County Line Road, thence extending along said center line, South twenty-nine degrees fifty-eight minutes East fifty and five one-hundredths feet to the point and place of beginning.

**PREMISES "C"**

ALL THAT CERTAIN lot or piece of ground, situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania, described in accordance with a Map of Property of Joseph M. Weaver, et al., made by Radnor Associates, Inc., Consulting Engineers and Surveyors, dated October 1, 1971 as follows, to wit:

**Together** with all and singular the buildings, improvements, passage ways, waters, water-courses, driveways, rights, liberties, tenements and appurtenances whatsoever therunto belonging, or in any wise appertaining, and the reversions and reversioners, rents, issues and profits thereof; and all the estate, right, title, (including) party, claim and demand whatsoever of in law, equity, or otherwise howsoever, of, to, and to the same and every part thereof.



**To have and to hold** the said lot or piece of ground above described, with the buildings and improvements thereon erected, heretofore and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantees, their heirs and assigns forever.

UNLESS AND SUBJECT to restrictions as aforesaid.

**And** the said Grantors, for themselves and their respective heirs, executors, administrators and successors, do severally, and not jointly nor the one for the other nor the act or deed of the other, but each for his or her own acts only, covenant, promise and agree, to and with the said Grantees

that they, the said Grantors,

have not done, committed, or knowingly or willingly suffered to be done or committed, any act, matter or thing whatsoever whereby the premises hereby granted, or any part thereof, is, are, shall or may be impeached, charged or incumbered, in title, charge, estate, or otherwise howsoever.

In Witness Whereof, the said Grantors

hereunto set their hand and seal the day and year first above written.

Sealed and Delivered  
in the presence of us:

FRANCIS X. MORRISSEY, JR., TRUSTEE

THOMAS B. MORRIS, JR., TRUSTEE

C.G. BERWIND, JR., TRUSTEE

Commonwealth of Pennsylvania  
County of Philadelphia 1939:

On this, the 14th day of February, 1939, before me

personally appeared C.G. Berwind, Jr., Trustee Under Deed of Trust of Charles G. Berwind, Dated 2/28/1933 for C.G. Berwind, Jr., et al. known to me (or satisfactorily proven) to be the person described in the foregoing instrument, and acknowledged that he executed the same in the capacity therein stated and for the purposes therein contained.

In Witness Whereof, I have hereunto set my hand and official seal.

VOLO655 PG1770



MARY A. LAFFUE, Notary Public  
City of Philadelphia, Phila. County  
My Commission Expires July 28, 1941



MD0227 111 10



NOTARIAL PUBLIC  
STATE OF DELAWARE  
JAMES L. SMITH  
1010407 2301

Commonwealth of Pennsylvania  
County of Delaware  
On this 23rd day of March 1988, before me, the undersigned, James L. Smith, Notary Public for the State of Delaware, personally appeared C. G. BERNINO, JR., THOMAS B. MERRIS, JR., AND FRANCES A. MORRISSEY, JR., TRUSTEES UNDER DEED OF TRUST OF CHARLES S. BERNINO DATED 2/28/1963 FOR C. G. BERNINO, JR., ETAL, being authorized to do so, executed the foregoing instrument (for the purposes therein contained) by signing the name of the corporation by himself (himself) as

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

SV# 3711  
14,250-L  
13,000,-5  
20359  
29 270.25

C. G. BERNINO, JR., THOMAS B. MERRIS, JR., AND FRANCES A. MORRISSEY, JR., TRUSTEES UNDER DEED OF TRUST OF CHARLES S. BERNINO DATED 2/28/1963 FOR C. G. BERNINO, JR., ETAL

TO  
JAMES CHARLES SCHWARTZMAN AND  
NANCY HANKIN SCHWARTZMAN, HIS WIFE

722/5 John C. Clark Co., Inc. 1988  
DEL VAL ABSTRACT COMPANY  
198 W. JOHNSON HIGHWAY  
MORRISTOWN, PA 19401  
(215) 277-3200  
RECORDED OF DEEDS  
DELAWARE CO., PA  
69 MAR 23 AM 10:59

*James L. Smith*

The address of the above-named Grantee  
is 401 Gulah Creek Road  
Radnor, Pa. 19087  
On behalf of the Grantee



RD BK05832-1794

DT-DEED

2016033503 06/29/2016 09:02:30 AM:1

RCD FEE \$112.50



DELAWARE  
COUNTY

36-RADNOR 50 00

THOMAS J. JUDGE SR. ROD

**Prepared By:**  
**Nicholas J. Caniglia, Esquire**  
**125 Strafford Ave., Suite 110**  
**Wayne, PA 19087**  
**610-688-2626**  
**Attorney I.D. 27968**

**FOLIO NUMBER: 36-02-01047-00 and 36-02-00932-00**

**Return To:**  
**Nicholas J. Caniglia, Esquire**  
**P.O. Box 312**  
**Wayne, PA 19087**

**DEED OF CORRECTION**

THIS DEED, made the <sup>23<sup>rd</sup></sup> day of <sup>May</sup>, 2016, is made by JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN ("Grantor") and JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN ("Grantee").

**WHEREAS**, C.G. Berwind, Jr., Thomas B. Morris, Jr., and Francis X. Morrissey, Jr., Trustees Under Deed of Trust of Charles G. Berwind, dated 2/28/1963 for C.G. Berwind, Jr., et al. by Deed dated February 15, 1989 and recorded in the Office of the Recorder of Deeds of Delaware County on March 23, 1989 in Volume 0655 Page 1765, et seq., granted and conveyed to JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN, his wife, all that parcels of land described below with buildings and improvements erected thereon.

\* **WHEREAS**, at recording the pages of the Deed were not recorded in the proper sequential order and Grantor now desires to correct said Deed so as to convey the proper descriptions of the certain Premises described herein.

**WITNESSETH**, that the said Grantor for and in consideration of the sum of **One Dollar (\$1.00)** and other good and valuable consideration, the receipt whereof is hereby acknowledged, has conveys and confirms unto the said Grantee the following, as tenants by the entireties,

**PREMISES "A"**

**ALL THAT CERTAIN TRACT** of ground situate in the Township of Radnor, County of Delaware, Pennsylvania, described according to a certain Map thereof made by M.R. & J.B. Yerkes, Civil Engineers and Surveyors, as follows, to wit:

**BEGINNING** at a point in the title line in the bed of Gulph Creek Road at the distance of ninety-four and twenty-three one-hundredths (94.23) feet measured South seventy-three



degrees thirty-eight minutes West along same from a spike therein which spike is at the distance of seven hundred thirty-nine and eighteen one-hundredths (739.18) feet measured South seventy degrees twenty-two minutes West along said title line in the bed of Gulph Creek Road from its intersection with the title line in the bed of County Line Road; thence from the point of beginning along said title line in the bed of Gulph Creek Road, South seventy-three degrees thirty-eight minutes West six hundred thirty-three and forty-eight one hundredths (633.48) feet to a spike; thence leaving Gulph Creek Road, North four degrees one minute thirty seconds West eight hundred sixty-eight and eighty one-hundredths (868.80) feet to a point; thence extending North sixty-two degrees thirty-five minutes East three hundred fifty-four and seventy-two one hundredths (354.72) feet to a stone; thence extending South twenty-nine degrees fifty-eight minutes East two hundred twenty-four and eighty one-hundredths (224.80) feet to a point; thence extending North fifty-nine degrees twenty-nine minutes East one hundred eighty-four and eighty-three one-hundredths (184.83) feet to a stone; thence South thirty-two degrees one minute East one hundred fifty (150) feet to a point; thence extending South nineteen degrees twenty-six minutes East one hundred three and sixty-five one-hundredths (103.65) feet to a point; thence extending South four degrees fifty minutes East three hundred twenty-three and two one-hundredths (23.02) feet to an iron pin; thence extending South nine degrees thirty-one minutes East eighty-one and thirty-one one-hundredths (81.31) feet to an iron pin; thence extending South thirty degrees twenty-six minutes thirty seconds West one hundred forty-two and forty-seven one-hundredths feet (142.47) feet to the first mentioned point and place of beginning.  
BEING FOLIO NUMBER 36-02-01047-00

#### **PREMISES "B"**

ALL THAT CERTAIN lot or piece of ground situate in Radnor Township, Delaware County, Pennsylvania and described in accordance to a survey of property of John Tyson made by M.R. and J.B. Yerkes, Civil Engineers and surveyors, Bryn Mawr, Pennsylvania revised April 21, 1955, as follows, to wit:

BEGINNING at a point in the center line of County Line Road (thirty-three feet wide) which point is measured along the said center line of County Line Road, North Twenty-nine degrees fifty-eight minutes West four hundred two and sixty-eight one-hundredths feet from the intersection of the center line of County Line Road with the center line of Gulph Creek Road (thirty-three feet wide); thence from the beginning point and leaving the center line of County Line Road, South sixty-two degrees thirty-seven minutes West four hundred sixteen and eighty-seven one-hundredths feet to a point; thence extending South nineteen degrees thirty-eight minutes East one hundred forty-nine and thirty-one one-hundredths feet to an iron pin; thence extending South Sixty-six degrees fifty-one minutes West two hundred twenty-four and sixty-four one-hundredths feet to an iron pin; thence extending North four degrees fifty minutes West three hundred twenty-three and two one-hundredths feet to a point; thence extending North nineteen degrees twenty-six minutes West sixty-one and fifty-nine one-hundredths feet to a point; thence extending North Fifty-five degrees twenty-one minutes East one hundred forty-four and one one-hundredths feet to a point; thence extending South twenty degrees fifteen minutes thirty



seconds East one hundred ninety-eight and forty-nine one-hundredths feet to a point; thence extending North sixty-two degrees thirty-seven minutes East four hundred seven and eighty-two one-hundredths feet to a point in the center line of County Line Road, thence extending along said center line, South twenty-nine degrees fifty-eight minutes East fifty and five one-hundredths feet to the point and place of beginning.  
BEING FOLIO NUMBER 36-02-01047-00

### **PREMISES "C"**

ALL THAT CERTAIN lot or piece of ground, situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania, described in accordance with a Map of Property of Joseph M. Weaver, etux, made by Yerkes Associates, Inc., Consulting Engineers and Surveyors, dated October 1, 1971 as follows, to wit:

BEGINNING at an interior point, which point is at the distance of seven hundred feet measured South fifty-nine degrees, fifty minutes West along the Southeasterly side of a certain Forty feet wide right of way from a point in the center line of County Line Road; thence extending South Sixty-two degrees, thirty-five minutes West sixty-one and thirty-five one-hundredths feet to a point; thence extending North twenty-seven degrees twenty-five minutes West, twenty-three and fifty-seven one-hundredths feet to a point in the center line of a Thirty feet wide Right of Way; thence extending through the bed of said Right of Way (which right of way is of varying width) the two following courses and distances (1) North sixty-five degrees, fifty-nine minutes East thirty-one and eighty-five one-hundredths feet to a point and (2) South eighty-one degrees, nine minutes thirty seconds East thirty-six and sixty-six one-hundredths feet to the first mentioned point and place of beginning.

BEING PARCEL No. 2 on said plan.

UNDER AND SUBJECT to Easement and Rights as granted in Deed Book 2421, page 714.

BEING FOLIO NUMBER 36-02-00932-00

*0000 COUNTY LINE RD*

BEING A TRANSFER exempt from realty transfer tax as a Deed of Correction and transfer between spouses.

BEING the same premises which C.G. Berwind, Jr., Thomas B. Morris, Jr., and Francis X. Morrissey, Jr., Trustees Under Deed of Trust of Charles G. Berwind, dated 2/28/1963 for C.G. Berwind, Jr., et al. by Deed dated February 15, 1989 and recorded in the Office of the Recorder of Deeds of Delaware County on March 23, 1989 in Volume 0655 Page 1765, et seq., granted and conveyed to JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN, his wife, in fee.

ALSO BEING the same premises which C.G. Berwind, Jr., and Thomas B. Morris, Jr., Executors of the Will of Ellen McM. Berwind a/k/a Ellen M. and Ellen McMichael Berwind, deceased by Deed dated August 19, 1987 and recorded in the Office of the Recorder of Deeds of Delaware County on September 28, 1987 in Volume 0512 Page 1353, et seq., granted and conveyed unto C.G. Berwind, Jr., Albert W. Gilmer and



Thomas B. Morris, Jr., Trustees Under Deed of Trust of Charles G. Berwind, dated 2/28/1963 for C.G. Berwind, Jr., et al., in fee.

UNDER AND SUBJECT to the restriction, which shall be perpetual and run with the land, that no buildings shall be constructed on the premises in addition to the existing residence and outbuildings. This restriction, however, shall not prohibit the addition of rooms or wings to the existing residence and outbuildings, the construction of a small functional pool house limited to bathroom facilities and changing rooms, or the repair or reconstruction of any such buildings after damage. If this restriction is violated, the Grantors herein, their successors or assigns, in addition to any other rights and remedies which may be available to them at law or in equity, shall have the right to compel the removal of any building in violation of this restriction, notwithstanding any passage of time or forbearance.

**TOGETHER** with all and singular the buildings, improvements, ways, streets, alleys, passages, waters, water-courses, rights, liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belong, or in any wise appertaining, and the reversions and remainders, rents, issues, and profits thereof, and all the estate, right, title, interest, property, claim and demand whatsoever of it the said Grantor, as well at law as in equity of, in and to the same.

**TO HAVE AND TO HOLD** the said lot or piece of ground above described, with the buildings and improvements thereon erected, hereditaments and premises hereby granted, or mentioned and intended so to be, with the appurtenances, unto the said Grantee, his heirs and assigns forever.

**IN WITNESS WHEREOF**, the party of the first part has hereunto set his hand and seal dated the day and year first above written.

**SEALED AND DELIVERED  
IN THE PRESENCE OF US:**

  
JAMES CHARLES SCHWARTZMAN

  
NANCY HANKIN SCHWARTZMAN



STATE OF PENNSYLVANIA :  
COUNTY OF *Delaware* :

On this, the *23rd* day of *MARCH*, 2016, before me, the undersigned officer, personally appeared *Emilio Schunkman and Marissa Schunkman* known to me or satisfactorily proven to be the person(s) described in the foregoing, and acknowledged that he/she/they executed the same for the purposes therein contained and desired the same be recorded as such.

*HAWKIN*

*Nicholas J. Caniglia*  
NOTARY PUBLIC

COMMONWEALTH OF PENNSYLVANIA  
NOTARIAL SEAL  
NICHOLAS J. CANIGLIA, Notary Public  
Radnor Twp., Delaware County  
My Commission Expires April 22, 2018



**DEED**

**JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN**

**TO**

**JAMES CHARLES SCHWARTZMAN and NANCY HANKIN SCHWARTZMAN**

**Premises:**

401 Gulph Creek Road  
Radnor, PA 19087

0000 County Line (2A).

**Prepared By:**

Nicholas J. Caniglia, Esquire  
P.O. Box 312  
125 Strafford Avenue, Suite 110  
Wayne, PA 19087  
610-688-2626

The address of the above-  
named Grantee is:

401 Gulph Creek Road  
Radnor, PA 19087

Certified By:   
On behalf of the Grantee





pennsylvania

DEPARTMENT OF REVENUE

Bureau of Individual Taxes  
PO BOX 280603  
Harrisburg, PA 17128-0603

# REALTY TRANSFER TAX STATEMENT OF VALUE

See reverse for instructions.

## RECORDER'S USE ONLY

State Tax Paid	0
Book Number	5832
Page Number	1794
Date Recorded	6-29-16

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) the deed is without consideration or by gift, or (3) a tax exemption is claimed. If more space is needed, please attach additional sheets. A Statement of Value (SOV) is not required if the transfer is wholly exempt from tax based on family relationship or public utility easement. However, it is recommended that a SOV accompany all documents filed for recording.

**A. CORRESPONDENT** - All inquiries may be directed to the following person:

Name	Nicholas J. Caniglia, Esquire			Telephone Number:	(610) 688-2626
Mailing Address	125 Strafford Avenue, Suite 110	City	Wayne	State	PA
				ZIP Code	19087

**B. TRANSFER DATA**

Date of Acceptance of Document	05 / 23 / 2016				
Grantor(s)/Lessor(s)	Telephone Number:	Grantee(s)/Lessee(s)	Telephone Number:		
Charles & Nancy Schwartzman		Charles & Nancy Schwartzman			
Mailing Address	401 Gulph Creek Road		Mailing Address	401 Gulph Creek Road	
City	State	ZIP Code	City	State	ZIP Code
Radnor	PA	19087	Radnor	PA	19087

**C. REAL ESTATE LOCATION**

Street Address	401 Gulph Creek Road			City, Township, Borough	Radnor Township
County	School District	Tax Parcel Number			
Delaware	Radnor	36-02-01047-00			

**D. VALUATION DATA**

Was transaction part of an assignment or relocation? <input type="checkbox"/> Y <input checked="" type="checkbox"/> N		
1. Actual Cash Consideration	2. Other Consideration	3. Total Consideration
1.00	+0.00	= 1.00
4. County Assessed Value	5. Common Level Ratio Factor	6. Computed Value
1,133,360.00	X 1.47	= 1,666,039.00

**E. EXEMPTION DATA** - Refer to instructions for exemption status.

1a. Amount of Exemption Claimed	1b. Percentage of Grantor's Interest in Real Estate	1c. Percentage of Grantor's Interest Conveyed
\$ 1,666,039.00	100.00 %	100.00 %

**2. Check Appropriate Box Below for Exemption Claimed.**

- ☐ Will or intestate succession, \_\_\_\_\_ (Name of Decedent) \_\_\_\_\_ (Estate File Number)
- ☐ Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- ☐ Transfer from a trust. Date of transfer into the trust \_\_\_\_\_  
If trust was amended attach a copy of original and amended trust.
- ☐ Transfer between principal and agent/straw party. (Attach complete copy of agency/straw party agreement.)
- ☐ Transfers to the commonwealth, the U.S. and instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- ☐ Transfer from mortgagor to a holder of a mortgage in default. (Attach copy of mortgage and note/assignment.)
- ☒ Corrective or confirmatory deed. (Attach complete copy of the deed to be corrected or confirmed.)
- ☐ Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- ☐ Other (Please explain exemption claimed.) \_\_\_\_\_ Also a transfer between husband and wife during the marriage

Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party	Date
<i>Nicholas J. Caniglia</i>	6/29/16





**pennsylvania**  
DEPARTMENT OF REVENUE  
Bureau of Individual Taxes  
PO BOX 280603  
Harrisburg, PA 17128-0603

# REALTY TRANSFER TAX STATEMENT OF VALUE

See reverse for instructions.

## RECORDER'S USE ONLY

State Tax Paid 0.00  
Book Number 5832  
Page Number 1794  
Date Recorded 6/29/16

Complete each section and file in duplicate with Recorder of Deeds when (1) the full value/consideration is not set forth in the deed, (2) the deed is without consideration or by gift, or (3) a tax exemption is claimed. If more space is needed, please attach additional sheets. A Statement of Value (SOV) is not required if the transfer is wholly exempt from tax based on family relationship or public utility easement. However, it is recommended that a SOV accompany all documents filed for recording.

### A. CORRESPONDENT - All inquiries may be directed to the following person:

Name Nicholas J. Caniglia, Esquire		Telephone Number: (610) 688-2626	
Mailing Address 125 Strafford Avenue, Suite 110		City Wayne	State ZIP Code PA 19087

### B. TRANSFER DATA

Date of Acceptance of Document <u>05/23/2016</u>			
Grantor(s)/Lessor(s) Charles & Nancy Schwartzman	Telephone Number:	Grantee(s)/Lessee(s) Charles & Nancy Schwartzman	Telephone Number:
Mailing Address 401 Gulph Creek Road		Mailing Address 401 Gulph Creek Road	
City Radnor	State ZIP Code PA 19087	City Radnor	State ZIP Code PA 19087

### C. REAL ESTATE LOCATION

Street Address 401 Gulph Creek Road		City, Township, Borough Radnor Township	
County Delaware	School District Radnor	Tax Parcel Number 36-02-00932-00	

### D. VALUATION DATA

Was transaction part of an assignment or relocation? ☐ Y ☒ N

1. Actual Cash Consideration 1.00	2. Other Consideration +0.00	3. Total Consideration = 1.00
4. County Assessed Value 50,000.00	5. Common Level Ratio Factor x 1.47	6. Computed Value = 73,500.00

### E. EXEMPTION DATA - Refer to instructions for exemption status.

1a. Amount of Exemption Claimed \$ 73,500.00	1b. Percentage of Grantor's Interest in Real Estate 100.00 %	1c. Percentage of Grantor's Interest Conveyed 100.00 %
---	---	---

### 2. Check Appropriate Box Below for Exemption Claimed.

- ☐ Will or intestate succession. \_\_\_\_\_ (Name of Decedent) \_\_\_\_\_ (Estate File Number)
- ☐ Transfer to a trust. (Attach complete copy of trust agreement identifying all beneficiaries.)
- ☐ Transfer from a trust. Date of transfer into the trust \_\_\_\_\_  
If trust was amended attach a copy of original and amended trust.
- ☐ Transfer between principal and agent/straw party. (Attach complete copy of agency/straw party agreement.)
- ☐ Transfers to the commonwealth, the U.S. and instrumentalities by gift, dedication, condemnation or in lieu of condemnation. (If condemnation or in lieu of condemnation, attach copy of resolution.)
- ☐ Transfer from mortgagor to a holder of a mortgage in default. (Attach copy of mortgage and note/assignment.)
- ☒ Corrective or confirmatory deed. (Attach complete copy of the deed to be corrected or confirmed.)
- ☐ Statutory corporate consolidation, merger or division. (Attach copy of articles.)
- ☐ Other (Please explain exemption claimed.) \_\_\_\_\_ Also a transfer between husband and wife during the marriage

Under penalties of law, I declare that I have examined this statement, including accompanying information, and to the best of my knowledge and belief, it is true, correct and complete.

Signature of Correspondent or Responsible Party \_\_\_\_\_ Date 6/29/16

FAILURE TO COMPLETE THIS FORM PROPERLY OR ATTACH REQUESTED DOCUMENTATION MAY RESULT IN THE RECORDER'S REFUSAL TO RECORD THE DEED.



REV. 8/25/77

EASEMENT AGREEMENT

THIS EASEMENT AGREEMENT made this 12<sup>th</sup> day of ~~Sept~~<sup>October</sup>, 1977, between ELLEN MCM. BERNWIND, widow, hereinafter called Grantor and SIDNEY L. LUCE, and ELLEN E. W. LUCE, husband and wife, joint tenants with right of survivorship, hereinafter called Grantees.

WHEREAS, Grantor is the owner of a strip of land fifty feet wide extending to the southwest from County Line Road beginning at a point in the middle line of said County Line Road at the distance of 402.68 feet from the intersection of the middle lines of Gulph Creek Road and County Line Road in Radnor Township, Delaware County, Pennsylvania, which said strip extends from County Line Road to other lands of Grantor, hereinafter referred to as Grantor's Land; and

WHEREAS, Grantees are the owners of an adjoining piece of land to the southeast of Grantor's Land containing approximately 1.336 acres on which Grantees have built a residence, hereinafter referred to as Grantees' Land; and

WHEREAS, Grantees are desirous of having an easement and right-of-way for pedestrian and vehicular ingress and egress from County Line Road across a portion of Grantor's Land to Grantees' Land, and are willing to pay One Hundred Dollars (\$100.00) per year to Grantor for, among other things, Grantees' share of taxes on and other expenses of maintaining the land which will be subject to the easement; and

WHEREAS, Grantor is willing to grant to Grantees such easement and right of way; and



WHEREAS, Grantees and Grantor desire and intend to extinguish a prior agreement between Charles G. Berwind, now deceased, and Ellen McM. Berwind, husband and wife, and Sidney L. Luce dated March 5, 1956, hereinafter referred to as the "prior Agreement", which granted to Grantees a similar easement.

NOW THEREFORE, the parties, in consideration of mutual benefits conferred herein and intending to be legally bound hereby, agree as follows:

1. The prior Agreement is hereby terminated, extinguished, discharged and released. Each of the parties hereto agree that they will not at any time hereafter enforce or attempt to enforce such Agreement or any provisions thereof.

2. Grantor hereby grants and conveys to Grantees an easement and right-of-way eighteen (18) feet in width extending between parallel lines, the southeastern line of which is the southeastern boundary of Grantor's Land, from the middle line of County Line Road South  $62^{\circ} 37' 0''$  West a distance of 180 feet, hereinafter referred to as the "180 foot strip".

3. Grantees agree to pay to the owner or owners of Grantor's Land in proportion to such ownership One Hundred Dollars (\$100.00) per year, prorated for any partial year, for as long as said easement exists, payable on the date hereof and on each anniversary date hereafter.



4. The right-of-way, easement, rights and privileges herein granted shall be used only for the purpose of providing such pedestrian and vehicular ingress and egress from County Line Road to Grantees' Land as is properly incidental to the occupancy of Grantees' Land as a residence.

5. Grantees at their expense shall maintain in good condition the 180 foot strip and the black top roadway existing thereon, hereinafter referred to as the "existing roadway"; and Grantees at their expense shall maintain the existing landscaping and plantings on the 180 foot strip (and shall re-landscape and re-plant as necessary) all in order to maintain the pleasing appearance of the 180 foot strip. Should Grantees elect to extinguish this easement by the execution and delivery of the document contemplated by paragraph 9 below, then Grantees at their expense and if requested by Grantor shall promptly remove the existing roadway and promptly restore the 180 foot strip to its unimproved state; provided, however, that Grantees' undertaking to remove and restore hereunder shall apply to the existing roadway only and not to any further roadway constructed by Grantor, and provided further that the undertaking herein provided shall survive the execution, delivery and recording of the document described in paragraph 9 below, but shall in any case be terminated and discharged if Grantor shall not have requested the removal and restoration within thirty (30) days of her receipt of written notice from Grantees (accompanied by a copy of the document so recorded pursuant to paragraph 9) advising that this easement has thus been extinguished.

6. If Grantor desires to construct a roadway to provide access to other lands of Grantor, Grantor may do so, provided that, if such roadway interferes with Grantees' use of



the existing roadway, Grantor shall grant to Grantees use of said roadway and access to said roadway from the point where the existing roadway now enters Grantees' Land. In such case, Grantor shall pay the entire cost of construction of such roadway and Grantees will share the expense of maintaining 180 feet of such roadway in proportion to the number of residences which make use of such roadway.

7. Grantor shall have the right to include the 180 foot strip in any dedication of Grantor's Land to the township.

8. The easement, rights and privileges herein granted shall exist and be effective from the date hereof until such time as the easement terminates or is terminated. Grantor hereby binds herself, her heirs, executors, administrators, successors, and assigns to warrant and forever defend the above-described easement and rights unto Grantees, their heirs, executors, administrators, successors and assigns, against every person whomsoever lawfully claiming or to claim the same or any part hereof.

9. The easement, rights, privileges herein granted shall immediately terminate upon acceptance by the proper township authorities of a dedication to the township of the 180 foot strip for public use pursuant to paragraph 7; or upon the delivery by Grantees to the Recorder of Deeds in and for the County of Delaware, Pennsylvania, of a document in recordable form extinguishing all Grantees' right, title and interest in said easement.

10. The easement, rights, and privileges granted herein are nonexclusive, and Grantor reserves and retains the right to convey similar rights and easements to such other persons as Grantor may deem proper.

-4-



11. This easement shall run with the land and this instrument shall be binding on and shall inure to the benefit of the respective heirs, executors, administrators, successors, and assigns of the parties hereto.

12. Should Grantees fail to perform any covenant, undertaking or obligation arising hereunder, Grantor's sole remedy shall be to take such action for damages as the law provides for breach of this Agreement; and the easement created hereby shall remain in full force and effect.

13. Grantor retains, reserves and shall continue to enjoy the use of the property on which the easement is granted for any and all purposes which do not interfere with or prevent the use by Grantees of the within easement.

14. This Agreement shall be recorded in the Office for the Recording of Deeds in and for the County of Delaware, Pennsylvania.

IN WITNESS WHEREOF, the parties have executed this Easement Agreement the day and year first above written.

Ellen M. Herwind  
Ellen M. Herwind, Grantor

Wendy L. Luce  
Wendy L. Luce, Grantor

Ellen E. Luce  
Ellen E. Luce, Grantor



COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF *Philadelphia* : SS

On this *21<sup>st</sup>* day of *September*, 1977,  
before me the subscriber, a Notary Public for the Common-  
wealth of Pennsylvania, residing in the County of *Philadelphia*,  
personally appeared ELLEN McM. BERWIND, known to me, or  
satisfactorily proven, to be the person whose name is  
subscribed to the within instrument, and acknowledged that  
she executed same for the purposes therein contained, and  
consented to the recording thereof.

IN WITNESS WHEREOF, I have hereunto set my hand  
and official seal.

*Eleanor T. O'Connell*  
Notary Public  
My Commission Expires: *12-21-78*  
ELEANOR T. O'CONNELL  
Notary Public  
My Commission Expires: *12-21-78*



COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF Montgomery :

On this 12<sup>th</sup> day of October, 1977,  
before me the subscriber, a Notary Public for the Commonwealth  
of Pennsylvania, residing in the County of  
personally appeared HENRY L. LUCE, and ELLEN H. W. LUCE,  
known to me, or satisfactorily proven, to be the persons  
whose names are subscribed to the within instrument, and  
acknowledged that they executed same for the purposes therein  
contained, and consented to the recording thereof.

IN WITNESS WHEREOF, I have hereunto set my hand  
and official seal.

  
Notary Public  
My Commission Expires 

-7-



**REALTY TRANSFER TAX  
AFFIDAVIT OF VALUE**

FOR RECORDER'S USE ONLY  
BOOK NUMBER \_\_\_\_\_  
PAGE NUMBER \_\_\_\_\_  
DATE RECORDED 10-25-78

COMPLETE APPLICABLE SECTIONS IN FULL AND FILE IN DUPLICATE WITH RECORDER OF DEEDS WHEN (1) THE FULL CONSIDERATION IS NOT SET FORTH IN THE DEED, (2) THE TRANSFER IS WITHOUT CONSIDERATION OR A GIFT, OR (3) A TAX EXEMPTION IS CLAIMED, (REFER SECT. 5, RTT ACT OF DEC. 27, 1951, P. L. 1742 AS AMENDED)

**SECTION I  
(COMPLETE FOR ALL TRANSACTIONS)**

Grantor: Ellen McM. Berwind 5417 Creek Road, Radnor, Pennsylvania  
Grantee: Sidney L. and Ellen E.W. Luce 587 County Line Road, Radnor, Pennsylvania  
19087

LOCATION OF LAND, TENEMENTS AND HEREDITAMENTS:

R.D., STREET & NUMBER OR OTHER DESCRIPTION: \_\_\_\_\_  
FULL CONSIDERATION \$ no cash HIGHEST ASSESSED VALUE \$ not separately assessed  
FAIR MARKET VALUE \$ 1.00 REALTY TRANSFER TAX PAID \$ NSA

TAX EXEMPT TRANSACTIONS: IF TRANSFER IS PARTIALLY OR WHOLLY EXEMPT, SHOW AMOUNT EXEMPT,  
REASON (S) AND CITE PORTION OF LAW.  
Note: the interest in property conveyed herewith has no actual  
monetary worth as the yearly payment by Grantee equals the cost of  
maintaining the apartment and paying the real estate taxes thereon.  
IF THIS IS A TRANSFER FROM A STRAW, AGENT OR TRUST AGREEMENT, COMPLETE THE REVERSE SIDE

**SECTION II  
(COMPLETE ONLY IF PROPERTY WAS SUBJECT TO LIEN OR MORTGAGE AT THE TIME OF TRANSFER)**

EXISTING MORTGAGE: \$ \_\_\_\_\_ DISPOSITION \_\_\_\_\_  
EXISTING MORTGAGE: \$ \_\_\_\_\_ DISPOSITION \_\_\_\_\_  
EXISTING LIEN OR OBLIGATION: \$ \_\_\_\_\_ DISPOSITION \_\_\_\_\_  
EXISTING LIEN OR OBLIGATION: \$ \_\_\_\_\_ DISPOSITION \_\_\_\_\_

**SECTION III  
(COMPLETE ONLY IF TRANSFER IS RESULT OF JUDICIAL SALE)**

OFFICIAL CONDUCTING SALE: \_\_\_\_\_ ADDRESS: \_\_\_\_\_  
SUCCESSFUL BIDDER: \_\_\_\_\_ NAME: \_\_\_\_\_ ADDRESS: \_\_\_\_\_

	JUDGMENT PLUS PRIOR LIENS	BID PRICE	HIGHEST ASSESSED VALUE
HIGHEST ASSESSED VALUE	\$	\$	\$
JUDGMENT PLUS INTEREST	\$	\$	\$
PRIOR RECORDED LIEN	\$	\$	\$
PRIOR RECORDED MORTGAGE	\$	\$	\$
UNPAID REAL ESTATE TAXES	\$	\$	\$
WATER RENT DUE	\$	\$	\$
SEWAGE RENT DUE	\$	\$	\$
ATTORNEY FEES	\$	\$	\$
OTHER (COSTS, ETC.)	\$	\$	\$
TOTAL	\$	\$	\$

NOTE: CALCULATIONS MUST BE SHOWN IN ALL COLUMNS.

SWORN AND SUBSCRIBED ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 1978  
MY COMMISSION EXPIRES \_\_\_\_\_  
ELISE A. KOPPEL  
Notary Public, Philadelphia  
My Commission Expires Feb. 21, 1988

ALL OF THE INFORMATION ENTERED  
ON BOTH SIDES OF THIS AFFIDAVIT IS  
TRUE, FULL AND COMPLETE TO THE  
BEST OF MY KNOWLEDGE, INFORMA-  
TION AND BELIEF  
\_\_\_\_\_  
AGENT FOR GRANTEE  
GRANTOR  
STRAW  
AGENT FOR GRANTOR  
TRUSTEE



17765

12:37 PM '77

RECORDED in the Office for Recording of Deeds  
In and for Del. Co., Pa., in Deed  
Book 2627 Page 638  
WITNESS my hand and seal of Office this  
28th day of Oct. A.D. 19 77

*James H. Robinson*  
Recorder of Deeds  
Deputy Recorder

BOOK 2627 PAGE 646





This Indenture, Made the 4th day of March

in the year of our Lord one thousand nine hundred and forty (1940)

PATTERN - *schizotypal* / *borderline*

from the vicinity of Delaware and State of Pennsylvania, & metallic objects, his wife  
& her infant called the "diamond" of the year past.

James Parvish Emerson, of the City and State of New York

(hereinafter called the transfer) of the said part

of the said United States of America, and in consideration of the sum of ten thousand Dollars, lawful money of the United States of America, unto them well and truly paid by the said Guantee, at and before the sealing and delivery hereof, the receipt whereof is hereby acknowledged, have granted, bargained and sold, released and confirmed, and by these presents do grant, bargain, sell, release and confirm unto the said Republic of Haiti, heirs, assigns, successors

[illegible]

Spouts 20-25 ft. in diameter, 8-10 ft. high, situated along ridge line (when entered) form a sort of winding line of small holes, some of which are of large size.

McLure said stone is at the distance of seven hundred feet measured  
South fifty nine degrees fifty minutes West along the line dividing lands  
part of lot of Howell, McLure and the estate of Marion Mott from the line

middle of Liberty Line Road, thence from the beginning point of the line of Marion Mott, the eight following corners and distances: (1) South twenty-

minus degrees fifty-eight minutes east we measured and found  
it is point (3) on the twenty one degrees seventeen minutes West four  
hundred sixty-six and eight hundredth (466.18) feet is a profit.

(3) South twenty four degrees, twenty five minutes east fifty feet at a point on a north line west side of a private driveway leading northeastwardly across the estate of Marian Smith from a public road to a twenty

line Rd. (4) along a meadow. West side of road, 1/2 mile driveway into the study. The  
degrees times minutes West thirty-eight and thirty hundredths (38.30) feet to a  
line (4) - 1/2 mile - a general bearing magnetic West crossing and recrossing

purple back one hundred. five third and eight one hundred (189, 8) feet  
17 aspen (6) North. thirty five degree. twenty one mineral thirty percent

[illegible]

sixty three degrees, thirty five minutes East four hundred and four and seventy two hundred and thirty four feet to the place of beginning containing five acres and thirty one hundredths of an acre.

and eighty four are three each, the rest are one each. The first of these is the same as the first of the series of the same name which Henry Emerson Alburt, Barnham, Killing, Green, etc. with of Maxims with, decalogs, by induction, bearing date the twenty eighth of the year 1811.

May of April A.D. 1939, and recorded in the Office for the Recording of Deeds in and for the County of Delaware, on the fifth day of May A.D. 1939, in Book No. 10 of the Plat 560 100 granted and conveyed unto the said John T. and E. Natalie

his wife in fee, of the name of T. Stake H. Thron.  
To all the heirs, with all riparian rights and lands at Memphis, Tenn., subject to the  
rights of the riparian owners of the river, and of the riparian owners and

It is important to note that the above is a general statement and does not apply to all cases. In some cases, the above may be true, but in others, it may not be. For example, in some cases, the above may be true, but in others, it may not be. For example, in some cases, the above may be true, but in others, it may not be.

11. Blackberry, clim., Will. of Madison, Smith, Dussard, V.F., Libb, W., air, low, hills, by  
Ind., 1871, 1872, 1873, 1874, 1875, 1876, 1877, 1878, 1879, 1880, 1881, 1882, 1883, 1884, 1885, 1886, 1887, 1888, 1889, 1890, 1891, 1892, 1893, 1894, 1895, 1896, 1897, 1898, 1899, 1900, 1901, 1902, 1903, 1904, 1905, 1906, 1907, 1908, 1909, 1910, 1911, 1912, 1913, 1914, 1915, 1916, 1917, 1918, 1919, 1920, 1921, 1922, 1923, 1924, 1925, 1926, 1927, 1928, 1929, 1930, 1931, 1932, 1933, 1934, 1935, 1936, 1937, 1938, 1939, 1940, 1941, 1942, 1943, 1944, 1945, 1946, 1947, 1948, 1949, 1950, 1951, 1952, 1953, 1954, 1955, 1956, 1957, 1958, 1959, 1960, 1961, 1962, 1963, 1964, 1965, 1966, 1967, 1968, 1969, 1970, 1971, 1972, 1973, 1974, 1975, 1976, 1977, 1978, 1979, 1980, 1981, 1982, 1983, 1984, 1985, 1986, 1987, 1988, 1989, 1990, 1991, 1992, 1993, 1994, 1995, 1996, 1997, 1998, 1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, <

for the purpose of the investigation, the following information is being furnished to you:



# DEED - 1102

Together with all and singular the improvements, ways, streets, alleys, passages, waters, water courses, rights, liberties, privileges, hereditaments and appurtenances whatsoever, unto the hereby granted premises belonging, or in anywise appertaining, and the revenues and remainder, rents, issues and profits thereof; and all the estate, right, title, interest, property, claim and demand whatsoever of the said grantors, as well as law as in equity, of, in, and to the same.

To Have and to Hold the said lot of land of ground above described hereditaments and premises hereby granted, or mentioned and intended to be, with the appurtenances, unto the grantees hereinafter and assigns, to and for the only and proper use and behoof of the grantees hereinafter and assigns forever.

Under and subject to the above reservations.

And the said grantees for themselves, their heirs, executors and administrators, do covenant, promise and agree, to and with the grantees hereinafter and assigns, that they the said grantees hereinafter and assigns, all and singular the hereditaments and premises hereby granted, or mentioned and intended to be, with the appurtenances unto the said grantees hereinafter and assigns, against themselves, their heirs, executors and administrators, their

heirs, and against all and every other person and persons whomsoever lawfully claiming or to claim the same, or any part thereof, by, from or under him, her, him or any of them, shall and will.

## Warranty and forever Defend.

In witness whereof, the parties of the first part have hereunto set their hands and seals. Dated the day and year first above written.

MADE AND DELIVERED  
in presence of us  
John Mc Kee

John Tyeon

Natalie E. Tyeon

Witness on the day of the date of the above signatures, of the above named grantees full consideration money hereinabove mentioned.

John Tyeon  
Natalie E. Tyeon

On the 25th day of March, 1960, before me, the undersigned, a Notary Public for the Commonwealth of Pennsylvania, residing in the City of Philadelphia, personally appeared the above named John Tyeon and Natalie E. Tyeon, his wife, and in due form of law acknowledged that above signatures to be their and each of their full and true, and signed the same of record as such.

Witness my hand and Notarial Seal the day and year aforesaid.  
The address of the above named grantor  
1071 Broadway, New York City  
John Mc Kee  
Notary Public for the State of New York

John Mc Kee

Notary Public

My Commission expires 2/6/68

Recorded April 6-1960

Witnessed by O.R.C.

Notary Public

John Tyeon  
Natalie E. Tyeon



DELAWARE COUNTY

RIGHT OF WAY DEED BOOK 1676 page 552

John Tyson and Natalie E. his wife hereinafter called "Grantors" (being the owners of certain lands and property fronting on County Line Road and Gulph Creek Road in Radnor Township, Delaware County, Pennsylvania, and specifically described in Deed from Haven Emerson and Albert Bartram Kelley, Executors of the Will of Marion Mott, deceased to Grantors dated March 28, 1949 and recorded in the Office for the Recording of Deeds in and for said County in Deed Book No. 110 at page 327, etc.,)

to

Philadelphia Suburban Water Company (a Penna. corp.)

GRANTING the two following described perpetual and exclusive rights of way and easements at any and all time hereafter to lay, relay, install, operate, inspect, maintain, repair, alter, remove, renew and replace through, across and under said lands and property now of grantors a pipe line and appurtenances (including a blow off drain) for the transmission of water the first of said rights of way to consist of a strip of ground twenty feet wide extending across said lands and property now of grantors to connect with rights of way of said Philadelphia Suburban Water Company located or to be located in the aforesaid roads adjoining said lands and property of grantors, the center line of said strip to be located as shown on the annexed plan prepared by Albright & Friel, Inc., Consulting Engineers, and dated January 25, 1954, said pipe line to be within the limits of said first right of way and to have a maximum inside diameter of 24 feet and the second of said rights of way to consist of a strip of ground twenty feet wide extending across said lands and property now of grantors from Gulph Creek Road to Gulph Creek to connect with rights of way of said Philadelphia Suburban Water Company located or to be located in said Gulph Creek Road adjoining said lands and property of grantors, the center line of said strip to be located as shown on the annexed plan aforesaid, for the purpose of said second right of way and have a maximum inside diameter of 4 inches.

TOGETHER with the right of ingress, egress and regress to and from each of said twenty feet wide strips of ground at any and all times for the purposes of laying, relaying, installing, operating, inspecting, maintaining, repairing, altering, removing, renewing and replacing said replacing said pipe line and appurtenances (including blow-off drain); and together with the right to do in or to said lands what may be required for the full enjoyment of the rights and easements herein granted; but subject to the obligation of said Philadelphia Suburban Water Company, its successors and assigns, after laying said pipe line and appurtenances (including blow-off drain) and after any subsequent maintenance, repair, alteration, removal, or replacement thereof by it or them, to restore the surface of the ground disturbed by it or them as nearly as practicable to its contour prior to such disturbance thereof;

RESERVING, however, to grantors the right to use the ground within the limits of said rights of way easements hereby granted for ingress, egress and regress provided that such use shall not interfere with or obstruct the rights herein granted;

To have and to hold all and singular the rights, liberties, privileges, rights of way easements above described, with the appurtenances, (including blow-off drain) unto said Philadelphia Suburban Water Company, its successors and assigns, to and for the only proper use and behoof of the said Water company, its successors and assigns forever.

This grant and all of the covenants herein contained shall inure to the benefit of and shall be binding upon grantors, their and each of their heirs and assigns, and Philadelphia Suburban Water Company, its successors and assigns.

Grantors understand acknowledge that the person securing this grant is without authority to make any agreement in regard to the subject matter hereof which is not expressed herein and that no such agreement will be binding on said Philadelphia Suburban Water Company, its successors or assigns.



# This Indenture

Made the 17th day of JANUARY in the year of our Lord one thousand nine hundred and seventy-two (1972) —

BETWEEN, JOSEPH M. H. WEAVER and MARY PERSONS WEAVER, his wife,

(hereinafter called the Grantors), of the one part,

CHARLES C. BERTWIST

(hereinafter called the Grantee), of the other;

~~Witnesseth,~~ That the said Grantors — for and in consideration of the sum of

Fifteen hundred Dollars (\$1500.00)

lawful money of the United States of America, unto them well and truly paid by the Grantee; at or before the sealing and delivery hereof, the receipt whereof is hereby acknowledged have — granted, bargained and sold, released and confirmed, and by these presents do grant, bargain and sell, release and confirm unto the said Grantee, his heirs and assigns,

ALL THAT CERTAIN lot or piece of ground, situated in the Township of Ravine, County of Delaware, Commonwealth of Pennsylvania, described in accordance with a Map of Property of Joseph M. Weaver, et al., made by Yerkes Associates, Inc., Consulting Engineers and Surveyors, dated October 1, 1971 as follows, to wit:

BEGINNING at an interior point, which point is at the distance seven hundred feet measured South fifty nine degrees, thirty minutes West along the southeasterly side of a certain forty foot wide right of way from a point in the center line of County Line Road; thence South sixty two degrees, thirty five minutes West sixty one feet and five one-hundredths feet to a point; thence extending North thirty seven degrees, twenty five minutes West twenty three feet and one one-hundredths feet to a point in the center line of said right of way; thence extending through the bed of said right of way (which right of way is of varying width) the two following distances: (1) North sixty five degrees, fifty nine minutes and one and eighty five one-hundredths feet to a point and (2) South sixty one degrees, nine minutes, thirty seconds East thirty six and sixty one one-hundredths feet to the first mentioned point and place of beginning BEING Parcel #2 on said Plan.

BEING part of the same premises which Oren H. Persons, Sr. and Alice E. Persons his wife, by Indenture bearing date the 4th day of October A.D., 1957 and recorded in the Office for the Recording of Deeds, in and for the County of Delaware, the 17th day of October A.D., 1957 in Deed Book No. 1924 page 85 etc., granted and conveyed unto Mary Persons Weaver, in fee.

UNDER AND SUBJECT to certain Rights of Way now of record.

ALSO UNDER AND SUBJECT to the easement of that portion of the thirty feet wide right of way lying within the above premises, the middle line of which forms the Northerly boundary of said premises, for the benefit of the owners, tenants and occupier the premises adjoining to the North, and to the West thereof, to whom the use of the said right of way may be granted.

TOGETHER with the free and common use, right, liberty and privilege of ingress and egress over and along the said thirty feet wide right of way, the middle



line of which forms the northerly boundary line of premises above described; and over and along the said thirty feet wide right of way, the middle line of which is located as follows:

BEGINNING at a point in the middle line of the aforesaid forty feet wide right of way and extending along the middle line of said thirty feet wide right of way South sixty five degrees, fifty nine minutes West, Twenty eight and seventy two one-hundredths feet to a point in line of land now or late of E. Harmon Friel; and over and along said forty feet wide right of way which extends from the hereinbefore described thirty feet wide right of way North fifty nine degrees, fifty minutes East, Seven hundred feet to a point in said middle line of County Line Road, in common with the owners, tenants and occupants of the other premises bounding thereon, and to which the use thereof may be given.



Date 1-19-72  
Transfer to 15-720  
Madison  
21



**Together** with all and singular the <sup>improve</sup> ways, streets, alleys, passages, waters, water-courses, rights liberties, privileges, hereditaments and appurtenances, whatsoever unto the hereby granted premises belonging, or in any appertaining, and the reversions and remainders, rents, issues and profits thereof: and a estate, right, title, interest, property, claim and demand whatsoever of them, the said Grantor, as well at law as in equity, of, in, and to the same.

**To have and to hold** the said lot or piece of ground above described hereditament and premises hereby granted, or mentioned and intended so to be, with the appurtenances the said Grantor, his heirs and assigns, to and for the only proper behoof of the said Grantee, his heirs and assigns forever.

UNDER AND SUBJECT as aforesaid.

**And** the said Grantors, for themselves, their

heirs, executors and administrators, do covenant, promise and agree to and with the Grantor, his heirs and assigns, by these presents, that they, the said Grantors and their

heirs, all and singular the hereditaments and premises hereby granted mentioned and intended so to be, with the appurtenances, unto the said Grantee, his heirs and assigns, against them, the said Grantors, and their

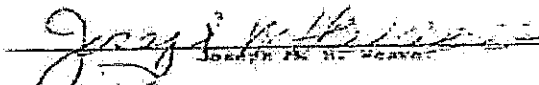
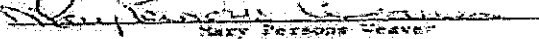
heirs, and against all and every person and persons whatsoever claiming or to claim the same or any part thereof, by, from or under him, her, them or any of them, shall as

SUBJECT as aforesaid.

WARRANT and forever DEFEND.

In Witness Whereof, the parties of the First Part have hereunto set their hands and seals. Dated the day and year first above written.

Witness and Believed  
IN THE PRESENCE OF US:

  
Joseph H. Weaver  
  
Mary Persons Weaver

Witnessed on the day of the date of the above Indenture, of the above-named Grantee



On the 11th day of January, Anno Domini 1972 before me, the  
 subscriber, a Notary Public for the Commonwealth of Pennsylvania, residing in the County  
 of Talbot personally appeared the above-named

JOSEPH M. H. WEAVER and MARY PERSONS WEAVER, his wife,

and in due form of law acknowledged  
 the above instrument to be their and each of their act and deed, and desired the same  
 might be recorded as such.

Witness my hand and Notarial seal the day and year aforesaid.

Notary Public

MY COMMISSION EXPIRES JULY 1973

The address of the above-named Grantor

is John C. Clark Co., Inc.

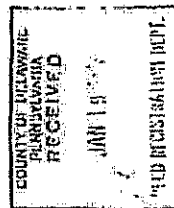
Occupant of the Grantor

THE TITLE INSURANCE CORPORATION OF PENNSYLVANIA

3687760  
 4758236

**DEC.**

JOSEPH M. H. WEAVER,  
 BY UK



REGISTERED  
 IN  
 HADLEY Township  
 DELAWARE COUNTY, PA.

TO

CHARLES G. BERNING

John C. Clark Co., Inc.  
 2530 County Mine Road,  
 Radnor Township, Delaware County,  
 Pennsylvania

Recorded in the office for recording of deeds in and for Delaware County,

in Deed Book

No. 2421

page 71-

Ac

Witness my hand and seal of office this

Nineteenth

day of

January Anno Domini 1972

Edwin S. Henson, Notary Public

Deputy Recorder

1

2421 717



YOUTERSPACES, INC.  
15 Temple Rd  
Glen Mills, PA 19342

Folio # 36-02-01047-00

**STORMWATER CONTROLS AND BEST MANAGEMENT PRACTICES  
OPERATIONS AND MAINTENANCE AGREEMENT**

THIS AGREEMENT, made and entered into this 10th day of March,  
2007, by and between James Schwartz (hereinafter "Landowner"), and RADNOR  
TOWNSHIP, Delaware County, Pennsylvania.  
WITNESSETH

WHEREAS, the Landowner is the owner of certain real property as recorded by deed  
the land records of Delaware County, Pennsylvania, Deed Book \_\_\_\_\_ at Page \_\_\_\_\_,  
(hereinafter "Property") AKA 401 GULPH CREEK ROAD.

WHEREAS, the Landowner is proceeding to build and develop the Property; and

WHEREAS, the Stormwater Controls and BMP Operations and Maintenance Plan  
approved by the Municipality (hereinafter referred to as the "Plan") for the property identified  
herein, which is attached hereto as Appendix A and made part hereof, as approved by the  
Municipality, provides for management of stormwater within the confines of the Property  
through the use of Best Management Practices (BMPs); and

WHEREAS, the Municipality, and the Landowner, his successors and assigns, agree that  
the health, safety, and welfare of the residents of Radnor Township and the protection and  
maintenance of water quality require that on-site stormwater Best Management Practices be  
constructed and maintained on title Property; and

WHEREAS, for the purposes of this agreement, the following definitions shall apply:  
BMP - "Best Management Practice;" activities, facilities, designs, measures or procedures  
used to manage stormwater impacts from land development, to protect and maintain water  
quality and groundwater recharge and to otherwise meet the purposes of the Municipal  
Stormwater Management Ordinance, including but not limited to infiltration trenches, seepage  
pits, filter strips, bioretention, wet ponds, permeable paving, rain gardens, grassed swales,  
forested buffers, sand filters and detention basins.

- Infiltration Trench - A BMP surface structure designed, constructed, and maintained for  
the purpose of providing infiltration or recharge of stormwater into the soil and/or  
groundwater aquifer,
- Seepage Pit - An underground BMP structure designed, constructed, and maintained for  
the purpose of providing infiltration or recharge of stormwater into the soil and/or  
groundwater aquifer,
- Rain Garden - A BMP overlain with appropriate mulch and suitable vegetation designed,  
constructed, and maintained for the purpose of providing infiltration or recharge of

RD BK04055-0530

DE-00000000000000000000

2007025142 03/19/2007 01:13:53 PM:1

RCD FEE: \$68.00



DE-RADNOR \$0.00

THOMAS J. JONES SR. REC

DELAWARE  
COUNTY



stormwater into the soil and/or underground aquifer, and

**WHEREAS**, the Municipality requires, through the implementation of the Plan, that stormwater management BMPs as required by said Plan and the Municipal Stormwater Management Ordinance be constructed and adequately operated and maintained by the Landowner, his successors and assigns, and

**NOW, THEREFORE**, in consideration of the foregoing acknowledgements, the mutual covenants contained herein, and the following terms and conditions, the parties hereto agree as follows:

1. The BMPs shall be constructed by the Landowner in accordance with the plans and specifications identified on the Plan.
2. The Landowner shall operate and maintain the BMP(s) as shown on the Plan in good working order and in a manner acceptable to the Municipality and in accordance with the specific maintenance requirements noted on the Plan.
3. The Landowner hereby grants permission to the Municipality, its authorized agents and employees, to enter upon the property, at reasonable times and upon presentation of proper identification, to inspect the BMP(s) whenever it deems such inspection to be necessary. Whenever possible, the Municipality shall notify the Landowner prior to entering the property.
4. In the event the Landowner fails to operate and maintain the BMP(s) as shown on the Plan in good working order and in a manner acceptable to the Municipality, the Municipality or its representatives may enter upon the Property and take whatever action is deemed necessary to repair and/or maintain said BMP(s). This provision shall not be construed to allow the Municipality to erect any permanent structure on the land of the Landowner. It is expressly understood and agreed that the Municipality is under no obligation to maintain or repair said facilities, and in no event shall this Agreement be construed to impose any such obligation on the Municipality.
5. In the event the Municipality, pursuant to this Agreement, performs work of any nature, or expends any funds in performance of said work for labor, use of equipment, supplies, materials, and the like, the Landowner shall reimburse the Municipality for all expenses (direct and indirect) incurred within 10 days of receipt of invoice from the Municipality.
6. The intent and purpose of this Agreement is to ensure the proper maintenance of the onsite BMP(s) by the Landowner; provided, however, that this Agreement shall not be deemed to create or effect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.
7. The Landowner, its heirs, executors, administrators, assigns, and other successors in



interests do hereby release Municipality's employees, staff, elected and appointed officials and designated representatives from any and all past, present and future actions, causes of action, demands, claims, damages, loss of services, expenses, compensation, third party actions, suits at law or in equity, including claims or suites for contribution and/or indemnity and all consequential damage on account of or in any way growing out of any and all known and unknown personal injuries and all property damage, including without limitation, any and all claims arising out of construction, presence, existence or maintenance of the BMP(s) by the Landowner or Municipality. In the event that a claim is asserted against the Municipality, its designated representatives, staff, elected or appointed officials or employees, the Landowner will immediately indemnify and hold harmless the said Municipality, its designated representatives, employees, staff, elected and/or appointed officials named from any loss, cost and expense and, any and all claims against them or any of them, for contribution and indemnity by any other person, firm or corporation which arises from, or is related to construction, presence, existence or maintenance of the BMP(s) by the Landowner or Municipality. In the event that any judgment or claim against the Municipality, its designated representatives, employees, staff elected or appointed officials will be allowed by any court of competent jurisdiction, then the Landowner shall pay all costs and expenses relating to said judgment or claim in order that the same be immediately fully satisfied.

8. The Municipality shall make every effort to inspect the BMP(s) at a minimum of once every three years to insure their continued functioning. However, in the event that the Municipality fails, for whatever reason, to perform said inspections the failure to provide such inspection shall in no way be used against the Municipality; the responsibility for the maintenance and operation and repair BMP(s) shall always be the sole responsibility of Landowner hence, it is Landowner's responsibility to properly inspect the BMP at regular intervals to insure its continued and proper functioning.

This Agreement shall be recorded at the Office of the Recorder of Deeds of Delaware County, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, and shall be binding on the Landowner, his heirs, administrators, executors, and assigns, and any other successors in interests, in perpetuity.



ATTEST:

WITNESS the following signatures and seals:

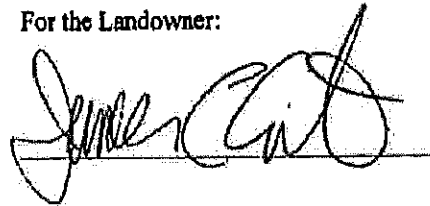
(SEAL)

For the Municipality:

  
David Bashore, Twp. Manager

(SEAL)

For the Landowner:



ATTEST:


 (City, Township)

County of DELAWARE, Pennsylvania

I, the undersigned officer, a Notary Public in and for the County and State aforesaid, whose commission expires on the 23<sup>rd</sup> day of November, 2008, hereby acknowledge, personally appeared James C. [illegible] who being duly sworn according to law, deposes and says that he/she is the owner or equitable owner of the property herein described.

GIVEN UNDER MY HAND THIS

29<sup>th</sup> day of March, 2007

  
NOTARY PUBLIC

(SEAL)

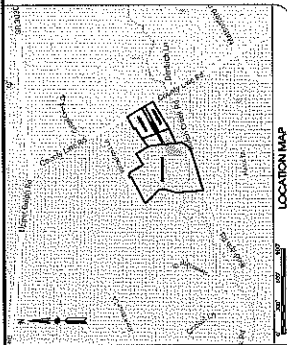
COMMONWEALTH OF PENNSYLVANIA  
Notarial Seal  
Linda L. Campbell, Notary Public  
City Of Philadelphia, Philadelphia County  
My Commission Expires Nov. 23, 2008  
Member, P.E. Pennsylvania Association Of Notaries







# LOT LINE CHANGE MINOR SUBDIVISION PLAN 585 COUNTY LINE ROAD



DRAWING SCHEDULE  
COVER SHEET  
EXISTING FEATURES  
PROPOSED PLAN  
(RECORDING SHEET 1 OF 1)

SHEET No.  
1  
2  
3

THIS MINOR SUBDIVISION PLAN IS BEING  
SUBMITTED AS A FINAL PLAN PER §255-22.

DATE	REVISION

PLAN PREPARED BY  
**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19389  
P: 610-240-0450 E: SITE@ENGINEERS.COM

PLAN PREPARED FOR  
**JAMES & ALLISON MCGUCKIN**  
585 COUNTY LINE ROAD  
RADNOR, PA 19087  
P: 610-240-0450 E: SITE@ENGINEERS.COM



OWNER, 585 COUNTY LINE RD:  
**JAMES AND ALLISON MCGUCKIN**  
585 COUNTY LINE ROAD  
WAYNE, PA 19087  
E: JAMESMCGUCKIN03@GMAIL.COM

AERIAL VIEW PLAN  
SCALE: 1"=200'-4"

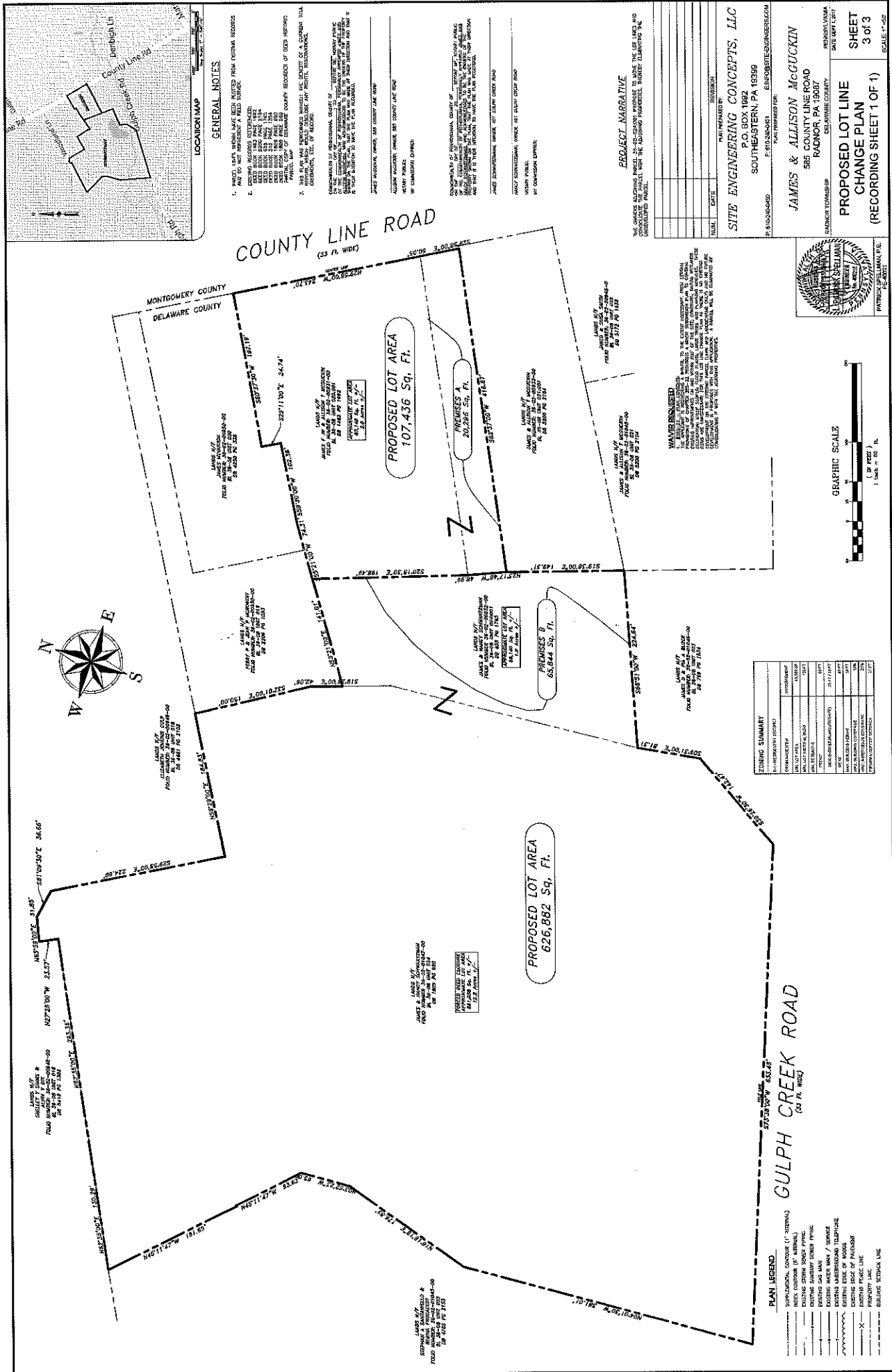
CIVIL ENGINEER:  
**SITE ENGINEERING CONCEPTS, LLC**  
ATTN: PATRICK SPELLMAN, P.E.  
P.O. BOX 1992 SOUTHEASTERN, PA 19389  
P: 610-240-0450 E: PLAMBERT@SITE-ENGINEERS.COM

COVER SHEET  
SHEET  
1 of 3













**Gannett Fleming**

*Excellence Delivered As Promised*

**Date:** October 11, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** Cabrini University – Master Plan Revision  
Eric Olson C/O Cabrini University – Applicant

**Date Accepted:** July 18, 2017

**90 Day Review:** October 16, 2017 extended to November 14, 2017

---

Gannett Fleming, Inc. has completed a review of the preliminary Cabrini University Master Plan revision for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The existing property is located in the PI zoning district. Preliminary plan approval for the overall campus master plan was received in 2013. A revision to the preliminary plan was granted in 2014 for Phase 1 of the plan. The applicant is proposing to demolish an existing residence hall and parking and construct a new residence hall, parking structure, drive and parking improvements as Phase 2. Phase 3 of the plan includes construction of a parking structure, campus center building and a drop off area.

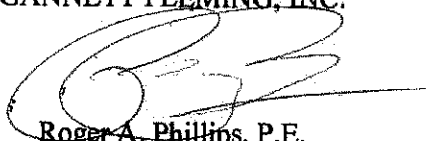
**Plans Prepared By:** Site Engineering Concepts, LLC  
**Dated:** 09/04/2017, last revised 09/14/2017

All outstanding engineering items have been adequately addressed.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager







**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

**Date:** October 12, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Amy B. Kaminski, P.E., PTOE

**cc:** Damon Drummond, P.E., PTOE  
Leslie Salisbury, E.I.T.

**Reference:** Cabrini University – Phase 2 Land Development  
Preliminary Masterplan Review  
Phase 2 Final Land Development Plan Review  
Transportation Impact Assessment Review  
Radnor Township, Delaware County  
G&A 14-05020-02

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following comments for Radnor Township consideration:

**A. Background**

The overall parcel is approximately 112 acres in size and is zoned PI (Planning Institutional District). The Applicant proposes to construct a 207-bed residence hall, provide improved pedestrian access and restrict vehicular access to the core of the campus. In addition, a 14 parking space surface lot and a 174 space parking garage are proposed for construction under this phase.

**B. Reviewed Documents**

1. Overall Proposed Site Improvements (Preliminary Masterplan) for Cabrini University, prepared by Site Engineering Concepts, LLC, dated January 15, 2012 and last revised September 14, 2017.
2. Cabrini University Phase 2 Final Land Development Plans prepared by Site Engineering Concepts, LLC consisting of 28 sheets, dated July 10, 2017 and last revised September 14, 2017.
3. Traffic Impact Assessment for Cabrini University Phase 2 Land Development, prepared for Radnor Township, prepared by F. Tavani and Associates, Inc., dated September 12, 2017.

**C. Preliminary Master Plan Review**

1. Revise the masterplan to identify the pedestrian trail located at the southern end of the campus along with the pedestrian crosswalk on Eagle Road. Details regarding future improvements to this trail for ADA accessibility must be provided

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65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | 215-345-4330 | 215-345-8606  
508 Corporate Drive West | Langhorne, PA 19047 | 215-369-3955 | 215-345-8606  
184 W. Main Street | Suite 300 | Trappe, PA 19426 | 610-489-4949 | 610-489-8447  
425 McFarlan Road | Suite 102 | Kennett Square, PA 19348 | 610-444-9006 | 610-444-7292  
5100 Tilghman Street | Suite 150 | Allentown, PA 18104 | 610-366-8064 | 610-366-0433  
One Penn Center at Suburban Station | 1617 JFK Blvd. | Suite 820 | Philadelphia, PA 19103 | 215-687-4246 | 215-564-1780  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)



in future submissions since the construction of the parking garage will alter the access and use of this trail.

**D. Phase 2 Final Land Development Review**

**1. Subdivision and Land Development Review**

- a. §255-29.A(12)(b) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The width of the driveway access to the west turnaround area is less than the minimum requirement. Revise the plans to comply with this section or a waiver will be required.
- b. §255-29.A(14) – No less than a five (5) foot radius of curvature shall be permitted for all curblines in parking areas. We recommend the Applicant provide minimum five (5) foot radii at the east and west turnaround areas adjacent to the removable bollards.
- c. §255-37.B – The minimum width of sidewalks and pedestrian paths shall be four (4) feet. It appears the sidewalk to the southeast of Bruckmann Chapel is less than the minimum requirement. Revise the plans accordingly.

**2. General Comments**

- a. We recommend pedestrian lighting along all proposed walkways. It appears there is no existing or proposed lighting along the proposed sidewalk to the north of the western turnaround.
- b. All new pedestrian facilities should be designed to be ADA compliant. Spot elevations and dimensions should be provided in order to verify compliance and constructability. See PennDOT RC-67 for further details.
- c. It is unclear whether or not a curb ramp is proposed adjacent to the ADA parking area along the South Loop Drive. ADA accessible access should be provided from the parking area to the proposed residence hall.
- d. Sheet 12 of 28: Verify the scale.
- e. Provide details for all proposed signage.
- f. Sheet 28 of 28 (Proposed Parking Structure)
  - i. Provide a stopbar and stop sign, facing west, along the drive aisle adjacent to the exit.
  - ii. Provide dimensions for the two-way aisles.

**3. Transportation Impact Assessment Comments**

- a. §255-20.B(5)(d)[6][a] – As previously stated, all streets and/or intersections showing a Level of Service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. King of Prussia Road and Eagle Road/Pine indicates LOS below C during the PM peak hour. The Applicant has indicated that future improvements are under consideration for this intersection in coordination with Eastern University. The included letter dated September 20, 2017 indicates a grant application is being pursued by Cabrini and Eastern Universities along with Radnor Township; however, the report does not identify how these improvements will



mitigate the noted deficiencies.

- b. As noted in the September 20, 2017 response letter, the Applicant's engineer states the right in/right out access at the Cabrini Driveway to Eagle Road opposite Paul Road does not require any modification as the left turn exit volumes are low (0 during the AM peak hour and 3 during the PM peak hour) and modifications will not alter these numbers and could impede emergency response to the Campus. In addition, the engineer's response expresses concerns related to any intersection modifications to this access that may disturb the nearby pillars and a stream.

We call to attention that there are 4 and 10 vehicles exiting this access as through movements and 4 and 5 vehicles continuing northbound from Paul Road into this access during the AM and PM Peak Hour bringing to total, 8 AM Peak Hour vehicles and 18 PM Peak Hour Vehicles performing illegal traffic movements at this access to Eagle Road. Our concern is directly related to the continued use by motorists performing illegal movements and safety concerns related to those traffic movements.

Regardless of the impact to the pillars and streams, the access is apparently not designed to adequately deter the illegal vehicular movements into and out of the access and we recommend either closing the access entirely to vehicular movement and altering it to an emergency vehicle access only or redesigning the access to more effectively deter the illegal movement by motorists.

- c. The following comments pertain to discrepancies between the Manual Turing Movement counts and Figure 4 provided in the report. The Applicant should revise these figures as necessary and ensure the changes are translated throughout the analysis. Verify the volumes at the following locations:
  - i. King of Prussia Rd and Cabrini Dr AM northbound through; it appears the volume should be revised from 588 to 546.
  - ii. King of Prussia Rd and Eagle Rd AM southbound through; it appears the volume should be revised from 510 to 468.
  - iii. King of Prussia Rd and Cabrini Dr PM southbound through; it appears the volume should be revised from 456 to 414.
  - iv. King of Prussia Rd and Eagle Rd PM northbound through; it appears the volume should be revised from 552 to 467.
- d. As previously noted, the following comments pertain to discrepancies between the 145 King of Prussia Rd Redevelopment volumes (Page 69), 2017 existing volumes (Figure 4) and 2021 Future No Build volumes (Figure 5) provided in the report. The Applicant should revise these figures as necessary and ensure the changes are translated throughout the analysis. Verify the volumes at the following locations:
  - i. King of Prussia Rd and Cabrini Dr.:
    - 1. AM northbound left; it appears the volume should be revised from 68 to 69.
    - 2. AM northbound through; it appears the volume should be revised from 605 to 562.
    - 3. PM southbound through; it appears the volume should be revised from 505 to 430.



4. PM northbound left: It appears the volume should be revised from 69 to 70.
  5. PM northbound through; it appears the volume should be revised from 551 to 582.
  6. PM eastbound right: It appears the volume should be revised from 56 to 57.
- ii. King of Prussia Rd and Eagle Rd:
1. AM southbound through; it appears the volume should be revised from 561 to 518.
  2. PM southbound through; it appears the volume should be revised from 537 to 505.
  3. PM northbound through; it appears the volume should be revised from 570 to 516.
- e. Revise the background growth calculations (page 65) per the Manual Turning Movement counts noted above and adjust the report accordingly.

ABK/DAD/LAS



# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

---

14 September 2017

Roger Phillips, P.E.  
Township Engineer  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

Re: Cabrini University – Master Plan Revision

Dear Mr. Phillips,

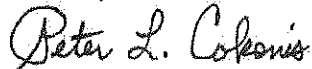
Please find the attached Final Land Development Plan Phase 2 for Cabrini University revised per your July 27, 2017 comments. (*Comment, response*):

*1. The handicapped parking tally for the entire campus appears to be incorrect. This must be revised.*  
The added spaces has been corrected such that the proposed total is 39, which matches the total for the Phase 2 Final Plan.

*2. This plan is labeled sheet 3 of 21. The title block of the plan should be revised to indicate this is a revised preliminary plan.*  
Revised as requested.

I believe these comments satisfactorily address your review comments. Should you have any questions and/or comments, please feel free to contact me.

Sincerely,



Peter L. Cokonis, P.E.



---

# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT

---

### Memorandum

To: Radnor Township Planning Commission

From: Stephen F. Norcini, PE, Township Engineer 

CC: Robert A. Zienkowski, Township Manager  
Roger Phillips, PE, Gannett Fleming, Incorporated  
Amy Kaminski, PE, PTOE, Gilmore & Associates  
Peter Nelson, Solicitor, Grim, Beihn, & Thatcher

Date: August 1, 2017

---

Re: **Cabrini University, August 7th Planning Commission Submission**  
**1. Campus Master Plan; Amended Preliminary Application**  
**2. Parking Garage, Residence Hall, and Pedestrian**  
**Improvements, Final Application**

---

Cabrini University will be presenting two applications to the Planning Commission at the August 7<sup>th</sup>, 2017 regularly scheduled Planning Commission Meeting:

1. An amended preliminary Land Development application for their Campus Master Plan. The application before the Planning Commission is amended from their original preliminary approval. The University had met informally with the Township Manager and staff, prior to the application submission, to keep the Township abreast of their Campus Master Plan and their intentions for the University moving into the future.
2. The University is moving forward with these two applications in a parallel fashion; updating the Master Plan to reflect the changes shown, while simultaneously moving forward on Final Approval of the second phase of the



Master Plan. This includes proposed structured parking, a residence hall, and pedestrian improvements to the campus.

At the August Shade Tree Commission meeting, the Commission recommended approval of these two applications.

Please find attached the plans and review letters from Roger Phillips, PE, and Amy Kaminski, PE, PTOE.

The University is represented by George W. Broseman, Esquire, of Kaplan Stewart and Robert Lambert, PE, of Site Engineering Concepts (amongst others).

As an aside, the Township, Cabrini University, and Eastern University will be going before the Board of Commissioners at an upcoming meeting in regards to a possible joint grant application for improvements to the King of Prussia/Eagle Road/Pine Tree Road intersection.





**Gannett Fleming**

*Excellence Delivered As Promised*

**Date:** July 27, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** Cabrini University – Master Plan Revision  
Eric Olson C/O Cabrini University – Applicant

Date Accepted: July 18, 2017  
90 Day Review: October 16, 2017

---

Gannett Fleming, Inc. has completed a review of the preliminary Cabrini University Master Plan revision for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The existing property is located in the PI zoning district. Preliminary plan approval for the overall campus master plan was received in 2013. A revision to the preliminary plan was granted in 2014 for Phase 1 of the plan. The applicant is proposing to demolish an existing residence hall and parking and construct a new residence hall, parking structure, drive and parking improvements as Phase 2. Phase 3 of the plan includes construction of a parking structure, campus center building and a drop off area.

Plans Prepared By: Site Engineering Concepts, LLC  
Dated: 09/04/2017, last revised 07/10/2017

The following comments must be addressed prior to approval:

1. The handicapped parking tally for the entire campus appears to be incorrect. This must be revised.
2. This plan is labeled sheet 3 of 21. The title block of the plan should be revised to indicate this is a revised preliminary plan.





**Gannett Fleming**

S. Norcini  
Cabrinì Master Plan  
July 27, 2017

If you have any questions or require any additional information, please contact me.

Very truly yours,

**GANNETT FLEMING, INC.**

A handwritten signature in black ink, appearing to read 'Roger A. Phillips', is written over the company name.

**Roger A. Phillips, P.E.**  
Senior Project Manager







**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

---

**Date:** July 28, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E.,PTOE

**cc:** Amy B. Kaminski, P.E., PTOE

**Reference:** Cabrini University – Phase 2 Land Development  
Preliminary/Final Land Development Plans Review 1  
Transportation Impact Assessment Review 1  
Radnor Township, Delaware County  
G&A 14-05020-02

---

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following comments for Radnor Township consideration:

**A. Background**

The overall parcel is approximately 112 acres in size and is zoned PI (Planning Institutional District). The Applicant is proposing to construct a 207-bed residence hall and to transform the core of the campus to a pedestrian friendly (no vehicles) area. Some of the existing internal roadways will be converted to pedestrian walkways. In addition, two new parking areas including a 14 space surface lot and a 174 space parking garage are proposed for construction.

**B. Reviewed Documents**

1. Cabrini University Phase 2 Final Land Development Plans prepared by Site Engineering Concepts, LLC consisting of 26 sheets and dated July 10, 2017.
2. Traffic Impact Assessment for Cabrini University Phase 2 Land Development, prepared for Radnor Township, prepared by F. Tavani and Associates, Inc., dated July 7, 2017.
3. Overall Proposed Site Improvements (Preliminary Master Plan) for Cabrini University, prepared by Site Engineering Concepts, LLC, dated July 10, 2017.
4. Subdivision and Land Development Application.
5. Application for ACT 247 Review.

---

**BUILDING ON A FOUNDATION OF EXCELLENCE**

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | 215-345-4330 | 215-345-8606  
508 Corporate Drive West | Langhorne, PA 19047 | 215-369-3955 | 215-345-8606  
184 W. Main Street | Suite 300 | Trappe, PA 19426 | 610-489-4949 | 610-489-8447  
425 McFarlan Road | Suite 102 | Kennett Square, PA 19348 | 610-444-9006 | 610-444-7292  
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One Penn Center at Suburban Station | 1617 JFK Blvd. | Suite 820 | Philadelphia, PA 19103 | 215-687-4246 | 215-564-1780  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)



**C. Subdivision and Land Development Ordinance Comments**

1. §255-29.A(1) – The minimum dimensions of stalls shall be 9 ½ feet by 20 feet. Revise the proposed parking stalls on the plans to meet this requirement. The proposed parking stalls by the West Turnaround are noted as 9 feet x19 feet.
2. 255-29.A(12)(b) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use.
3. §255-29.A(14) – No less than a five (5) foot radius of curvature shall be permitted for all curblines in parking areas.
4. §255-21.B(1)(o)[3] – Parking areas in nonresidential developments shall include all necessary dimensions and number of parking spaces (including handicapped parking).
5. §255-21.B(1)(o)[7] – The width of all proposed sidewalks and pedestrian paths shall be shown on the plans.

**D. General Comments**

1. Consider installing a barrier (i.e. curbing or grass verge) between the west turnaround and the adjacent sidewalk east of the area.
2. Sheets 10-12 should be revised to include the following:
  - a. Cartway width of all the roadways.
  - b. Roadway names (i.e. Drive A) for identification purposes.
  - c. Width of the parking aisles.
  - d. Dimensions of the proposed parking spaces (including handicapped spaces).
  - e. Pavement marking and striping details (color, width, etc.) for all parking stalls, crosswalks and pavement markings.
  - f. Extend the proposed contours to the limits of the proposed work.
  - g. Clearly identify all proposed curb ramps.
  - h. Label all propose curb radii.
3. The plans indicate removal of existing parking and vehicular circulation in the core of the campus. Revise the plans to clearly show how vehicular circulation will be restricted (i.e bollards, gates, etc.). Include an additional sheet clearly showing the proposed site circulation for vehicles within the campus.
4. There is a proposed driveway shown on the Master Plan north of the Dixon Center noted to be installed as part of Phase 2. Revise the plans to show these improvements or remove it from the Master Plan under Phase 2.
5. We recommend pedestrian lighting along all proposed walkways.
6. The applicant must include truck-turning templates to ensure adequate turn radii to accommodate the largest anticipated trucks accessing the site at the proposed eastern and western turnaround areas.
7. The applicant must provide firetruck turning templates to ensure adequate emergency access to all building effected by the traffic circulation modifications. The firetruck turning templates should be submitted to the Fire Marshall for review.



8. All new pedestrians facilities should be designed to be ADA compliant.
9. A crosswalk is recommended between the two curb ramps south of the proposed parking facility.
10. Sheet 10, east of the proposed west turnaround area, consider eliminating the second set of bollards just east of the crosswalk. This would improve emergency response time if the bollards needed to be removed for access.
11. Sheet 12, it is unclear if bollards are proposed west of the proposed east turnaround. If bollards are proposed, please label.
12. Future plan submissions should be accompanied by a cover letter prepared by the Applicant and include a list of all outstanding comments along with detailed responses addressing each comment.

**E. Transportation Impact Assessment Comments**

1. §255-20.B(5)(d)[6][a] – All streets and/or intersections showing a Level of Service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. King of Prussia Road and Eagle Road/Pine indicates LOS below C during the PM peak hour.
2. The southbound queue at the intersection of King of Prussia Road and Eagle Road/Pine extends beyond the available storage for the intersection. The applicant should evaluate improvements for the build queue to fit within the available storage area or be no worse than no-build conditions.
3. Upper Gulph Road at the intersection with the Cabrini driveway is a state route (S.R. 1008). Revise Table 1 accordingly.
4. Cabrini Drive at Paul Road and Eagle Road is a right-in/right-out driveway; however, the manual turning movement counts as well as the report figures show Eagle Road eastbound lefts into the site as well as southbound Cabrini Drive lefts out of the site. The applicant should discuss improvements that would eliminate the need for turn restrictions at the intersection or improvements that would more effectively restrict movements at this intersection.
5. The additional traffic from the King of Prussia Road Redevelopment study should be shown on a separate figure. The existing 2017 volumes figure should be revised to exclude the added traffic from the King of Prussia Road study. Revise Figure 4 accordingly.
6. Revise the level of service comparison table for Eagle Rd and Cabrini Drive/Paul road to reflect the capacity analysis. Verify the southbound PM build LOS.
7. Although the TIA report repeatedly states that there will be no increase in enrollment; the Kaplin Stewart letter dated July 11, 2017 states that the proposed residence hall is intended to aid in restoring enrollment to historic levels. We agree with the typical traffic engineering approach and assumption that a new residence hall is anticipated to generate new trips as the school's enrollment may increase.
8. Additional comments may follow upon the review of the resubmitted traffic study.



On Tuesday, August 22<sup>nd</sup>, officers from the Radnor Fire Company met with representatives from the Cabrini University project to discuss their plans. Specifically, Robert Lambert from Site Engineering Concepts, Howard Holden the Cabrini Director of Facilities, and another rep met with Chief Joe Maguire, Assistant Chief Ryan Maguire and Assistant Chief Paul Leighton.

Discussed was the new parking structure, a new dorm building and the general lay out and traffic plan for the campus. None of the current driveways or reinforced pathways will be adversely affected by the plans. There are, however, plans to use these areas as pedestrian only areas, protected by either gates or bollards to prevent vehicular traffic. The fire company has been assured that emergency vehicles will have access to these areas, however, it is not yet decided whether bollards or gates will be used.

The fire company strongly urges the university utilize whatever method would be most user friendly. The university reps were warned that removable bollards often rust in place and cannot be removed in a timely manner if emergency vehicles need access.

Second, the fire company requested a dry standpipe for the parking structure. The height of each level of the garage is not sufficient for fire apparatus, therefore, standpipes could be used to help cut down on the time it would take to place water lines in service. The Cabrini reps seemed to believe that this was an acceptable request.

The reps were also requested to provide an electronic version of a campus map, including hydrant locations and building names, which they agreed to supply.



TRANSMITTAL	
TO: Township Engineer	FROM: Robert M. Lambert
COMPANY: Radnor Township	DATE: 8/28/2017
STREET ADDRESS:	PHONE:
CITY, ZIP:	SENDER'S REFERENCE NUMBER:
RE: Cabrini University Preliminary Plan	CC: Cabrini University

COPIES	SHEETS	DATE	ITEM
12		08/25/17	NARRATIVE
12	3		EXHIBITS

NOTES/COMMENTS:

Please find the attached narrative and plans providing further information to the Planning Commission for their September 5 meeting.

Should you have any questions, please do not hesitate to contact me.



On August 7<sup>th</sup>, Cabrini University met with the planning commission to present their Land Development submission. The meeting was attended by neighbors bordering the University. The neighbors expressed concerns regarding the proposed parking structure and loop road that included the following:

- automobile headlights shining into neighbor's windows from the parking structure and road
- light infiltration from the light fixtures on the parking garage
- visual impact of proposed development from their homes

The Planning Commission directed the University to meet with the neighbors to discuss their concerns before the September 5<sup>th</sup> Planning Commission meeting.

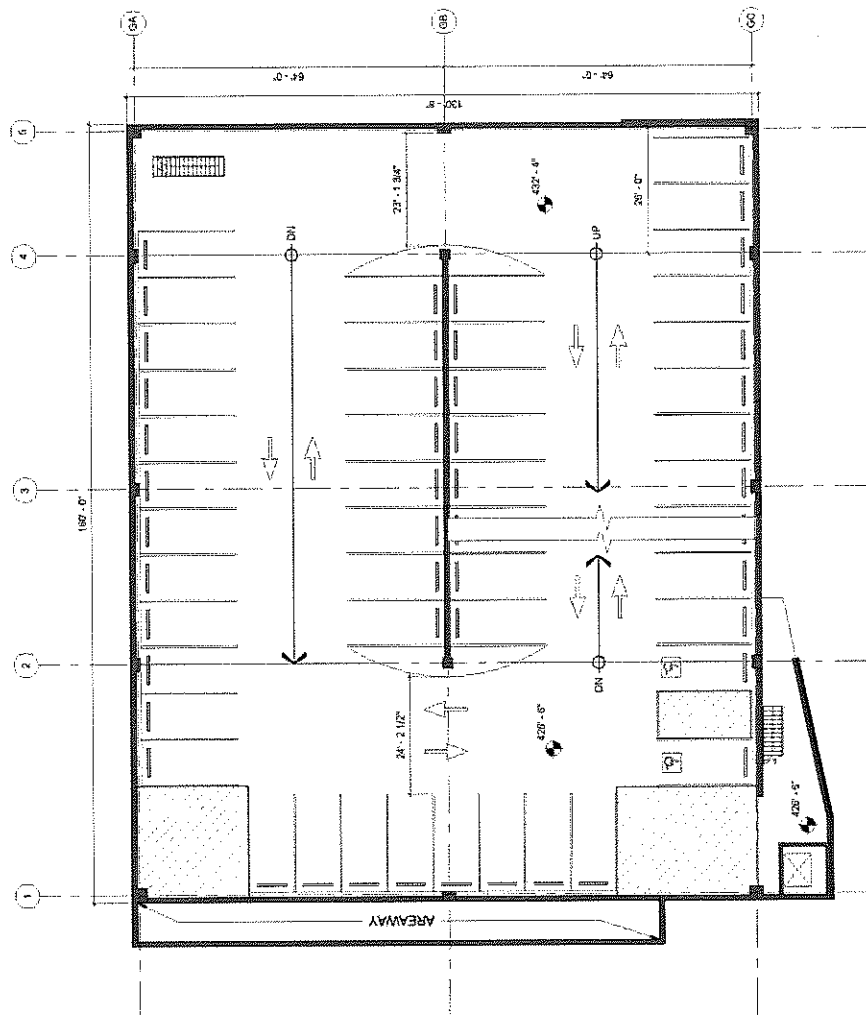
The University staked the corners of the parking structure and the edge of the loop road. The design team visited the site to photograph the project area, in preparation for the meeting with the neighbors. A walk through of the site was held on August 23<sup>rd</sup> for interested neighbors, and attended by six neighbors from three adjacent properties.

The parking structure was reoriented so that parking stalls would not be against the east wall facing the neighbors. This is depicted in the attached plan showing the original layout as compared to the currently proposed plan. In addition, a 2'-9" high concrete walls surround each level of the parking structure, eliminating the potential for headlights to shine beyond the perimeter of the building.

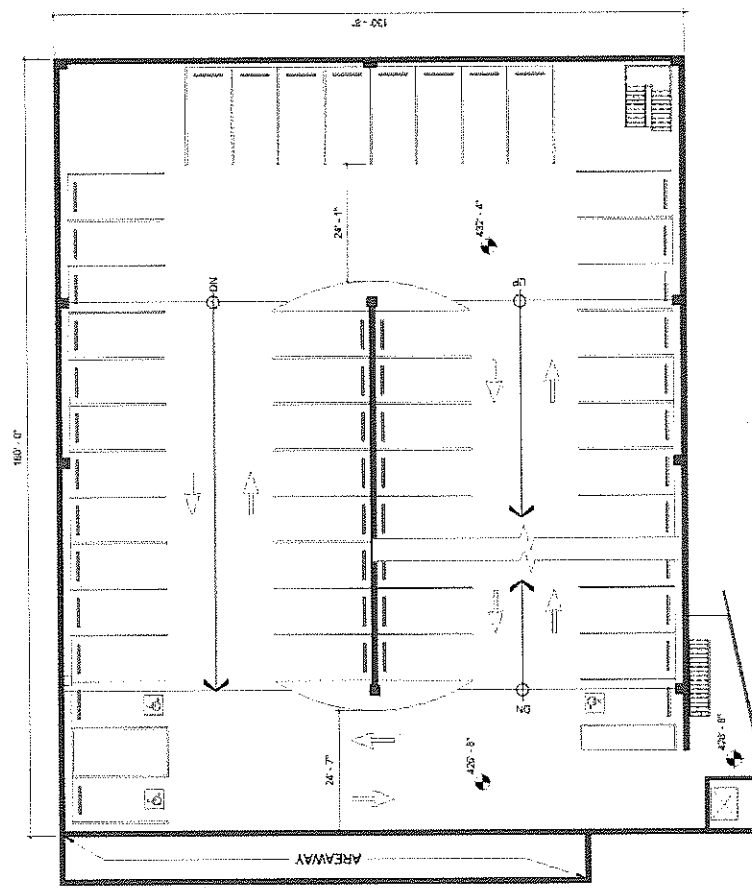
Artificial illumination on the uppermost level of the garage will be shielded and oriented to face away from the neighboring homes.

The planting plan has been developed to maintain and enhance the existing landscape buffer. Numerous mature trees will remain, as well as the existing understory vegetation. The loop road will have new trees on both sides. Evergreens will be strategically located to fill voids between trees to mask views of the campus from the property lines. A larger scale aerial map exhibit is provided to better depict the proposed landscaping in relation to the existing vegetation and proximity to neighboring properties. In addition, a photo simulation is included depicting the proposed view from the neighboring property.





PROPOSED PLAN



ORIGINAL PLAN







CABRINI  
UNIVERSITY

SITE PLAN





VIEW WITH NEW TREES - THIRD LAYER

CABRINI  
UNIVERSITY





## DELAWARE COUNTY PLANNING COMMISSION

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

### COUNCIL

MARIO J. CIVERA, JR.  
CHAIRMAN

COLLEEN P. MORRONE  
VICE CHAIRMAN

JOHN P. McBLAIN  
DAVID J. WHITE  
MICHAEL R. CULP

Office Location: Toal Building, 2<sup>nd</sup> & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

LINDA F. HILL  
DIRECTOR

August 17, 2017

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Name of Dev't: Cabrini University Master Plan  
DCPD File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17  
Developer: Cabrini University c/o Eric Olson  
Location: Northwest corner of Eagle Road and King of Prussia Road  
Recv'd in DCPD: July 25, 2017

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on August 17, 2017, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

A handwritten signature in black ink, appearing to read "Linda F. Hill".  
Linda F. Hill  
Director

cc: Cabrini University c/o Eric Olson  
Site Engineering Concepts





**DELAWARE COUNTY PLANNING DEPARTMENT**

**DCPD**

Court House/ Government Center , 201 W. Front St., Media, PA 19063  
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: planning\_department@co.delaware.pa.us

Date: August 17, 2017

File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

PLAN TITLE: Cabrini University Master Plan

DATE OF PLAN: September 4, 2012

OWNER OR AGENT: Cabrini University c/o Eric Olson

LOCATION: Northwest corner of Eagle Road and  
King of Prussia Road

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Land Development

ZONING DISTRICT: PI - Planned Institutional

SUBDIVISION ORDINANCE: Local

PROPOSAL: Further develop 112 acres with a  
campus center building, residence  
hall, parking improvements  
including two parking structures,  
and circulation modifications

UTILITIES: Public

RECOMMENDATIONS: Proceed to final, with  
consideration given to staff  
comments

STAFF REVIEW BY: Michael A. Leventry





Date: August 17, 2017  
File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS:

**PREVIOUS ACTION**

A plan for the site was last reviewed by the Delaware County Planning Commission at its meeting on June 19, 2015, as a land development. The applicant proposed to further develop 112 acres with a 28,000 sq. ft. addition to an athletic center. The Planning Commission recommended approval.

**CURRENT PROPOSAL**

The applicant currently proposes to construct a campus center building, develop an additional dormitory, add additional parking in the form of two garages and surface lots, develop an additional dormitory, and adjust the campus circulation system to be more pedestrian friendly.

**SITE CHARACTERISTICS**

The site is an existing academic campus. All modifications are well within the University's property and well buffered from neighboring uses.

**APPLICABLE ZONING**

The proposal is located within the PI - Planned Institutional district and is subject to applicable regulations set forth in the Township's zoning code.

**COMPLIANCE**

With exception of the existing nonconformity, the proposal appears to comply with the PI - Planned Institutional district provisions.



Date: August 17, 2017

File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS (continued):

#### **VEHICLE CIRCULATION**

Western turnaround: To avoid motorist confusion and vehicle movement conflicts, it is recommended that the western turnaround be reconfigured to have an overall rectangular shape and standard 24' drive aisles (i.e., a typical parking lot configuration). Stop signs should be installed at both points of egress. Staff are concerned that some motorists will treat the current design like a roundabout while others are maneuvering to find and utilize parking, resulting in confusion and potential vehicle movement conflicts.

Eastern turnaround: To avoid motorist confusion and to improve pedestrian safety, it is recommended that this turnaround be modified to a typical roundabout design. The standard roundabout has pedestrian crosswalks, and the design lends itself to traffic calming by slowing vehicles upon approach.

Intersection located between proposed parking structure and Xavier Hall: It is recommended that the geometry of this intersection be improved so that approaches are at right angles.

#### **PEDESTRIAN CIRCULATION**

Striping should be installed for the non-ADA crosswalk that leads to the Xavier residence hall.

Staff concurs with improvements that make the campus more ADA accessible and pedestrian friendly.

#### **NORTHERN PARKING LOT EXPANSION**

It is recommended that the expansion of the northern parking lot be screened and buffered from the adjacent residential property. Staggered evergreen trees are recommended for year-round shielding from glare that occurs from headlights.



Date: August 17, 2017  
File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS (continued):

**SEWAGE FACILITIES**

The Planning Department has received a sewage facilities planning module for review.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

**STORMWATER MANAGEMENT**

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
www.radnor.com

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

July 18, 2017

Eric Olson  
C/O Cabrini University  
610 King of Prussia Road  
Wayne, PA 19087

**RE: Preliminary Land Development Application #2017-D-04**  
**Cabrini University – 610 King of Prussia Road**

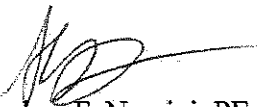
Dear Mr. Olson:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your preliminary land development application to revise the 2012 Master Plan, and have found it complete. Therefore, I have accepted the application for preliminary land development for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday August 7, 2017**.

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Ave., Wayne, Pa 19087.

Sincerely,

  
Stephen F. Norcini, PE  
Township Engineer



Recd  
7/12

George W. Broseman  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: [gbroseman@kaplaw.com](mailto:gbroseman@kaplaw.com)  
[www.kaplaw.com](http://www.kaplaw.com)

July 11, 2017

**VIA HAND DELIVERY**

Stephen Norcini, P.E.  
Radnor Township Engineer  
301 Iven Avenue  
Wayne, PA 19087

**RE: Cabrini University- Amended Preliminary Land Development Application  
for Campus Master Plan and Application for Final Land Development Approval  
for portion of Amended Master Plan  
Our Reference No.: 14044.002**

Dear Mr. Norcini:

I represent Cabrini University with regard to its 110 (+/-) acre campus ("Campus") located along King of Prussia Road, Eagle Road and Upper Gulph Road. The Campus is currently improved with, among other things, residence halls, dining halls, classroom buildings, athletics facilities, administrative buildings, off-street parking facilities and related improvements.

**I. MASTERPLAN PROCESS & PHASE 1**

Beginning in 2011, Cabrini has been involved with implementation of a Campus Master Plan. In January 2013, the Radnor Township Board of Commissioners granted Preliminary Land Development Approval for the masterplan (Resolution No. 2013-05) ("Masterplan Preliminary Approval"). Subsequently Cabrini obtained preliminary land development approval of amendments to the Masterplan Preliminary Approval (Resolution No. 2014-71) as well as Final Plan Approval for the first phase of the Masterplan (Resolution No. 2014-72).

**II. AMENDMENTS TO MASTERPLAN - PHASE 2**

Cabrini now proposes additional amendments to the Masterplan Preliminary Approval and hereby submits an Application for Amended Preliminary Land Development Approval for those amendments. In addition, Cabrini now plans to implement the second phase of the Masterplan. To that end, we are also submitting an Application for Final Land Development Approval for Phase 2 of the Masterplan ("Phase 2"). Phase 2 includes, among other things, a residence hall, construction of a parking structure, as well as other associated pedestrian and vehicular

Kaplin Stewart Meloff Reiter & Stein, PC  
Union Meeting Corporate Center  
910 Harvest Drive, P.O. Box 3037  
Blue Bell, PA 19422-0765  
610-260-6000 tel

Offices in  
Pennsylvania  
New Jersey  
14044/2 4889328v4



Stephen Norcini, P.E.

July 11, 2017

Page 2

circulation improvements that will transform the core of the Campus into a more pedestrian-friendly atmosphere. It is noted that the residence hall is being proposed to facilitate more modern living accommodations for students and to aid in restoring enrollment to historic levels, thereby enhancing the continued vitality of the University.

### III. SUBMISSION

Along with this letter, I am filing the following:

A. Application for Amendment to Preliminary Masterplan Approval

1. A signed Subdivision and Land Development Application;
2. Twenty-six (26) copies of Amended Preliminary Land Development Plans consisting of one (1) sheet, Sheet 3 of 21, prepared by Site Engineering Concepts, LLC, dated September 4, 2012, last revised July 10, 2017;  
*Eight (8) of these copies are signed by the Applicant and notarized*
3. Seven (7) copies of the Amended Preliminary Land Development Plans at 11" x 17" in size;
4. A completed Delaware County Planning Commission review form;
5. A title report and deed to the Property;
6. Ten (10) thumb drives containing all of the above-referenced submission materials; and
7. Three (3) checks as follows:
  - a. \$2,900.00 payable to Radnor Township for the Amended Preliminary Land Development application fee;
  - b. \$15,000.00 payable to Radnor Township to establish the Professional Escrow Account for review of the Amended Preliminary Land Development application; and
  - c. \$1,450.00 payable to the Treasurer of Delaware County for the Delaware County Planning Commission review.



Stephen Norcini, P.E.  
July 11, 2017  
Page 3

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**B. Application for Phase 2 - Final Plan Approval**

1. A signed Subdivision and Land Development Application;
2. Twenty-Six (26) copies of Final Land Development Plans for Phase 2 consisting of Twenty-six (26) sheets prepared by Site Engineering Concepts, LLC, dated July 10, 2017;  
*Eight (8) of these copies are signed by the Applicant and notarized*
3. Seven (7) copies of the Final Land Development Plans at 11" x 17" in size;
4. A completed Delaware County Planning Commission application form;
5. Two copies of a Sewer Planning Module Application Mailer;
6. A title report and deed for the Property;
7. Two (2) copies of a Transportation Impact Assessment prepared by F. Tavani and Associates, Inc., dated July 7, 2017;
8. Two (2) copies of a Stormwater Management Analysis prepared by site Engineering Concepts, LLC, dated July 10, 2017;
9. Ten (10) thumb drives containing all of the above-referenced submission materials;
10. Three (3) checks as follows:
  - a. \$2,800.00 payable to Radnor Township for the Final Land Development application fee;
  - b. \$15,000.00 payable to Radnor Township to establish the Professional Escrow Account for review of the Final Land Development application; and
  - c. \$1250.00 payable to the Treasurer of Delaware County for the Delaware County Planning Commission review.

**IV. REVIEW**

Please submit the enclosed Applications and supplemental information to the County and Township Commission and appropriate Township staff, consultants and bodies for review, and public meetings. Please provide us with copies of all reviews, correspondence, notices and other documentation relating to this Project as soon as they are generated or received. Please contact



Stephen Norcini, P.E.  
July 11, 2017  
Page 4

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us immediately if you have any questions or require any further information to process these applications.

Sincerely,



George W. Broseman

Enclosures

cc: Cabrini University  
Site Engineering Concepts  
Wallace Roberts & Todd  
Frank Tavani, P.E.  
John Cacciola



**RADNOR TOWNSHIP**  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 610 King of Prussia Road

Zoning District PI Application No. \_\_\_\_\_  
(Twp. Use)

Fee \$2900 Ward No. 1-1 Is property in HARB District no

Applicant: (Choose one) Owner \_\_\_\_\_ Equitable Owner X

Name Cabrini University, c/o Eric Olson, Treasurer

Address 610 King of Prussia Road, Wayne, PA 19087

Telephone 610-902-8240 Fax \_\_\_\_\_ Cell \_\_\_\_\_

Email ejo38@cabrini.edu

Designer: (Choose one) Engineer X Surveyor \_\_\_\_\_

Name Site Engineering Concepts, LLC, c/o Peter Cokonis

Address P.O. Box 1992, Southeastern, PA 19399

Telephone 610-240-0450 Fax 610-240-0451

Email pcokonis@site-engineers.com

Area of property 112 acres Area of disturbance NA

Number of proposed buildings 4 Proposed use of property Institutional Campus

Number of proposed lots 0

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary X Final \_\_\_\_\_ Revised \_\_\_\_\_  
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?



Are there any requirements of Chapter 255 (SALDO) not being adhered to?

Explain the reason for noncompliance.

none that we are aware of

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Are there any infringements of Chapter 280 (Zoning), and if so what and why?

none that we are aware of

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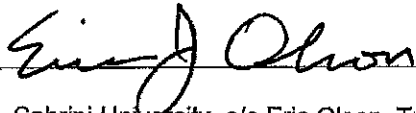
Individual/Corporation/Partnership Name

Cabrini University, c/o Eric Olson, Treasurer

---

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name Cabrini University, c/o Eric Olson, Treasurer

---

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.



## DELAWARE COUNTY PLANNING COMMISSION

### APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

#### DEVELOPER/APPLICANT

Name Cabrini University E-mail ejo38@cabrini.edu  
C/o Eric Olson, Treasurer

Address 610 King of Prussia Road, Wayne, PA 19087 Phone 610-902-8240

Name of Development Cabrini University

Municipality Radnor Township

#### ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm Site Engineering Concepts, LLC Phone 610-240-0450

Address P.O Box 1992, Southeastern, PA 19399

Contact Peter Cokonis E-mail pcokonis@site-engineers.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI

Tax Map # 36 /07 /025

Tax Folio # 36.02 /00979 /00



**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

Cabrini University is an institutional campus. This plan serves as a revision to the 2012 Preliminary Master Plan for the campus. It proposes to construct a campus center, residence hall, and transform the core of campus to pedestrian only with the construction of a parking structure, drive, and parking improvements.

Total Site Area	<u>112</u>	Acres
Size of All Existing Buildings	<u>600,000 +/-</u>	Square Feet
Size of All Proposed Buildings	<u>56,291</u>	Square Feet
Size of Buildings to be Demolished	<u>2354</u>	Square Feet

Cabrini University  
C/o Eric Olson, Treasurer  
Print Developer's Name

  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting \_\_\_\_\_

Local Governing Body Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

Print Name and Title of Designated Municipal Official \_\_\_\_\_

Phone Number \_\_\_\_\_

Official's Signature \_\_\_\_\_

Date \_\_\_\_\_

**FOR DCPD USE ONLY**

Review Fee: Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date Received \_\_\_\_\_

Applications with original signatures must be submitted to DCPD.













# **Gannett Fleming**

*Excellence Delivered **As Promised***

**Date:** October 16, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** Cabrini University – Land Development Phase 2  
Eric Olson C/O Cabrini University – Applicant

Date Accepted: July 18, 2017

90 Day Review: October 16, 2017 extended to November 14, 2017

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Gannett Fleming, Inc. has completed a review of the Cabrini University Phase 2 Final Land Development Plan for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The intent of the plan is to demolish an existing residence hall and parking and construct a new residence hall, parking structure, drive and parking improvements. The project is located in the PI district of the Township.

Plans Prepared By: Site Engineering Concepts, LLC  
Dated: 07/10/2017, last revised 09/04/2017

## **Sewage Facilities Planning**

1. A sewage facilities planning module must be prepared for the construction of the residence hall. Final plan approval will not be granted until Planning Approval is received from the PA DEP. The applicant has indicated that the planning module has been submitted to the PA DEP. That is incorrect. The planning module has been submitted to the Township, but the Township cannot execute the capacity certification until the downstream capacity has been agreed to with the RHM Authority.





**Zoning**

1. §280-103.A – As a general requirement, each use in the Township shall provide a sufficient off-street parking area to serve its users. The plan indicates that the project is non-conforming in respect to parking. This is a non-conformity that the applicant wished to continue.-
2. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has indicated on the plans the areas of steep slopes are in conformance with §175.11 and §175.12.
3. §280-123 – Any proposed signage must be in accordance with this section.

**Subdivision and Land Development**

1. §255.20.B(1)(n) – Existing principal buildings and their respective uses, and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets). The applicant has indicated that a partial waiver was previously approved as part of the 2012-2014 plan approvals. Since this is a new submission, this information must be shown on the plans or a new waiver requested.
2. §255.37.B – The minimum width of all sidewalks and pedestrian paths shall be four feet. The path shown on sheet 10 of 28 must be revised.
3. §255-43.1.B.(2) – For all nonresidential or institutional subdivisions and/or land developments involving more than 5,000 square feet of floor area, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 6,400 square feet of floor area (existing or proposed), or portion thereof, unless the developer agrees to a fee in lieu of \$3,307 per 6,400 square feet of floor area (existing or proposed).

**Stormwater Comments**

1. The post-development uncontrolled hydrographs for Drainage Area 2 are using a runoff coefficient of 0.45 as opposed to the runoff coefficient of 0.47 calculated on the Runoff Coefficient Spreadsheet (page 15). Please revise this discrepancy.
2. The total length of 15" pipe calculated for Infiltration Bed 3B (page 117) is inconsistent with the detail on Sheet 13 of the plans revised 9/14/17. The stormwater report claims 343 LF whereas the detail only shows approximately 336.5 LF. Please revise this discrepancy.





3. The total length of 36" pipe calculated for Infiltration Bed 3D (page 117) is inconsistent with the detail on Sheet 13 of the plans revised 9/14/17. The stormwater report claims 468 LF whereas the detail only shows approximately 364 LF. Please revise this discrepancy.
4. The total length of 60" pipe calculated for Infiltration Bed 3E (page 118) is inconsistent with the detail on Sheet 13 of the plans revised 9/14/17. The stormwater report claims 87 LF whereas the detail calls out 86 LF. Please revise this discrepancy.
5. The total length of 60" pipe calculated for Infiltration Bed 3F is inconsistent with the detail on Sheet 13 of the plans revised 9/14/17. The stormwater report claims 361 LF whereas the detail shows approximately 281 LF. Please revise this discrepancy.
6. The dead storage depth used for Infiltration Bed 3G (page 118) is inconsistent with the detail on Sheet 13 of the plans revised 9/14/17. The stormwater report uses a depth of 1 foot; however, the bottom of the stone is listed at 398.0 which with a minimum of 6" stone depth puts the invert of the pipe at 398.5. The invert of the outlet is listed as 398.7 leaving only 0.2 feet of dead storage depth. Also, the orifice invert in the Hydrologic Report – Stage, Storage, & Discharge (page 120) is listed as 399.70. Please revise this inconsistency.
7. We note that while the water quality volume is sufficient for Drainage Area 1, the area used in the equation is incorrect and should be revised to the area contributing to the BMP (page 4).
8. We note that while the water quality volume is sufficient for Drainage Area 3, the area used in the equation is incorrect and should be revised to the area contributing to the BMP (page 6).
9. The elevations used in the stormwater report on page 48 for the infiltration beds for Drainage Area 1 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
10. The elevations used in the stormwater report on page 85 for the infiltration beds for Drainage Area 2 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
11. The elevations used in the stormwater report on page 119 for the infiltration beds for Drainage Area 3 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
12. Please revise the two inlet inverts in the Storm Profile South of Parking Structure to match the inverts shown on Sheet 12. Please show the approximate location of the telephone and electric line crossings between the inlet and Drain Basin 3.





13. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. The applicant has indicated on the plans that the proposed retaining wall will vary in size and be a maximum of 6 feet high. Design calculations are required for the retaining wall when it exceeds 4 feet in height. Also, the proposed retaining wall must be shown in the legend.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager







**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

**Date:** October 12, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Amy B. Kaminski, P.E., PTOE

**cc:** Damon Drummond, P.E., PTOE  
Leslie Salisbury, E.I.T.

**Reference:** Cabrini University – Phase 2 Land Development  
Preliminary Masterplan Review  
Phase 2 Final Land Development Plan Review  
Transportation Impact Assessment Review  
Radnor Township, Delaware County  
G&A 14-05020-02

Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following comments for Radnor Township consideration:

**A. Background**

The overall parcel is approximately 112 acres in size and is zoned PI (Planning Institutional District). The Applicant proposes to construct a 207-bed residence hall, provide improved pedestrian access and restrict vehicular access to the core of the campus. In addition, a 14 parking space surface lot and a 174 space parking garage are proposed for construction under this phase.

**B. Reviewed Documents**

1. Overall Proposed Site Improvements (Preliminary Masterplan) for Cabrini University, prepared by Site Engineering Concepts, LLC, dated January 15, 2012 and last revised September 14, 2017.
2. Cabrini University Phase 2 Final Land Development Plans prepared by Site Engineering Concepts, LLC consisting of 28 sheets, dated July 10, 2017 and last revised September 14, 2017.
3. Traffic Impact Assessment for Cabrini University Phase 2 Land Development, prepared for Radnor Township, prepared by F. Tavani and Associates, Inc., dated September 12, 2017.

**C. Preliminary Master Plan Review**

1. Revise the masterplan to identify the pedestrian trail located at the southern end of the campus along with the pedestrian crosswalk on Eagle Road. Details regarding future improvements to this trail for ADA accessibility must be provided

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | 215-345-4330 | 215-345-8606  
508 Corporate Drive West | Langhorne, PA 19047 | 215-369-3955 | 215-345-8606  
184 W. Main Street | Suite 300 | Trappe, PA 19426 | 610-489-4949 | 610-489-8447  
425 McFarlan Road | Suite 102 | Kennett Square, PA 19348 | 610-444-9006 | 610-444-7292  
5100 Tilghman Street | Suite 150 | Allentown, PA 18104 | 610-366-8064 | 610-366-0433  
One Penn Center at Suburban Station | 1617 JFK Blvd. | Suite 820 | Philadelphia, PA 19103 | 215-687-4246 | 215-564-1780  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)



in future submissions since the construction of the parking garage will alter the access and use of this trail.

**D. Phase 2 Final Land Development Review**

**1. Subdivision and Land Development Review**

- a. §255-29.A(12)(b) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The width of the driveway access to the west turnaround area is less than the minimum requirement. Revise the plans to comply with this section or a waiver will be required.
- b. §255-29.A(14) – No less than a five (5) foot radius of curvature shall be permitted for all curblines in parking areas. We recommend the Applicant provide minimum five (5) foot radii at the east and west turnaround areas adjacent to the removable bollards.
- c. §255-37.B – The minimum width of sidewalks and pedestrian paths shall be four (4) feet. It appears the sidewalk to the southeast of Bruckmann Chapel is less than the minimum requirement. Revise the plans accordingly.

**2. General Comments**

- a. We recommend pedestrian lighting along all proposed walkways. It appears there is no existing or proposed lighting along the proposed sidewalk to the north of the western turnaround.
- b. All new pedestrian facilities should be designed to be ADA compliant. Spot elevations and dimensions should be provided in order to verify compliance and constructability. See PennDOT RC-67 for further details.
- c. It is unclear whether or not a curb ramp is proposed adjacent to the ADA parking area along the South Loop Drive. ADA accessible access should be provided from the parking area to the proposed residence hall.
- d. Sheet 12 of 28: Verify the scale.
- e. Provide details for all proposed signage.
- f. Sheet 28 of 28 (Proposed Parking Structure)
  - i. Provide a stopbar and stop sign, facing west, along the drive aisle adjacent to the exit.
  - ii. Provide dimensions for the two-way aisles.

**3. Transportation Impact Assessment Comments**

- a. §255-20.B(5)(d)[6][a] – As previously stated, all streets and/or intersections showing a Level of Service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. King of Prussia Road and Eagle Road/Pine indicates LOS below C during the PM peak hour. The Applicant has indicated that future improvements are under consideration for this intersection in coordination with Eastern University. The included letter dated September 20, 2017 indicates a grant application is being pursued by Cabrini and Eastern Universities along with Radnor Township; however, the report does not identify how these improvements will



mitigate the noted deficiencies.

- b. As noted in the September 20, 2017 response letter, the Applicant's engineer states the right in/right out access at the Cabrini Driveway to Eagle Road opposite Paul Road does not require any modification as the left turn exit volumes are low (0 during the AM peak hour and 3 during the PM peak hour) and modifications will not alter these numbers and could impede emergency response to the Campus. In addition, the engineer's response expresses concerns related to any intersection modifications to this access that may disturb the nearby pillars and a stream.

We call to attention that there are 4 and 10 vehicles exiting this access as through movements and 4 and 5 vehicles continuing northbound from Paul Road into this access during the AM and PM Peak Hour bringing to total, 8 AM Peak Hour vehicles and 18 PM Peak Hour Vehicles performing illegal traffic movements at this access to Eagle Road. Our concern is directly related to the continued use by motorists performing illegal movements and safety concerns related to those traffic movements.

Regardless of the impact to the pillars and streams, the access is apparently not designed to adequately deter the illegal vehicular movements into and out of the access and we recommend either closing the access entirely to vehicular movement and altering it to an emergency vehicle access only or redesigning the access to more effectively deter the illegal movement by motorists.

- c. The following comments pertain to discrepancies between the Manual Turing Movement counts and Figure 4 provided in the report. The Applicant should revise these figures as necessary and ensure the changes are translated throughout the analysis. Verify the volumes at the following locations:
  - i. King of Prussia Rd and Cabrini Dr AM northbound through; it appears the volume should be revised from 588 to 546.
  - ii. King of Prussia Rd and Eagle Rd AM southbound through; it appears the volume should be revised from 510 to 468.
  - iii. King of Prussia Rd and Cabrini Dr PM southbound through; it appears the volume should be revised from 456 to 414.
  - iv. King of Prussia Rd and Eagle Rd PM northbound through; it appears the volume should be revised from 552 to 467.
- d. As previously noted, the following comments pertain to discrepancies between the 145 King of Prussia Rd Redevelopment volumes (Page 69), 2017 existing volumes (Figure 4) and 2021 Future No Build volumes (Figure 5) provided in the report. The Applicant should revise these figures as necessary and ensure the changes are translated throughout the analysis. Verify the volumes at the following locations:
  - i. King of Prussia Rd and Cabrini Dr.:
    - 1. AM northbound left; it appears the volume should be revised from 68 to 69.
    - 2. AM northbound through; it appears the volume should be revised from 605 to 562.
    - 3. PM southbound through; it appears the volume should be revised from 505 to 430.



4. PM northbound left: It appears the volume should be revised from 69 to 70.
  5. PM northbound through; it appears the volume should be revised from 551 to 582.
  6. PM eastbound right: It appears the volume should be revised from 56 to 57.
- ii. King of Prussia Rd and Eagle Rd:
1. AM southbound through; it appears the volume should be revised from 561 to 518.
  2. PM southbound through; it appears the volume should be revised from 537 to 505.
  3. PM northbound through; it appears the volume should be revised from 570 to 516.
- e. Revise the background growth calculations (page 65) per the Manual Turning Movement counts noted above and adjust the report accordingly.

ABK/DAD/LAS



# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

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14 September 2017

Roger Phillips, P.E.  
Township Engineer  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**Re: Cabrini University – Final Land Development Phase 2**

Dear Mr. Phillips,

Please find the attached Final Land Development Plan Phase 2 for Cabrini University revised per your July 27, 2017 comments. (*Comment, response*):

## Sewage Facilities Planning

*1. A sewage facilities planning module must be prepared for the construction of the residence hall. Final plan approval will not be granted until Planning Approval is received from the PADEP.*

A sewage facilities planning module has been prepared and submitted to PADEP.

## Zoning

*1. §280-69.C - No building or structure shall exceed three stories or 38 feet in height. The applicant must provide the height of all proposed buildings to ensure conformance with this section. This must be updated in the zoning table.*

Added to zoning table as requested.

*2. §280-68.C.2 - A building or combination of buildings may be erected or used and a lot may be principally used or occupied for any accessory use on the same lot and may include a dormitory, provided that every room occupied for sleeping purposes by one occupant shall have a minimum gross floor area of at least 70 square feet. Every room occupied for sleeping purposes by more than one occupant shall contain at least 50 square feet of gross floor area for each occupant thereof. This size of the individual rooms must be indicated on the plans.*

A label has been added to plan sheet 11 to the residence hall building with these requirements. The applicant will comply with these minimum areas but is unsure of actual sizes until final costs are assessed.

*3. §280-70.b.1- The greatest dimension in length or depth of a building shall not exceed 160 feet, and no more than three buildings may be attached to each other, provided further that the facade of any building attached to another building be visibly offset from the adjoining buildings at an angle approximately 90 degrees. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.*

Dimensions have been added. We contacted Township Zoning Officer Kevin Kochanski and he indicated that he agreed the plans comply with these requirements.

*4. §280-103.A - As a general requirement, each use in the Township shall provide a sufficient off-street parking area to serve its users. The plan indicates that the project is nonconforming in respect to parking. Parking calculations must be provided for the entire site. Additionally, the handicap parking tally shown on sheet 3 of 26 appears to be incorrect. The proposed spaces do not appear to have been calculated correctly on the plans, please revise.*



Parking calculations for the entire site are shown on plan sheet 3. An existing parking analysis for the entire site was submitted and approved during the Preliminary Master Plan process. The handicap parking tally on sheet 3 has been corrected to show 8 added spaces.

5. §280-105.E - *All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional, or residential district, and in every district all such lighting shall be arranged so as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet, details that indicate the height of the luminary must be provided.* Luminary details are shown on plan sheet 27 and comply. These notes have been added to plan sheet 27.

6. §280-112.C. - *Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has also indicated on the plans the areas of steep slopes that were made in conformance with § 175.11 and §175.12. It appears that the purple shading on Sheet 6 of 26 does not match the legend. This must be revised. The Engineer must also provide a plan with the proposed features that indicates the steep slopes to ensure this section is adhered to. It appears that the rerouting of the proposed loop road may infringe on steep slope areas.*

The purple shading indicates erosion channels as was shown on the approved Preliminary Master Plans. The legend has been revised accordingly. Slope shading has been added to the proposed plans (sheets 10-12).

7. §280-123 - *Any proposed signage must be in accordance with this section.*

The applicant will comply and submit for a sign permit (as applicable) should a sign be proposed.

#### Subdivision and Land Development

1. §255.20.B(1)(n) - *Existing principal buildings and their respective uses, and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets). This information must be shown on the plans or a waiver requested.*

As discussed with you, a partial waiver was previously approved as part of the 2012/2014 Preliminary/Final Plan approvals. The vicinity plan shown on plan sheet 1 is an aerial photo depicting features within 500 feet.

2. §255.20.B(1)[91] - *The location of all fire hydrants must be clearly shown on the plans.*

The location of all fire hydrants is clearly shown and labeled. One is located directly south of the proposed residence hall along the south loop drive. One is located on the interior drive south of and between the proposed residence hall and Founders's Hall.

3. §255.20.B(1) [13] - *The location of all existing and proposed sanitary sewer connections must be shown on the plans.*

Locations have been added.

4. §255.29.A(1) - *The proposed parking spaces around the West Turnaround are dimensioned as 9' x 19'. The parking spaces must be dimensioned as 9.5' x 20' as specified in this section.*



The proposed parking spaces have been corrected to 9.5'x20'.

5. §255.29.A(13) - *Tire bumpers must be installed so as to prevent vehicle overhang on any sidewalk area. The applicant must indicate how the students will get from the parking areas to the sidewalks without encroaching on the travel lane of the West Turnaround.*

Due to 6" curbing and a wall, no tire bumpers are necessary. The West Turnaround is a parking lot whose primary function will be to serve the cars that park there. There is no thru traffic as travel to the east will no longer be allowed. Bollards/gates will be installed to restrict traffic and allow for emergency access to the campus core. The West Turnaround will also serve as a turnaround if necessary. Because it functions primarily as a parking area with no thru traffic, we believe it will function adequately as proposed.

6. §255.29.B(1) - *All parking areas shall have at least one tree 2.5 inches minimum caliper for every five parking spaces in single bays and one tree 2.5 inches minimum caliper for every 10 parking spaces in double bays. A landscaping plan must indicate parking calculation which indicates the number of trees being provided to meet this requirement.*

Chart added to plan sheet 20.

7. §255-41.H. - *Outdoor collection stations shall be provided for garbage and trash removal when indoor collection is not provided. Collection stations shall be screened from view and landscaped. Will a collection station be provided for the proposed project?*

Indoor collection will be provided and taken to existing campus dumpsters.

8. §255-43.1.B.(2) - *For all nonresidential or institutional subdivisions and/or land developments involving more than 5,000 square feet of floor area, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 6,400 square feet of floor area (existing or proposed), or portion thereof, unless the developer agrees to a fee in lieu of \$3,307 per 6,400 square feet of floor area (existing or proposed).*

The applicant acknowledges this requirement.

9. §255-54 - *The water system shall be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specifications of the of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided. Therefore, any and all subdivision and land development plans submitted to this Township shall indicate, according to scale, the closest existing fire hydrants to the proposed subdivision and land development.*

There is a fire hydrant in front (south) of the proposed residence hall. It is within 350 feet of the furthest away point of the building. There is a fire hydrant in front (southwest) of the parking structure. It is within 400 feet of all points of the structure. The applicant met with the Township fire marshal to discuss the project.

#### Stormwater Comments

1. *The pre-development and post-development drainage areas for Drainage Area 3 do not appear to match. Please revise the drainage areas such that the total area encompassed in both the pre- and post-development conditions are similar (page 16). Furthermore, please revise the drainage area maps to be consistent (pages 10 and 13).*



The drainage area 3 areas have been corrected and calculations rerun in the revised stormwater report. Drainage area 3 areas on report page 16 were inadvertently swapped with drainage area 4 areas on page 17 (except for the post drainage area to the infiltration beds). The drainage area maps were correct.

*2. The pre-development and post-development drainage areas for Drainage Area 4 do not appear to match. Please revise the drainage areas such that the total area encompassed in both the pre- and post-development conditions are similar (page 17). Furthermore, please revise the drainage area maps to be consistent (pages 10 and 13). Additionally, please clarify what DA4 represents.*

The drainage area 4 areas have been corrected and calculations rerun in the revised stormwater report. Drainage area 4 areas on report page 17 were inadvertently swapped with drainage area 3 areas on page 16. The drainage area maps were correct.

Drainage areas 3 & 4 cover the areas disturbed by the parking structure and associated improvements. Drainage area 3 drains to an existing culvert that runs under the campus access drive to King of Prussia Road. Drainage Area 4 discharges to existing storm sewer between the East Residence Hall and Xavier Residence Hall.

*3. There does not appear to be an overflow/outlet structure provided for infiltration beds 2 or 3. The applicant must provide an overflow/outlet structure that prevents discharge from being concentrated in heavy rain events.*

There is an outlet pipe from infiltration bed 3G to an existing inlet south of bed 3G.

Two overflow pipes have been added to bed 2 that outlet to level spreaders. Please note bed 2 is designed to infiltrate the 100 year storm with no outflow for all storms up to the 100 year.

*4. The applicant must provide a detail for the level spreader shown for infiltration bed 1.*

Level spreader details are provided on plan sheet 13.

*5. The elevations used in the stormwater report on page 48 for the infiltration beds for Drainage Area 1 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.*

The elevations do match and are correct. The bottom of stone elevation is shown on plan sheet 13 while the top and bottom of interior pipe elevations are shown in the report. This is because stone voids are not included in Radnor in the stormwater calculations so they cannot be used in the software used to generate the report. The elevation difference between the bottom of bed (bottom of stone) and the interior bottom of pipe is the stone depth (6" in all cases) plus the wall thickness. The same goes for top of pipe/top of bed.

In order for the software to model the bed correctly, beds 1B-1C were assigned dummy elevations that allow for them to be treated as dead storage. Connection pipes for beds 1C to 1A are located at the top of the storage pipes so the beds fill up (they act as dead storage) and then overflow into the next bed downslope of them. In order for the software program to rout the system properly and treat beds 1B-1C as dead storage, the elevations for beds 1B-1C have to be lower than those for outlet bed 1A.

*6. The elevations used in the stormwater report on page 85 for the infiltration beds for Drainage Area 2 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.*

The elevations used in the report on page 85 were incorrect and have been adjusted to match the plan.



*7. The elevations used in the stormwater report on page 119 for the infiltration beds for Drainage Area 3 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.*

The elevations do match and are correct. The bottom of stone elevation is shown on plan sheet 13 while the top and bottom of interior pipe elevations are shown in the report. This is because stone voids are not included in Radnor in the stormwater calculations so they cannot be used in the software used to generate the report. The elevation difference between the bottom of bed (bottom of stone) and the interior bottom of pipe is the stone depth (6" in all cases) plus the wall thickness. The same goes for top of pipe/top of bed.

In order for the software to model the bed correctly, beds 3A-3F were assigned dummy elevations that allow for them to be treated as dead storage. Connection pipes for beds 3A to 3G are located at the top of the storage pipes so the beds fill up and then overflow into the next bed downslope of them. In order for the software program to rout the system properly and treat beds 3A-3F as dead storage, the elevations for beds 3A and 3F have to be lower than those for outlet bed 3G.

*8. The stormwater report claims there is 572 LF of 60" diameter pipe in stormwater infiltration bed 2, which assumes that the headers are 60" pipe (see page 84). However the detail on Sheet 13 calls out the headers as 48" diameter pipe. Please revise this discrepancy.*

The label on the headers on plan sheet 13 has been corrected to 60" pipe.

*9. There are insufficient dimension on the stormwater infiltration bed details to find the total length of the pipes. Please provide lengths of the pipes on the Proposed PCSM Detail Sheet.*

Pipe lengths have been added. Most pipes are 3' shorter than the stone trench (18" minimum stone around sides of pipes). Exact measurements of manifolds differ per manufacturer.

*10. The applicant must submit stormwater infiltration bed section details for each infiltration bed.*

Bed sections for each bed have been added to plan sheet 13.

*11. The areas used in determining the net 2-yr, 24-hr runoff volume and the areas used for rate control are not consistent with respect to size. This applies to each of the drainage areas. The applicant must revise the inconsistencies and resubmit.*

Just disturbed areas were used since there is no increase in volume in undisturbed areas. As requested, the 2 year volume calculations were revised to show full drainage areas.

*12. Please provide stormwater system profiles showing any utility crossings. Include vertical clearances.*

Provided on plan sheet 15.

*13. §245-27 - Underground stormwater management systems must be designed to store the two- through one-hundred-year storms within a pipe or other open system that will permit the inspection and maintenance of the system. The entire storm must be placed in the pipe (i.e., the stone bedding around the pipe is not to be included in the volume calculations). There does not appear to be a structure shown on the detail/plan that would permit the inspection and maintenance of the system. This must be addressed.*

Stone voids volume is not counted in the stormwater calculations. Observation ports are provided for inspection and maintenance of each system.



*14. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.*  
The applicant will provide final details during the Grading Permit process as final details are worked out with Cabrini and contractors.

General

*1. Details and height of the proposed retaining wall must be provided on the plans. Also the retaining wall must be shown in the legend.*

TW (top of wall) and BW (bottom of wall) elevations are shown. Retaining walls have been labeled. Details are shown on plan sheet 27.

*2. The existing and proposed sanitary sewer connection to the building must be shown on the plans.*  
Connections have been added.

*3. The applicant must show silt fence downgrade of all construction activities including installation of proposed walkways.*

Silt fence has been added and with thicker lineweights to be seen more clearly. The plan is required to and will be reviewed by the Delaware County Conservation District.

*4. The demolition plan on sheet 8 of 26 must show the existing sanitary sewer lateral connection and the disposition of the lateral.*

Revised as requested.

*5. An overall improvements plan must be provided that removes the existing features that are proposed to be removed and show the proposed features. For example, the parking spaces that are proposed to be removed in this phase should no longer be shown on the new plan.*

Plan sheet 3 has been revised as requested.

*6. Crosswalks must be provided at the proposed East turnaround, similar to the proposed West turnaround.*  
A crosswalk has been added.

*7. The scale of the plan sheets are inconsistent between 1"=20 feet and 1"=30 feet. This must be revised to be consistent.*

The plans are required by code to be no less than 1"=100' and they comply. The western turnaround and residence hall sheets are shown at 1"=20' to enhance plan readability. The parking structure sheets could not fit on one sheet at 1"=20' so are at 1"=30' for the best plan presentation. Each plan shows the correct scale in the titleblock and also includes a bar scale.

*8. The Radnor Township tree protection detail must be shown on the plans.*

The detail is shown on plan sheet 18.

*9. Detailed parking structure plans must be provided for review.*

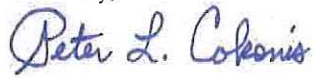
Please refer to plan sheet 28.

I believe these comments satisfactorily address your review comments. Should you have any questions and/or comments, please feel free to contact me.



Roger Phillips, P.E.,  
Radnor Township  
Re: Cabrini University Final LD Phase 2  
14 September 2017  
Page 7 of 7

Sincerely,



Peter L. Cokonis, P.E.



SITE ENGINEERING CONCEPTS,  
LLC  
CIVIL ENGINEERING AND CONSULTING SERVICES

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TRANSMITTAL

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TO:	Patti Kaufman	FROM:	Peter Cokonis
COMPANY:	Radnor Township	DATE:	9/18/2017
STREET ADDRESS:	301 Iven Avenue	PHONE:	610-240-0450
CITY, ZIP:	Wayne, PA 19087-5297	SENDER'S REFERENCE NUMBER:	
RE:	Cabrini University Resubmission	CC:	

COPIES	SHEETS	DATE	ITEM
5		9/14/17	Phase 2 Final Land Development Plan
5		9/14/17	Revised Preliminary Plan – Gateway Project - Overall Site Improvements sht 3 of 21
2		9/14/17	Stormwater Report
2		9/12/17	Traffic Impact Assessment
5		9/14/17	Response Letter to Engineer's Phase 2 review letter
5		9/14/17	Response Letter to Engineer's Preliminary Master Plan review letter
5		9/14/17	Response Letter to Traffic Engineer's review letter

NOTES/COMMENTS:

Number of copies per discussion with Roger Phillips



# SITE ENGINEERING CONCEPTS, LLC

Consulting Engineering and Land Development Services

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14 September 2017

Damon Drummond, P.E., PTOE  
Township Traffic Engineer  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

Re: Cabrini University - Phase 2 – Final Land Development  
Preliminary/Final Land Development Plans Review 1  
Transportation Impact Assessment Review 1  
Radnor Township, Delaware County  
G&A 14-05020-02

Dear Mr. Drummond,

Please find the attached Final Land Development Plan Phase 2 for Cabrini University revised per your July 28, 2017 comments. (*Comment, response*):

## **C. Subdivision and Land Development Ordinance Comments**

1. §255-29.A(1) – *The minimum dimensions of stalls shall be 9 ½ feet by 20 feet. Revise the proposed parking stalls on the plans to meet this requirement. The proposed parking stalls by the West Turnaround are noted as 9 feet x 19 feet.*

Stalls have been revised to 9.5 feet x 20 feet.

2. 255-29.A(12)(b) – *The width of entrance and exit drives shall be a minimum of 25 feet for two-way use.*  
Pertinent drives have been widened to 25' accordingly.

3. §255-29.A(14) – *No less than a five (5) foot radius of curvature shall be permitted for all curblines in parking areas.*  
Minimum 5' radii are provided.

4. §255-21.B(1)(o)[3] – *Parking areas in nonresidential developments shall include all necessary dimensions and number of parking spaces (including handicapped parking).*  
Dimensions and number of spaces have been provided.

5. §255-21.B(1)(o)[7] – *The width of all proposed sidewalks and pedestrian paths shall be shown on the plans.*  
The width of proposed sidewalks/paths have been added.

## **D. General Comments**

1. *Consider installing a barrier (i.e. curbing or grass verge) between the west turnaround and the adjacent sidewalk east of the area.*

A curb has been added.

2. *Sheets 10-12 should be revised to include the following:*

a. *Cartway width of all the roadways.*

Added as requested.

b. *Roadway names (i.e. Drive A) for identification purposes.*



Added as requested.

*c. Width of the parking aisles.*

Added as requested.

*d. Dimensions of the proposed parking spaces (including handicapped spaces).*

Added as requested.

*e. Pavement marking and striping details (color, width, etc.) for all parking stalls, crosswalks and pavement markings.*

Added as requested.

*f. Extend the proposed contours to the limits of the proposed work.*

Proposed contours are shown to edge of grading.

*g. Clearly identify all proposed curb ramps.*

Identified as requested.

*h. Label all proposed curb radii.*

Labeled as requested.

*3. The plans indicate removal of existing parking and vehicular circulation in the core of the campus. Revise the plans to clearly show how vehicular circulation will be restricted (i.e bollards, gates, etc.). Include an additional sheet clearly showing the proposed site circulation for vehicles within the campus.*

A Campus Circulation Plan has been added to plan sheet 3

*4. There is a proposed driveway shown on the Master Plan north of the Dixon Center noted to be installed as part of Phase 2. Revise the plans to show these improvements or remove it from the Master Plan under Phase 2.*

The label has been corrected to say Phase 3.

*5. We recommend pedestrian lighting along all proposed walkways.*

Lighting has been provided along pedestrian walkways as shown on the proposed plan sheets.

*6. The applicant must include truck-turning templates to ensure adequate turn radii to accommodate the largest anticipated trucks accessing the site at the proposed eastern and western turnaround areas.*

Per Cabrini, the largest vehicles anticipated in these areas will be busses. Accordingly, S-40 template turning plans are attached to this letter for the east and west turnarounds.

*7. The applicant must provide firetruck turning templates to ensure adequate emergency access to all building effected by the traffic circulation modifications. The firetruck turning templates should be submitted to the Fire Marshall for review.*

Fire truck template turning plans are attached to this letter for the east and west turnarounds.

*8. All new pedestrians facilities should be designed to be ADA compliant.*

New ADA compliant pedestrian facilities are labeled as such.

*9. A crosswalk is recommended between the two curb ramps south of the proposed parking facility.*

A crosswalk has been added.

*10. Sheet 10, east of the proposed west turnaround area, consider eliminating the second set of bollards just east of the crosswalk. This would improve emergency response time if the bollards needed to be removed for access.*

The bollards just east of the crosswalk have been removed. Bollards are shown just west of the crosswalk.



Damon Drummond, P.E.,  
Radnor Township  
Re: Cabrini University Final LD Phase 2  
14 September 2017  
Page 3 of 3

*11. Sheet 12, it is unclear if bollards are proposed west of the proposed east turnaround. If bollards are proposed, please label.*

Bollards are shown and have been labeled.

*12. Future plan submissions should be accompanied by a cover letter prepared by the Applicant and include a list of all outstanding comments along with detailed responses addressing each comment.*

Applicant has complied.

**E. Transportation Impact Assessment Comments**

Response letter from F. Tavani and Associates Inc. attached along with revised TIA report.

I believe these comments satisfactorily address your review comments. Should you have any questions and/or comments, please feel free to contact me.

Sincerely,



Peter L. Cokonis, P.E.





**F. Tavani and Associates, Inc.**  
**Traffic Engineering and Planning**

**105 Kenilworth Street • Philadelphia • PA • 19147 • (215) 625-3821 Phone • (484) 792-9495 Fax**

**www.FTAVANIASOCIATES.com**

20 September 2017

Steve Norcini, P.E.  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

VIA EMAIL c/o SITE ENGINEERING CONCEPTS, LLC

**RE: Cabrini University**  
**Radnor Township, Delaware County**  
**FTA Job # 211-013**

Dear Mr. Norcini:

F. Tavani and Associates, Inc. (FTA) is in receipt of a memorandum addressed to you from Gilmore & Associates, Inc. dated 28 July 2017 regarding the above-referenced project.

That memorandum contained 8 comments on the traffic study which was prepared by FTA. The comments are found in the last section of the memorandum on the last page (page 3). The comments are repeated below in italics followed by responses in standard print.

*1. §255-20.B(5)(d)[6][a] – All streets and/or intersections showing a Level of Service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. King of Prussia Road and Eagle Road/Pine indicates LOS below C during the PM peak hour.*

All levels of service are C or better except for the NB approach at King of Prussia Road and Eagle Road which is D in the Existing condition and E in the Future No Build / Build condition. Cabrini University traffic is estimated to be about 5% of total traffic at this intersection during the AM peak hour (and about 7% during the PM peak hour). Cabrini University is working with the Township and Eastern University to request a grant to provide added improvements at this location. The project is expected to have minimal impact on this intersection.

*2. The southbound queue at the intersection of King of Prussia Road and Eagle Road/Pine extends beyond the available storage for the intersection. The applicant should evaluate improvements for the build queue to fit within the available storage area or be no worse than no-build conditions.*

The build condition queue is essentially the same as the no-build condition. For example, during the PM peak hour, the queue is projected to be 5 feet longer (612 feet vs 617 feet). A typical vehicle length (as used in queue calculations) is 25 feet. See also previous answer.

*3. Upper Gulph Road at the intersection with the Cabrini driveway is a state route (S.R. 1008). Revise Table 1 accordingly.*

The requested change has been made.

*4. Cabrini Drive at Paul Road and Eagle Road is a right-in/right-out driveway; however, the manual turning movement counts as well as the report figures show Eagle Road eastbound lefts into the site as well as southbound Cabrini Drive lefts out of the site. The applicant should discuss*



*improvements that would eliminate the need for turn restrictions at the intersection or improvements that would more effectively restrict movements at this intersection.*

The project is expected to have minimal impact on this intersection and does not warrant any modifications. Note that during the AM peak hour the outbound left turns are 0 vph while the inbound left turns are 2 vph. During the PM peak hour the outbound left turns are 3 vph while the inbound left turns are 2 vph. The volumes of the prohibited turning movements at the intersection are minimal. Making additional improvements/geometric changes may have no effect on these already-low numbers. Additionally, the Fire Department identified (in 2012 and 2014) that it utilizes this entrance for access. Further modification to restrict turning movements could impede emergency access. There are also nearby pillars and a stream which the University does not want to disturb.

*5. The additional traffic from the King of Prussia Road Redevelopment study should be shown on a separate figure. The existing 2017 volumes figure should be revised to exclude the added traffic from the King of Prussia Road study. Revise Figure 4 accordingly.*

A separate figure for the 145 King of Prussia Road Redevelopment project has been provided as requested, namely page 69 of the report. The volumes shown circled in the upper left corner of that page are carried as through volumes along King of Prussia Road throughout the study area. The King of Prussia Road Redevelopment volumes were not included in the Existing Volumes – they were only included in the Future (No Build and Build) Volumes. For example, page 46 of the TIA shows the existing AM peak hour SB through volume on King of Prussia Road at Cabrini Drive as 541 vph. This volume is also shown on page 17, Figure 4 (Existing Volumes) in the upper right corner. This volume is also shown in the background growth table worksheet on page 65 of the report. As shown, on that page, this volume is ‘grown’ (background growth only) to 549 vph. Next 43 extra trips are added for the 145 King of Prussia Road site (as shown circled in the upper left corner of page 69) to arrive at 592 vph, which is the Future No Build value for this movement, and which is plotted on page 18, Figure 5 (Future No Build Volumes).

*6. Revise the level of service comparison table for Eagle Rd and Cabrini Drive/Paul road to reflect the capacity analysis. Verify the southbound PM build LOS.*

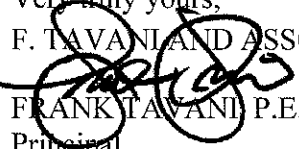
The table has been revised as requested.

*7. Although the TIA report repeatedly states that there will be no increase in enrollment; the Kaplin Stewart letter dated July 11, 2017 states that the proposed residence hall is intended to aid in restoring enrollment to historic levels. We agree with the typical traffic engineering approach and assumption that a new residence hall is anticipated to generate new trips as the school's enrollment may increase.*

The TIA approach was conservative in that it attributed some new trips to the proposed residence hall. It is noted that there is no inherent conflict between the TIA and the Kaplin Stewart letter regarding enrollment as undergraduate enrollment is not proposed to increase beyond historic levels.

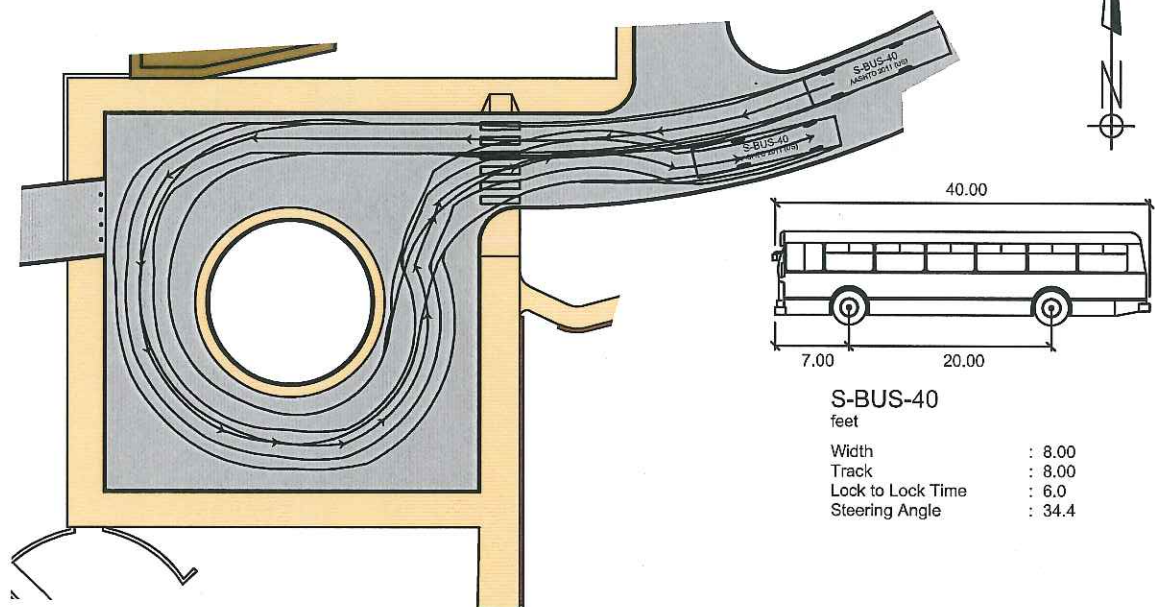
*8. Additional comments may follow upon the review of the resubmitted traffic study.*

No response needed.

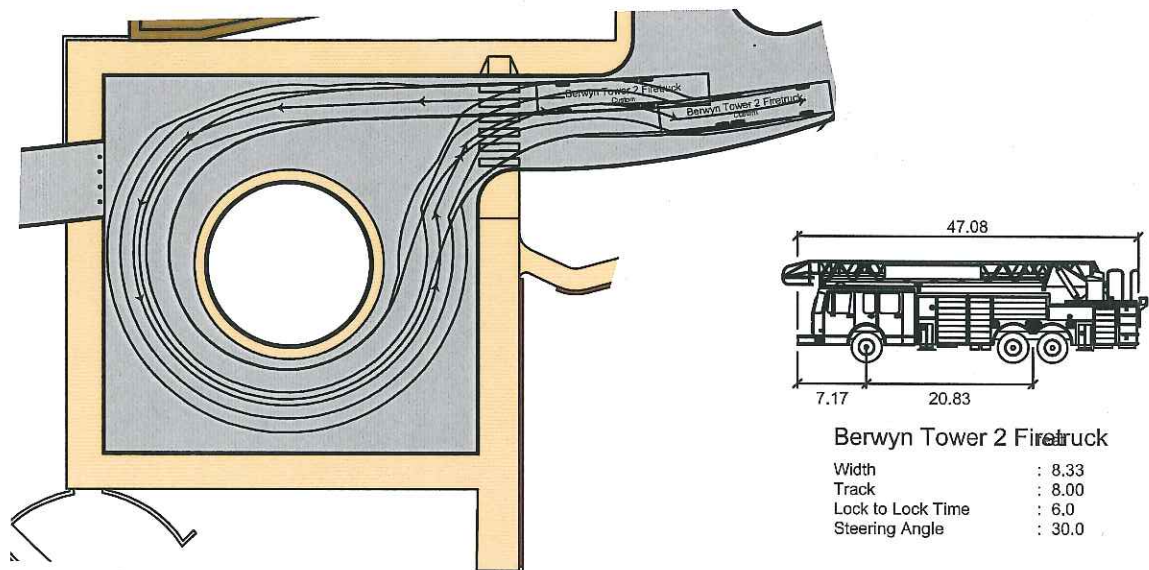
Very truly yours,  
F. TAVANI AND ASSOCIATES, INC.  
  
FRANK TAVANI, P.E., PTOE  
Principal

cc: Amy Kaminski, P.E., PTOE





SCALE: 1"=50'

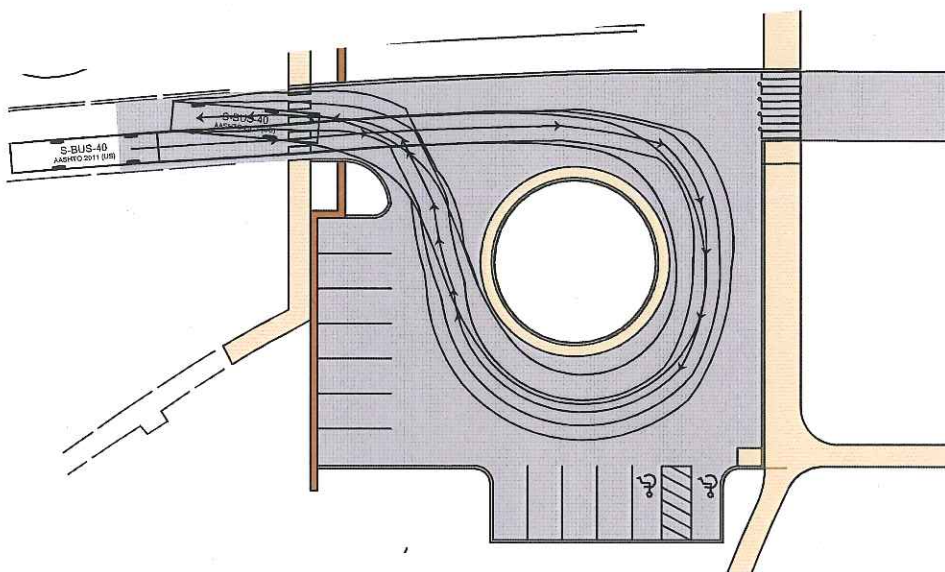


SCALE: 1"=50'

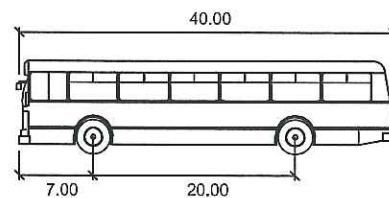
CABRINI UNIVERSITY EAST TURNAROUND  
 BUS AND EMERGENCY VEHICLE TURNING TEMPLATES  
 (PREPARED BY SITE ENGINEERING CONCEPTS, LLC 9/14/17)

SCALE: 1"=50'



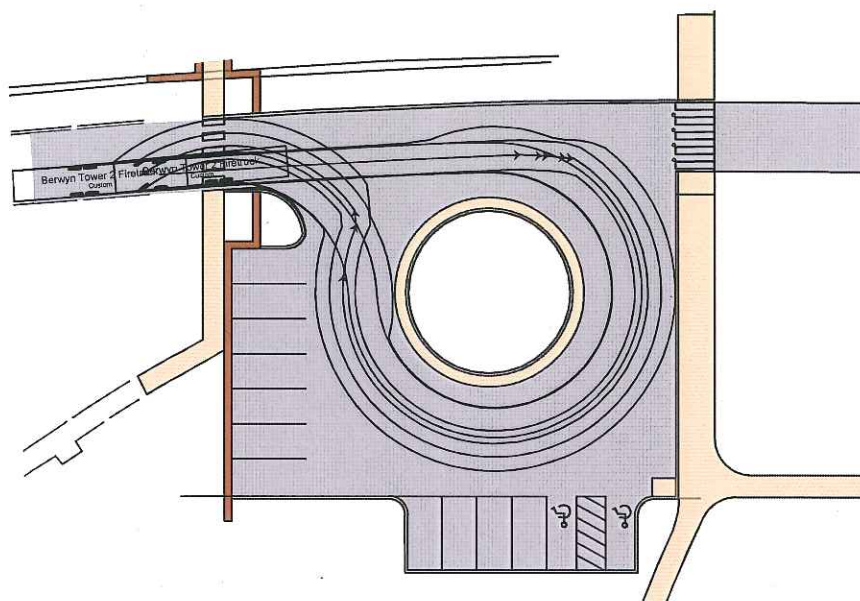


SCALE: 1"=50'

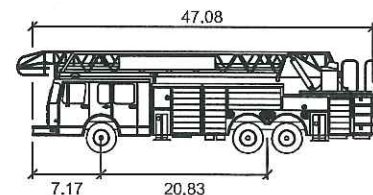


S-BUS-40  
feet

Width	: 8.00
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 34.4



SCALE: 1"=50'



Berwyn Tower 2 Fire Truck

Width	: 8.33
Track	: 8.00
Lock to Lock Time	: 6.0
Steering Angle	: 30.0

**CABRINI UNIVERSITY WEST TURNAROUND  
BUS AND EMERGENCY VEHICLE TURNING TEMPLATES  
(PREPARED BY SITE ENGINEERING CONCEPTS, LLC 9/14/17)**

SCALE: 1"=50'



George W. Broseman  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: gbroseman@kaplaw.com  
www.kaplaw.com

October 2, 2017

**VIA E-MAIL [SNORCINI@RADNOR.ORG]**

Stephen Norcini, Township Engineer  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**RE: Cabrini University – Master Plan/Land Development Application (Phase 2)**  
**Our Reference: 14044-5**

Dear Mr. Norcini:

On behalf of the Applicant, Cabrini University, for the above-referenced Land Development Applications (“**Application**”), please allow this letter to confirm that Radnor Township is hereby granted an extension of time through and including November 14, 2017 to render a decision on the Application.

Please contact me if you require any further information. Thank you for your attention to this matter.

Sincerely yours,

  
George W. Broseman

GWB:sl

cc via email: Cabrini University  
Roger Phillips  
Patti Kaufman



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# RADNOR TOWNSHIP

## ENGINEERING DEPARTMENT

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### Memorandum

To: Radnor Township Planning Commission

From: Stephen F. Norcini, PE, Township Engineer *SP2*

CC: Robert A. Zienkowski, Township Manager  
Roger Phillips, PE, Gannett Fleming, Incorporated  
Amy Kaminski, PE, PTOE, Gilmore & Associates  
Peter Nelson, Solicitor, Grim, Beihn, & Thatcher

Date: August 1, 2017

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Re: **Cabrini University, August 7th Planning Commission Submission**  
**1. Campus Master Plan; Amended Preliminary Application**  
**2. Parking Garage, Residence Hall, and Pedestrian**  
**Improvements, Final Application**

---

Cabrini University will be presenting two applications to the Planning Commission at the August 7<sup>th</sup>, 2017 regularly scheduled Planning Commission Meeting:

1. An amended preliminary Land Development application for their Campus Master Plan. The application before the Planning Commission is amended from their original preliminary approval. The University had met informally with the Township Manager and staff, prior to the application submission, to keep the Township abreast of their Campus Master Plan and their intentions for the University moving into the future.
2. The University is moving forward with these two applications in a parallel fashion; updating the Master Plan to reflect the changes shown, while simultaneously moving forward on Final Approval of the second phase of the



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Master Plan. This includes proposed structured parking, a residence hall, and pedestrian improvements to the campus.

At the August Shade Tree Commission meeting, the Commission recommended approval of these two applications.

Please find attached the plans and review letters from Roger Phillips, PE, and Amy Kaminski, PE, PTOE.

The University is represented by George W. Broseman, Esquire, of Kaplan Stewart and Robert Lambert, PE, of Site Engineering Concepts (amongst others).

As an aside, the Township, Cabrini University, and Eastern University will be going before the Board of Commissioners at an upcoming meeting in regards to a possible joint grant application for improvements to the King of Prussia/Eagle Road/Pine Tree Road intersection.





**Gannett Fleming**

*Excellence Delivered **As Promised***

**Date:** July 27, 2017

**To:** Stephen Norcini, P.E. – Township Engineer

**From:** Roger Phillips, PE

**cc:** Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** Cabrini University – Land Development Phase 2  
Eric Olson C/O Cabrini University – Applicant

Date Accepted: July 18, 2017  
90 Day Review: October 16, 2017

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Gannett Fleming, Inc. has completed a review of the Cabrini University Phase 2 Final Land Development Plan for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, and other applicable codes of the Township of Radnor.

The intent of the plan is to demolish an existing residence hall and parking and construct a new residence hall, parking structure, drive and parking improvements. The project is located in the PI district of the Township.

Plans Prepared By: Site Engineering Concepts, LLC  
Dated: 07/10/2017

#### Sewage Facilities Planning

1. A sewage facilities planning module must be prepared for the construction of the residence hall. Final plan approval will not be granted until Planning Approval is received from the PA DEP.

#### Zoning

1. §280-69.C – No building or structure shall exceed three stories or 38 feet in height. The applicant must provide the height of all proposed buildings to ensure conformance with this section. This must be updated in the zoning table.





2. §280-68.C.2 – A building or combination of buildings may be erected or used and a lot may be principally used or occupied for any accessory use on the same lot and may include a dormitory, provided that every room occupied for sleeping purposes by one occupant shall have a minimum gross floor area of at least 70 square feet. Every room occupied for sleeping purposes by more than one occupant shall contain at least 50 square feet of gross floor area for each occupant thereof. This size of the individual rooms must be indicated on the plans.
3. §280-70.b.1 – The greatest dimension in length or depth of a building shall not exceed 160 feet, and no more than three buildings may be attached to each other, provided further that the façade of any building attached to another building be visibly offset from the adjoining buildings at an angle approximately 90°. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.
4. §280-103.A – As a general requirement, each use in the Township shall provide a sufficient off-street parking area to serve its users. The plan indicates that the project is non-conforming in respect to parking. Parking calculations must be provided for the entire site. Additionally, the handicap parking tally shown on sheet 3 of 26 appears to be incorrect. The proposed spaces do not appear to have been calculated correctly on the plans, please revise.
5. §280-105.E – All outside lighting, including sign lighting, shall be directed in such a way as not to create a nuisance in any agricultural, institutional, ore residential district, and in every district all such lighting shall be arranged so as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet, details that indicate the height of the luminary must be provided.
6. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has also indicated on the plans the areas of steep slopes that were made in conformance with §175.11 and §175.12. It appears that the purple shading on Sheet 6 of 26 does not match the legend. This must be revised. The Engineer must also provide a plan with the proposed features that indicates the steep slopes to ensure this section is adhered to. It appears that the rerouting of the proposed loop road may infringe on steep slope areas.
7. §280-123 – Any proposed signage must be in accordance with this section.





**Subdivision and Land Development**

1. §255.20.B(1)(n) – Existing principal buildings and their respective uses, and driveways on the adjacent peripheral strip; sewer lines, storm drains, culverts, bridges, utility easements, quarries, railroads and other significant man-made features within 500 feet of and within the site (this includes properties across streets). This information must be shown on the plans or a waiver requested.
2. §255.20.B(1)[9] – The location of all fire hydrants must be clearly shown on the plans.
3. §255.20.B(1) [13] – The location of all existing and proposed sanitary sewer connections must be shown on the plans.
4. §255.29.A(1) – The proposed parking spaces around the West Turnaround are dimensioned as 9' x 19'. The parking spaces must be dimensioned as 9 ½' x 20' as specified in this section.
5. §255.29.A(13) – Tire bumpers must be installed so as to prevent vehicle overhang on any sidewalk area. The applicant must indicate how the students will get from the parking areas to the sidewalks without encroaching on the travel lane of the West Turnaround.
6. §255.29.B(1) – All parking areas shall have at least one tree 2 ½ inches minimum caliper for every five parking spaces in single bays and one tree 2 ½ inches minimum caliper for every 10 parking spaces in double bays. A landscaping plan must indicate parking calculation which indicates the number of trees being provided to meet this requirement.
7. §255-41.H. – Outdoor collection stations shall be provided for garbage and trash removal when indoor collection is not provided. Collection stations shall be screened from view and landscaped. Will a collection station be provided for the proposed project?
8. §255-43.1.B.(2) – For all nonresidential or institutional subdivisions and/or land developments involving more than 5,000 square feet of floor area, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 6,400 square feet of floor area (existing or proposed), or portion thereof, unless the developer agrees to a fee in lieu of \$3,307 per 6,400 square feet of floor area (existing or proposed).
9. §255-54 – The water system shall be designed with adequate capacity and appropriately spaced fire hydrants for fire-fighting purposes pursuant to the specifications of the of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided. Therefore, any and all subdivision and land development plans submitted to





this Township shall indicate, according to scale, the closest existing fire hydrants to the proposed subdivision and land development.

Stormwater Comments

1. The pre-development and post-development drainage areas for Drainage Area 3 do not appear to match. Please revise the drainage areas such that the total area encompassed in both the pre- and post-development conditions are similar (page 16). Furthermore, please revise the drainage area maps to be consistent (pages 10 and 13).
2. The pre-development and post-development drainage areas for Drainage Area 4 do not appear to match. Please revise the drainage areas such that the total area encompassed in both the pre- and post-development conditions are similar (page 17). Furthermore, please revise the drainage area maps to be consistent (pages 10 and 13). Additionally, please clarify what DA4 represents.
3. There does not appear to be an overflow/outlet structure provided for infiltration beds 2 or 3. The applicant must provide an overflow/outlet structure that prevents discharge from being concentrated in heavy rain events.
4. The applicant must provide a detail for the level spreader shown for infiltration bed 1.
5. The elevations used in the stormwater report on page 48 for the infiltration beds for Drainage Area 1 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
6. The elevations used in the stormwater report on page 85 for the infiltration beds for Drainage Area 2 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
7. The elevations used in the stormwater report on page 119 for the infiltration beds for Drainage Area 3 do not appear to match the elevations called out on the Proposed PCSM Detail Sheet (Sheet 13). Please revise this discrepancy.
8. The stormwater report claims there is 572 LF of 60" diameter pipe in stormwater infiltration bed 2, which assumes that the headers are 60" pipe (see page 84). However the detail on Sheet 13 calls out the headers as 48" diameter pipe. Please revise this discrepancy.
9. There are insufficient dimension on the stormwater infiltration bed details to find the total length of the pipes. Please provide lengths of the pipes on the Proposed PCSM Detail Sheet.
10. The applicant must submit stormwater infiltration bed section details for each infiltration bed.





11. The areas used in determining the net 2-yr, 24-hr runoff volume and the areas used for rate control are not consistent with respect to size. This applies to each of the drainage areas. The applicant must revise the inconsistencies and resubmit.
12. Please provide stormwater system profiles showing any utility crossings. Include vertical clearances.
13. §245-27 - Underground stormwater management systems must be designed to store the two- through one-hundred-year storms within a pipe or other open system that will permit the inspection and maintenance of the system. The entire storm must be placed in the pipe (i.e., the stone bedding around the pipe is not to be included in the volume calculations). There does not appear to be a structure shown on the detail/plan that would permit the inspection and maintenance of the system. This must be addressed.
14. Final approval of the stormwater management plan will be required as part of the Grading Permit process. Any revisions to the size or location of the individual structures or other features will be addressed at that time.

General

1. Details and height of the proposed retaining wall must be provided on the plans. Also the retaining wall must be shown in the legend.
2. The existing and proposed sanitary sewer connection to the building must be shown on the plans.
3. The applicant must show silt fence downgrade of all construction activities including installation of proposed walkways.
4. The demolition plan on sheet 8 of 26 must show the existing sanitary sewer lateral connection and the disposition of the lateral.
5. An overall improvements plan must be provided that removes the existing features that are proposed to be removed and show the proposed features. For example, the parking spaces that are proposed to be removed in this phase should no longer be shown on the new plan.
6. Crosswalks must be provided at the proposed East turnaround, similar to the proposed West turnaround.
7. The scale of the plan sheets are inconsistent between 1" = 20 feet and 1" = 30 feet. This must be revised to be consistent.
8. The Radnor Township tree protection detail must be shown on the plans.



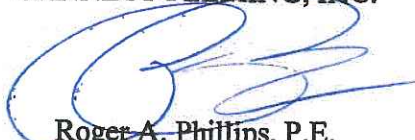


9. Detailed parking structure plans must be provided for review.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager





**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

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**Date:** July 28, 2017

**To:** Steve Norcini, P.E.  
Radnor Township Engineer

**From:** Damon Drummond, P.E., PTOE

**cc:** Amy B. Kaminski, P.E., PTOE

**Reference:** Cabrini University – Phase 2 Land Development  
Preliminary/Final Land Development Plans Review 1  
Transportation Impact Assessment Review 1  
Radnor Township, Delaware County  
G&A 14-05020-02

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Gilmore & Associates, Inc. (G&A) has completed a transportation review for the above referenced project and offers the following comments for Radnor Township consideration:

**A. Background**

The overall parcel is approximately 112 acres in size and is zoned PI (Planning Institutional District). The Applicant is proposing to construct a 207-bed residence hall and to transform the core of the campus to a pedestrian friendly (no vehicles) area. Some of the existing internal roadways will be converted to pedestrian walkways. In addition, two new parking areas including a 14 space surface lot and a 174 space parking garage are proposed for construction.

**B. Reviewed Documents**

1. Cabrini University Phase 2 Final Land Development Plans prepared by Site Engineering Concepts, LLC consisting of 26 sheets and dated July 10, 2017.
2. Traffic Impact Assessment for Cabrini University Phase 2 Land Development, prepared for Radnor Township, prepared by F. Tavani and Associates, Inc., dated July 7, 2017.
3. Overall Proposed Site Improvements (Preliminary Master Plan) for Cabrini University, prepared by Site Engineering Concepts, LLC, dated July 10, 2017.
4. Subdivision and Land Development Application.
5. Application for ACT 247 Review.

**BUILDING ON A FOUNDATION OF EXCELLENCE**

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901 | 215-345-4330 | 215-345-8606  
508 Corporate Drive West | Langhorne, PA 19047 | 215-369-3955 | 215-345-8606  
184 W. Main Street | Suite 300 | Trappe, PA 19426 | 610-489-4949 | 610-489-8447  
425 McFarlan Road | Suite 102 | Kennett Square, PA 19348 | 610-444-9006 | 610-444-7292  
5100 Tilghman Street | Suite 150 | Allentown, PA 18104 | 610-366-8064 | 610-366-0433  
One Penn Center at Suburban Station | 1617 JFK Blvd. | Suite 820 | Philadelphia, PA 19103 | 215-687-4246 | 215-564-1780  
[www.gilmore-assoc.com](http://www.gilmore-assoc.com)



**C. Subdivision and Land Development Ordinance Comments**

1. §255-29.A(1) – The minimum dimensions of stalls shall be 9 ½ feet by 20 feet. Revise the proposed parking stalls on the plans to meet this requirement. The proposed parking stalls by the West Turnaround are noted as 9 feet x19 feet.
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3. §255-29.A(14) – No less than a five (5) foot radius of curvature shall be permitted for all curblines in parking areas.
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5. §255-21.B(1)(o)[7] – The width of all proposed sidewalks and pedestrian paths shall be shown on the plans.

**D. General Comments**

1. Consider installing a barrier (i.e. curbing or grass verge) between the west turnaround and the adjacent sidewalk east of the area.
2. Sheets 10-12 should be revised to include the following:
  - a. Cartway width of all the roadways.
  - b. Roadway names (i.e. Drive A) for identification purposes.
  - c. Width of the parking aisles.
  - d. Dimensions of the proposed parking spaces (including handicapped spaces).
  - e. Pavement marking and striping details (color, width, etc.) for all parking stalls, crosswalks and pavement markings.
  - f. Extend the proposed contours to the limits of the proposed work.
  - g. Clearly identify all proposed curb ramps.
  - h. Label all propose curb radii.
3. The plans indicate removal of existing parking and vehicular circulation in the core of the campus. Revise the plans to clearly show how vehicular circulation will be restricted (i.e bollards, gates, etc.). Include an additional sheet clearly showing the proposed site circulation for vehicles within the campus.
4. There is a proposed driveway shown on the Master Plan north of the Dixon Center noted to be installed as part of Phase 2. Revise the plans to show these improvements or remove it from the Master Plan under Phase 2.
5. We recommend pedestrian lighting along all proposed walkways.
6. The applicant must include truck-turning templates to ensure adequate turn radii to accommodate the largest anticipated trucks accessing the site at the proposed eastern and western turnaround areas.
7. The applicant must provide firetruck turning templates to ensure adequate emergency access to all building effected by the traffic circulation modifications. The firetruck turning templates should be submitted to the Fire Marshall for review.



8. All new pedestrians facilities should be designed to be ADA compliant.
9. A crosswalk is recommended between the two curb ramps south of the proposed parking facility.
10. Sheet 10, east of the proposed west turnaround area, consider eliminating the second set of bollards just east of the crosswalk. This would improve emergency response time if the bollards needed to be removed for access.
11. Sheet 12, it is unclear if bollards are proposed west of the proposed east turnaround. If bollards are proposed, please label.
12. Future plan submissions should be accompanied by a cover letter prepared by the Applicant and include a list of all outstanding comments along with detailed responses addressing each comment.

**E. Transportation Impact Assessment Comments**

1. §255-20.B(5)(d)[6][a] – All streets and/or intersections showing a Level of Service below C shall be considered deficient, and specific recommendations for the elimination of these problems shall be listed. King of Prussia Road and Eagle Road/Pine indicates LOS below C during the PM peak hour.
2. The southbound queue at the intersection of King of Prussia Road and Eagle Road/Pine extends beyond the available storage for the intersection. The applicant should evaluate improvements for the build queue to fit within the available storage area or be no worse than no-build conditions.
3. Upper Gulph Road at the intersection with the Cabrini driveway is a state route (S.R. 1008). Revise Table 1 accordingly.
4. Cabrini Drive at Paul Road and Eagle Road is a right-in/right-out driveway; however, the manual turning movement counts as well as the report figures show Eagle Road eastbound lefts into the site as well as southbound Cabrini Drive lefts out of the site. The applicant should discuss improvements that would eliminate the need for turn restrictions at the intersection or improvements that would more effectively restrict movements at this intersection.
5. The additional traffic from the King of Prussia Road Redevelopment study should be shown on a separate figure. The existing 2017 volumes figure should be revised to exclude the added traffic from the King of Prussia Road study. Revise Figure 4 accordingly.
6. Revise the level of service comparison table for Eagle Rd and Cabrini Drive/Paul road to reflect the capacity analysis. Verify the southbound PM build LOS.
7. Although the TIA report repeatedly states that there will be no increase in enrollment; the Kaplin Stewart letter dated July 11, 2017 states that the proposed residence hall is intended to aid in restoring enrollment to historic levels. We agree with the typical traffic engineering approach and assumption that a new residence hall is anticipated to generate new trips as the school's enrollment may increase.
8. Additional comments may follow upon the review of the resubmitted traffic study.







On Tuesday, August 22<sup>nd</sup>, officers from the Radnor Fire Company met with representatives from the Cabrini University project to discuss their plans. Specifically, Robert Lambert from Site Engineering Concepts, Howard Holden the Cabrini Director of Facilities, and another rep met with Chief Joe Maguire, Assistant Chief Ryan Maguire and Assistant Chief Paul Leighton.

Discussed was the new parking structure, a new dorm building and the general lay out and traffic plan for the campus. None of the current driveways or reinforced pathways will be adversely affected by the plans. There are, however, plans to use these areas as pedestrian only areas, protected by either gates or bollards to prevent vehicular traffic. The fire company has been assured that emergency vehicles will have access to these areas, however, it is not yet decided whether bollards or gates will be used.

The fire company strongly urges the university utilize whatever method would be most user friendly. The university reps were warned that removable bollards often rust in place and cannot be removed in a timely manner if emergency vehicles need access.

Second, the fire company requested a dry standpipe for the parking structure. The height of each level of the garage is not sufficient for fire apparatus, therefore, standpipes could be used to help cut down on the time it would take to place water lines in service. The Cabrini reps seemed to believe that this was an acceptable request.

The reps were also requested to provide an electronic version of a campus map, including hydrant locations and building names, which they agreed to supply.



SITE ENGINEERING CONCEPTS, LLC  
CIVIL ENGINEERING AND CONSULTING SERVICES

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TRANSMITTAL

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TO: Township Engineer

FROM: Robert M. Lambert

COMPANY: Radnor Township

DATE: 8/28/2017

STREET ADDRESS:

PHONE:

CITY, ZIP:

SENDER'S REFERENCE NUMBER:

RE: Cabrini University  
Preliminary Plan

CC: Cabrini University

COPIES	SHEETS	DATE	ITEM
12		08/25/17	NARRATIVE
12	3		EXHIBITS

NOTES/COMMENTS:

Please find the attached narrative and plans providing further information to the Planning Commission for their September 5 meeting.

Should you have any questions, please do not hesitate to contact me.



On August 7<sup>th</sup>, Cabrini University met with the planning commission to present their Land Development submission. The meeting was attended by neighbors bordering the University. The neighbors expressed concerns regarding the proposed parking structure and loop road that included the following:

- automobile headlights shining into neighbor's windows from the parking structure and road
- light infiltration from the light fixtures on the parking garage
- visual impact of proposed development from their homes

The Planning Commission directed the University to meet with the neighbors to discuss their concerns before the September 5<sup>th</sup> Planning Commission meeting.

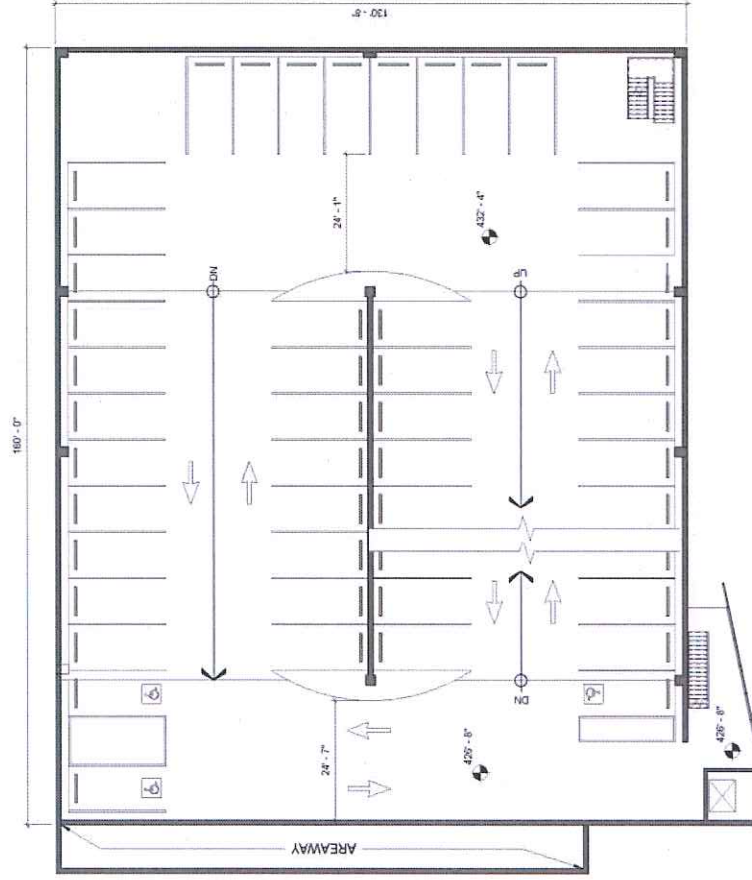
The University staked the corners of the parking structure and the edge of the loop road. The design team visited the site to photograph the project area, in preparation for the meeting with the neighbors. A walk through of the site was held on August 23<sup>rd</sup> for interested neighbors, and attended by six neighbors from three adjacent properties.

The parking structure was reoriented so that parking stalls would not be against the east wall facing the neighbors. This is depicted in the attached plan showing the original layout as compared to the currently proposed plan. In addition, a 2'-9" high concrete walls surround each level of the parking structure, eliminating the potential for headlights to shine beyond the perimeter of the building.

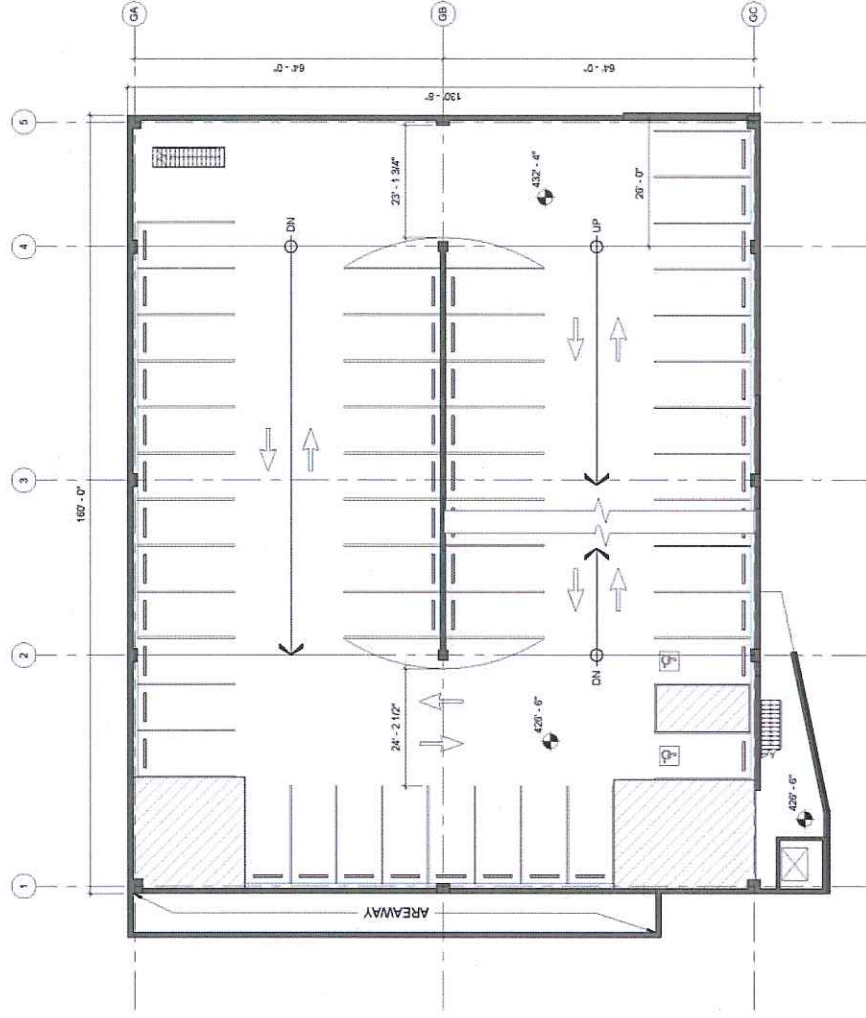
Artificial illumination on the uppermost level of the garage will be shielded and oriented to face away from the neighboring homes.

The planting plan has been developed to maintain and enhance the existing landscape buffer. Numerous mature trees will remain, as well as the existing understory vegetation. The loop road will have new trees on both sides. Evergreens will be strategically located to fill voids between trees to mask views of the campus from the property lines. A larger scale aerial map exhibit is provided to better depict the proposed landscaping in relation to the existing vegetation and proximity to neighboring properties. In addition, a photo simulation is included depicting the proposed view from the neighboring property.





ORIGINAL PLAN



PROPOSED PLAN







WRT

CABRINI  
UNIVERSITY

SITE PLAN





VIEW WITH NEW TREES - THIRD LAYER

CABRINI  
UNIVERSITY





## DELAWARE COUNTY PLANNING COMMISSION

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

### COUNCIL

MARIO J. CIVERA, JR.  
CHAIRMAN

COLLEEN P. MORRONE  
VICE CHAIRMAN

JOHN P. McBLAIN  
DAVID J. WHITE  
MICHAEL F. CULP

**Office Location:** Toal Building, 2<sup>nd</sup> & Orange Sts., Media, PA 19063  
**Phone:** (610) 891-5200 **FAX:** (610) 891-5203  
**E-mail:** [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

LINDA F. HILL  
DIRECTOR

August 17, 2017

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Name of Dev't: Cabrini University Phase II Expansion  
DCPD File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-  
12-14-17  
Developer: Cabrini University c/o Eric Olson  
Location: Northwest corner of Eagle Road and King  
of Prussia Road  
Recv'd in DCPD: July 25, 2017

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on August 17, 2017, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

  
Linda F. Hill  
Director

cc: Cabrini University c/o Eric Olson  
Site Engineering Concepts





# DCPD

## DELAWARE COUNTY PLANNING DEPARTMENT

Court House/ Government Center, 201 W. Front St., Media, PA 19063  
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: planning\_department@co.delaware.pa.us

Date: August 17, 2017

File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

PLAN TITLE: Cabrini University Phase II  
Expansion

DATE OF PLAN: July 10, 2017

OWNER OR AGENT: Cabrini University c/o Eric Olson

LOCATION: Northwest corner of Eagle Road and  
King of Prussia Road

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Land Development

ZONING DISTRICT: PI - Planned Institutional

SUBDIVISION ORDINANCE: Local

PROPOSAL: Further develop 112 acres with a  
residence hall, parking  
improvements including a parking  
garage, and circulation  
modifications

UTILITIES: Public

RECOMMENDATIONS: Approval, with consideration given  
to staff comments

STAFF REVIEW BY: Michael A. Leventry





Date: August 17, 2017  
File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS:

**PREVIOUS ACTION**

A plan for the site was last reviewed by the Delaware County Planning Commission at its meeting on June 19, 2015, as a land development. The applicant proposed to further develop 112 acres with a 28,000 sq. ft. addition to an athletic center. The Planning Commission recommended approval.

**CURRENT PROPOSAL**

The applicant currently proposes to develop an additional dormitory, add additional parking in the form of a garage and surface lots, and adjust the campus circulation system to be more pedestrian friendly.

**SITE CHARACTERISTICS**

The site is an existing academic campus. All modifications are well within the University's property and well buffered from neighboring uses.

**APPLICABLE ZONING**

The proposal is located within the PI - Planned Institutional district and is subject to applicable regulations set forth in the Township's zoning code.

**NONCONFORMITIES**

The site's existing parking does not appear to comply with the regulations established in the Township zoning code. Where Section 280-103 requires 2,060 parking spaces, the applicant is proposing 1,116. It should be noted that the shortfall of 944 spaces is an existing nonconformity that is not exacerbated by the current proposal.



Date: August 17, 2017

File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS (continued):

#### **COMPLIANCE**

With exception of the existing nonconformity, the proposal appears to comply with the PI - Planned Institutional district provisions.

#### **VEHICLE CIRCULATION**

Western turnaround: To avoid motorist confusion and vehicle movement conflicts, it is recommended that the western turnaround be reconfigured to have overall rectangular shape and standard 24' drive aisles (i.e., a typical parking lot configuration). Stop signs should be installed at both points of egress. Staff are concerned that some motorists will treat the current design like a roundabout while others are maneuvering to find and utilize parking resulting in confusion and potential vehicle movement conflicts.

Eastern turnaround: To avoid motorist confusion and to improve pedestrian safety, it is recommended that this turnaround be modified to a typical roundabout design. The standard roundabout has pedestrian crosswalks, and the design lends itself to traffic calming by slowing vehicles upon approach.

Intersection located between proposed parking structure and Xavier hall: It is recommended that the geometry of this intersection be improved so that approaches are at right angles.

#### **PEDESTRIAN CIRCULATION**

Striping should be installed for the non-ADA crosswalk that leads to the Xavier residence hall.

Staff concurs with improvements that make the campus more ADA accessible and pedestrian friendly.



Date: August 17, 2017  
File No.: 34-1486-83-94-95-96-99-02-03-04-05-11-12-14-17

REMARKS (continued):

**SEWAGE FACILITIES**

The Planning Department has received a sewage facilities planning module for review.

The Township should confirm receipt of any necessary Pennsylvania Department of Environmental Protection planning approval prior to final approval.

**STORMWATER MANAGEMENT**

The Township Engineer must verify the adequacy of all proposed stormwater management facilities.

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
www.radnor.com

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

July 18, 2017

Eric Olson  
C/O Cabrini University  
610 King of Prussia Road  
Wayne, PA 19087

**RE: Final Land Development Application #2017-D-05  
Cabrini University – 610 King of Prussia Road**

Dear Mr. Olson:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your final land development application to construct a residence hall, parking structure, drive and parking improvements, and have found it complete. Therefore, I have accepted the application for final land development for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday August 7, 2017.**

Planning Commission meetings begin at **7:00 P.M.** These meetings will be held in the Radnor Township Municipal Building, 301 Iven Ave., Wayne, Pa 19087.

Sincerely,

Stephen F. Norcini, PE  
Township Engineer



Recd  
7/12

George W. Broseman  
Direct Dial: (610) 941-2459  
Direct Fax: (610) 684-2005  
Email: gbroseman@kaplaw.com  
www.kaplaw.com

July 11, 2017

**VIA HAND DELIVERY**

Stephen Norcini, P.E.  
Radnor Township Engineer  
301 Iven Avenue  
Wayne, PA 19087

**RE: Cabrini University- Amended Preliminary Land Development Application  
for Campus Master Plan and Application for Final Land Development Approval  
for portion of Amended Master Plan  
Our Reference No.: 14044.002**

Dear Mr. Norcini:

I represent Cabrini University with regard to its 110 (+/-) acre campus ("Campus") located along King of Prussia Road, Eagle Road and Upper Gulph Road. The Campus is currently improved with, among other things, residence halls, dining halls, classroom buildings, athletics facilities, administrative buildings, off-street parking facilities and related improvements.

**I. MASTERPLAN PROCESS & PHASE 1**

Beginning in 2011, Cabrini has been involved with implementation of a Campus Master Plan. In January 2013, the Radnor Township Board of Commissioners granted Preliminary Land Development Approval for the masterplan (Resolution No. 2013-05) ("Masterplan Preliminary Approval"). Subsequently Cabrini obtained preliminary land development approval of amendments to the Masterplan Preliminary Approval (Resolution No. 2014-71) as well as Final Plan Approval for the first phase of the Masterplan (Resolution No. 2014-72).

**II. AMENDMENTS TO MASTERPLAN - PHASE 2**

Cabrini now proposes additional amendments to the Masterplan Preliminary Approval and hereby submits an Application for Amended Preliminary Land Development Approval for those amendments. In addition, Cabrini now plans to implement the second phase of the Masterplan. To that end, we are also submitting an Application for Final Land Development Approval for Phase 2 of the Masterplan ("Phase 2"). Phase 2 includes, among other things, a residence hall, construction of a parking structure, as well as other associated pedestrian and vehicular



Stephen Norcini, P.E.  
July 11, 2017  
Page 2

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circulation improvements that will transform the core of the Campus into a more pedestrian-friendly atmosphere. It is noted that the residence hall is being proposed to facilitate more modern living accommodations for students and to aid in restoring enrollment to historic levels, thereby enhancing the continued vitality of the University.

### III. SUBMISSION

Along with this letter, I am filing the following:

#### A. Application for Amendment to Preliminary Masterplan Approval

1. A signed Subdivision and Land Development Application;
2. Twenty-six (26) copies of Amended Preliminary Land Development Plans consisting of one (1) sheet, Sheet 3 of 21, prepared by Site Engineering Concepts, LLC, dated September 4, 2012, last revised July 10, 2017;  
  
*Eight (8) of these copies are signed by the Applicant and notarized*
3. Seven (7) copies of the Amended Preliminary Land Development Plans at 11" x 17" in size;
4. A completed Delaware County Planning Commission review form;
5. A title report and deed to the Property;
6. Ten (10) thumb drives containing all of the above-referenced submission materials; and
7. Three (3) checks as follows:
  - a. \$2,900.00 payable to Radnor Township for the Amended Preliminary Land Development application fee;
  - b. \$15,000.00 payable to Radnor Township to establish the Professional Escrow Account for review of the Amended Preliminary Land Development application; and
  - c. \$1,450.00 payable to the Treasurer of Delaware County for the Delaware County Planning Commission review.



Stephen Norcini, P.E.  
July 11, 2017  
Page 3

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**B. Application for Phase 2 - Final Plan Approval**

1. A signed Subdivision and Land Development Application;
2. Twenty-Six (26) copies of Final Land Development Plans for Phase 2 consisting of Twenty-six (26) sheets prepared by Site Engineering Concepts, LLC, dated July 10, 2017;  
*Eight (8) of these copies are signed by the Applicant and notarized*
3. Seven (7) copies of the Final Land Development Plans at 11" x 17" in size;
4. A completed Delaware County Planning Commission application form;
5. Two copies of a Sewer Planning Module Application Mailer;
6. A title report and deed for the Property;
7. Two (2) copies of a Transportation Impact Assessment prepared by F. Tavani and Associates, Inc., dated July 7, 2017;
8. Two (2) copies of a Stormwater Management Analysis prepared by site Engineering Concepts, LLC, dated July 10, 2017;
9. Ten (10) thumb drives containing all of the above-referenced submission materials;
10. Three (3) checks as follows:
  - a. \$2,800.00 payable to Radnor Township for the Final Land Development application fee;
  - b. \$15,000.00 payable to Radnor Township to establish the Professional Escrow Account for review of the Final Land Development application; and
  - c. \$1250.00 payable to the Treasurer of Delaware County for the Delaware County Planning Commission review.

**IV. REVIEW**

Please submit the enclosed Applications and supplemental information to the County and Township Commission and appropriate Township staff, consultants and bodies for review, and public meetings. Please provide us with copies of all reviews, correspondence, notices and other documentation relating to this Project as soon as they are generated or received. Please contact



Stephen Norcini, P.E.

July 11, 2017

Page 4

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us immediately if you have any questions or require any further information to process these applications.

Sincerely,



George W. Broseman

Enclosures

cc:    Cabrini University  
      Site Engineering Concepts  
      Wallace Roberts & Todd  
      Frank Tavani, P.E.  
      John Cacciola



**RADNOR TOWNSHIP**  
**301 IVEN AVE**  
**WAYNE PA 19087**  
**P) 610 688-5600**  
**F) 610 971-0450**  
**WWW.RADNOR.COM**

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 610 King of Prussia Road

Zoning District PI Application No. \_\_\_\_\_  
(Twp. Use)

Fee \$2800 Ward No. 1-1 Is property in HARB District no

Applicant: (Choose one) Owner \_\_\_\_\_ Equitable Owner X

Name Cabrini University, c/o Eric Olson, Treasurer

Address 610 King of Prussia Road, Wayne, PA 19087

Telephone 610-902-8240 Fax \_\_\_\_\_ Cell \_\_\_\_\_

Email ejo38@cabrini.edu

Designer: (Choose one) Engineer X Surveyor \_\_\_\_\_

Name Site Engineering Concepts, LLC, c/o Peter Cokonis

Address P.O. Box 1992, Southeastern, PA 19399

Telephone 610-240-0450 Fax 610-240-0451

Email pcokonis@site-engineers.com

Area of property 112 acres Area of disturbance 6 acres

Number of proposed buildings 2 Proposed use of property Institutional Campus

Number of proposed lots 0

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary \_\_\_\_\_ Final X Revised \_\_\_\_\_

Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?



Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

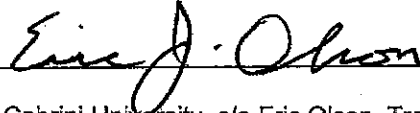
none that we are aware of

Are there any infringements of Chapter 280 (Zoning), and if so what and why?  
none that we are aware of

Individual/Corporation/Partnership Name  
Cabrini University, c/o Eric Olson, Treasurer

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name Cabrini University, c/o Eric Olson, Treasurer

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.



## DELAWARE COUNTY PLANNING COMMISSION

### APPLICATION FOR ACT 247 REVIEW

Incomplete applications will be returned and will not be considered "received" until all required information is provided.

Please type or print legibly

#### DEVELOPER/APPLICANT

Name Cabrini University E-mail ejo38@cabrini.edu  
C/o Eric Olson, Treasurer

Address 610 King of Prussia Road, Wayne, PA 19087 Phone 610-902-8240

Name of Development Cabrini University

Municipality Radnor Township

#### ARCHITECT, ENGINEER, OR SURVEYOR

Name of Firm Site Engineering Concepts, LLC Phone 610-240-0450

Address P.O Box 1992, Southeastern, PA 19399

Contact Peter Cokonis E-mail pcokonis@site-engineers.com

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI

Tax Map #36 /07 /025

Tax Folio #36.02 /00979 /00



**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

Cabrini University is an institutional campus. This project proposes to construct a residence hall and transform the core of campus to pedestrian only with the construction of a parking structure, drive, and parking improvements.

Total Site Area 112 Acres  
Size of All Existing Buildings 600,000 +/- Square Feet  
Size of All Proposed Buildings 40,186 Square Feet  
Size of Buildings to be Demolished 2354 Square Feet

Cabrini University  
C/o Eric Olson, Treasurer  
Print Developer's Name

Eric J. Olson  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting \_\_\_\_\_

Local Governing Body Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

Print Name and Title of Designated Municipal Official \_\_\_\_\_

Phone Number \_\_\_\_\_

Official's Signature \_\_\_\_\_

Date \_\_\_\_\_

**FOR DCPD USE ONLY**

Review Fee: Check # \_\_\_\_\_ Amount \$ \_\_\_\_\_ Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**



## **Ebert Engineering, Inc.**

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### **Water and Wastewater Engineering**

June 14, 2017

Ms. Stefanie Rittenhouse  
Pennsylvania Department of Environmental Protection  
2 East Main Street  
Norristown, PA 19401

Subject: Cabrini University Residence Hall  
Radnor Township, Delaware County  
Re: Sewage Facilities Planning Module Application Mailer  
EE, Inc. No.: 026-184

Dear Stefanie,

On behalf of Cabrini University, Ebert Engineering, Inc (EE, Inc.) is submitting a Sewage Facilities Planning Module Application Mailer for the proposed Cabrini University Residence Hall expansion, located on the existing Cabrini University campus at 610 King of Prussia Road in Radnor Township, Delaware County, PA.

The proposed residence hall expansion will produce a net increase of 187 beds. The projected sewage flow for the proposed development is 16,830 gpd (187 beds x 90 gpd/bed). As shown on the attached preliminary site sketch plan, the proposed residence hall will be constructed in the southern portion of the existing 112-acre campus. Other improvements are also proposed, including a parking garage, parking lot, and driveways; however none of these will generate sewage flows.

The Radnor Township Act 537 identifies the area of the proposed development to be serviced by Radnor Township existing public sanitary sewer system. The sewage generated by the proposed residence hall will flow into the conveyance system, which is owned and operated by Radnor Haverford Marple (RHM) Sewer Authority. From there it will then flow into the SCUD Interceptor in Springfield Township, which is owned and operated by Delaware County Joint Sewer Authority (DCJA), where it will flow into DELCORA via Philadelphia Southwest Water Pollution Control Plant for treatment and disposal under NPDES Permit No. PA0026671.

Radnor Haverford Marple Sewer Authority (RHMSA) defines the flow per edu as being equal to 262.5 gpd/edu. Based on the proposed sewage flow of 16,830 gpd, 65 edus will be needed to service the proposed development.

Should you have any questions or need any additional information to process this request, please feel free to contact me.

Sincerely,



Christina Ruble  
Planning Specialist

#### **Enclosures**

CC: Dawn Barnett, Cabrini University  
Rob Lambert, SITE Engineering Concepts, LLC  
Peter Cokonis, P.E., SITE Engineering Concepts, LLC  
File



## 1. Development Information

Name of Development Cabrini University Residence Hall  
 Developer Name Cabrini University  
 Address 610 King of Prussia Road  
Radnor, PA 19087  
 Telephone # 810-902-8100  
 Email db724@cabrini.edu

## 2. Location of Development

- a. County Delaware County  
 b. Municipality Radnor Township  
 c. Address or Coordinates 610 King of Prussia Road,  
Radnor PA 19087  
 d. Tax Parcel # 36-02-00979-00  
 e. USGS Quad Name Valley Forge  
Inches up 9.6 over 0.1  
from bottom right corner of map.  
 f. Located in a High Quality/Exceptional Value watershed?  
☐ Yes ☒ No

## 3. Type of Development Proposed (check appropriate box)

☐ Residential ☐ Multi-Residential  
 Describe \_\_\_\_\_

☐ Commercial ☒ Institutional  
 Describe Proposed residence hall for Cabrini College  
consisting of 187 beds

☐ Brownfield Site Redevelopment  
☐ Other (specify) \_\_\_\_\_

## 4. Size

- a. # of lots 1 Existing # of EDUs 65  
 b. # of lots since 5/15/72 1  
 c. Development Acreage 1  
 d. Remaining Acreage 111

5. Sewage Flows 16,830 gpd

## 6. Proposed Sewage Disposal Method (check applicable boxes)

- a. ☒ Sewerage System  
☐ Existing (connection only) ☐ New (extension)  
☒ Public ☐ Private  
☐ Pump Station(s)/Force Main ☐ Gravity  
 Name of existing system being extended  
RHM Sewer Authority  
 Interceptor Name SCUD  
 Treatment Facility Name DELCORA via Philadelphia  
Southwest Pollution Control Plant  
 NPDES Permit # PA0026671

- b. ☐ Construction of Treatment Facility  
☐ With Stream Discharge  
☐ With Land Application (not including IRSIS)  
☐ Other  
☐ Repair?  
 Name of waterbody where point of discharge is proposed  
 (if stream discharge)  
 \_\_\_\_\_

- c. ☐ Onlot Sewage Disposal Systems  
 (check appropriate box)  
☐ Individual onlot system(s) (including IRSIS)  
☐ Community onlot system  
☐ Large-Volume onlot system

d. ☐ Retaining tanks

Number of Holding Tanks \_\_\_\_\_

Number of Privies \_\_\_\_\_

7. ☐ Request Sewage Facilities Planning Module forms in electronic format

## 8. Request for Planning Exemption

## a. Protection of rare, endangered or threatened species

Check one:

☐ The "PNDI Project Environmental Review Receipt" is attached.  
 or

☐ A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning exemption will be considered incomplete and that the DEP processing of my planning exemption request will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_

b. ☐ Plot Plan Attached ☐ Site Reports Attached

## c. Onlot Disposal Systems

- (1) I certify that the Official Plan shows this area as an onlot service area.

\_\_\_\_\_  
 (Signature of Municipal Official) Date

\_\_\_\_\_  
 Name (Print) Title

Municipality (must be same as in 2.b.) \_\_\_\_\_

Telephone # \_\_\_\_\_

- (2) I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

\_\_\_\_\_  
 Signature of SEO Date

\_\_\_\_\_  
 Name (Print) Certification #

Telephone # \_\_\_\_\_

- (3) I certify that each lot in this subdivision is at least 1 acre in size

\_\_\_\_\_  
 (Signature of Project Applicant/Agent) Date

## d. Public Sewerage Service (i.e., ownership by municipality or authority)

Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

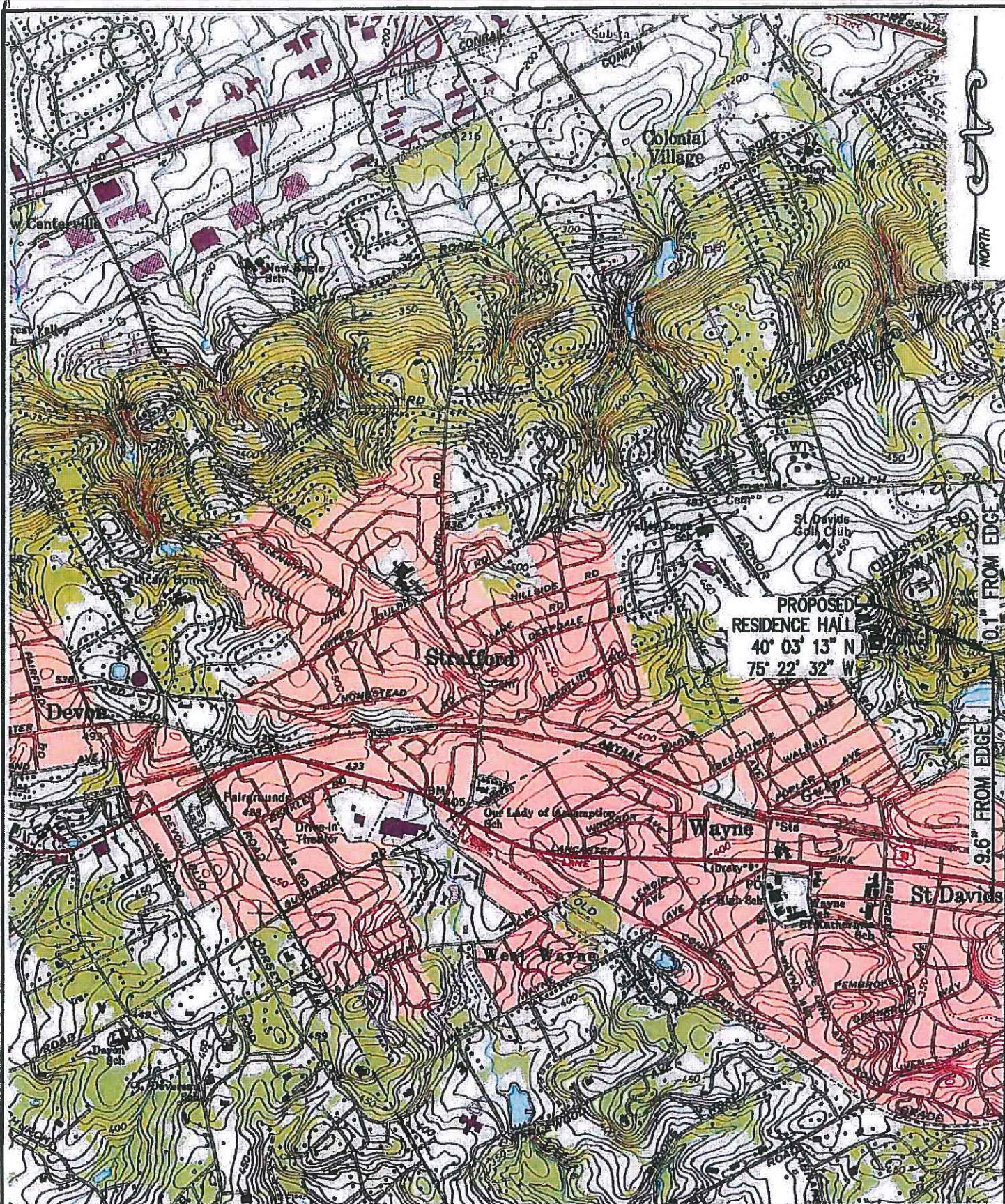
\_\_\_\_\_  
 (Signature of Municipal Official) Date

\_\_\_\_\_  
 Name (Print) Title

Municipality (must be same as in 2.b.) \_\_\_\_\_

Telephone # \_\_\_\_\_





Radnor Township, PA  
Valley Forge Quadrangle  
7.5 Min. Series Topographic



**Ebert Engineering, Inc.**  
Water and Wastewater Engineering

PO Box 540  
4092 Skippack Pike, Suite 202  
Skippack, PA 19474

E-mail [febert@ebertengineering.com](mailto:febert@ebertengineering.com)

Phone (610) 584 6701  
Fax (610) 584 6704



**Lawyers Title Insurance Corporation**  
**1700 Market Street**  
**Suite 2110**  
**Philadelphia PA 19103**  
**215-665-3443**  
**FAX: 215-241-1641**

**Title Insurance Commitment**

**Order No: PH005886HS**  
**Reference No: PHU-02-15355**  
**Effective Date: June 30, 2002**

---

**Schedule A**

**1. Policies**

---

a. **Policy to be Issued:**  
**ALTA Loan 1992**  
**Proposed Insured:**  
**Amount of Insurance: \$**  
**Effective Date:**

2. The estate or interest in the land described or referred to in this Schedule and covered herein is a Fee Simple and title thereto is at the effective date hereof vested in:

Missionary Sisters of the Sacred Heart, an Illinois non-profit Corporation

3. The land referred to in this Report is described in Schedule C attached hereto and made part hereof.

Upper Gulph Road  
Radnor Township  
Delaware County, Pa.  
RIL/jc



Order No: PH005886HS  
Reference No: PHU-02-15355

---

**Schedule B Section 1  
Requirements**

**THE FOLLOWING REQUIREMENTS MUST BE MET:**

1. Instrument(s) satisfactory to us, creating the estate or interest to be insured must be executed, delivered and filed for record.
  - A. **MORTGAGE FROM:** Missionary Sisters of the Sacred Heart, an Illinois non-profit Corporation  
**TO:** \_\_\_\_\_  
**AMOUNT:** \$ \_\_\_\_\_  
**DATED:** \_\_\_\_\_  
**RECORDED:** \_\_\_\_\_
2. This Title Insurance Commitment (the "Commitment") is issued pursuant to the Agreement to Issue Policy contained on the American Land Title Insurance Commitment (1982) front cover form (the "Form") and is subject to the Conditions stated therein. Any title search and examination conducted by or for the Company in connection with the issuance of this Commitment is solely for the benefit of the Company. The sole liability of Company and its agent shall arise under and be governed by the Commitment and/or Policy subsequently issued. Neither the Company nor its issuing agent shall be liable to the proposed insured(s) or any other party for any claim of alleged negligence, negligent representation, or any other cause of action in tort in connection with this Commitment. If this copy of the Commitment is not accompanied by the Form, a copy of the Form may be obtained from this Company upon request.
3. Payment of full consideration to or for the account of the grantors or mortgagors.
4. Payment of the premiums, fees and charges for the policy.
5. Possible unfiled mechanics liens and municipal claims.
6. Terms of any unrecorded lease or rights of parties in possession.
7. Proof that all natural persons in this transaction are of full age and legally competent.
8. Proof of identity of parties as set forth in Recital.
9. **POWERS OF ATTORNEY:** If any party to the settlement intends to use a Power of Attorney at settlement, a copy of such Power of Attorney must be submitted for review in advance of settlement. Failure to comply with this requirement may result in the postponement of the settlement. Acceptability of the Power of Attorney for purposes of completion of settlement is within the discretion of the insurer.
10. Possible additional assessments for taxes for new construction or for any major improvements pursuant to provisions of Acts of Assembly relating thereto.
11. **TAXES:**  
Receipts for Township, County and School Taxes for the three prior years to be produced.  
Township, County and School Taxes for the current year 2002.



16. Prior to settlement, search of statewide support lien system to be performed to determine the existence of support arrearages, if any. Company or its Agent to be provided with social security numbers of all natural persons that are a party to the transaction so that this search can be performed by the closing officer no more than 30 days in advance of closing.
17. Articles of Incorporation or Charter of mortgagor corporation.
18. Proof that the Charter of Mortgagor Corporation is still in full force and effect.
19. By-Laws of mortgagor corporation.
20. Consent of governing body to this transaction, if required by By-Laws.
21. Certified copy of resolution of Board of Directors showing the proper majority (depending upon the number of Directors -2/3's majority if less than 21 or simple majority if 21 or over) authorizing the execution of the instrument to be insured in accordance with articles and By-Laws of Insured Corporation.
22. Last Insured Not Available.



Order No: PH005886HS  
Reference No: PHI-02-15355

---

### Schedule B Section 2 Exceptions

The policy or policies to be issued will contain exceptions to the following unless the same are disposed of to the satisfaction of the Company:

1. Unrecorded easements, discrepancies or conflicts in boundary lines, shortages in area and encroachments which an accurate and complete survey would disclose.
2. Terms and conditions of Lease by and between Missionary Sisters of the Sacred Heart to Cabrini College dated 6/29/1988, a Memorandum of which is and recorded in Volume 634 page 1908.
3. Terms and conditions of Lease by and between Missionary Sisters of the Sacred Heart to Cabrini College dated 6/30/1988, a Memorandum of which is and recorded in Volume 651 page 1415.
4. Restrictions affecting title as in Deed Book I-10 page 256.
5. Rights granted to the public utility companies in Deed Books 2465 page 275, 2726 page 1 and Volumes 245 page 472, 526 page 901 and 875 page 37.
6. Easement over portion of premises for highway purposes acquired by Commonwealth of Pennsylvania Department of Transportation in Condemnation as in Deed Book 2595 page 90.
7. Restrictions and Reservations as in Deed Books 355 page 431, 607 page 342 and 386 page 1.
8. Covenants, conditions, restrictions, reservations and easements as shown on Plan Case 13 page 42:-(1) various sanitary sewer easements through premises and (2) easement of various driveways throughout premises.
9. Conditions disclosed by survey made by Yerkes Associates, Inc. for proposed Dormitory additions for Cabrini College dated 3-30-1995 and recorded in Delaware County in Plan Vol. 18 page 341:-(1) various notes, easements and conditions.
10. Conditions disclosed by survey made by Yerkes Associates, Inc. for a new Residence Hall for Cabrini College dated 1-15-1996 and recorded in Delaware County in Plan Vol. 19 page 102:-(1) various notes, easements and conditions.
11. Conditions disclosed by survey made by Yerkes Associates, Inc. for a proposed Sports/Athletic-Recreational Facility for Cabrini College dated 12-13-1995 and recorded in Delaware County in Plan Vol. 19 page 190:-(1) various notes, easements and conditions.



Order No: PH005886HS  
Reference No: PHI-02-15355

---

### Schedule C Description and Recital

ALL THOSE CERTAIN premises SITUATE in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and more particularly described in a Lease Line Plan made for Cabrini College prepared by Site Engineers. Inc., dated June 15, 1988 and last revised September 8, 1988. Drawing C-2A:

STARTING from a point in the bed of Upper Gulph Road (30 feet wide), extending South fourteen degrees thirty-five minutes four seconds East six hundred and forty-eight feet to an iron-pin; THENCE South fifty-seven degrees thirty-five minutes forty-five seconds West two hundred and sixty-eight feet and three one-hundredths of a foot to a point; THENCE South sixteen degrees thirty-five minutes eighteen seconds East four hundred and twenty feet to the beginning point; THENCE continuing from the beginning point along the same course five hundred and fifty-nine feet and eight hundredths of a foot; THENCE North seventy-three degrees twenty-four minutes and forty-two seconds East six hundred and thirty-five feet to a point; THENCE North sixteen degrees thirty-five minutes and eighteen seconds West three hundred and sixty feet to a point; THENCE South seventy-three degrees twenty-four minutes forty-two seconds West one hundred feet to a point; THENCE North sixteen degrees thirty-five minutes and eighteen seconds West one hundred and ninety-nine feet and eight one hundredths of a foot to a point; THENCE South seventy-three degrees twenty-four minutes and forty-two seconds West five hundred and thirty feet to a point and place of beginning.

BEING Folio Numbers 36-02-00979-00 & 36-02-00979-01.

BEING part of the same premises which The Missionary Sisters of the Sacred Heart, a Pennsylvania Not-for-Profit Corporation by Indenture bearing date the 30th day of June A.D. 1988 and recorded at Media in the Office for the Recording of Deeds in and for the County of Delaware on the 7th day of March A.D. 1989 in Volume 661 page 1396 granted and conveyed unto Missionary Sisters of the Sacred Heart, an Illinois Not-for-Profit Corporation, its successors and assigns, in fee.

ALSO BEING part of the same premises which Cabrini College, a Pennsylvania Not-for-Profit Corporation by Corporation Quit-Claim Deed dated June 30, 1988 and recorded in the Office for the Recording of Deeds in and for the County of Delaware at Media, Commonwealth of Pennsylvania in Volume 651 page 1406 granted and conveyed unto Missionary Sisters of the Sacred Heart, an Illinois Not-for-profit Corporation, its successors and assigns, in fee.

AND ALSO BEING part of the same premises which Cabrini College, a Pa. Not-for-Profit Corporation by Deed of Conformation dated 6-30-1986 and recorded in Delaware County, etc., in Volume 883 page 1118 granted and conveyed unto Missionary Sisters of the Sacred Heart, an Illinois Not-for-Profit Corporation, its successors and assigns, in fee.



# Lawyers Title Insurance Corporation

13485

NATIONAL HEADQUARTERS  
RICHMOND, VIRGINIA

## Title Insurance Commitment COMMITMENT NUMBER

### Title Insurance Commitment INFORMATION Sheet

The Title Insurance Commitment is a legal contract between you and the Company. It is issued to show the basis on which we will issue a Title Insurance Policy to you. The Policy will insure you against certain risks to the land title, subject to the limitations shown in the Policy. The Company will give you a sample of the Policy form, if you ask. The Commitment is based on the land title as of the Commitment Date. Any changes in the land title or the transaction may affect the Commitment and the Policy. The Commitment is subject to its Requirements, Exceptions and Conditions.

THIS INFORMATION IS NOT PART OF THE TITLE INSURANCE COMMITMENT.  
YOU SHOULD READ THE COMMITMENT VERY CAREFULLY.

If you have any questions about the Commitment, contact the issuing office shown on Schedule A or

Consumer Affairs Dept.  
Lawyers Title Insurance Corporation  
P.O. Box 27567  
Richmond, Virginia 23261

### AGREEMENT TO ISSUE POLICY

We agree to issue a policy to you according to the terms of this Commitment. When we show the policy amount and your name as the proposed insured in Schedule A, this Commitment becomes effective as of the Commitment Date shown in Schedule A. If the Requirements shown in this Commitment have not been met within six (6) months after the Commitment Date, our obligation under this Commitment will end. Also, our obligation under this Commitment will end when the Policy is issued and then our obligation to you will be under the Policy.

Our obligation under this Commitment is limited by the following:

- The provisions in Schedule A.
- The Requirements in Schedule B-I.
- The Exceptions in Schedule B-II.
- The Conditions listed below.

This Commitment is not valid without SCHEDULE A and Sections I and II of SCHEDULE B.

Attest:

Secretary



By:

Lawyers Title Insurance Corporation

President

### CONDITIONS

- DEFINITIONS
    - "Mortgage" means mortgage, deed of trust or other security instrument.
    - "Public Records" means title records that give constructive notice of matters affecting your title according to the state statutes where your land is located.
  - LATER DEFECTS

The Exceptions in Schedule B - Section II may be amended to show any defects, liens or encumbrances that appear for the first time in the public records or are created or attach between the Commitment Date and the date on which all of the Requirements of Schedule B - Section I are met. We shall have no liability to you because of this amendment.
  - EXISTING DEFECTS

If any defects, liens or encumbrances existing at Commitment Date are not shown in Schedule B, we may amend Schedule B to show them. If we do amend Schedule B to show these defects, liens or encumbrances, we shall be liable to you according to Paragraph 4 below unless you knew of this information and did not tell us about it in writing.
  - LIMITATION OF OUR LIABILITY

Our only obligation is to issue to you the Policy referred to in this Commitment, when you have met its Requirements. If we have any liability to you for any loss you incur because of an error in this Commitment, our liability will be limited to your actual loss caused by your relying on this Commitment when you acted in good faith to: comply with the Requirements shown in Schedule B - Section I or eliminate with our written consent any Exceptions shown in Schedule B - Section II. We shall not be liable for more than the Policy Amount shown in Schedule A of this Commitment and our liability is subject to the terms of the Policy form to be issued to you.
- CLAIMS MUST BE BASED ON THIS COMMITMENT
- Any claim, whether or not based on negligence, which you may have against us concerning the title to the land must be based on this Commitment and is subject to its terms.
- This document is printed on white paper with



Lawyers Title  
Insurance Corporation

NATIONAL HEADQUARTERS  
RICHMOND, VIRGINIA

TITLE INSURANCE COMMITMENT

SCHEDULE A

1. Commitment Date: March 18, 1995

Case No.: LTI-95-D-13485

2. Policy (or policies) to be issued:

(a) ALTA Owner's Policy, 1992

Amount: \$

Proposed Insured:

(b) ALTA Loan Policy, 1992

Amount: \$ 3,500,000.00

Proposed Insured: PENNSYLVANIA HIGHER EDUCATIONAL FACILITIES AUTHORITY, Its Successors  
and/or Assigns

(c)

Amount: \$

Proposed Insured:

3. Fee simple estate or interest in the land described in this Commitment is owned, at the Commitment Date, by  
MISSIONARY SISTERS OF THE SACRED HEART, an Illinois Not-For-Profit Corporation (Fee)  
-and- CABRINI COLLEGE, a Pennsylvania Non-Profit Corporation (Leasehold Interest)

4. The land referred to in this Commitment is described as follows: SEE "LEGAL DESCRIPTION" ATTACHED.

COUNTERSIGNED AT: PHILADELPHIA METROPOLITAN OFFICE  
PHILADELPHIA, PENNSYLVANIA  
(215) 568-9690

Commitment No. 13485  
Schedule A - Page 1

Authorized Officer or Agent

THIS COMMITMENT IS INVALID UNLESS THE INFORMATION  
SHEET AND SCHEDULES A AND B ARE ATTACHED.



# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS

RICHMOND, VIRGINIA

LEGAL DESCRIPTION  
(Commitment No. 13485 )

-----LEGAL DESCRIPTION FOR TEMPORARY USE ONLY-----

ALL THOSE CERTAIN premises SITUATE in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and more particularly described in a Lease Line Plan for Cabrini College prepared by Site Engineers, Inc., dated June 15, 1988 and last revised September 8, 1988, Drawing C-2A;

STARTING from a point in the bed of Upper Gulph Road (30 feet wide), extending South fourteen degrees thirty-five minutes four seconds East six hundred and forty-eight feet to an iron-pin; THENCE South fifty-seven degrees thirty-five minutes forty-five seconds East two hundred and sixty-eight feet and three one-hundredths of a foot to a point; THENCE South sixteen degrees thirty-five minutes eighteen seconds East four hundred and twenty feet to the beginning point; THENCE continuing from the beginning point along the same course five hundred and fifty-nine feet and eight hundredths of a foot; THENCE North twenty-three degrees twenty-four minutes and forty-two seconds East six hundred and thirty-five feet to a point; THENCE North sixteen degrees thirty-five minutes and eighteen seconds West three hundred and sixty feet to a point; THENCE South seventy-three degrees twenty-four minutes forty-two seconds West one hundred feet to a point; THENCE North sixteen degrees thirty-five minutes and eighteen seconds West one hundred and twenty-nine feet and eight one hundredths of a foot to a point; THENCE South seventy-three degrees twenty-four minutes and forty-two seconds West five hundred and thirty feet to a point and place of beginning.

DELAWARE COUNTY TAX FOLIO NUMBER - 36-02-00979-00

BEING THE SAME PREMISES WHICH THE MISSIONARY SISTERS OF THE SACRED HEART, A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION, BY INDENTURE BEARING DATE THE 30TH DAY OF JUNE, A.D., 1988 AND RECORDED AT MEDIA IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF DELAWARE ON THE 7TH DAY OF MARCH A.D., 1989, IN VOLUME 651 PAGE 1396, GRANTED AND CONVEYED UNTO MISSIONARY SISTERS OF THE SACRED HEART, AN ILLINOIS NOT-FOR-PROFIT CORPORATION, ITS SUCCESSORS AND ASSIGNS, IN FEE.

ALSO BEING THE SAME PREMISES WHICH CABRINI COLLEGE, A PENNSYLVANIA NOT-FOR-PROFIT CORPORATION, BY CORPORATION QUIT-CLAIM DEED, DATED JUNE 30, 1988 AND RECORDED IN THE OFFICE FOR THE RECORDING OF DEEDS, IN AND FOR THE COUNTY OF DELAWARE, AT MEDIA, COMMONWEALTH OF PENNSYLVANIA IN VOLUME 651 PAGE 1406, GRANTED AND CONVEYED UNTO MISSIONARY SISTERS OF THE SACRED HEART, AN ILLINOIS NOT-FOR-PROFIT CORPORATION, ITS SUCCESSORS AND ASSIGNS, IN FEE.

CONTINUED-



# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS

RICHMOND, VIRGINIA

## SCHEDULE B - SECTION 1

### REQUIREMENTS

THE FOLLOWING ARE THE REQUIREMENTS TO BE COMPLIED WITH:

Item (a) Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

MORTGAGE FROM: Cabrini College, a Pennsylvania Non-Profit Corporation  
TO: Pennsylvania Higher Educational Facilities Authority, Its Successors and/or Assigns

DATED:

Item (c) Produce tax receipts for the following years:  
1992 COUNTY, TOWNSHIP and SCHOOL  
1993 " " "  
1994 " " "  
1995 " " "

1995 ASSESSMENT - \$832,000.00  
COUNTY TAX FOLIO NUMBER - 36-02-00979-00

Item (d) Produce water and sewer receipts for the following years:  
1992, 1993, 1994 and 1995

Item (e) Sufficient evidence to be produced to remove the following:

MORTGAGE(S): \$1,955,000.00 Cabrini College -to- Pennsylvania Higher Educational Facilities Authority, dated 3/17/1993, recorded 3/26/1993 in Volume 1070 page 2182.  
ASSIGNED TO: CoreStates Bank, N.A., Trustee dated 3/17/1993, recorded 3/26/1993 in Volume 1070 page 2231.

JUDGMENT(S): NONE OF RECORD

MECHANICS and  
MUNICIPAL  
CLAIM(S):  
-CONTINUED-

NONE OF RECORD



# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS  
RICHMOND, VIRGINIA

## SCHEDULE B--SECTION I REQUIREMENTS CONTINUED

FEDERAL  
LIEN(S):

NONE OF RECORD

INCRUPTCIES:

NONE OF RECORD

FINANCING  
STATEMENT(S):

(TITLE TO PERSONALTY NOT INSURED)

DEBTOR(S): Cabrini College;

SECURED PARTY(IES): Pennsylvania Higher Educational Facilities  
Authority;

ASSIGNED TO: CoreStates Bank, N.A., Trustee;

recorded 3/26/1993 in Volume 1070 page 2233, Recorder of Deeds  
Office, Delaware County, Pennsylvania.

em (f)

Articles of Incorporation or Charter of CABRINI COLLEGE, A  
PENNSYLVANIA NON-PROFIT CORPORATION to be produced and filed with  
this Company.

em (g)

By Laws of CABRINI COLLEGE, A PENNSYLVANIA NON-PROFIT CORPORATION  
to be produced and filed with this Company.

em (h)

Consent of governing body of CABRINI COLLEGE, A PENNSYLVANIA  
NON-PROFIT CORPORATION to this transaction, if required by By  
Laws.

em (i)

Certified copy of resolution of the Board of Directors or other  
governing body of CABRINI COLLEGE, A PENNSYLVANIA NON-PROFIT  
CORPORATION showing the proper majority (depending upon the number  
of directors 2/3 majority if less than 21 or simple majority if 21  
or over) authorizing the acquisition of premises hereon in  
accordance with articles and By Laws.

em (j)

Furnish a written statement from the MISSIONARY SISTERS OF THE  
SACRED HEART, AN ILLINOIS NOT-FOR-PROFIT CORPORATION (Fee Title  
Owners) stating that there is no default in the payment of rent,  
that there are no defaults under any other covenants of the lease,  
that there are no charges which the fee owner claims as a lien  
against the leasehold estate, and that the lease is in full force

CONTINUED-



# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS  
RICHMOND, VIRGINIA

## SCHEDULE B--SECTION I REQUIREMENTS CONTINUED

and effect.

Item (k)

Rights of the United States of America to recover any public funds advanced under the Higher Education Facilities Act (20 U.S.C.A. Sec. 1132 (a) et seq.)

Item (l)

Rights of the Commonwealth of Pennsylvania, acting through the Pennsylvania Higher Educational Facilities Authority to recover any public funds advanced under the "Pennsylvania Higher Educational Authority Act of 1967" (24 P.S. Section 5501 etc.)

Item (m)

OFFICIAL SURVEY TO BE PRODUCED AD LEASEHOLD ESTATE DESCRIBED IN ACCORDANCE THEREWITH. DESCRIPTION PREPARED AND ADDED TO SCHEDULE "A", ITEM NO. 4, AND POSSIBLE ADDITIONAL EXCEPTIONS CERTIFIED HEREON.



# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS

RICHMOND, VIRGINIA

## SCHEDULE B - SECTION 2

### EXCEPTIONS

ANY POLICY ISSUED WILL HAVE THE FOLLOWING EXCEPTIONS UNLESS REMOVED TO THE SATISFACTION OF COMPANY:

1. Defects, liens, encumbrances, adverse claims or other matters, if any, created first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or mortgage thereon covered by this Commitment.
2. Easements or servitudes which are unrecorded or are apparent from an inspection of the premises and any variation in location or dimensions, conflict with lines of adjoining property, encroachments, projections or other matters which might be disclosed by an accurate survey of the premises.
3. Terms and conditions of any unrecorded lease or rights of parties in possession of any portion of the land.
4. Possible additional assessments for taxes for new construction or for any major improvements pursuant to provisions of acts of assembly relating thereto, which are not yet due and payable.
5. Any reservations, restrictions, limitations, conditions or agreements set forth in the instrument by which title is vested in the insured owner.
6. ✓ Terms and conditions of Lease by and between Missionary Sisters of the Sacred Heart to Cabrini College and recorded in Volume 634 page 1908.
7. ✓ Terms and conditions of Lease by and between Missionary Sisters of the Sacred Heart to Cabrini College and recorded in Volume 651 page 1415.
8. ✓ Rights granted to the public utility companies in Deed Book 2465 page 275; Deed Book 2726 page 1; Volume 245 page 472; Volume 526 page 901 and Volume 875 page 37.
9. ✓ Condemnation as in Deed Book 2595 page 90.
10. ✓ Restrictions and reservations as in Deed Book 355 page 431; Deed Book 607 page 342 and Deed Book 386 page 1.
11. ✓ Covenants, conditions, restrictions, reservations and easements as shown on Plan 13 page 42, as follows:

CONTINUED-

NOTE: IF POLICY IS TO BE ISSUED IN SUPPORT OF A MORTGAGE LOAN, ATTENTION IS DIRECTED TO THE FACT THAT THE COMPANY CAN ASSUME NO LIABILITY UNDER ITS POLICY, THE CLOSING INSTRUCTIONS, OR INSURED CLOSING SERVICE FOR COMPLIANCE WITH THE REQUIREMENTS OF ANY CONSUMER CREDIT PROTECTION OR TRUTH IN LENDING LAW IN CONNECTION WITH SAID MORTGAGE LOAN.

THIS COMMITMENT IS INVALID UNLESS THE INFORMATION SHEET AND SCHEDULES A AND B ARE ATTACHED.

Commitment No. 13485  
Schedule B, Section 2 - Page 1



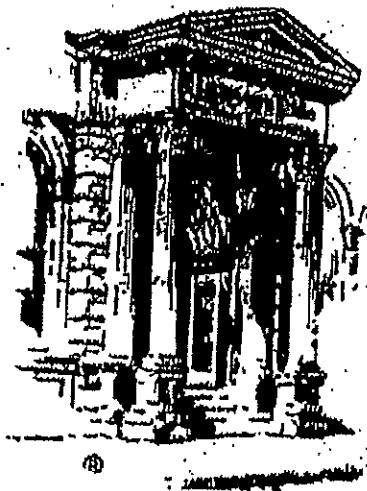
# Lawyers Title Insurance Corporation

NATIONAL HEADQUARTERS  
RICHMOND, VIRGINIA

## SCHEDULE B--SECTION 2 EXCEPTIONS CONTINUED

- (a) Various sanitary sewer easements through premises -and-
- (b) Easement of various driveways throughout premises.
- 12. Right of Way as in Deed Book 607 page 342.
- 13. Easement of driveway as in Deed Book 2358 page 1093.
- 14. That part of premises in the bed of King of Prussia, Eagle and Upper Gulph Roads is subject to the public and private rights therein.





LAWYERS TITLE INSURANCE CORPORATION

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#6

*Schedule B - Section 2*



NIR 15.50  
P

MEMORANDUM OF LEASE

MEMORANDUM OF LEASE entered into by and between MISSIONARY SISTERS OF THE SACRED HEART, a Pennsylvania not-for-profit corporation ("Lessor") and CABRINI COLLEGE, a Pennsylvania not-for-profit corporation ("Lessee").

The parties hereto have entered into a Lease (the "Lease") in connection with which this Memorandum of Lease is executed.

Lessor and Lessee hereby agree as follows:

1. The name and address of the Lessor in the Lease (referred to therein as "Landlord") is:

MISSIONARY SISTERS OF THE SACRED HEART, a Pennsylvania not-for-profit corporation  
67th & Callowhill Streets  
Philadelphia, Pennsylvania

2. The name and address of the Lessee in the Lease (referred to therein as "Tenant") is:

CABRINI COLLEGE, a Pennsylvania not-for-profit corporation  
King of Prussia and Eagle Roads  
Radnor, Pennsylvania

3. The date of the Lease is the 29th day of June, 1988.

4. The description of the demised premises is set forth in Exhibit A attached hereto and made a part hereof.

5. The date of commencement of the term of the Lease is July 1, 1988

6. The term of the Lease is 60 years, ending at 12:01 A.M. on the 30th of June, 2048.

7. Lessee has no right to extend or renew the term of the Lease.

8. Lessee has no right of the purchase of or refusal of the demised premises.

9. Lessor has granted to Lessee certain easements for vehicular and pedestrian access over and upon all other land owned by Landlord adjacent or contiguous to the Premises ("Additional Land") and Landlord has reserved unto itself an easement over and upon the Premises for pedestrian and vehicular access to and from the Additional Land all as more particularly described in the Lease.



10. This Memorandum of Lease has been executed merely to give notice of the Lease pursuant to the provisions of the Act of June 30, 1959, P.L. 454; 21 P.S. 405, and as agreed by the parties. All of the terms, conditions and covenants of the Lease are incorporated herein by reference. The parties hereto do not intend this Memorandum of Lease to modify, amend or supersede the Lease or any of the rights or obligations created thereunder. In the event of any variance or discrepancy between the Lease and this Memorandum of Lease, the terms and provisions of the Lease shall govern.

IN WITNESS WHEREOF, the parties to the Lease have duly executed this Memorandum of Lease, under seal this 29th day of June, 1988.

LESSOR  
MISSIONARY SISTERS OF THE SACRED  
HEART

By: In Veronica Piccone, M.S.C. (SEAL)

ATTEST: S. Marie DeMott, M.S.C.

LESSEE  
CABRINI COLLEGE

By: K. Ann Curran (SEAL)

ATTEST: A. Patricia Grogan, M.S.C.



EXHIBIT "A"LEGAL DESCRIPTION:

All those certain Premises situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and more particularly described in a Lease Line Plan for Cabrini College prepared by Site Engineers, Inc. dated June 15, 1988 and last revised on September 8, 1988, Drawing C-2A.

Starting from a point in the bed of Upper Gulph Road (30' wide) extending South fourteen degrees thirty-five minutes four seconds east six hundred and forty-eight feet to an iron-pin; thence South fifty-seven degrees thirty-five minutes forty-five seconds West two hundred and sixty-eight feet and three one-hundredths of a foot to a point; thence South sixteen degrees thirty-five minutes eighteen seconds East four hundred and twenty feet to the beginning point; thence continuing from the beginning point along the same course five hundred and fifty-nine feet and eight hundredths of a foot; thence North seventy-three degrees twenty-four minutes and forty-two seconds East six hundred and thirty-five feet to a point; thence North sixteen degrees thirty-five minutes and eighteen seconds West three hundred and sixty feet to a point; thence South seventy-three degrees twenty-four minutes forty-two seconds West one hundred feet to a point; thence North sixteen degrees thirty-five minutes and eighteen seconds West one hundred and ninety-nine feet and eight one hundredths of a foot to a point; thence south seventy-three degrees twenty-four minutes and forty-two seconds West five hundred and thirty feet to a point and place of the beginning.

CONTAINING 7.7 acres more or less.



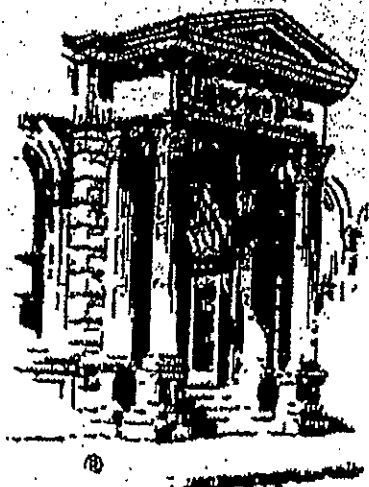
PARTIES		FINANCING STATEMENT CHANGE Uniform Commercial Code Form UCC-3 IMPORTANT — Please read instructions on reverse side of page 4 before completing	
Debtor name (last name first if individual) and mailing address:  Gabrini College King of Prussia Road Radnor, Pa. 19087		Filing No. (stamped by filing office):  Date, Time, Filing Office (stamped by filing office):  H.F. 12.00 SF 36.00	
Debtor name (last name first if individual) and mailing address:		This Financing Statement Change is presented for filing pursuant to the Uniform Commercial Code, and is to be filed with the (check applicable box):  <input type="checkbox"/> Secretary of the Commonwealth. <input checked="" type="checkbox"/> Prothonotary of _____ County. <input checked="" type="checkbox"/> Official Public Records of <u>DELAWARE</u> _____ County.	
Debtor name (last name first if individual) and mailing address:		Number of Additional Sheets (if any): _____ Optional Special Identification (Max. 10 characters): <u>AP</u>	
		ORIGINAL FINANCING STATEMENT BEING CHANGED	
		This Financing Statement Change refers to an original Financing Statement No. <u>074066</u> filed with the: <u>634/1982</u>  <input type="checkbox"/> Secretary of the Commonwealth on (date) _____ <input type="checkbox"/> Prothonotary of _____ County on (date) _____ <input checked="" type="checkbox"/> Official Public Records of <u>DELAWARE</u> County on (date) <u>12/29/88</u>	
		DESCRIPTION OF FINANCING STATEMENT CHANGE	
		<input type="checkbox"/> Continuation — The original Financing Statement identified above is still effective. <input checked="" type="checkbox"/> Termination — The Secured Party of Record no longer claims a security interest under the original Financing Statement identified above. <input type="checkbox"/> Release — The Secured Party of Record has released the collateral described in block 1) from the collateral covered by the original Financing Statement identified above. <input type="checkbox"/> Assignment — The Secured Party of Record has assigned to the Assignee, whose name and address are contained in block 1), rights in the collateral described in block 1) under the original Financing Statement identified above. <input type="checkbox"/> Amendment — The original Financing Statement identified above is amended as set forth in block 1) (signatures of Debtor and Secured Party of Record are required).	
Secured Party(ies) of Record name(s) (last name first if individual) and address for security interest information: CoreStates Bank, N.A. as successor to First Pennsylvania Bank, N.A. Centre Square West 1500 Market Street Phila. Pa. 19101		Description of collateral released, rights assigned, Assignee (name and address), or security interest indicated in block 1):	
Special Types of Parties (check if applicable): <input type="checkbox"/> The terms "Debtor" and "Secured Party" mean "Lessee" and "Lessor," respectively. <input type="checkbox"/> The terms "Debtor" and "Secured Party" mean "Consignee" and "Consignor," respectively. <input type="checkbox"/> Debtor is a Transmuting Utility.		RECORD OF DEEDS 23868 934 AM 25 PM 2 45	
SIGNATURE(S)		RETURN RECEIPT TO:	
Debtor Signature(s) (only if Amendment):  _____ _____ _____		RETURN TO: CHICAGO TITLE INSURANCE COMPANY 1500 WALNUT STREET 2nd FLOOR PHILADELPHIA, PA 19102	
Secured Party Signature(s): CoreStates Bank, N.A. as successor to First Pennsylvania Bank, N.A.  _____ _____ _____ Deborah K. Roehm, Operation Officer		12	

STANDARD FORM UCC-3 (12/80)  
Approved by Secretary of Commonwealth of Pennsylvania

FILING OFFICE ORIGINAL  
NOTE—This page will not be returned by the Department of State.

VOL 1070 PG2239





LAWYERS TITLE INSURANCE CORPORATION

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#7

*Schedule B - Section 2*



MEMORANDUM OF LEASE

MEMORANDUM OF LEASE entered into by and between MISSIONARY SISTERS OF THE SACRED HEART, an Illinois not-for-profit corporation ("Lessor") and CABRINI COLLEGE, a Pennsylvania not-for-profit corporation ("Lessee").

The parties hereto have entered into a Lease (the "Lease") in connection with which this Memorandum of Lease is executed.

Lessor and Lessee hereby agree as follows:

1. The name and address of the Lessor in the Lease (referred to therein as "Landlord") is:

MISSIONARY SISTERS OF THE SACRED HEART, an Illinois not-for-profit corporation  
434 W. Deming Place  
Chicago, Illinois 60614

2. The name and address of the Lessee in the Lease (referred to therein as "Tenant") is:

CABRINI COLLEGE, a Pennsylvania not-for-profit corporation  
King of Prussia and Eagle Roads  
Radnor, Pennsylvania

3. The date of the Lease is the 30th day of June, 1988.
4. The description of the demised premises is set forth in Exhibit A attached hereto and made a part hereof.
5. The date of commencement of the term of the Lease is July 1, 1988.
6. The term of the Lease is 60 years, ending at 12:01 A.M. on the 30th of June, 2048.
7. Lessee has no right to extend or renew the term of the Lease.
8. Lessee has no right of the purchase of or refusal of the demised premises.
9. Lessor has granted to Lessee certain easements for vehicular and pedestrian access over and upon all other land owned by Landlord adjacent or contiguous to the Premises ("Additional Land") and Landlord has reserved unto itself an easement over and upon the Premises for pedestrian and vehicular access to and from the Additional Land all as more particularly described in the Lease.

VOLO651 PG1415



Description #2  
Cabrini College Entire Tract  
excluding  
"College Parcel"

Beginning at a point in the bed of Eagle Road (30 ft wide) extending along said Eagle Road north sixty six degrees zero minutes thirty seconds west one hundred and seventeen ft and two tenths of a foot to a point; thence extending north seventy nine degrees three minutes twenty seconds east one thousand seven hundred and seventy six ft and two tenths of a foot to a point; thence extending north seventy five degrees forty two minutes east three hundred and eleven ft and fifteen one hundredths of a foot to a point; thence extending north fifty seven degrees twenty eight minutes and thirty seconds east fifty five ft and sixteen one hundredths of a foot to a point; thence extending north thirty nine degrees thirty seven minutes east two hundred and thirty seven ft and twenty three one hundredths of a foot to a point; thence extending north fifty two degrees twenty seven minutes east fifty two ft and eight one hundredths of a foot to a point; thence extending north seventy three degrees eight minutes east four hundred and eight ft and eighty five one hundredths of a foot to a point; thence extending north seventy four degrees twenty nine minutes east two hundred and nineteen ft and forty six one hundredths of a foot to a point; thence extending north seventy three degrees fifty nine minutes east five hundred and eighteen ft and fourteen one hundredths of a foot to a point. Such named point is located in the middle of the intersection of Eagle Road and King of Prussia Road; thence extending along King of Prussia Road north twenty five degrees eighteen minutes forty seconds west four hundred and eighty five ft and sixty eight one hundredths of a foot to a point; thence leaving aforesaid King of Prussia Road and extending south sixty eight degrees two minutes and thirty seconds west twenty eight ft to an iron pin; thence extending along the same courses four hundred and twenty nine ft and sixty five one hundredths of a foot to a point; thence extending north sixty four degrees thirty nine minutes and thirty seconds west one thousand five hundred and twelve ft and sixteen one hundredths of a foot to an iron pin; thence extending south fifty seven degrees fifty seven minutes fifty eight seconds west one hundred and seventy six ft and eighteen one hundredths of a foot to a point; thence extending north thirty three degrees forty three minutes and two seconds west eight hundred and fifty two ft and eighty five one hundredths of a foot to a point; thence extending north fourteen degrees fifty eight minutes twenty seven seconds west four hundred and fifty one ft and eighty nine one hundredths of a foot to a point; thence extending along the same course forty two ft and thirty five one hundredths of a foot to a point in the bed of Upper Gulph Road; thence extending along aforesaid Upper Gulph Road south eighty five degrees fifty six minutes forty seven seconds west two hundred and eighty seven ft and one tenth of a foot to a point, thence extending along the same course seventy six ft and forty one hundredths of a foot to a point; thence leaving aforesaid Upper Gulph Road and



Description #2  
Cabrini College Entire Tract  
excluding  
"College Parcel"  
(continuation)

extending south fourteen degrees thirty five minutes and four seconds east twenty eight ft and eight tenths of a foot to an iron pin; thence extending along the same course six hundred and forty eight ft to an iron pin; thence extending south fifty seven degrees thirty five minutes forty-five seconds west two hundred and three ft and three hundredths of a foot to a point; thence extending along the same course three hundred and thirty five ft to a monument; thence extending north sixty nine degrees forty four minutes west one hundred and ninety nine ft and twenty five one hundredths of a foot to an iron pin; thence extending south five degrees fifty minutes and fifteen seconds east one hundred and seventy seven ft and seven one hundredths of a foot to a monument; thence extending north fifty seven degrees thirty five minutes forty-five seconds east ninety six ft and forty seven one hundredths of a foot to an iron pin; thence extending south thirty degrees twenty eight minutes and five seconds east five hundred and forty five ft and eighty six one hundredths of a foot to an iron pin; thence extending south seventeen degrees twenty four minutes and forty two seconds west eight hundred and fifty two ft and twenty two one hundredths of a foot to an iron pin; thence extending south eleven minutes forty one seconds west five hundred and eighty nine ft and forty three one hundredths of a foot to an iron pin; thence extending along the same course twenty three ft and eighty one one hundredths of a foot to the point and place of beginning in the bed of Eagle Road. Said parcel lying partly in Chester County and partly in Delaware County excluding the parcel described as follows: Beginning at an interior point marked by a spike set in the title line in the bed of a driveway extending through "Cabrini College" from Eagle Road to King of Prussia Road said spike is at the distance of two thousand and seventy ft and forty three one hundredths of a foot measured by the following various courses and distances North eastwardly along the said title line in the bed of said driveway from its intersection with the title line in the bed of Eagle Road, said point being measured the two following courses and distances along the same from a nail in the line of land of Valley Forge Military Academy viz: North seventy nine degrees three minutes twenty seconds east one hundred and sixty six ft and eighteen one hundredths of a ft to a point; thence from said point extending the following sixteen courses and distances along the title line in the bed of the aforesaid driveway viz: (1) north twelve degrees fifty nine minutes east one hundred and ninety nine ft and ninety seven one hundredths of a foot to a spike; (2) north two degrees forty eight minutes east one hundred and seventeen ft and eighty three one hundredths of a foot to a spike; (3) north eight degrees twelve minutes thirty seconds west ninety nine ft and eighty one hundredths of a foot to a spike; 4) north five degrees thirteen minutes thirty seconds west one



Description #2  
Cabrini College Entire Tract  
excluding  
"College Parcel"  
(continuation)

hundred ft to a spike; (5) north zero degrees thirty six minutes thirty seconds east one hundred ft to a spike; (6) north twenty four degrees fifty five minutes thirty seconds east one hundred ft to a spike; (7) north forty six degrees forty two minutes thirty seconds east one hundred ft to a spike; (8) north fifty six degrees forty four minutes thirty seconds east one hundred ft to a spike; (9) north sixty three degrees twenty eight minutes thirty seconds east one hundred ft to a spike; (10) north sixty eight degrees fifty eight minutes thirty seconds east one hundred ft to a spike; (11) north seventy two degrees fifty seven minutes east one hundred ft to a spike; (12) north seventy four degrees forty two minutes east one hundred ft to a spike; (13) north seventy six degrees zero minutes thirty seconds east four hundred and seventy four ft and sixty eight one hundredths of a foot to a spike; (14) north seventy six degrees forty minutes east one hundred twenty five ft and ninety four one hundredths of a foot to a spike; (15) north seventy four degrees three minutes east sixty two ft and eighty one one hundredths of a foot to an iron pin, the point of beginning; thence extending from said beginning point along the title line in the bed of the driveway the four following courses and distances: (1) north seventy four degrees three minutes east sixty seven ft and forty one one hundredths of a foot to a spike; (2) north sixty eight degrees forty five minutes thirty seconds east one hundred ft and zero one hundredths of a foot to a spike; (3) north sixty two degrees nineteen minutes thirty seconds east forty three ft and twenty three one hundredths of a foot to a spike; thence leaving aforesaid driveway three following courses and distances: (1) south ten degrees five minutes east three hundred and seventy four ft and one one hundredths of a foot to an iron pin; (2) south seventy nine degrees fifty five minutes west three hundred ft and zero one hundredths of a foot to an iron pin; (3) north ten degrees five minutes west three hundred ft and zero one hundredths of a foot to an iron spike to the point and place of the beginning of the college partial; thence following the courses (16) to (1) returning to the point in the title line bed of the driveway.

RAAdnor Twp 36-02-00979-00



10. This Memorandum of Lease has been executed merely to give notice of the Lease pursuant to the provisions of the Act of June 30, 1959, P.L. 454; 21 P.S. 405, and as agreed by the parties. All of the terms, conditions and covenants of the Lease are incorporated herein by reference. The parties hereto do not intend this Memorandum of Lease to modify, amend or supersede the Lease or any of the rights or obligations created thereunder. In the event of any variance or discrepancy between the Lease and this Memorandum of Lease, the terms and provisions of the Lease shall govern.

IN WITNESS WHEREOF, the parties to the Lease have duly executed this Memorandum of Lease, under seal this 30th day of June, 1983.

LESSOR  
MISSIONARY SISTERS OF THE SACRED  
HEART

By: Sr. Antonia Rague (SEAL)

ATTEST: Sr. Marilyn Toboe, HSC

LESSEE  
CABRINI COLLEGE

By: Kileen Curran (SEAL)

ATTEST: Sr. Patricia Rosengly, nec.





LAWYERS TITLE INSURANCE CORPORATION

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C  
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#8

*Schedule B - Section 2*



N 7037

The undersigned owner of premises situate on the northeast side of Eagle Road in the Township of RADNOR, County of DELAWARE, Commonwealth of PENNSYLVANIA, as described in Deed dated December 17, 1953, and recorded in Deed Book No. 1676, page 282 &c.; for and in consideration of the sum of One Dollar (\$1.00), paid by PHILADELPHIA ELECTRIC COMPANY to the undersigned, the receipt whereof is hereby acknowledged, hereby grant to the said Philadelphia Electric Company its successors and assigns, the uninterrupted right, liberty and privilege to install, maintain, repair, renew, inspect, relocate and remove a manhole within and outside the legal right of way limits of Eagle Road, aforesaid, on the northeast side thereof, said manhole to have the dimensions of approximately 4 feet by 6 feet by 8 feet, the center of which is to be approximately 15 feet northeast of the northeast side of Eagle Road and approximately 353 feet southeast of the center line of Fairview Road; also the right to install, operate, maintain, repair, renew, inspect, add to, relocate and remove such facilities including transformers, cables and appurtenances therein, as shall be necessary for the transmission and distribution of electricity, as well as the right of ingress and egress for the purposes aforesaid.

Executed this 2nd day of February A.D. 1973.

THE MISSIONARY SISTERS OF THE SACRED HEART

ATTEST: Shirley Popriar Phares Secretary Robert M. Hughes, Jr. President

COMMONWEALTH OF PENNSYLVANIA State of New York  
COUNTY OF New York

On this, the 2nd day of February A.D. 1973 before me,

James S. Korman, the undersigned officer, personally appeared Robert M. Hughes, Jr. who acknowledged himself to be the President of The Missionary Sisters of the Sacred Heart, a corporation, and that he as such President, being authorized to do so executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself as President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.



Notary Public  
My Commission Expires:

R/W GRANT.

PLEASE - SIGN AT THE CHECK MARKS  
AFFIX CORPORATE SEAL NEAR SIGNATURES  
KEEP FOR OWNERS RECORDS

BULL 2405 11/275



18242

**This Indenture**, made this 17<sup>th</sup> day of June

A.D. 1985, between MISSIONARY SISTERS OF THE SACRED HEART (PA-Corp.)  
a corporation organized and existing under the laws of the Commonwealth of  
Pennsylvania (hereinafter called the

Grantor), of the one part, and PHILADELPHIA ELECTRIC COMPANY, a corporation organized and existing under the laws of the Commonwealth of Pennsylvania, (hereinafter called the Grantee), of the other part:

WHEREAS, the Grantor(s) are the owner(s) of premises situate on South side of Upper Gulph Road in the Township of TREDYFFRIN, County of CHESTER and the Township of RADNOR, County of DELAWARE, Commonwealth of PENNSYLVANIA, as more particularly described in a Deed dated November 17, 1953 and recorded in the Office for the Recording of Deeds, in and for the Counties aforesaid, in Deed Book Q-24, page 358 and Deed Book 1676, page 282, respectively;

063007  
COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF REVENUE  
REALTY  
TRANSFER JUN 20 1985  
TAX  
00.01  
R2.1275



Now, therefore, this Indenture Witnesseth: That the said Grantor(s) for and in consideration of the sum of ONE DOLLAR (\$1.00), lawful money unto IT well and truly paid by the Grantee at and before the sealing and delivery of this Indenture, the receipt whereof is hereby acknowledged, do(es) hereby give and grant to the said Grantee, and its successors and assigns, the perpetual right, liberty, privilege and authority to locate, relocate, construct, erect, install, renew, replace, add to, operate and maintain on, over, under, along, across and within said premises such communication, gas and electric transmission and distribution facilities as from time to time the Grantee, its successors or assigns, shall determine are necessary or proper to supply said premises and those adjacent thereto with communication service and gas and electricity, for the service of light, heat and power (hereinafter referred to as facilities), together with the right of ingress and egress and the right to trim and keep trimmed, in a workmanlike manner, all trees, roots and branches of trees to the extent determined necessary by said grantee, its Successors and Assigns, to provide sufficient clearance for the protection of the aforesaid facilities; together with the right to attach said facilities to the buildings erected or to be erected on said premises.

The aforesaid rights are granted under and subject to the following conditions:

- (1) The location of said facilities to be installed and constructed by virtue of this agreement shall be shown and delineated on plans prepared by the Grantee, copies of which will be in the possession of the parties hereto having first been approved by them;
- (2) The final grades of all locations where the facilities are to be constructed on said premises are to be established by Grantor(s) prior to the construction of said facilities;
- (3) Grantor(s) agree(s) to establish and stake property lines as needed before said facilities are constructed;
- (4) Grantor(s) agree(s) to reimburse the Grantee for any excess cost incurred due to changes deemed feasible in the opinion of Grantee and made in facilities constructed hereunder to accommodate Grantor(s) in accordance with the then effective provisions of its tariff;
- (5) Grantor(s) agree(s) to keep the area where underground facilities are located clear of trees, tall shrubs, buildings or any other permanent structure which could, in the opinion of Grantee, interfere with the construction, maintenance or use of the said facilities as provided for under the terms of this agreement;
- (6) Grantor(s) agree(s) that the initial exercise of any of the powers and rights herein granted shall not be construed as limiting Grantee's rights and privileges hereunder;



(7) Any utility easement shown on the developers' recorded plan shall not be construed as limiting the Grantee's rights hereunder.

The conditions herein contained shall enure to and bind the respective successors and assigns of the parties hereto.

IN WITNESS WHEREOF, the said Grantor to these presents ha  
hereunto caused common or corporate seal to be hereunto af-  
fixed, duly attested, the day and year first above written.

THE MISSIONARY SISTERS OF THE  
SACRED HEART (PA-Corp.).

Attest: Sr. Veronica Piccone, N.S.C.

By: Sister Beryl June Mallan

~~STATE~~ NEW YORK  
~~COMMONWEALTH OF PENNSYLVANIA~~  
COUNTY OF WESTCHESTER

On this, the 11<sup>th</sup> day of June AD, 1985 before me,

SISTER BERYL JUNE MALLAN, the undersigned officer, personally appeared  
SISTER BARBARA LEONARDO, N.S.C., who acknowledged himself to be the  
President of MISSIONARY SISTERS OF THE SACRED HEART - PA, CORP., a corporation, and  
that he as such President, being authorized to do so executed the fore-  
going instrument for the purposes therein contained by signing the name of the  
corporation by himself as President.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Sister Beryl June Mallan  
Notary Public

SISTER BERYL JUNE MALLAN  
Notary Public, State of New York  
No. 31-9027757  
Qualified in New York County  
Cert. Filed in Westchester County  
Commission Expires March 30, 1986





**Bell of Pennsylvania**  
A Bell Atlantic Company

**Building Entrance Facility Grant**

2866  
(Rev. 2/78)  
Side 1

Received of **THE BELL TELEPHONE COMPANY OF PENNSYLVANIA**, good and

valuable consideration, the receipt of which is hereby acknowledged, and intending to be legally bound, Grantor(s),

**Cabrini College**

(CORP., PARTNERSHIP, INDIVIDUAL)

hereby grant(s) unto said Telephone Company, its successors, assigns, Lessees and agents, the right, privilege and authority to construct, reconstruct, operate, maintain and remove its entrance facilities to the Rate Demarcation Point (RDP) with associated terminals and other facilities (hereinafter referred to as utility facilities) required to provide telephone service to the various occupants of building known as **College**

Located at **Eagle and Fairview Roads**

Municipality of **Dover**, County of **Delaware**

Commonwealth of Pennsylvania with the right of access to and from said building to construct, maintain and remove said utility facilities.

The Grantor(s) being the owner(s) of record of the above mentioned Property also grants to Grantee the right of use and access on said Property outside said building as shown on exhibit "A" (which is attached hereto and made a part hereof) for the purpose of providing utility facilities to the R.D.P. of said building.

Said utility facilities shall be installed in a good and workmanlike manner by and at the expense of the said Telephone Company; but any subsequent relocation or removal of said utility facilities shall be done by said Telephone Company at the expense of the building owner unless such relocation or removal is caused by the Telephone Company.

Right of Way Agent:

IN WITNESS WHEREOF,

and seal(s) this 17<sup>th</sup> day of August, A.D. 1987 at 47 hand(s)

(Post Office Address)

WITNESS OR ATTEST:

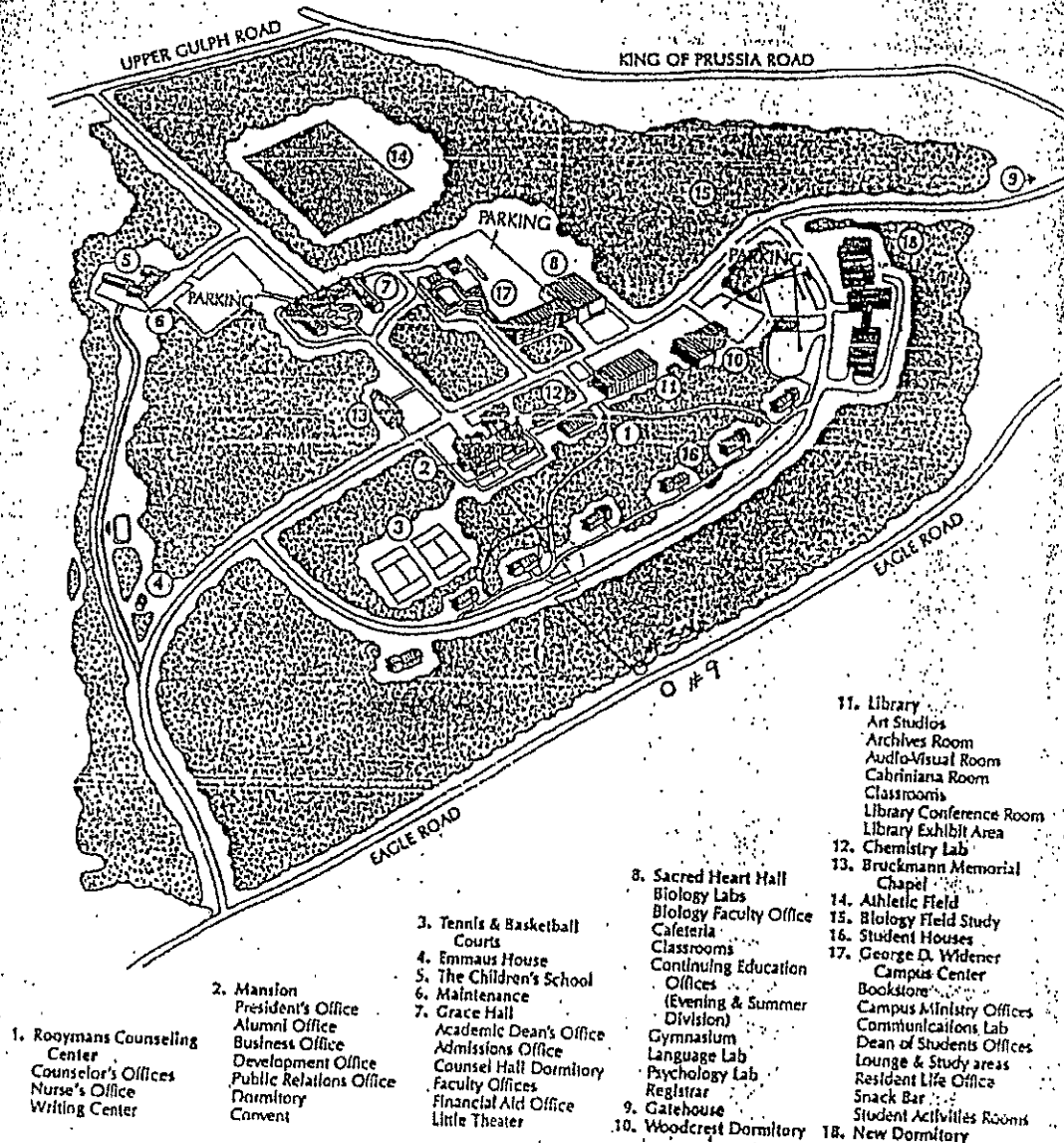
[Signature]

[Signature]  
**William S. Battles**  
Vice-President

YOL052:b 86040-1



# THE CAMPUS





36-02-00979-00  
36-02-00979-01

 **Bell of Pennsylvania**  
A Bell Atlantic Company

**Controlled Environmental Vault  
CEV Grant**

2247  
(1987)  
21451

In consideration of the sum of Two Thousand Dollar(s) (\$ 2,000.00) and other

good and valuable consideration to it paid, receipt whereof is hereby acknowledged,

The Missionary Sisters of the Sacred Heart Corporation

hereby grant(s) to The Bell Telephone Company of Pennsylvania, and to  
(Power Service Company)

and to their respective successors, assigns, lessees and agents, the right, privilege and authority to construct, reconstruct, operate and maintain aerial and/or underground communication and electric lines (hereinafter referred to as utility facilities) associated with the placement and use of a Controlled Environmental Vault (CEV), the same being in itself a utility facility, installed owned and maintained by said Telephone Company. Said utility facilities and associated CEV shall be placed in accordance with the plan marked exhibit "A" which is attached hereto and made a part hereof, with owner(s)

concurrence, on said land being located at Cabrini College

municipality of Radnor Township In the County of Delaware

Commonwealth of Pennsylvania, more particularly described in Deed Book 1676 Page 282  
Owner(s) further grant(s) right of access over said land to or from said utility facilities, and associated CEV, by Telephone Company employees and or representatives, and equipment, for the purposes set forth above, by any reasonable route over said land, including but not limited to private lanes, roads or driveways and the right to make such alterations in said land as mutually agreed is necessary to construct said utility facilities and place the CEV.

Owner(s) further grant(s) the exclusive use of that portion of said land not to exceed 30 feet in length by 11 feet in width in and upon which said CEV and associated conduit is located. Said utility facilities shall remain the property of the Telephone Company and they aboved named Power Company respectively which shall, at all times, retain the right to remove same.

Owner(s) further grants to Telephone Company the right to cut back such foliage (trees, shrubs, brush, etc.) as may interfere with the use and operation of said utility facilities.

The said utility facilities shall be installed in a good and workman-like manner by and at the expense of grantees.

Grantees shall indemnify and save harmless the owner and tenants of said premises from all damages caused by the negligence of their respective employees in the installation, maintenance or removal, or presence of said utility facilities.

Landscaping to be done by said Telephone Company at its expense.

IN WITNESS WHEREOF, I have hereunto set my hand(s) and

seal(s) this 24 day of February, A.D. 1988, at

Upper Gulph Road Radnor, PA 19087

WITNESS OR ATTEST:

(POST OFFICE ADDRESS)

*Cyrene D. Coranora*

*Jeff Loucks*

MORTGAGE CONCURRENCE:

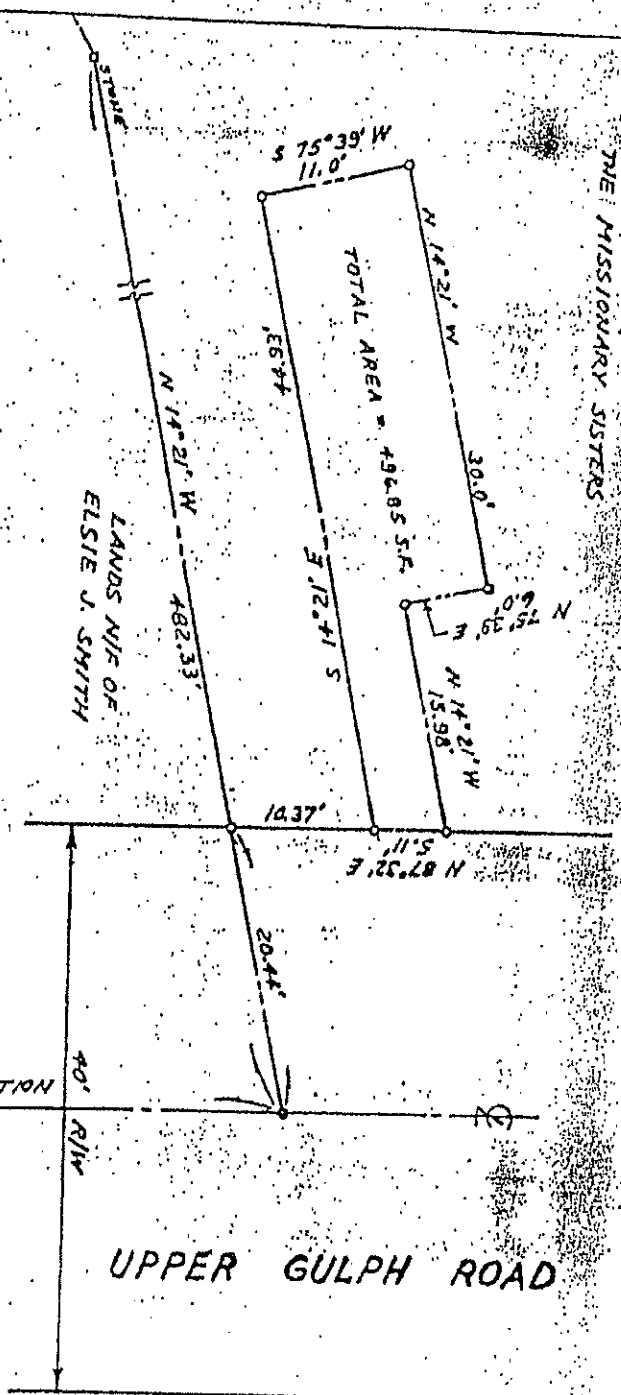
VO10875 PG0037

(DATE)

Right of Way Agent Cyrene D. Coranora



LANDS N/E OF  
THE MISSIONARY SISTERS



PLAN PREPARED FOR:  
**BELL OF PA.**  
PLAN OF EASEMENT  
FOR PROPOSED VAULT  
THROUGH LANDS OF  
MISSIONARY SISTERS OF THE SACRED HEART  
TADYERIN TWP., CHESTER CTRY.  
PENNSYLVANIA  
SCALE: 1" = 10' 14 DEC, 1987  
YERKES ASSOCIATES, INC.  
DAWN HANNA, M.A.

REF. PLAN: P-19 BY ALVA L. ROGERS, WAYNE, PA. 4214



# Yerkes

YERKES ASSOCIATES, INC. 1444 Phoenixville Pike, P.O. Box 1568, West Chester, PA 19380-0048 • (215) 644-4254

January 12, 1988

DESCRIPTION OF EASEMENT  
FOR  
BELL OF PENNSYLVANIA  
THROUGH LANDS OF  
THE MISSIONARY SISTERS  
TREDYFFRIN TOWNSHIP, CHESTER COUNTY, PENNSYLVANIA

All that certain parcel of land situate in the Township of Lower Merion, County of Chester and Commonwealth of Pennsylvania designated as a proposed vault easement, bounded and described in accordance with a plan of proposed vault easement made for Bell of Pennsylvania, dated December 14, 1987 as prepared by Yerkes Associates, Inc., West Chester, Pennsylvania.

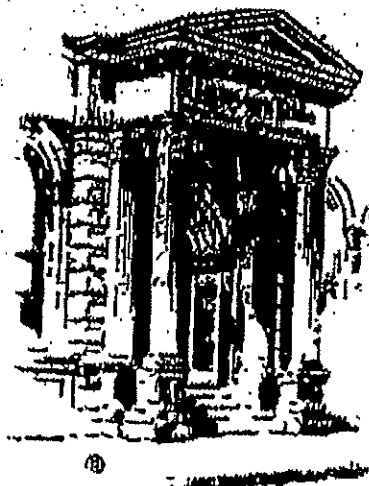
BEGINNING at a point on the southwesterly right-of-way line of Upper Gulph Road (40 feet wide), said point being a distance of 10.37 feet measured South 87 degrees 32 minutes West from a point, a corner of land of Elsie J. Smith; said last mentioned point being 20.44 feet measured South 14 degrees 21 minutes East from the center line of said Upper Gulph Road; said last mentioned point being 344.14 feet measured southwesterly along the center line of Upper Gulph Road from the center line of Tall Oaks Road; thence from said point of BEGINNING in and through land of The Missionary Sisters the following five (5) courses and distances: (1) South 14 degrees 21 minutes East - 44.93 feet to a point; thence (2) South 75 degrees 39 minutes West - 11.00 feet to a point; thence (3) North 14 degrees 21 minutes East - 30.00 feet to a point; thence (4) North 75 degrees 39 minutes East - 6.00 feet to a point; thence (5) North 14 degrees 21 minutes East - 15.98 feet to a point on the right-of-way of said Upper Gulph Road; thence North 87 degrees 32 minutes East - 5.11 feet to the first mentioned point and place of BEGINNING.

Consulting Engineers / Architects / Landscape Architects / Surveyors

Offices: Bryn Mawr and West Chester, Pennsylvania

YQLO875 PG0038





LAWYERS TITLE INSURANCE CORPORATION

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*Schedule B - Section 2*



DATE: 10/1/51  
 COUNTY: DELAWARE



COUNTY	Delaware
TOWNSHIP	Radnor
L.A. SEC.	23041 - 111 N/W

**SCHEDULE OF CONDEMNED PROPERTY**  
 (Docket on of Taking)

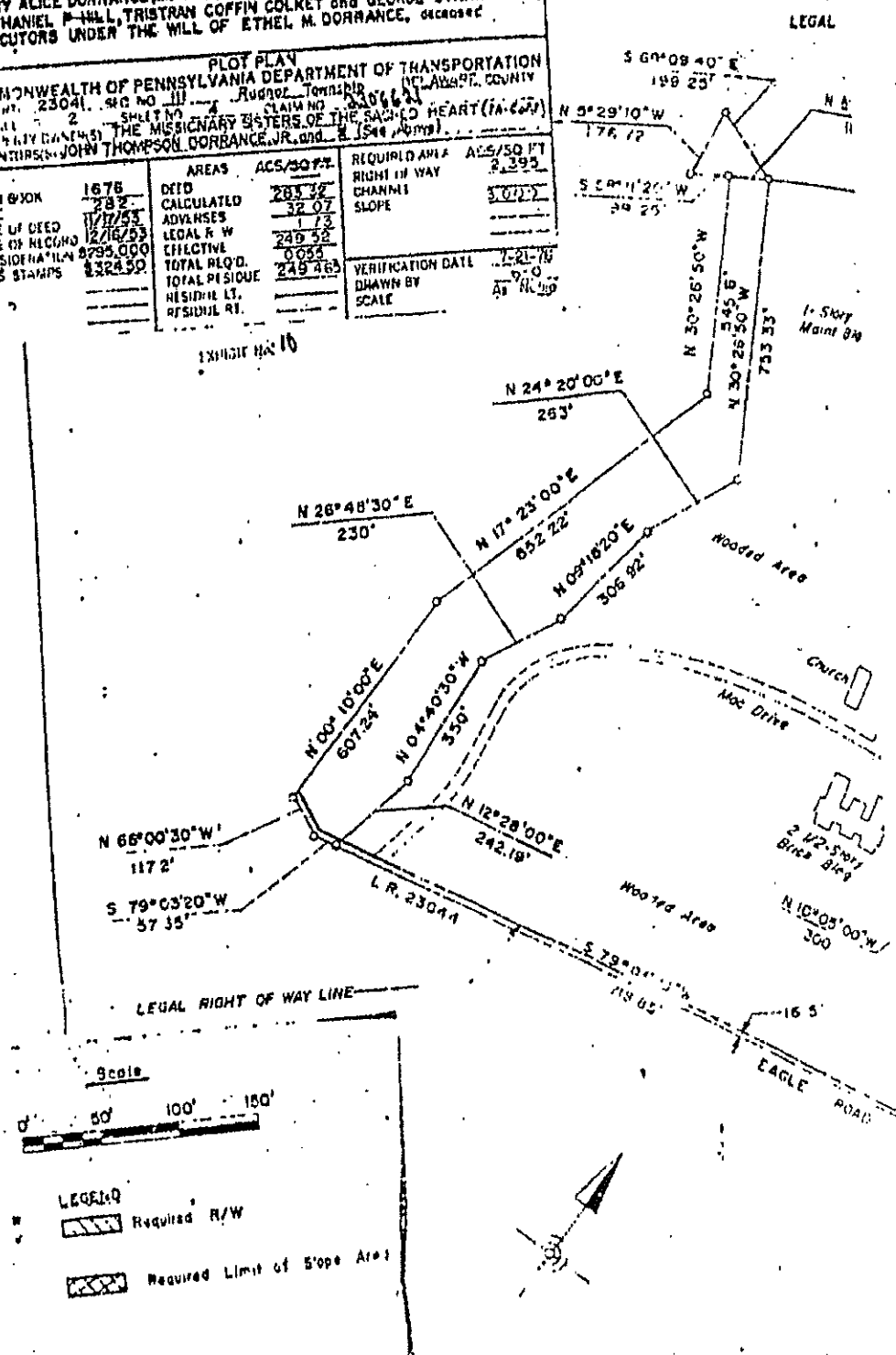
NO.	NAME, MAILING ADDRESS, PROPERTY INTEREST OF CONDEMNED, AND LOCATION OF CONDEMNED PROPERTY	CLAIM NO.	PARCEL NO.	PLOT PLAN RECORDED IN:
9.	<p>Eastern Baptist College</p> <p><u>Property Address:</u>            King of Prussia Road            Radnor, Pennsylvania</p> <p><u>Mailing Address:</u>            Attn: Mr. Wayne Perry, Jr., Business Manager            King of Prussia Road            Radnor, Pennsylvania</p>	2306620	1	
10.	<p>The Missionary Sisters of the Sacred Heart (Pa. Corp.)</p> <p><u>Property Address:</u>            Eagle &amp; King of Prussia Roads            Radnor, Pennsylvania</p> <p><u>Mailing Address:</u>            Attn: Mr. Axler, Business Manager            Eagle &amp; King of Prussia Roads            Radnor, Pennsylvania</p>	2306621	2	



1) MARY ALICE DORRANCE, his wife, and JOHN THOMPSON DORRANCE, JR.,  
NATHANIEL P. HILL, TRISTRAM COFFIN COLKET and GEORGE STRAWBRIDGE,  
EXECUTORS UNDER THE WILL OF ETHEL M. DORRANCE, deceased.

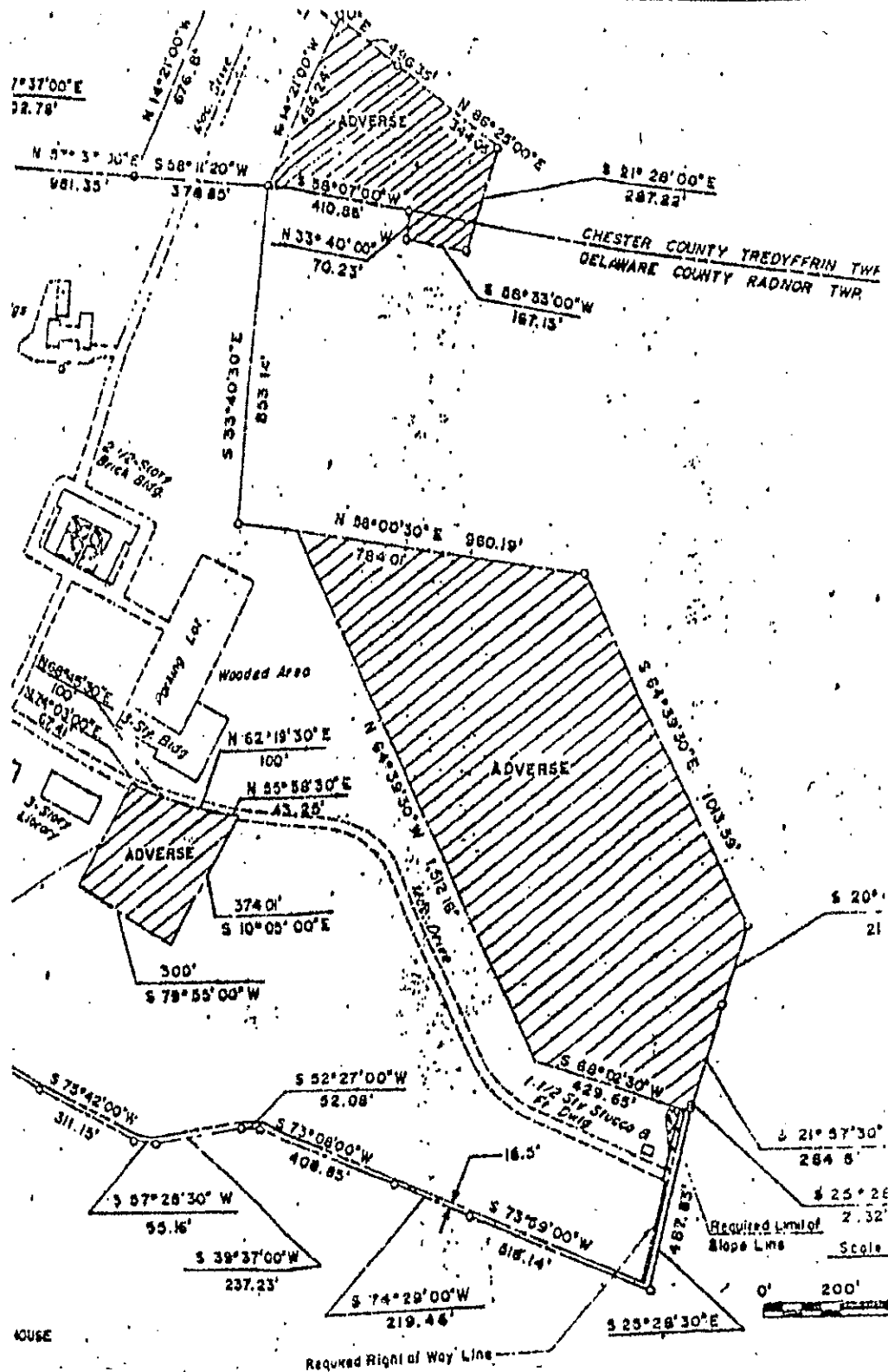
PLOT PLAN  
COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION  
LEG. NO. 25041, SEC. NO. 111, TOWNSHIP 4, RANGE 1, COUNTY OF CLAY, PA.  
PARCEL 2, SPLIT NO. 4, CLAIM NO. 33066  
PROPERTY OWNERS: THE MISSIONARY SISTERS OF THE SACRED HEART (INCORPORATED)  
GRANTOR: JOHN THOMPSON DORRANCE, JR. and E. (Sister, Admrs.)

DEED BOOK	1676	DTD	283.32	REQUIRED AREA	ACS/50 FT
PAGE	282	CALCULATED	32.07	RIGHT IN WAY	2.395
DATE OF DEED	11/17/53	ADVISES	1.73	CHANNEL	3.675
DATE OF RECORD	12/16/53	LEGAL R. W.	249.58	SLOPE	
CONSIDERATION	\$795,000	EFFECTIVE	0.055	VERIFICATION DATE	1-21-76
I.R.S. STAMPS	\$324.50	TOTAL PLD.	249.485	DRAWN BY	AS
		TOTAL RESIDUE		SCALE	AS SHOWN
		RESIDUAL LT.			
		RESIDUAL RT.			

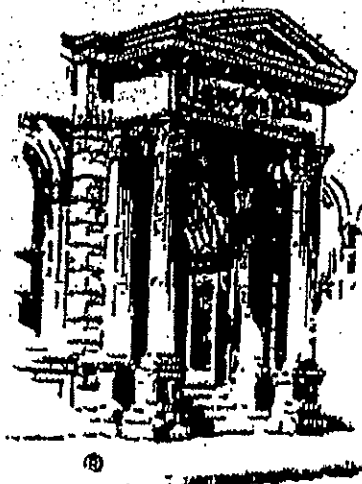


THIS MAP IS PREPARED FROM THE RECORD OF RECORD IN THE COUNTY COURT  
AND MAY BE SUBJECT TO INACCURACY OF THE DEED.









LAWYERS TITLE INSURANCE CORPORATION

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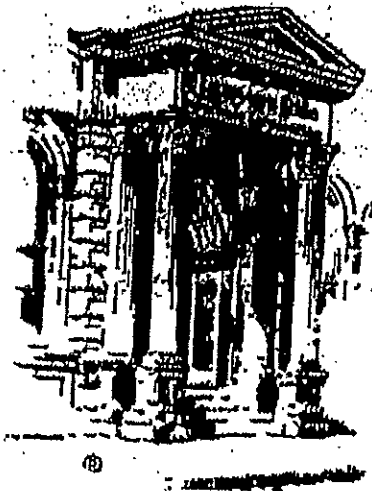
*Schedule B - Section 2*



North fifty eight degrees thirty seconds East one hundred and sixty and nineteen are  
fifty four degrees thirty nine minutes thirty seconds East one thousand and thirteen a  
fifty nine one hundredths feet to a stone, thence still along said road South twenty deg  
rees seven minutes thirty seconds East two hundred and fifteen and ninety three are  
thirty two feet to a stone, South twenty one degrees fifty seven minutes thirty seconds East to  
hundred and eighty four and eight tenths feet to a spike, and South twenty five deg  
rees twenty eight minutes thirty seconds East four hundred and eighty seven and eight  
three one hundredths feet to the place of beginning, containing one hundred and nine  
and nine thousand eight hundred and seventy seven ten thousandths acres more or  
less. Together with the right of way appurtenant to the lands lying North of Eagle Road  
over a strip of land forty feet wide now known as Paul Road, extending from Eagle  
Road, southwardly into Chamouni Avenue and over and along said Chamouni A  
venue as the same was granted by Francis Fenimore and Maria E. his wife to Fran  
cis M. Brooke and Hunter Brooke by Indenture bearing date the fourteenth day of  
May 1889, and recorded in the Office for Recording of Deeds in and for Delaware in  
Deed Book 3, No. 6, page 272 &c. and by Benjamin Brooke et al. Executors &c. James  
Paul, Jr. by Indenture bearing date the fifth day of July 1900, and recorded in the  
office of said in Deed Book 2, No. 10, page 288 &c.

And together with the free and un  
interrupted right of way and passage at all times hereafter over and along a strip  
of land fifty feet in width extending from the County line and Northwardly through  
parcel No. 3 sold to A. F. Diesel Paul, in Chester County to the Upper Gulph Road, the  
middle line of said fifty foot strip being described as follows: Beginning at a point  
in the County line one hundred and nineteen and fifty four one hundredths feet South  
wardly from the stone in said County line marking a corner of parcel No. 2 and  
lands of Sallie V. Stevenson, and extending thence along the middle line of the present  
drive North fourteen degrees fifty six minutes West one hundred and fifty one and  
fifty two one hundredths feet to a point in the Northern portion of Upper Gulph Ro  
ad. Being composed of the whole of three tracts of land one of which Mary E. Pechin  
et al. by Indenture bearing date the twenty seventh day of June 1900, and the other  
two of which Peter Pechin by Indenture bearing date the eleventh day of July 1900,  
and of part of the same premises in Benjamin Brooke, et al. Executors &c. by Ind.





LAWYERS TITLE INSURANCE CORPORATION

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*Schedule B - Section 2*



No. 70-B CORPORATION DEED.

# This Indenture Made the fourteenth

day of November

in the year of our Lord one thousand nine

hundred and sixty nine (1969)

Between THE MISSIONARY SISTERS  
OF THE SACRED HEART, a Pennsylvania corporation

(hereinafter called the Grantor), of the one part, and  
CABRINI COLLEGE, a Pennsylvania corporation

Witnesseth,  
SACRED HEART

ONE (\$1.00) DOLLAR

(hereinafter called the Grantee), of the other part,

That the said THE MISSIONARY SISTERS OF THE  
for and in consideration of the sum of

money of the United States of America, unto it well and truly paid by the said Grantee  
at or before the sealing and delivery, hereof, the receipt whereof is hereby acknowledged, has  
granted, bargained and sold, aliened, enfeoffed, released and confirmed, and by these presents does  
grant, bargain and sell, alien, enfeoff, release and confirm unto the said Grantee, its successors  
and assigns,

ALL THAT CERTAIN lot or piece of ground with the buildings  
and improvements thereon erected, SITUATE in the Township of Radnor, County  
of Delaware, State of Pennsylvania and described according to a Map of  
Property of "Cabrini College", said map made by Yerkes Engineering Company  
of Bryn Mawr, Pennsylvania, dated 12/5/1966, and last revised 9/2/1967, as  
follows, to wit:-

BEGINNING at an interior point marked by a spike set in  
the title line in the bed of a driveway extending through "Cabrini College"  
from Eagle Road to King of Prussia Road said spike is at the distance of  
2070.43 feet measured by the following various courses and distances North-  
eastwardly along the said title line in the bed of said driveway from its  
intersection with the title line in the bed of Eagle Road, said point being  
measured the two following courses and distances along the same from a nail  
in the line of land of Valley Forge Military Academy viz: (1) South 66  
degrees 00 minutes 30 seconds East 117.20 feet to a point and (2) North 79  
degrees 3 minutes 20 seconds East 166.18 feet to a point, thence from said

BOOK 2358 PAGE 1092

Recd 12/8/69



point extending the following sixteen courses and distances along the title line in the bed of the aforesaid driveway viz: (1) North 12 degrees 59 minutes East 199.97 feet to a spike, (2) North 2 degrees 48 minutes East 117.83 feet to a spike (3) North 8 degrees 12 minutes 30 seconds West 99.80 feet to a spike, (4) North 5 degrees 13 minutes 30 seconds West 100 feet to a spike, (5) North 0 degrees 36 minutes 30 seconds East 100 feet to a spike, (6) North 74 degrees 55 minutes 30 seconds East 100 feet to a spike, (7) North 46 degrees 42 minutes 30 seconds East 100 feet to a spike, (8) North 56 degrees 44 minutes 30 seconds East 100 feet to a spike, (9) North 63 degrees 28 minutes 30 seconds East 100 feet to a spike, (10) North 68 degrees 58 minutes 30 seconds East 100 feet to a spike, (11) North 72 degrees 57 minutes East 100 feet to a spike; (12) North 74 degrees 42 minutes East 100 feet to a spike, (13) North 76 degrees 54 minutes 30 seconds East 89.40 feet to a spike, (14) North 79 degrees 00 minutes 30 seconds East 474.68 feet to a spike, (15) North 76 degrees 40 minutes East 125.94 feet to a spike, (16) North 74 degrees 3 minutes East 62.81 feet to an iron pin, the point of beginning, thence extending from said beginning point along the title line in the bed of the driveway the four following courses and distances: (1) North 74 degrees 3 minutes East 67.41 feet to a spike; (2) North 68 degrees 45 minutes 30 seconds East 100.00 feet to a spike; (3) North 62 degrees 19 minutes 30 seconds East 100.00 feet to a spike; (4) North 55 degrees 58 minutes 30 seconds East 43.23 feet to a spike; thence leaving aforesaid driveway three following courses and distances: (1) South 10 degrees 5 minutes East 374.01 feet to an iron pin; (2) South 79 degrees 55 minutes West 300.00 feet to an iron pin; (3) North 10 degrees 5 minutes West parallel to and 50.00 feet East of the East wall of Holy Spirit Library Building 300.00 feet to an iron spike in the title line in the bed of said driveway which extends through "Cabrini College" from Eagle Road to King of Prussia Road the first mentioned point and place of BEGINNING.

CONTAINING 2.258 Acres more or less.

TOGETHER with the free and common use, right, liberty and privilege of the aforesaid driveway, as and for a driveway, passageway and watercourse in common with the owners, tenants and occupiers of the other lots of ground bounding thereon and entitled to the use thereof at all times hereafter forever.

SUBJECT, however, to the proportionate part of the expense of keeping said driveway in good order and repair.

BEING part of the premises which John Thompson Dorrance, Jr. and Mary Alice Dorrance, his wife, and John Thompson Dorrance, Jr., Nathaniel P. Hill, Tristram Coffin Colker and George Strawbridge, Executors under the Will of Ethel M. Dorrance, deceased, conveyed to The Missionary Sisters of the Sacred Heart by deed dated 11/17/1953 and recorded in Delaware County in Deed Book 1676, page 282.



**AMENDED AND RESTATED MEMORANDUM OF LEASE**

**THIS AMENDED AND RESTATED MEMORANDUM OF LEASE** is dated April 30, 2010, and is effective as of January 1, 2006 by and between **MISSIONARY SISTERS OF THE SACRED HEART**, an Illinois not-for-profit corporation ("Lessor") and **CABRINI COLLEGE**, a Pennsylvania nonprofit corporation ("Lessee").

**WITNESSETH:**

WHEREAS, the Lessor and Lessee are parties to a certain Master Ground Lease Agreement dated June 30, 1988. A Memorandum of Lease ("Memorandum") dated June 30, 1988 and recorded March 7, 1989 at Volume 0651, page 1415 in the Records of Deeds of Delaware County, Pennsylvania, and recorded on March 7, 1989 at Book 1532, page 306 in Chester County, Pennsylvania memorialized certain provisions of the Master Ground Lease Agreement. A copy of the Memorandum is attached hereto as Exhibit "A."

The Master Ground Lease Agreement has been amended several times since June 30, 1988, with the most recent and current amendment being dated January 1, 2006 and denominated the Second Amended and Restated Master Ground Lease ("Restated Master Ground Lease").

The parties wish to memorialize certain provisions of the Restated Master Ground Lease by entering into this Amended and Restated Memorandum of Lease ("Amended Memorandum").

The Lessor and Lessee hereby agree as follows:

1. The name and address of the Lessor is: Missionary Sisters of the Sacred Heart, an Illinois not-for-profit corporation, 434 W. Deming Place, Chicago, Illinois 60614.
2. The name and address of the Lessee is: Cabrini College, a Pennsylvania nonprofit corporation, King of Prussia and Eagle Roads, Radnor, Pennsylvania 19087.
3. The date of the Restated Master Ground Lease is January 1, 2006.
4. The description of the Premises is set forth on Exhibit "B" attached hereto and made a part hereof.
5. The Commencement Date of the term under the Restated Master Ground Lease is January 1, 2000.
6. The Term of the Restated Master Ground Lease is sixty (60) years, ending on December 31, 2059.
7. Lessee has no right to extend or renew the Term under the Restated Master Ground Lease.
8. Subject to the terms and conditions of the Restated Master Ground Lease, Lessor has granted Lessee a purchase option.



9. Subject to the terms and conditions of the Restated Master Ground Lease, Lessor has granted Lessee a right of first refusal.

10. Subject to the terms and conditions of the Restated Master Ground Lease, Lessor has granted Lessee a right of first offer.

11. Lessor has granted to Lessee certain easements for vehicular and pedestrian access over and upon all other land owned by Landlord adjacent or contiguous to the Premises ("Additional Land") and Lessor has reserved unto itself an easement over and upon the Premises for pedestrian and vehicular access to and from the Additional Land all as more particularly described in the Restated Master Ground Lease.

12. This Amended Memorandum may be executed in counterpart, each of which shall be deemed an original and all of which together shall constitute one and the same instrument.

**IN WITNESS WHEREOF**, Lessor and Lessee have executed this Amended Memorandum of Ground Lease as of the date first hereinabove written.

**LESSOR:**

**MISSIONARY SISTERS OF THE  
SACRED HEART**

By: *Sr. Joan M<sup>c</sup> Glinckey, MSC*  
Name: *Sr. JOAN M<sup>c</sup> GLINCKEY*  
Title: *First Vice-President*

**LESSEE:**

**CABRINI COLLEGE**

By: *Marie Angelella George, Ph.D.*  
Name: *MARIE ANGELELLA GEORGE*  
Title: *PRESIDENT*



COMMONWEALTH OF PENNSYLVANIA :  
: SS  
COUNTY OF Delaware :

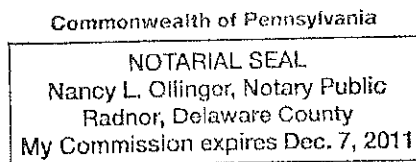
On this, the 30<sup>th</sup> day of April, 2010, before me a Notary Public in and for the Commonwealth of Pennsylvania, the undersigned officer, personally appeared Marie A. George, who acknowledged himself/herself to be the President of **CABRINI COLLEGE**, a Pennsylvania nonprofit corporation, and that he/she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by himself/herself as such officer.

In Witness Whereof, I hereunto set my hand and official seal.

Nancy L. Ollinger [SEAL]  
Notary Public in and for the  
Commonwealth of Pennsylvania

My Commission Expires:

Dec 7, 2011





STATE OF ILLINOIS :  
 : SS  
COUNTY OF COOK :

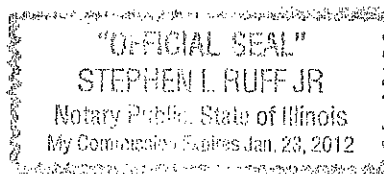
On this, the 29<sup>th</sup> day of March, 2010, before me a Notary Public in and for the State of Illinois, the undersigned officer, personally appeared Sr. Joan McGlinchey, MSC, who acknowledged herself to be the First Vice-President of **MISSIONARY SISTERS OF THE SACRED HEART**, an Illinois not-for-profit corporation, and that she as such officer, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the corporation by herself as such officer.

In Witness Whereof, I hereunto set my hand and official seal.

 [SEAL]  
Notary Public

My Commission Expires:

January 23, 2012





## EXHIBIT A

③  
1-201  
2-10-10

### MEMORANDUM OF LEASE

MEMORANDUM OF LEASE entered into by and between MISSIONARY SISTERS OF THE SACRED HEART, an Illinois not-for-profit corporation ("Lessor") and CABRINI COLLEGE, a Pennsylvania not-for-profit corporation ("Lessee").

The parties hereto have entered into a Lease (the "Lease") in connection with which this Memorandum of Lease is executed.

Lessor and Lessee hereby agree as follows:

1. The name and address of the Lessor in the Lease (referred to therein as "Landlord") is:

MISSIONARY SISTERS OF THE SACRED HEART, an Illinois  
not-for-profit corporation  
434 N. Deming Place  
Chicago, Illinois 60614

2. The name and address of the Lessee in the Lease (referred to therein as "Tenant") is:

CABRINI COLLEGE, a Pennsylvania not-for-profit corporation  
King of Prussia and Eagle Roads  
Radnor, Pennsylvania

3. The date of the Lease is the 30th day of June, 1988.

4. The description of the devised premises is set forth in Exhibit A attached hereto and made a part hereof.

5. The date of commencement of the term of the Lease is July 1, 1988.

6. The term of the Lease is 60 years, ending at 12:01 A.M. on the 30th of June, 2048.

7. Lessee has no right to extend or renew the term of the Lease.

8. Lessee has no right of the purchase of or refusal of the devised premises.

9. Lessor has granted to Lessee certain easements for vehicular and pedestrian access over and upon all other land owned by Landlord adjacent or contiguous to the Premises ("Additional Land") and Landlord has reserved unto itself an easement over and upon the Premises for pedestrian and vehicular access to and from the Additional Land all as more particularly described in the Lease.

RECEIVED  
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89/88-7 PM 11:17

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BK1532PG306



Description #2  
Sabrini College Entire Tract  
excluding  
"College Parcel"

Beginning at a point in the bed of Eagle Road (30 ft wide) extending along said Eagle Road north sixty six degrees zero minutes thirty seconds west one hundred and seventeen ft and two tenths of a foot to a point; thence extending north seventy nine degrees three minutes twenty seconds east one thousand seven hundred and seventy six ft and two tenths of a foot to a point; thence extending north seventy five degrees forty two minutes east three hundred and eleven ft and fifteen one hundredths of a foot to a point; thence extending north fifty seven degrees twenty eight minutes and thirty seconds east fifty five ft and sixteen one hundredths of a foot to a point; thence extending north thirty nine degrees thirty seven minutes east two hundred and thirty seven ft and twenty three one hundredths of a foot to a point; thence extending north fifty two degrees twenty seven minutes east fifty two ft and eight one hundredths of a foot to a point; thence extending north seventy three degrees eight minutes east four hundred and eight ft and eighty five one hundredths of a foot to a point; thence extending north seventy four degrees twenty nine minutes east two hundred and nineteen ft and forty six one hundredths of a foot to a point; thence extending north seventy three degrees fifty nine minutes east five hundred and eighteen ft and fourteen one hundredths of a foot to a point. Such newed point is located in the middle of the intersection of Eagle Road and King of Prussia Road; thence extending along King of Prussia Road north twenty five degrees eighteen minutes forty seconds west four hundred and eighty five ft and sixty eight one hundredths of a foot to a point; thence leaving aforesaid King of Prussia Road and extending south sixty eight degrees two minutes and thirty seconds west twenty eight ft to an iron pin; thence extending along the same course four hundred and twenty nine ft and sixty five one hundredths of a foot to a point; thence extending north sixty four degrees thirty nine minutes and thirty seconds west one thousand five hundred and twelve ft and sixteen one hundredths of a foot to an iron pin; thence extending south fifty seven degrees fifty seven minutes fifty eight seconds west one hundred and seventy six ft and eighteen one hundredths of a foot to a point; thence extending north thirty three degrees forty three minutes and two seconds west eight hundred and fifty two ft and eighty five one hundredths of a foot to a point; thence extending north fourteen degrees fifty eight minutes twenty seven seconds west four hundred and fifty one ft and eighty nine one hundredths of a foot to a point; thence extending along the same course forty two ft and thirty five one hundredths of a foot to a point in the bed of Upper Gulph Road; thence extending along aforesaid Upper Gulph Road south eighty five degrees fifty six minutes forty seven seconds west two hundred and eighty seven ft and one tenth of a foot to a point; thence extending along the same course seventy six ft and forty one hundredths of a foot to a point; thence leaving aforesaid Upper Gulph Road and



Description #2  
Cabrini College Entire Tract  
excluding  
"College Parcel"  
(continuation)

extending south fourteen degrees thirty five minutes and four seconds east twenty eight ft and eight tenths of a foot to an iron pin; thence extending along the same course six hundred and forty eight ft to an iron pin; thence extending south fifty seven degrees thirty five minutes forty-five seconds west two hundred and three ft and three hundredths of a foot to a point; thence extending along the same course three hundred and thirty five ft to a monument; thence extending north sixty nine degrees forty four minutes west one hundred and ninety nine ft and twenty five one hundredths of a foot to an iron pin; thence extending south five degrees fifty minutes and fifteen seconds east one hundred and seventy seven ft and seven one hundredths of a foot to a monument; thence extending north fifty seven degrees thirty five minutes forty-five seconds east ninety six ft and forty seven one hundredths of a foot to an iron pin; thence extending south thirty degrees twenty eight minutes and five seconds east five hundred and forty five ft and eighty six one hundredths of a foot to an iron pin; thence extending south seventeen degrees twenty four minutes and forty two seconds west eight hundred and fifty two ft and twenty two one hundredths of a foot to an iron pin; thence extending south eleven minutes forty one seconds west five hundred and eighty nine ft and forty three one hundredths of a foot to an iron pin; thence extending along the same course twenty three ft and eighty one one hundredths of a foot to the point and place of beginning in the bed of Eagle Road. Said parcel lying partly in Chester County and partly in Delaware County excluding the parcel described as follows: Beginning at an interior point marked by a spike set in the title line in the bed of a driveway extending through "Cabrini College" from Eagle Road to King of Prussia Road said spike is at the distance of two thousand and seventy ft and forty three one hundredths of a foot measured by the following various courses and distances North eastwardly along the said title line in the bed of said driveway from its intersection with the title line in the bed of Eagle Road, said point being measured the two following courses and distances along the same from a nail in the line of land of Valley Forge Military Academy viz: North seventy nine degrees three minutes twenty seconds east one hundred and sixty six ft and eighteen one hundredths of a ft to a point; thence from said point extending the following sixteen courses and distances along the title line in the bed of the aforesaid driveway viz: (1) north twelve degrees fifty nine minutes east one hundred and ninety nine ft and ninety seven one hundredths of a foot to a spike; (2) north two degrees forty eight minutes east one hundred and seventeen ft and eighty three one hundredths of a foot to a spike; (3) north eight degrees twelve minutes thirty seconds west ninety nine ft and eighty one hundredths of a foot to a spike; (4) north five degrees thirteen minutes thirty seconds west one



Description #2  
Cahrini College Entire Tract  
excluding  
"College Parcel"  
(continuation)

hundred ft to a spike; (5) north zero degrees thirty six minutes thirty seconds east one hundred ft to a spike; (6) north twenty four degrees fifty five minutes thirty seconds east one hundred ft to a spike; (7) north forty six degrees forty two minutes thirty seconds east one hundred ft to a spike; (8) north fifty six degrees forty four minutes thirty seconds east one hundred ft to a spike; (9) north sixty three degrees twenty eight minutes thirty seconds east one hundred ft to a spike; (10) north sixty eight degrees fifty eight minutes thirty seconds east one hundred ft to a spike; (11) north seventy two degrees fifty seven minutes east one hundred ft to a spike; (12) north seventy four degrees forty two minutes east one hundred ft to a spike; (13) north seventy six degrees zero minutes thirty seconds east four hundred and seventy four ft and sixty eight one hundredths of a foot to a spike; (14) north seventy six degrees forty minutes east one hundred twenty five ft and ninety four one hundredths of a foot to a spike; (15) north seventy four degrees three minutes east sixty two ft and eighty one one hundredths of a foot to an iron pin, the point of beginning; thence extending from said beginning point along the title line in the bed of the driveway the four following courses and distances: (1) north seventy four degrees three minutes east sixty seven ft and forty one one hundredths of a foot to a spike; (2) north sixty eight degrees forty five minutes thirty seconds east one hundred ft and zero hundredths of a foot to a spike; (3) north sixty two degrees nineteen minutes thirty seconds east one hundred ft and zero one hundredths of a foot to a spike; (4) north fifty five degrees fifty eight minutes thirty seconds east forty three ft and twenty three one hundredths of a foot to a spike; thence leaving aforesaid driveway three following courses and distances: (1) south ten degrees five minutes east three hundred and seventy four ft and one one hundredths of a foot to an iron pin; (2) south seventy nine degrees fifty five minutes west three hundred ft and zero one hundredths of a foot to an iron pin; (3) north ten degrees five minutes west three hundred ft and zero one hundredths of a foot to an iron spike to the point and place of the beginning of the college parcel; thence following the courses (16) to (1) returning to the point in the title line bed of the driveway.

Radnor Twp 36-02-60477-00



10. This Memorandum of Lease has been executed merely to give notice of the Lease pursuant to the provisions of the Act of June 30, 1939, P.L. 454; 21 P.S. 403, and as agreed by the parties. All of the terms, conditions and covenants of the Lease are incorporated herein by reference. The parties hereto do not intend this Memorandum of Lease to modify, amend or supersede the Lease or any of the rights or obligations created thereunder. In the event of any variance or discrepancy between the Lease and this Memorandum of Lease, the terms and provisions of the Lease shall govern.

IN WITNESS WHEREOF, the parties to the Lease have duly executed this Memorandum of Lease, under seal this 30th day of June, 1988.

LESSOR  
MISSIONARY SISTERS OF THE SACRED  
HEART

By: *L. Antonio Lopez* (SEAL)

ATTEST: *L. Marilyn Taylor, SSC*

LESSEE  
CABRINI COLLEGE

By: *William Curran* (SEAL)

ATTEST: *L. Patricia Brangley, SSC*

06153240310

- 1 - VOL 0651 PG 419



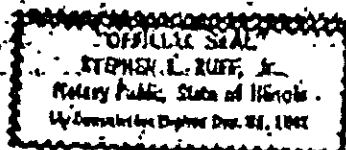
STATE OF ILLINOIS)

) SS

COUNTY OF DUPAGE )

On the 10th day of June, 1988, before me, the subscriber, a Notary Public in and for the Commonwealth and County aforesaid, personally appeared Sister Antonia Lanzoni, N.S.C. who acknowledged herself to be the Treasurer of the Missionary Sisters of the Sacred Heart, an Illinois not for profit corporation, and that she, as such President being authorized to do so, executed the foregoing instruments for the purposes therein contained by signing the name of the corporation by herself as such President, and desired that the same might be recorded as such.

WITNESS my hand and seal the day and year aforesaid.



*Stephen L. Ruff, Jr.*  
Notary Public

My Commission Expires:

OK 1532 PG311

VOL 065 / PG 420



WM0651 M1421



LC ENVY 10 1962

③

PHILADELPHIA PA 19102  
735-2558

EMORY RECORDS RETURN TO:

EMORY RECORDS CORPORATION  
260 South 40th Street  
Philadelphia, Pennsylvania 19102  
PA 48-5674

RETURN TO

MISSIONARY SISTER OF THE  
Sacred Heart

TO

CHBMINI College

BK1532 PG312



## **EXHIBIT B**

### **CABRINI COLLEGE ENTIRE TRACT**

Beginning at a point in the bed of Eagle Road (30 ft wide) extending along said Eagle Road north sixty six degrees zero minutes thirty seconds west one hundred and seventeen ft and two tenths of a foot to a point; thence extending north seventy nine degrees three minutes twenty seconds east one thousand seven hundred and seventy six ft and two tenths of a foot to a point; thence extending north seventy five degrees forty two minutes east three hundred and eleven ft and fifteen one hundredths of a foot to a point; thence extending north fifty seven degrees twenty eight minutes and thirty seconds east fifty five ft and sixteen one hundredths of a foot to a point; thence extending north thirty nine degrees thirty seven minutes east two hundred and thirty seven ft and twenty three one hundredths of a foot to a point; thence extending north fifty two degrees twenty seven minutes east fifty two ft and eight one hundredths of a foot to a point; thence extending north seventy three degrees eight minutes east four hundred and eight ft and eighty five one hundredths of a foot to a point; thence extending north seventy four degrees twenty nine minutes east two hundred and nineteen ft and forty six one hundredths of a foot to a point; thence extending north seventy three degrees fifty nine minutes east five hundred and eighteen ft and fourteen one hundredths of a foot to a point. Such named point is located in the middle of the intersection of Eagle Road and King of Prussia Road; thence extending along King of Prussia Road north twenty five degrees eighteen minutes forty seconds west four hundred and eighty five ft and sixty eight one hundredths of a foot to a point; thence leaving aforesaid King of Prussia Road and extending south sixty eight degrees two minutes and thirty seconds west twenty eight ft to an iron pin; thence extending along the same courses four hundred and twenty nine ft and sixty five one hundredths of a foot to a point; thence extending north sixty four degrees thirty



nine minutes and thirty seconds west one thousand five hundred and twelve ft and sixteen one hundredths of a foot to an iron pin; thence extending south fifty seven degrees fifty seven minutes fifty eight seconds west one hundred and seventy six ft and eighteen one hundredths of a foot to a point; thence extending north thirty three degrees forty three minutes and two seconds west eight hundred and fifty two ft and eighty five one hundredths of a foot to a point; thence extending north fourteen degrees fifty eight minutes twenty seven seconds west four hundred and fifty one ft and eighty nine one hundredths of a foot to a point; thence extending along the same course forty two ft and thirty five one hundredths of a foot to a point in the bed of Upper Golf Road; thence extending along aforesaid Upper Gulph Road south eighty five degrees fifty six minutes forty seven seconds west two hundred and eighty seven ft and one tenth of a foot to a point, thence extending along the same course seventy six ft and forty one hundredths of a foot to a point; thence leaving aforesaid Upper Gulph Road and extending south fourteen degrees thirty five minutes and four seconds east twenty eight ft and eight tenths of a foot to an iron pin; thence extending along the same course six hundred and forty eight ft to an iron pin; thence extending south fifty seven degrees thirty five minutes forty five seconds west two hundred and three ft and three hundredths of a foot to a point; thence extending along the same course three hundred and thirty five ft to a monument; thence extending north sixty nine degrees forty four minutes west one hundred and ninety nine ft and twenty five one hundredths of a foot to an iron pin; thence extending south five degrees fifty minutes and fifteen seconds east one hundred and seventy seven ft and seven one hundredths of a foot to a monument; thence extending north fifty seven degrees thirty five minutes forty five seconds east ninety six ft and forty seven one hundredths of a foot to an iron pin; thence extending south thirty degrees twenty eight minutes and five seconds east five hundred and forty five ft and eighty six one hundredth, of a foot to an iron pin; thence



extending south seventeen degrees twenty four minutes and forty two seconds west eight hundred and fifty two ft and twenty two one hundredths of a foot to an iron pin; thence extending south eleven minutes forty one seconds west five hundred and eighty nine ft and forty three one hundredths of a foot to an iron pin; thence extending along the same course twenty three ft and eighty one one hundredths of a foot to the point and place of beginning in the bed of Eagle Road.



### GRACE HALL PARCEL

All those certain Premises situate in the Township of Radnor, County of Delaware, Commonwealth of Pennsylvania and more particularly described in a Lease Line Plan for Cabrini College prepared by Site Engineers, Inc. dated June 15, 1988 and last revised on September 8, 1988, Drawing C 2A.

Starting from a point in the bed of Upper Gulph Road (30' wide), extending South fourteen degrees thirty five minutes four seconds east six hundred and forty eight feet to an iron pin: thence South fifty seven degrees thirty-five minutes forty five seconds West two hundred and sixty eight feet and three one hundredths of a foot to a point: thence South sixteen degrees thirty five minutes eighteen seconds East four hundred and twenty feet to the beginning point: thence continuing from the beginning point along the same course five hundred and fifty nine feet and eight hundredths of a foot: thence North seventy three degrees twenty four minutes and forty two seconds East six hundred and thirty five feet to a point: thence North sixteen degrees thirty five minutes and eighteen seconds West three hundred and sixty feet to a point; thence South seventy three degrees twenty four minutes forty two seconds West one hundred feet to a point; thence North sixteen degrees thirty five minutes and eighteen seconds West one hundred and ninety nine feet and eight one hundredths of a foot to a point: thence south seventy three degrees twenty four minutes and forty two seconds West five hundred and thirty feet to a point and place of the beginning.

CONTAINING 7.7 acres more or less.



[illegible]

LOCATION MAP OF PROPERTIES AND STREETS WITHIN 500 FEET

Scale: 1" = 400'

## DRAWING SCHEDULE

1. COVER SHEET
2. OVERALL EXISTING FEATURES PLAN
3. OVERALL PROPOSED SITE IMPROVEMENTS PLAN
4. SOIL VEGETATION, A WATER RESOURCE MAP - WEST TURNAROUND
5. SOIL VEGETATION, A WATER RESOURCE MAP - RESIDENCE HALL
6. SOIL VEGETATION, A WATER RESOURCE MAP - EAST PARKING STRUCTURE
7. DEMOLITION PLAN - WEST TURNAROUND
8. DEMOLITION PLAN - RESIDENCE HALL
9. DEMOLITION PLAN - EAST PARKING STRUCTURE
10. PROPOSEDPCSM PLAN - WEST TURNAROUND
11. PROPOSEDPCSM PLAN - RESIDENCE HALL
12. PROPOSEDPCSM PLAN - EAST PARKING STRUCTURE
13. PROPOSEDPCSM DETAIL SHEET
14. PROPOSEDPCSM DETAIL SHEET
15. PCSM PROFILE SHEET
16. EROSION & SEDIMENTATION CONTROL PLAN - WEST TURNAROUND
17. EROSION & SEDIMENTATION CONTROL PLAN - RESIDENCE HALL
18. EROSION & SEDIMENTATION CONTROL PLAN - EAST PARKING STRUCTURE
19. EAS DETAIL SHEET
20. TREE REMOVAL PLAN - WEST TURNAROUND
21. TREE REMOVAL PLAN - RESIDENCE HALL
22. TREE REMOVAL PLAN - EAST PARKING STRUCTURE
23. PLANTING PLAN - WEST TURNAROUND
24. PLANTING PLAN - RESIDENCE HALL
25. PLANTING PLAN - PARKING STRUCTURE
26. PLANTING DETAILS
27. SITE DETAILS
28. PARKING STRUCTURE PLANS

COGNITIVE ASPECTS OF PROBLEM SOLVING  
 OF THE 10-12 YEARS OLD  
 COLETTA, M. (1977) In: *Handbook of Research on Learning*, ed. by L. B. Resnick, D. M. Glaser and M. J. Novak. Chicago, Rand McNally, 107-109.

REVISED: 14 SEPTEMBER 2017  
DATE: 10 JULY 2017

115

ARCHITECT AND LANDSCAPE ARCHITECT:

WALLACE ROBERTS AND TODD, LLC

ATTN: BRUCE CHAMBERLIN  
1700 MARKET STREET  
28TH FLOOR  
PHILADELPHIA, PA 19103  
P: 215-772-1486  
E: BCHAAMBERLIN@WRTDESIGN.COM

CIVIL ENGINEER:

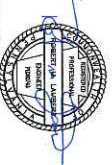
SITE ENGINEERING CONCEPTS, LLC

ATTN: ROBERT LAMBERT, P.E.  
P.O. BOX 1992  
SOUTHEASTERN, PA 19399  
P: 610-240-0450  
F: 610-240-0451  
E: RLAMBERT@SITE-ENGINEER.COM

EQUITABLE OWNER:

CABRINI UNIVERSITY

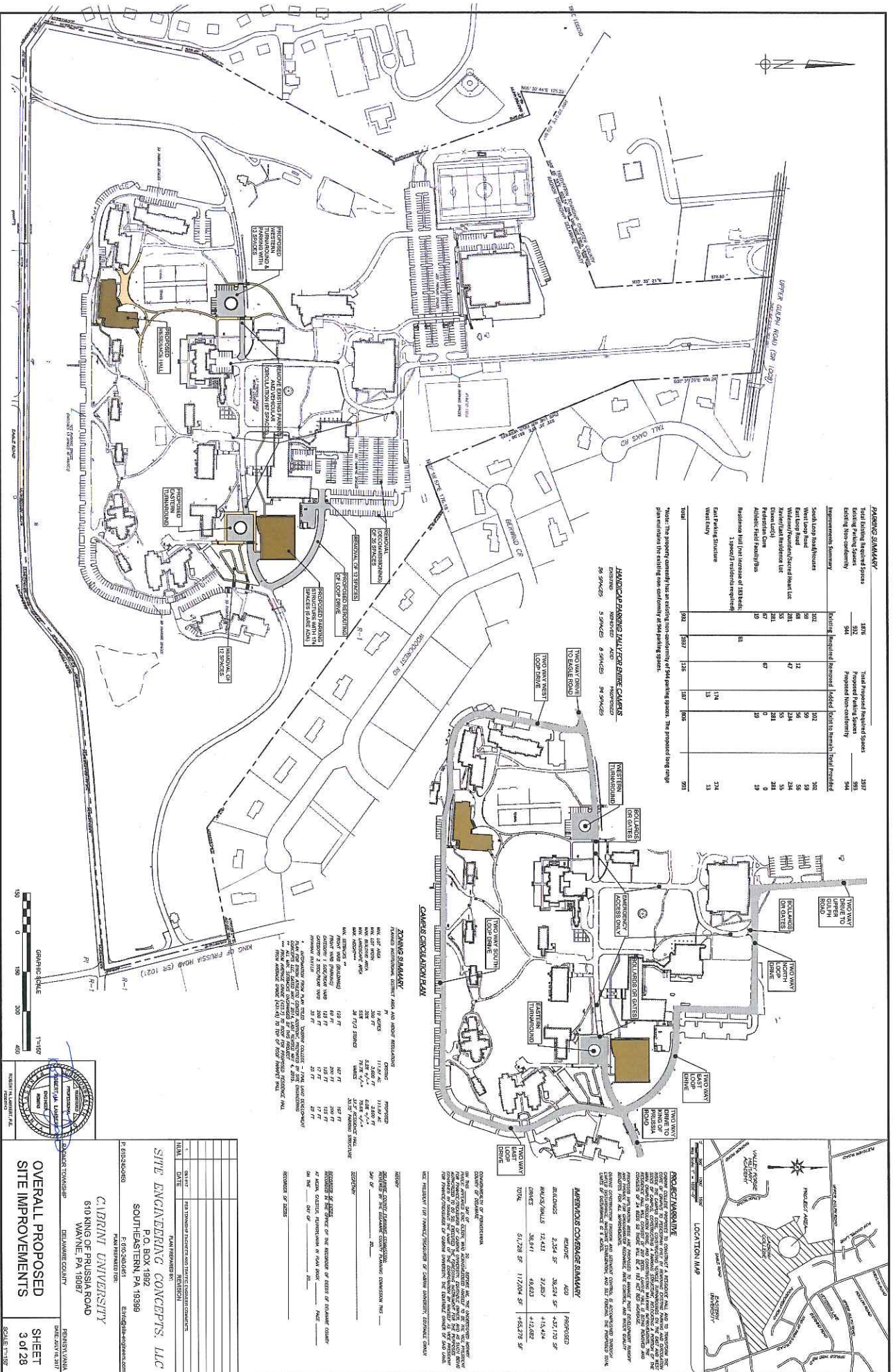
ATTN: ERIC OLSON, TREASURER  
610 KING OF PRUSSIA ROAD  
RADNOR, PA 19087  
P: 610-902-8240  
E: EJO38@CABRINI.EDU









[illegible]

HANDICAP PARKING TALLY FOR ENTIRE CAMPUS			
EXISTING	ADDED	TOTAL	PRIORITY
50 SPACES	5 SPACES	6 SPACES	54 SPACES

[illegible]

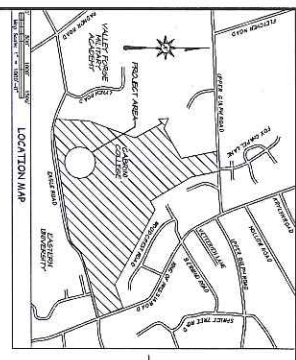
INFERIOUS COVERAGE SUMMARY		
	REMOVED	ADJ
BELOW	2,354 SF	30,594 SF
WALLS/WALLS	12,433	2,859
CONCRETE	36,911	49,623
TOTAL	51,728 SF	117,004 SF
		+55,276 SF

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A	Ammonia	TRITR
Ar	Artes	PROVED
B	Banana	PROVED
C	Carbide	WORMS
Ca	Comp	HECKY
Cal	Calend	CANAL
Can	Canal	WORMS
Cd	Cadm	WORMS
Cf	Caf	HECKY
Ch	Ch	HECKY
Cl	Chlorine	HECKY
Co	Co	HECKY
Cu	Copper	HECKY
D	D	HECKY
E	E	HECKY
F	F	HECKY
G	G	HECKY
H	H	HECKY
I	I	HECKY
J	J	HECKY
K	K	HECKY
L	L	HECKY
M	M	HECKY
N	N	HECKY
O	O	HECKY
P	P	HECKY
Q	Q	HECKY
R	R	HECKY
S	S	HECKY
T	T	HECKY
U	U	HECKY
V	V	HECKY
W	W	HECKY
X	X	HECKY
Y	Y	HECKY
Z	Z	HECKY

**NOTES:**

- ☐ FERTILE AND GROWING AREAS SHOWN ON PLAN
- ☐ TREES DEEPER THAN 6" IN DIAMETER ARE SHOWN ON THE PLAN
- ☐ OTHER SIGNIFICANT VEGETATION SHOWN ON PLAN

**NOTES RECORDED:**

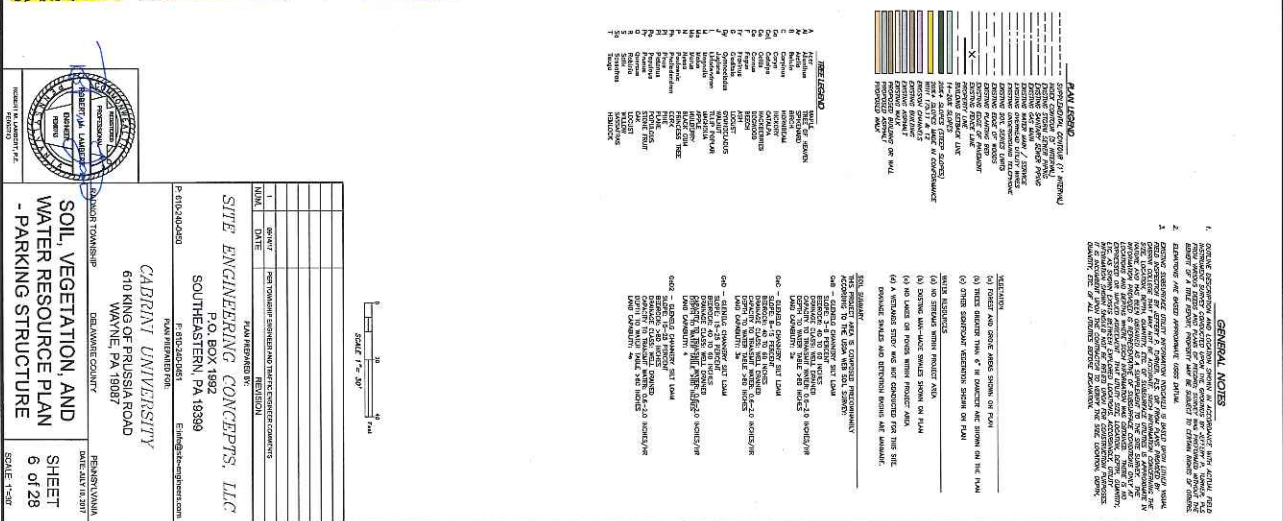
- ☐ NO STRUTS WITHIN PROJECT AREA
- ☐ DESIGN MAN-MADE SHAPES SHOWN ON PLAN
- ☐ NO LAKES OR POND, WITHIN PROJECT AREA
- ☐ A VENTILATION TOWER WAS NOT CONSIDERED FOR THIS SITE

**BRONZE SHAPES AND DETENTION BASINS ARE ILLUSTRATED**

[illegible]

<p><b>SITE ENGINEERING CONCEPTS, LLC</b></p> <p>P.O. BOX 1862          SOUTHEAST, PA 19369</p> <p>PHONE: 610-365-4151          FAX: 610-365-4151</p> <p>E-MAIL: <a href="mailto:info@engconcepts.com">info@engconcepts.com</a></p>	<p><b>CABRINT UNIVERSITY</b></p> <p>610 KING OF PRUSSIA ROAD          WAYNE, PA 19087</p>	<p><b>GRADUATE TOWNSHIP</b></p> <p>GRADUATE COUNTY</p> <p><b>EDUCATION</b></p> <p>DATE: JAN 17, 2017</p> <p><b>SCALE: 1"=20'</b></p>
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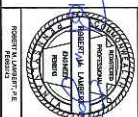




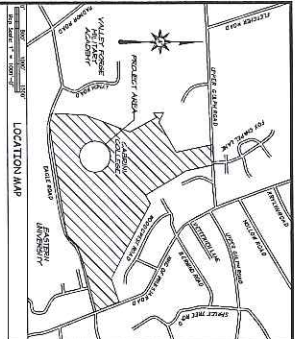












**GENERAL NOTES**

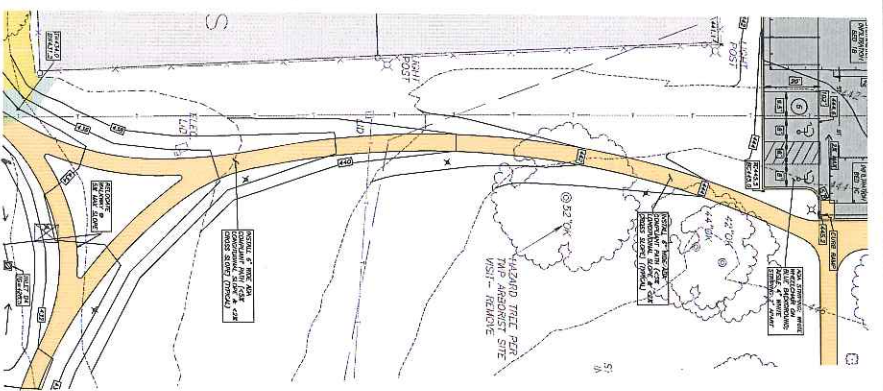
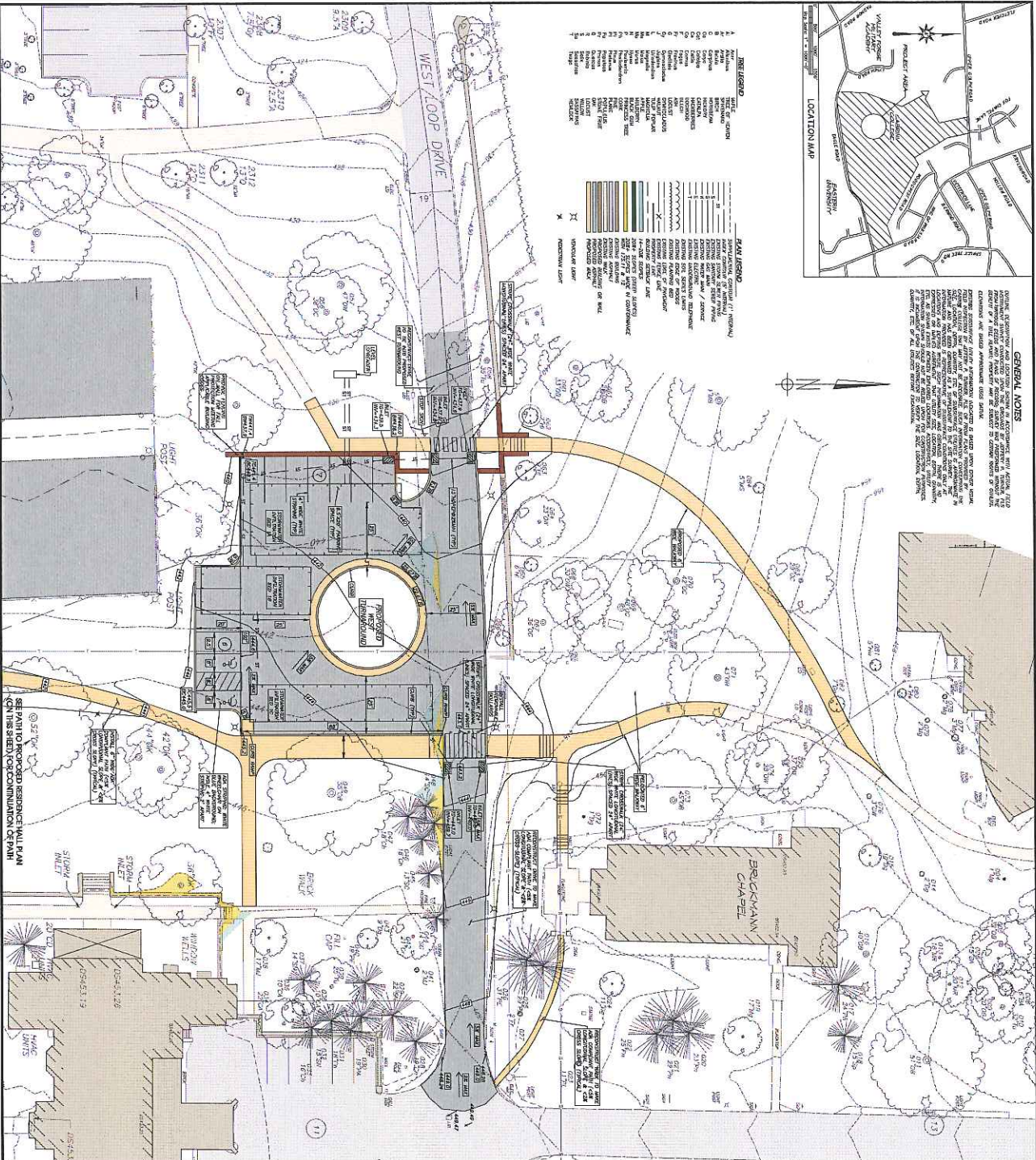
1. THE PROPOSED RESIDENCE HALL PLAN IS A PRELIMINARY DESIGN. THE FINAL DESIGN SHALL BE DETERMINED BY THE UNIVERSITY OF CALIFORNIA, BERKELEY, AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.

2. THE PROPOSED RESIDENCE HALL PLAN IS A PRELIMINARY DESIGN. THE FINAL DESIGN SHALL BE DETERMINED BY THE UNIVERSITY OF CALIFORNIA, BERKELEY, AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.

3. THE PROPOSED RESIDENCE HALL PLAN IS A PRELIMINARY DESIGN. THE FINAL DESIGN SHALL BE DETERMINED BY THE UNIVERSITY OF CALIFORNIA, BERKELEY, AND THE CALIFORNIA DEPARTMENT OF PUBLIC WORKS.

**LEGEND**

SYMBOL	DESCRIPTION
—	EXISTING ROAD
—	PROPOSED ROAD
—	PROPOSED DRIVE
—	PROPOSED SIDEWALK
—	PROPOSED BIKEWAY
—	PROPOSED TRAIL
—	PROPOSED PATH
—	PROPOSED FENCE
—	PROPOSED WALL
—	PROPOSED CURB
—	PROPOSED DRAINAGE
—	PROPOSED UTILITY
—	PROPOSED LANDSCAPE
—	PROPOSED PLANTING
—	PROPOSED TREES
—	PROPOSED SHRUBS
—	PROPOSED FLOWERS
—	PROPOSED GRASS
—	PROPOSED SOIL
—	PROPOSED ROCK
—	PROPOSED SAND
—	PROPOSED GRAVEL
—	PROPOSED ASPHALT
—	PROPOSED CONCRETE
—	PROPOSED BRICK
—	PROPOSED STONE
—	PROPOSED METAL
—	PROPOSED GLASS
—	PROPOSED WOOD
—	PROPOSED PLASTIC
—	PROPOSED RUBBER
—	PROPOSED LEATHER
—	PROPOSED FABRIC
—	PROPOSED PAPER
—	PROPOSED GLASS
—	PROPOSED METAL
—	PROPOSED WOOD
—	PROPOSED PLASTIC
—	PROPOSED RUBBER
—	PROPOSED LEATHER
—	PROPOSED FABRIC
—	PROPOSED PAPER



**PROPOSED/PCSM PLAN**

**- WEST TURNAROUND**

**SHEET 10 of 28**

**SCALE: 1" = 20'**

**DATE: MAY 15, 2011**

**PROJECT: UNIVERSITY OF CALIFORNIA, BERKELEY**

**LOCATION: 610 KING OF PRUSSIA ROAD, WAYNE, PA 19087**

**DESIGNER: SITE ENGINEERING CONCEPTS, LLC**

**PROJECT MANAGER: P.O. BOX 1892, SOUTHEASTERN, PA 19399**

**DATE: MAY 15, 2011**

**PROJECT: UNIVERSITY OF CALIFORNIA, BERKELEY**

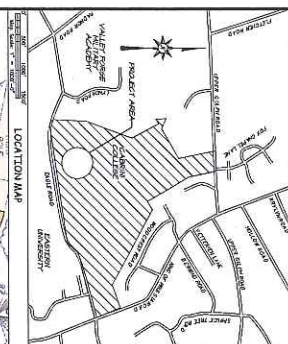
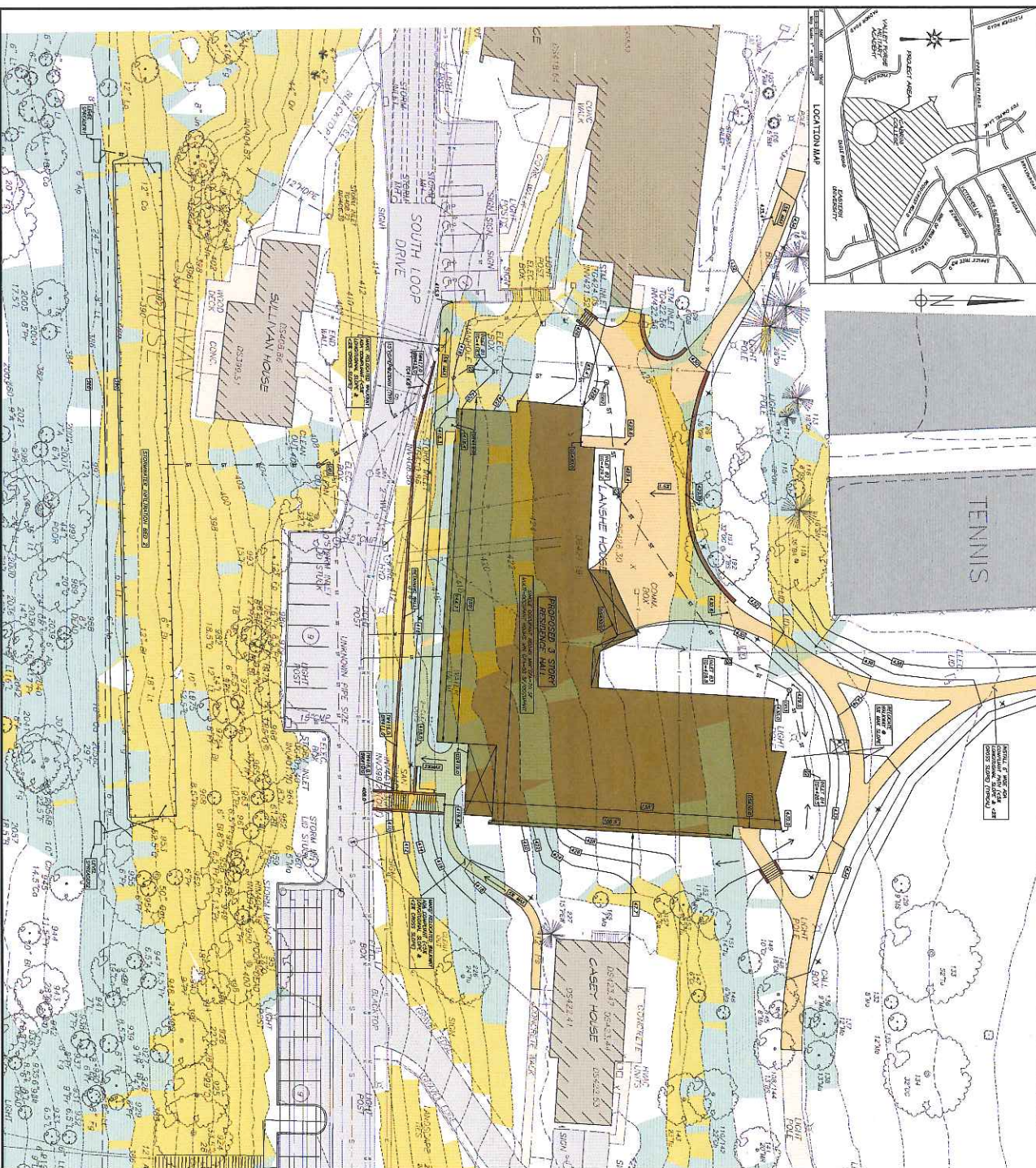
**LOCATION: 610 KING OF PRUSSIA ROAD, WAYNE, PA 19087**

**DESIGNER: SITE ENGINEERING CONCEPTS, LLC**

**PROJECT MANAGER: P.O. BOX 1892, SOUTHEASTERN, PA 19399**

**DATE: MAY 15, 2011**





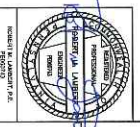
- GENERAL NOTES**
1. THE PCSM PLAN IS A PROPOSED RESIDENCE HALL FOR THE UNIVERSITY OF WYOMING. IT IS A 3-STOREY BUILDING WITH A TOTAL AREA OF 100,000 SQ. FT. IT WILL BE CONSTRUCTED ON A 10-ACRE SITE.
  2. THE PCSM PLAN IS A PROPOSED RESIDENCE HALL FOR THE UNIVERSITY OF WYOMING. IT IS A 3-STOREY BUILDING WITH A TOTAL AREA OF 100,000 SQ. FT. IT WILL BE CONSTRUCTED ON A 10-ACRE SITE.
  3. THE PCSM PLAN IS A PROPOSED RESIDENCE HALL FOR THE UNIVERSITY OF WYOMING. IT IS A 3-STOREY BUILDING WITH A TOTAL AREA OF 100,000 SQ. FT. IT WILL BE CONSTRUCTED ON A 10-ACRE SITE.

**PLAN LEGEND**

1	PROPOSED PCSM PLAN
2	PROPOSED RESIDENCE HALL
3	EXISTING BUILDINGS
4	EXISTING DRIVEWAYS
5	EXISTING GRADE
6	EXISTING DRIVEWAY
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**EXISTING LEGEND**

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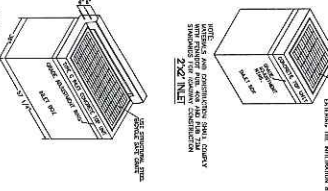
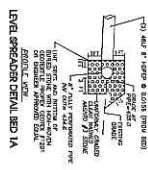
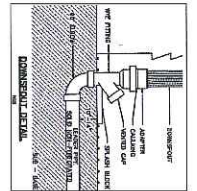
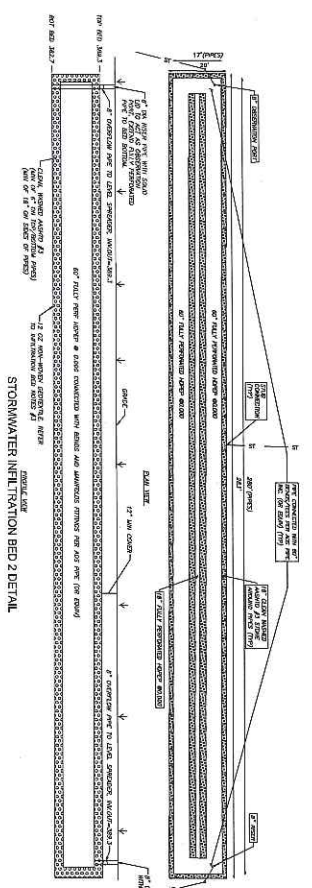
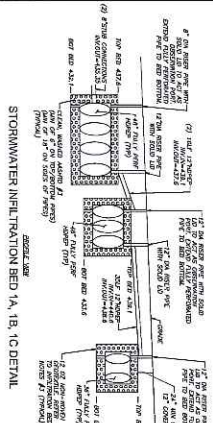
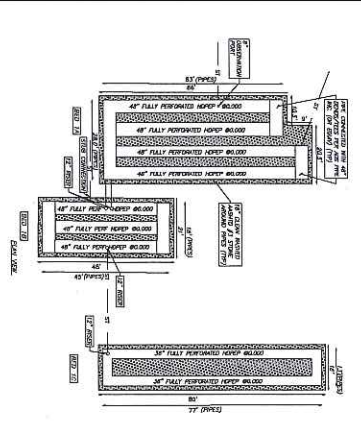


<b>PROPOSED PCSM PLAN</b>	
<b>- RESIDENCE HALL</b>	
SHEET 11 OF 28	
SCALE: 1"=20'	
<b>CABIN UNIVERSITY</b> 610 KING OF PRUSSIA ROAD WYOMING, PA 19380 PHONE: (610) 426-1000 FAX: (610) 426-1001 E-MAIL: <a href="mailto:info@cabin.edu">info@cabin.edu</a>	
<b>DE WARE COUNTY</b> PENNSYLVANIA DATE: MAY 19, 2007	
<b>PROPOSED PCSM PLAN</b> 610 BOX 1982 SOUTHEASTERN, PA 18380 E-MAIL: <a href="mailto:info@pcsm.com">info@pcsm.com</a>	
<b>DE WARE COUNTY</b> PENNSYLVANIA DATE: MAY 19, 2007	









**FINAL CERTIFICATION**

I, the undersigned, being a duly Licensed Professional Engineer, do hereby certify that the above is a true and correct copy of the original as submitted to me for review and approval, and that I am a duly Licensed Professional Engineer in the State of Pennsylvania.

DATE: 10/1/2010

ENGINEER: [Signature]

PROJECT: [Project Name]

CLIENT: [Client Name]

LOCATION: [Location]

SCALE: 1" = 1'-0"

**STORMWATER INFILTRATION BED NOTES**

1. INFILTRATION BEDS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING NOTES AND DETAILS.

2. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 12" OF 1/2" CRUSHED STONE FILL.

3. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

4. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

5. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

6. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

7. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

8. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

9. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

10. INFILTRATION BEDS SHALL BE CONSTRUCTED WITH A MINIMUM OF 4" OF 1/2" CRUSHED STONE FILL.

**PCRM LONG TERM OPERATIONS AND MAINTENANCE REQUIREMENTS**

THE INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

1. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

2. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

3. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

4. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

5. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

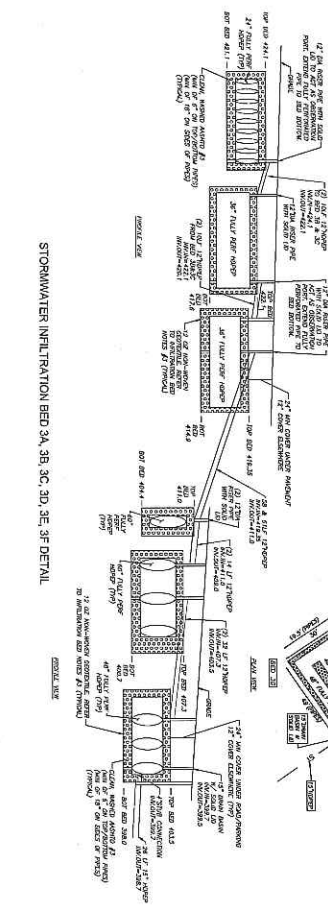
6. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

7. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

8. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

9. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:

10. INFILTRATION BEDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING REQUIREMENTS:



**PROPOSED/PCSM**

**DETAIL SHEET**

**13 of 28**

**SCALE: 1" = 1'-0"**

**DATE: MAY 18, 2017**

**PROJECT: CABRIANT UNIVERSITY**

**LOCATION: 610 RING OF PRUISA ROAD**

**CITY: WAYNE, PA 19087**

**DESIGNER: SITE ENGINEERING CONCEPTS, LLC**

**PROJECT NO: P-01030401**

**DATE: 10/1/2010**

**ENGINEER: [Signature]**

**PROJECT: [Project Name]**

**CLIENT: [Client Name]**

**LOCATION: [Location]**

**SCALE: 1" = 1'-0"**





## CURB RAMP NOTES

1. PROBABLY, THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.
2. THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.
3. THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.
4. THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.
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9. THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.
10. THE MOST COMMON TYPE OF MISTAKE MADE BY STUDENTS OF ENGLISH IN WRITING IS THE OVERUSE OF THE PRESENT TENSE. IN THE WRITING OF THE PAST, THE PRESENT PERFECT, AND THE FUTURE, THERE ARE MANY DIFFICULTIES TO BE OVERCOME.



1. ON INSISTERS FROM AND TO PROPOSED CURVE, USE ONE LARGE BLOCK SLOPED AND CUT TO FIT.
2. CURVE IMMEDIATELY ADJACENT TO INLET CASTING MUST HAVE PROTECTED EXPANSION MATERIAL.
3. CONCRETE JOINTS USE AGGREGATE WITH COMPOSITION: 3 SAND, 1 GRAVEL, JOINTS TO BE 1/2" WIDE.

GRANITE COBBLE CURB



DRIVEWAY & PARKING  
CROSS SECTION

PLAN PREPARED BY:

SITE ENGINEERING CONCEPTS, LLC

P.O. BOX 1992  
SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 [E: info@silb-engineers.com](mailto:info@silb-engineers.com)

FROM PHILIPPEL F. ORL

CABRINI UNIVERSITY

610 KING OF PRUSSIA ROAD

WAYNE, PA 19087

DELAWARE COUNTY PENNSYLVANIA

DATE: JULY 09, 2017

BRUNSEN/BRCSM DETAIL SHEET

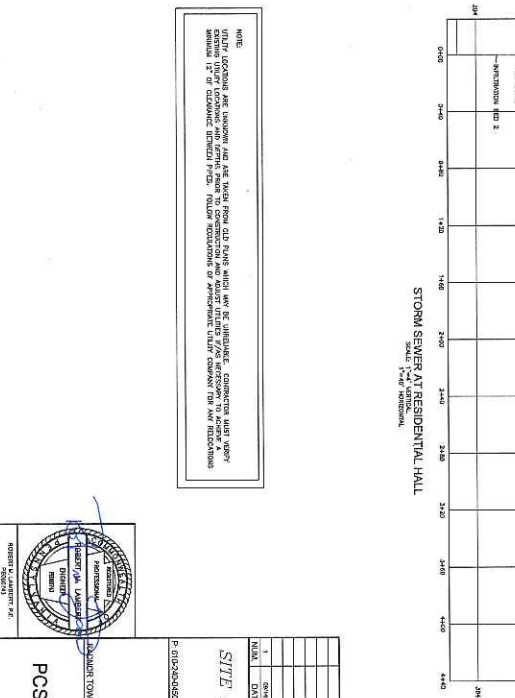
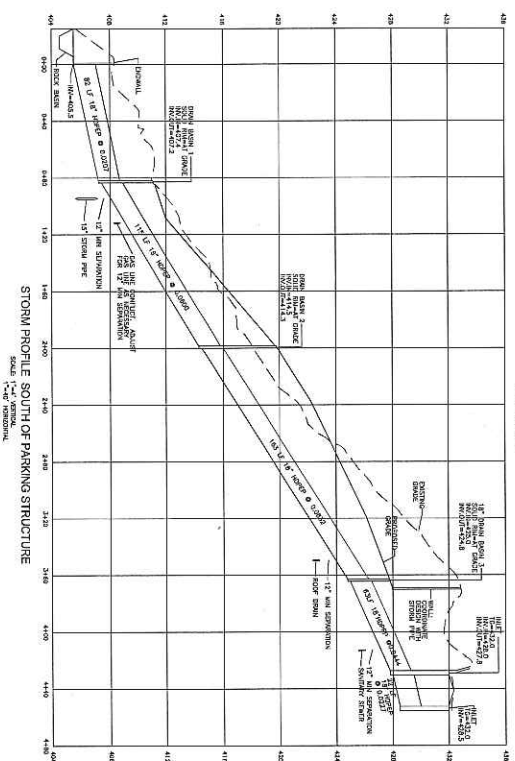
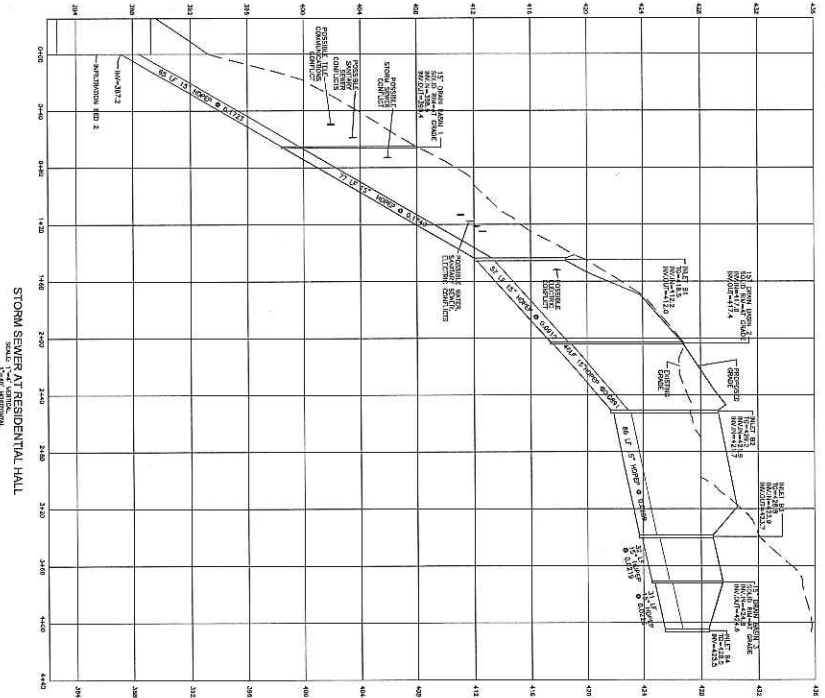
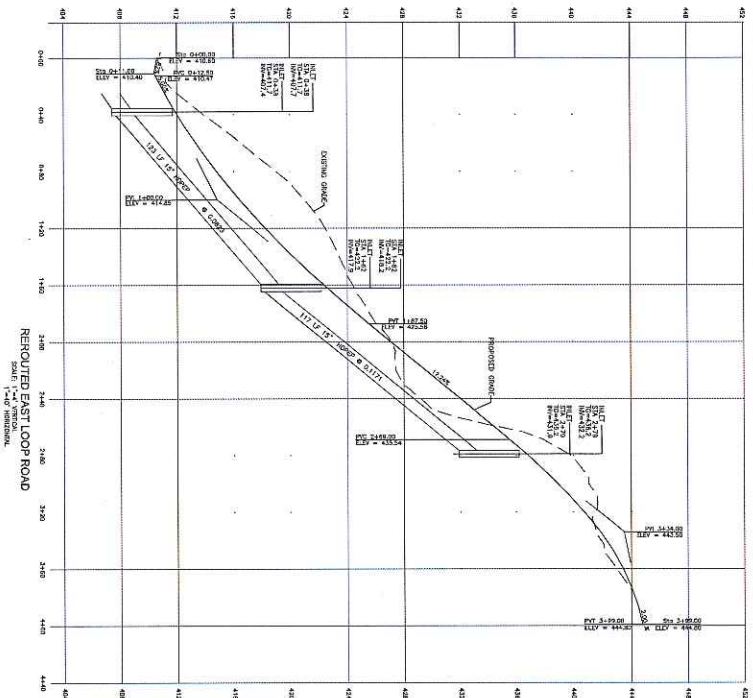
5' x 8' SHEET

SHEET 14 OF 28

STATE-4=207

100





**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'

**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'

**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'

**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'

**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'

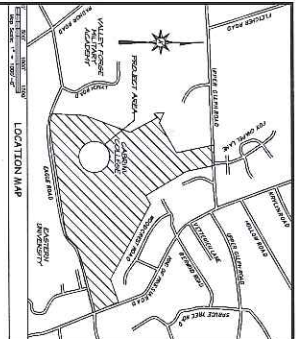
**PCSM PROFILE SHEET**

**SHEET 15 of 28**

DATE: 01/15/2011

SCALE: 1"=20'





**GENERAL NOTES**

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (DOT) STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES, AND THE LATEST EDITIONS OF THE DOT STANDARD SPECIFICATIONS FOR EROSION CONTROL MEASURES.

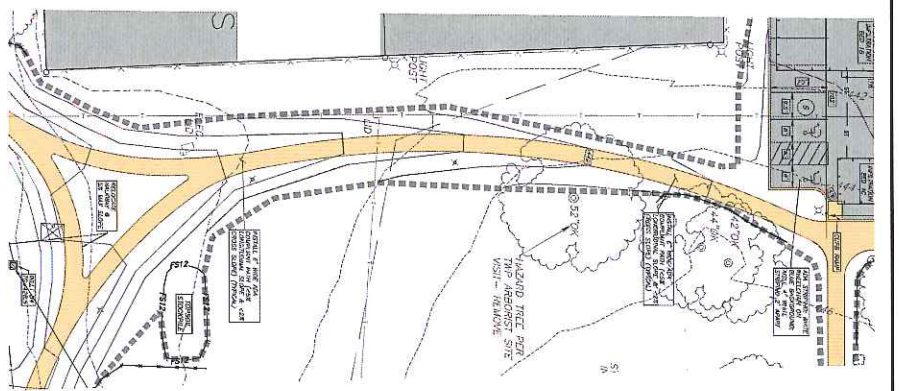
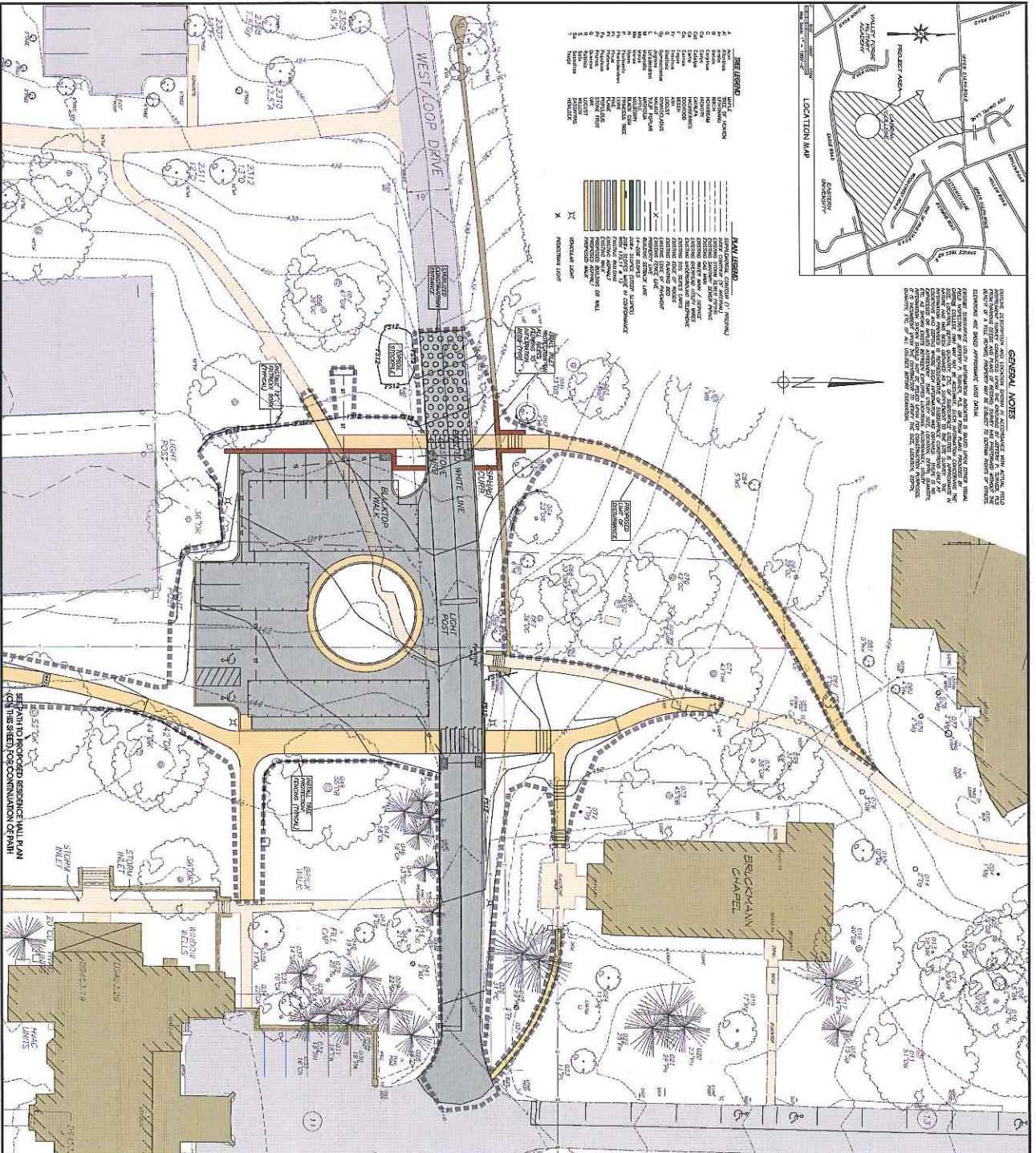
2. THE DESIGNER HAS CONDUCTED VISUAL INSPECTIONS OF THE SITE AND HAS OBSERVED THE EXISTING CONDITIONS. THE DESIGNER HAS NOT CONDUCTED ANY TESTS OR ANALYSES OF THE SOILS OR ROCKS AT THE SITE. THE DESIGNER HAS BASED THE DESIGN ON THE ASSUMPTION THAT THE SOILS AND ROCKS AT THE SITE ARE OF THE SAME TYPE AND QUALITY AS THE SOILS AND ROCKS SHOWN ON THE GEOLOGIC MAP OF THE AREA.

3. THE DESIGNER HAS BASED THE DESIGN ON THE ASSUMPTION THAT THE SOILS AND ROCKS AT THE SITE ARE OF THE SAME TYPE AND QUALITY AS THE SOILS AND ROCKS SHOWN ON THE GEOLOGIC MAP OF THE AREA.

4. THE DESIGNER HAS BASED THE DESIGN ON THE ASSUMPTION THAT THE SOILS AND ROCKS AT THE SITE ARE OF THE SAME TYPE AND QUALITY AS THE SOILS AND ROCKS SHOWN ON THE GEOLOGIC MAP OF THE AREA.

**PLAN LEGEND**

Symbol	Description
[Symbol]	Proposed Roadway
[Symbol]	Proposed Shoulder
[Symbol]	Proposed Median
[Symbol]	Proposed Drainage
[Symbol]	Proposed Erosion Control
[Symbol]	Proposed Structure
[Symbol]	Proposed Utility
[Symbol]	Proposed Fencing
[Symbol]	Proposed Signage
[Symbol]	Proposed Lighting
[Symbol]	Proposed Stormwater Management
[Symbol]	Proposed Tree Planting
[Symbol]	Proposed Landscaping
[Symbol]	Proposed Hardscaping
[Symbol]	Proposed Softscaping
[Symbol]	Proposed Other



PAVED TO PROPOSED RESIDENCE HALL PLAN

**EROSION & SEDIMENTATION CONTROL PLAN**

**WEST TURNAROUND**

**CABRINI UNIVERSITY**  
610 KING OF PRUSSIA ROAD  
WAYNE, PA 19087

**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 18389

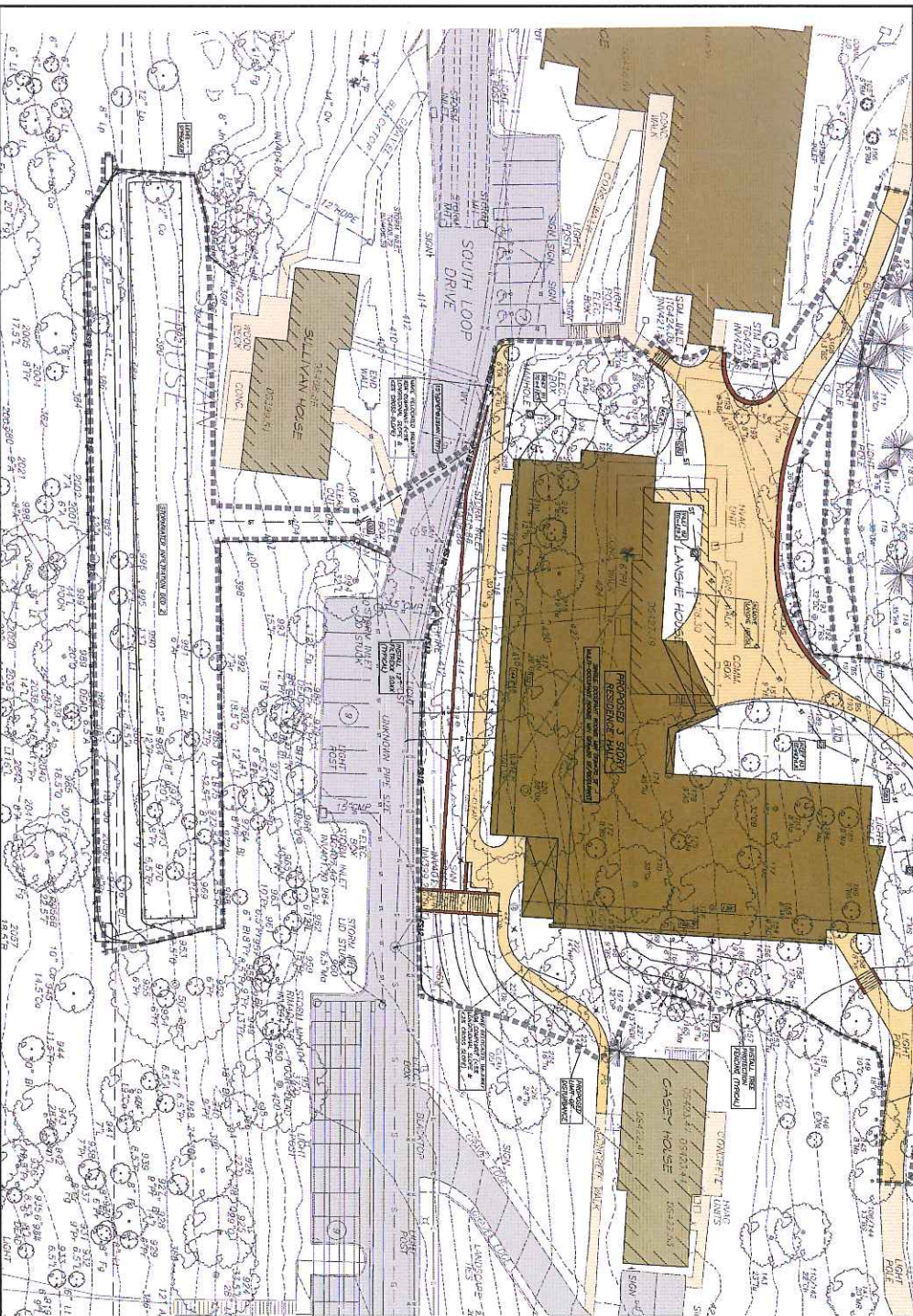
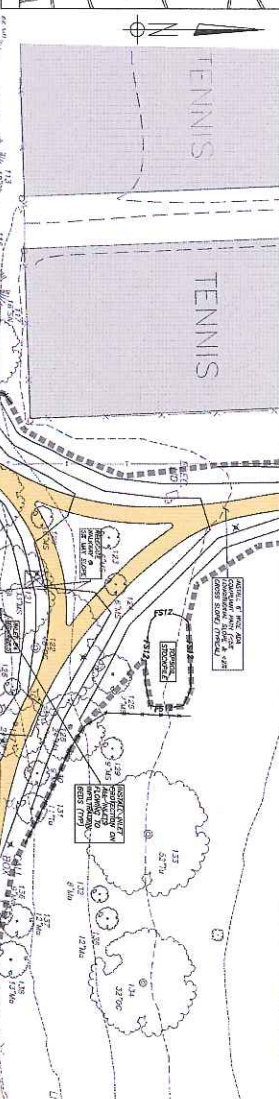
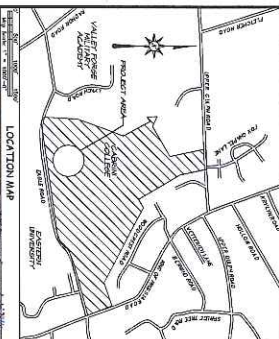
**DATE: 10/1/2017**

**SCALE: 1" = 20'**

**SHEET 16 OF 28**

**SCALE: 1" = 20'**





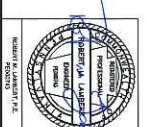
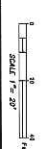
**GENERAL NOTES**

1. GENERAL EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA.
2. EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA.
3. EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA. THIS PLAN IS TO BE USED IN CONJUNCTION WITH THE EROSION AND SEDIMENTATION CONTROL PLAN FOR THE PROJECT AREA.



**EXISTING CONDITIONS**

Symbol	Description
[Symbol]	EXISTING BUILDING
[Symbol]	EXISTING DRIVE
[Symbol]	EXISTING SIDEWALK
[Symbol]	EXISTING CURB
[Symbol]	EXISTING LANDSCAPING
[Symbol]	EXISTING UTILITIES
[Symbol]	EXISTING EROSION CONTROL
[Symbol]	EXISTING SEDIMENTATION CONTROL
[Symbol]	EXISTING EROSION CONTROL
[Symbol]	EXISTING SEDIMENTATION CONTROL
[Symbol]	EXISTING EROSION CONTROL
[Symbol]	EXISTING SEDIMENTATION CONTROL



**EROSION & SEDIMENTATION CONTROL PLAN**

**- RESIDENCE HALL**

**CADRIANT UNIVERSITY**  
610 KING OF PRUSSIA ROAD  
WAYNE, PA 19087

**SITE ENGINEERING CONCEPTS, LLC**  
P.O. BOX 1992  
SOUTHEASTERN, PA 19386

**DATE: 03/15/2017**

**SHEET 17 OF 28**









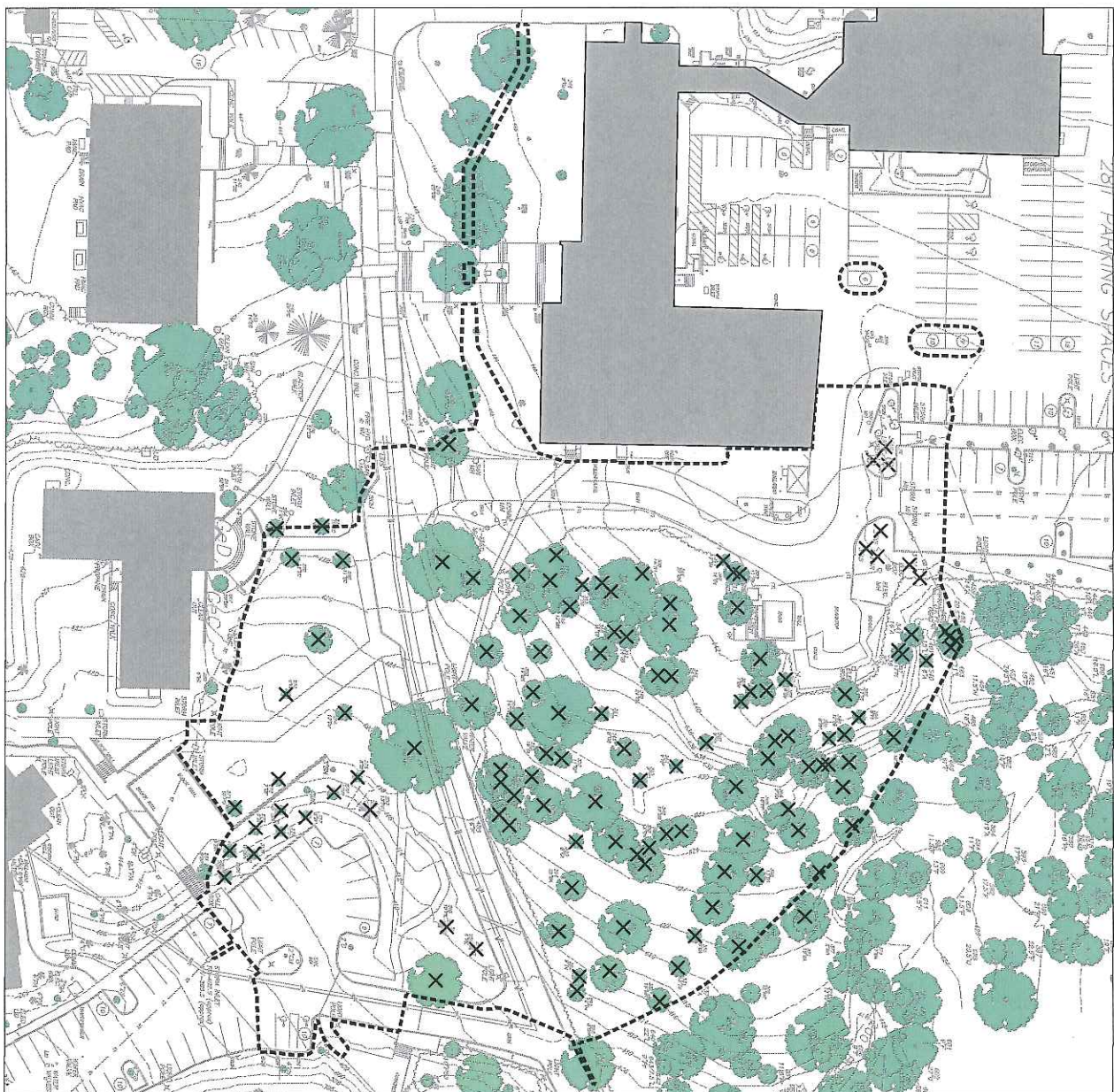












### LEGEND

- [illegible]

### TREE LEGEND

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| 100 | ALAN | ALAN | ALAN |

### TREE REPLACEMENT SCHEDULE

SIZE AND TREE OR PLACEMENT	FORMULA	4.5% TREE TO BE ADDED TO TREE
5-10' DBH 1 REPT. ADJACENT TREE	72	72 TREES
0-3.99' DBH 1 REPT. ADJACENT TREES	11	11 CANOPY TREES
2 BENDS: LARGE CANOPY TREES	11	11 OTHER TREES
20' DBH	43	43 CANOPY TREES
8 REPT. ADJACENT TREES		28 OTHER TREES
4 BENDS: LARGE CANOPY TREES		
TOTAL REPT. ADJACENT = 118 CANOPY TREES, 19 OTHER		

TOTAL PERCENTAGE = 100 GAIN, 121 OTHER



**TREE DEMOLITION/TREE REPLACEMENT**

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PRY1	CAPI617	PRAC. LEAD DEVELOPMENT PLAN
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**WALLACE ROBERTS & TODD, LLC**  
1700 MARKET STREET, SUITE 2800  
PHILADELPHIA, PA 19103  
215.732.5215  
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PLAN PREPARED FOR

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610 KING OF PRUSSIA ROAD  
WAYNE, PA 19087

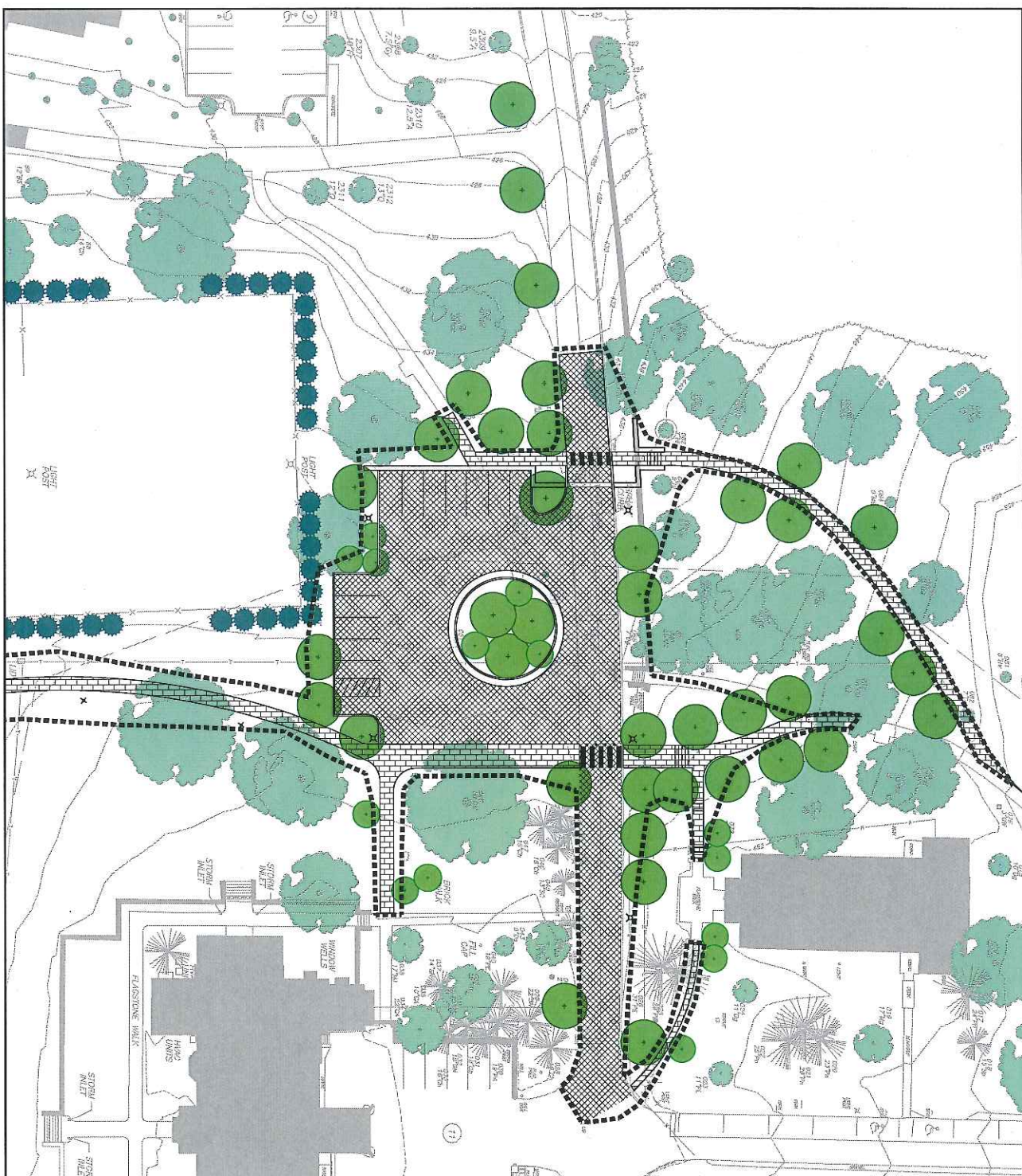
WAYNE, PA 1908

RADNOR TOWNSHIP DELAWARE COUNTY

TREE REMOVAL PLAN  
PROPOSED EAST  
PARKING STRUCTURE

DATE SUBP: 14, 2011  
SHEET  
22 of 28  
SCALE: 1"=10'-0"





### LEGEND

- ```

graph TD
    A[APPROACH TO THE STUDY OF SETTLEMENT] --> B[CONCEPTUAL FRAMEWORK]
    B --> C[THEORY]
    B --> D[CONCEPT]
    B --> E[METHOD]
    C --> F[EXPLANATION OF SETTLEMENT]
    D --> G[EXPLANATION OF SETTLEMENT PATTERNS]
    E --> G
    F --> H[EXPLANATION OF SETTLEMENT PATTERNS]
    G --> H
  
```

## SPECIES LIST

- [illegible]

### TREE REPLACEMENT

- ## PARKING CALCULATIONS

## PARKING CALCULATIONS

NOTE: TREES REQUIRED FOR THE PLANNING CALCULATIONS ARE 10% OF THE SPACE TREE REPLACEMENT TO IN A SEE SHEETS 20, 22, 23. TREES REQUIRED ARE 10% OF THE SPACE TREE REPLACEMENT TO IN A SEE SHEETS 20, 22, 23. TREES REQUIRED ARE 10% OF THE SPACE TREE REPLACEMENT TO IN A SEE SHEETS 20, 22, 23. TREES REQUIRED ARE 10% OF THE SPACE TREE REPLACEMENT TO IN A SEE SHEETS 20, 22, 23.

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| NJAL | DATE | REVISION                   |

PLAN PREPARED BY:



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215.737.5215  
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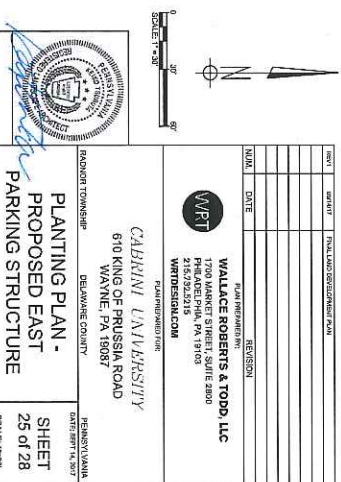
PLANTING PLAN -  
PROPOSED WESTERN  
TURNAROUND

SCALE: 1"=7'









APPROXIMATE AREA OF DISTURBANCES

ASPIRIN<sup>®</sup> PAINFID<sup>®</sup>



CONCRETE GOODS

## EASTING RECIPROQUE

 HANGING EVERGREEN TREE TO REPAIR (SIZE VARIES)

1990). A similar pattern of results was found in a study of 1000 children in the United States (Kochanska et al. 1991). In this study, the children's mothers were interviewed about their children's attachment to them and to their fathers. The children's attachment to their mothers was found to be related to their attachment to their fathers. Children who were securely attached to their mothers were also more likely to be securely attached to their fathers. Children who were insecurely attached to their mothers were also more likely to be insecurely attached to their fathers.

PROPOSED CHANGES: THE 2-25 DOWNS, (SEE SPECIES LIST)

## SPECIES LIST

Physical Name

Blackie High  
Private Property

2001-2002  
 2003-2004  
 2005-2006  
 2007-2008  
 2009-2010  
 2011-2012  
 2013-2014  
 2015-2016  
 2017-2018  
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General relativity  
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**CONTACT INFORMATION**  
**Author:** J. B. Peterson  
**E-mail:** jbp@usgs.gov

## LABORATORY TESTS

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### Abstracts

**Carol Kuroki**  
*Contributing Editor, Year Ahead*

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**Corporate Responsibility: 'Students' Don't Want 'Anybody's' Money**

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for the 2000's**

TREE REPLAC

CAGOP/PIRES

2. *Staphylococcus aureus*

| ISSN      | ISSN      | ISSN      |
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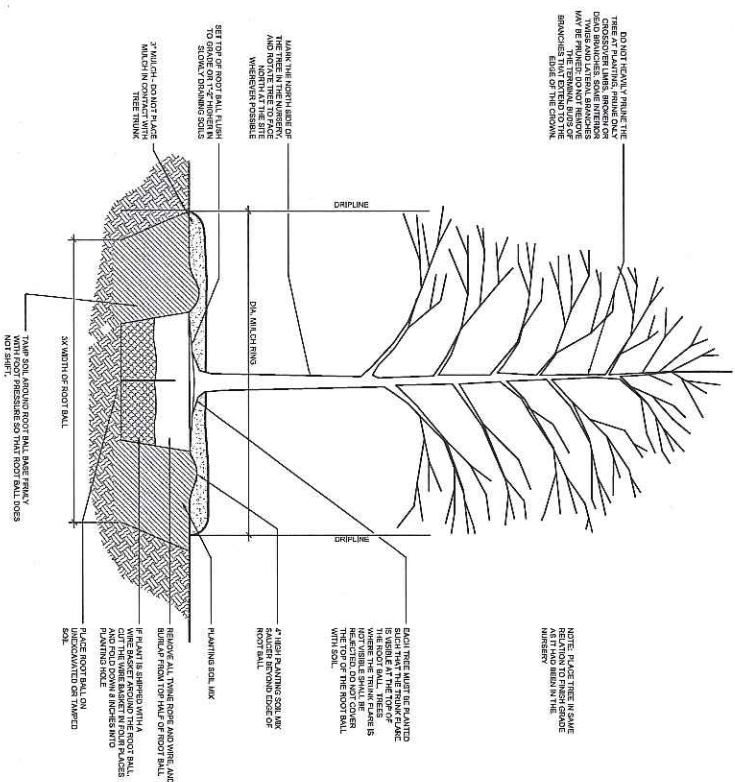
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PLAN

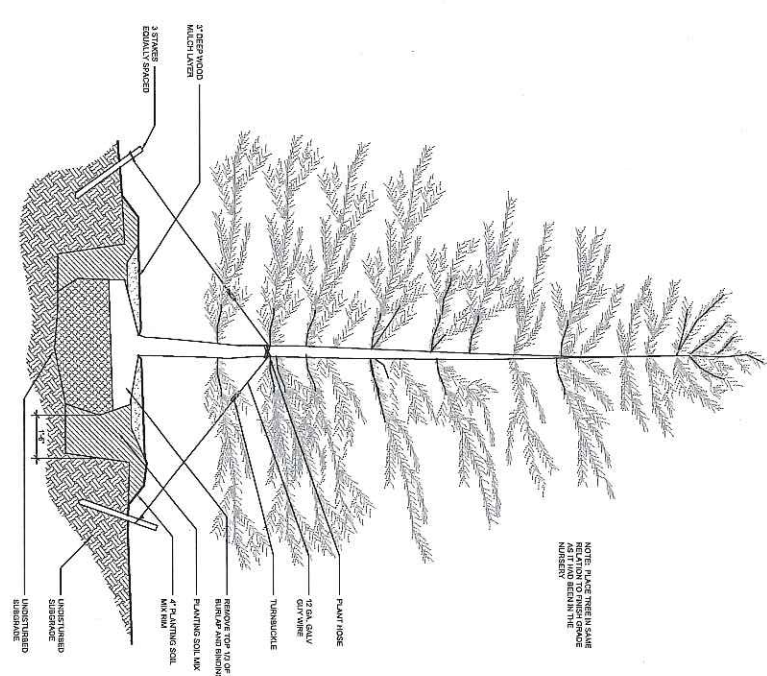
PROP

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1 DECIDUOUS TREE PLANTING - SECTION  
SCALE: 1/2" = 1'-0"



2 EVERGREEN TREE PLANTING - SECTION  
SCALE: 1/2" = 1'-0"



PLANTING DETAILS

SHEET 26 of 28

| NO. | REVISION                    | DATE      |
|-----|-----------------------------|-----------|
| 1   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 2   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 3   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 4   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 5   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 6   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 7   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 8   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 9   | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |
| 10  | WALLACE ROBERTS & TODD, LLC | 2/15/2015 |

CABRINI UNIVERSITY  
610 KING OF PRUSSIA ROAD  
WAYNE, PA 19087

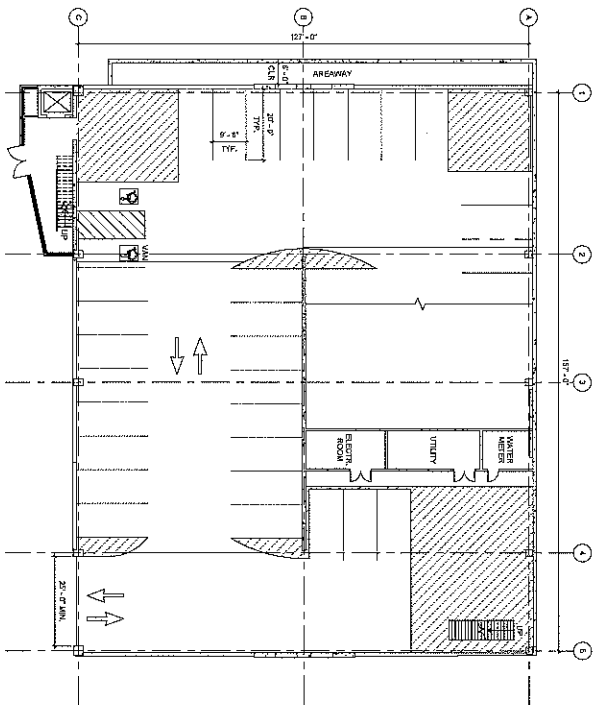
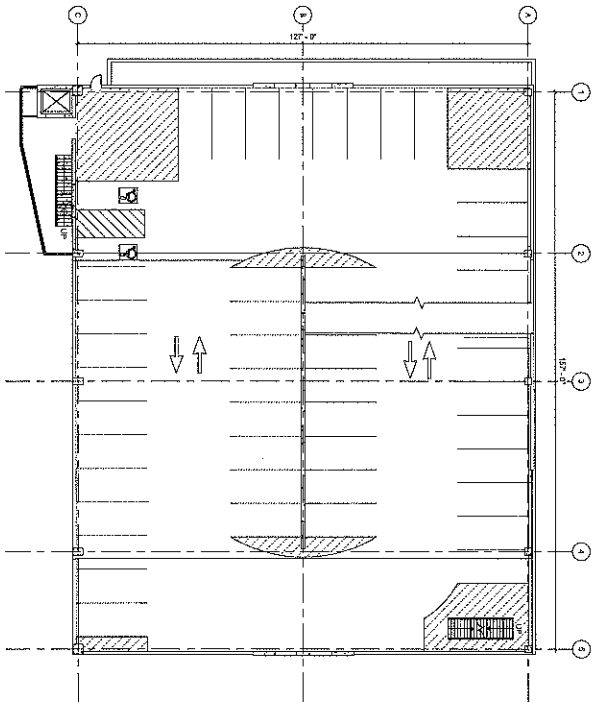
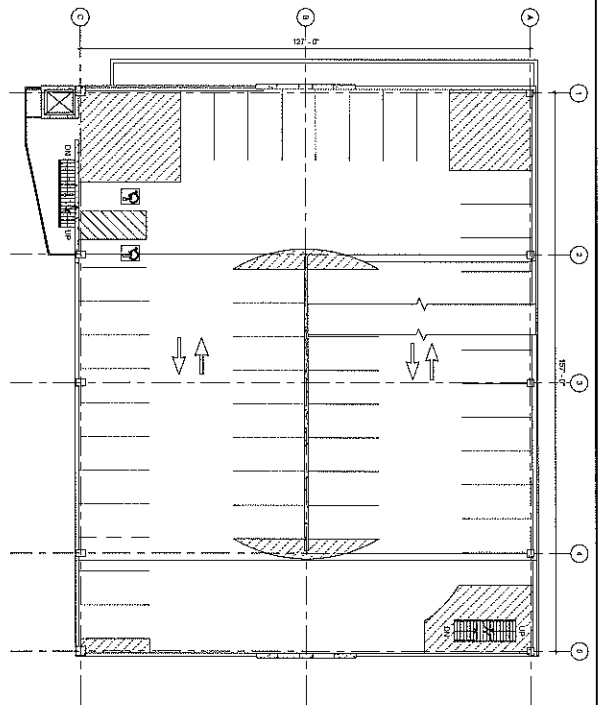
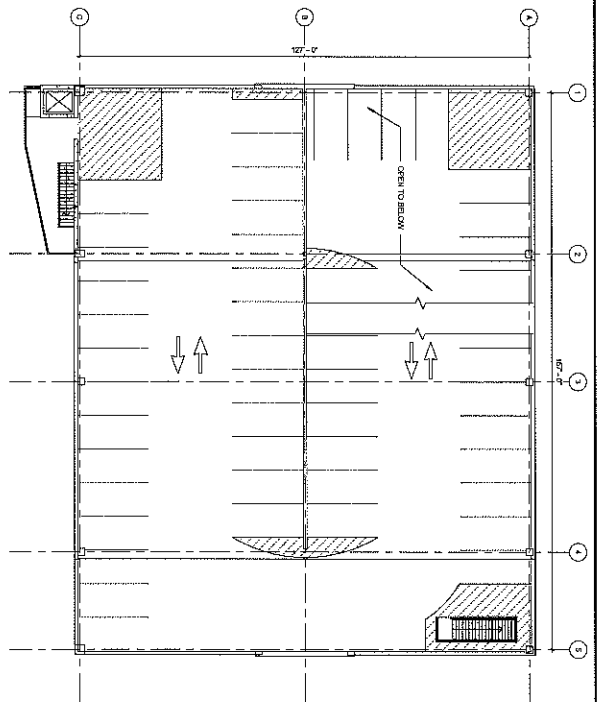
BRANDT TOWNSHIP  
DELAWARE COUNTY

BRANDT TOWNSHIP









PROPOSED PARKING SPACES, IN TOTAL, ARE 100 SPACES, INCLUDING 100 TYPICAL STALL DIMENSION: 9'0\"/>

| NO. | DATE       | REVISION                                            |
|-----|------------|-----------------------------------------------------|
| 1   | 01/15/2018 | ISSUED FOR PERMITTING                               |
| 2   | 02/01/2018 | REVISED TO ADD 100 TYPICAL STALL DIMENSION: 9'0\"/> |



WALLACE ROBERTS & TODD, LLC  
1770 MARKET STREET, SUITE 2000  
PHILADELPHIA, PA 19103  
215.292.2218  
WWW.WRTODD.COM

DESIGNED BY: WRTODD

CABRINT UNIVERSITY

610 KING OF PRUSSIA ROAD  
WAYNE, PA 19087

DEVELOPER: CHARTER

PROPOSED PARKING STRUCTURE SHEET 28 OF 28

SCALE: 1/8\"/>



**Radnor Township****PROPOSED LEGISLATION**

**DATE:** October 17, 2017

**TO:** Radnor Township Board of Commissioners

**FROM:** Stephen F. Norcini, P.E., Township Engineer

**CC:** Robert A. Zienkowski, Township Manager  
William M. White, Assistant Township Manager & Finance Director  
Brian Eury, Cabrini University  
Ingrid Cooper, Eastern University

**LEGISLATION:** **Presentation and Possible Resolution #2017-120:** Authorizing the Grant Applications for Improvements to the King of Prussia Road/Eagle Road/Pine Tree Road Intersection, in partnership with Cabrini University and Eastern University

---

**LEGISLATIVE HISTORY:** This project has not been before the Board of Commissioners previously.

**PURPOSE AND EXPLANATION:** The intersection of King of Prussia Road, Pine Tree Road, and Eagle Road is the point of considerable congestion. During peak hours, traffic can back up from this intersection to near Berwind Road. This congestion not only affects our residents, but it also affects Cabrini and Eastern Universities. To that end, the Universities approached the Township to partner in improving the intersection, via the use of two grant funding opportunities. The following are highlights of the proposed intersection improvements:

- A dedicated left-hand turn lane for south bound King of Prussia Road on to Pine Tree Road
- A dedicated left-hand turn lane for north bound King of Prussia Road onto Eagle Road
- A dedicated right-hand turn lane for east bound Eagle Road onto south bound King of Prussia Road
- A left-hand turn lane from north bound King of Prussia Road into Cabrini University
- Road widening (along the frontage of Eastern and Cabrini Universities), as well as wearing course overlay
- New traffic signals

The plan set for the proposed project is attached for your convenience. The proposed method of funding would be to apply for a Green Light Go (GLG) Grant, using those funds to reduce the grant request for a Pennsylvania Department of Transportation Multimodal Transportation Fund (MTF) Grant. In the Fiscal Impact section I will layout the possible financial exposure for the Township, predicated on the scenarios if we are successful in being awarded one, or both grants. In addition to this Resolution are letters of funding commitment for the GLG Grant and the MTF Grant. Pending Board of Commissioners approval of Resolution #2017-120, these letters would be signed by the Township. Both Cabrini University and Eastern University would each be responsible for one third of the required match, along with the Township's one third portion.

**IMPLEMENTATION SCHEDULE:** Upon approval by the Board of Commissioners, the appropriate funding commitment letters would be signed, and the Resolution attached to the grant applications. The project will still need to go through the Penn DOT approval process, as well as bidding procedure. The actual start of construction would be determined prior to the bidding process.



**FISCAL IMPACT:** The Township's portion of the grant would be funded from the Capital Improvement Plan (CIP), Traffic Signal Improvements, 005-04-430-48202, in the amounts show in the funding matrix below.

| Grant Funding Matrix           |                             |                  |                    |                                       |                      |
|--------------------------------|-----------------------------|------------------|--------------------|---------------------------------------|----------------------|
| Eligible Costs, Grant, Matches | Green Light Go Grant Amount | MTF Grant Amount | Total Partner Cost | Radnor Township Cost (for each grant) | Ineligible Costs for |
| Eligible Project Costs         | \$ 492,558                  | \$ 1,861,398     |                    |                                       |                      |
| Grant Amount                   | \$ 394,046                  | \$ 1,302,979     |                    |                                       |                      |
| 20% match - GLG                | \$ 98,512                   |                  | \$ 98,512          | \$ 32,837                             | \$ 456,280           |
| 30% match - MTF                |                             | \$ 1,302,979     | \$ 1,302,979       | \$ 186,140                            |                      |

To summarize the Township's exposure, with a total estimated project cost of \$1,861,398:

1. Green Light Go Grant: If this is the only grant received, the Township's exposure would be \$489,117. *Staff does not recommend pursuing the project if this is the only grant received.*
2. Using the Green Light Go grant to reduce the requested MTF grant amount. Using both the GLG and MTF grant, the Township's exposure would be \$169,721. *Staff recommends to the Board of Commissioners that this method be pursued for the project.*
3. If only the MTF grant is awarded, the Township's exposure for the project would be \$186,140. *Staff recommends to the Board of Commissioners pursuing the project if the only grant received is the MTF grant.*

**RECOMMENDED ACTION:** I respectfully request the Board of Commissioners authorize grant applications, including funding commitment letters, in partnership with Cabrini and Eastern Universities, for the Multimodal Fund and Green Light Go Grants, with a total cost to the Township not to exceed \$186,140.

**MOVEMENT OF LEGISLATION:** It is being requested the Board of Commissioners authorize the submission of the grant applications.

Enclosures: Plan Set  
Resolution  
Funding Letters (2)  
Econ Partners Grant Summary



**RESOLUTION NO. 2017-120**  
**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE**  
**COUNTY, PENNSYLVANIA, AUTHORIZING THE**  
**APPLICATION OF A MULTIMODAL FUNDING GRANT**  
**APPLICATION FOR THE CONSTRUCTION OF**  
**INTERSECTION IMPROVEMENTS AT KING OF**  
**PRUSSIA, EAGLE, AND PINE TREE ROADS**

**Be it RESOLVED**, Radnor Township in Delaware County hereby requests a Multimodal Transportation Fund grant of \$958,188 from the Pennsylvania Department of Transportation to be used for roadway, signal and pedestrian safety improvements to the intersection of King of Prussia Road and Eagle Road.

**Be it FURTHER RESOLVED**, that the Applicant does hereby designate Philp Ahr, President, Board of Commissioners, and Robert A. Zienkowski, Township Manager and Secretary, as the officials to execute all documents and agreements between Radnor Township and the Pennsylvania Department of Transportation to facilitate and assist in obtaining the requested grant.

I, Robert Zienkowski, duly qualified Secretary of Radnor Township in Delaware County, PA, hereby certify that the forgoing is a true and correct copy of a Resolution duly adopted by a majority vote of the Board of Commissioners at a regular meeting held on October 23<sup>rd</sup>, 2017, and said Resolution has been recorded in the Minutes of Radnor Township and remains in effect as of this date.

IN WITNESS THEREOF, I affix my hand and attach the seal of Radnor Township, this 27<sup>th</sup> day of October, A.D., 2017

RADNOR TOWNSHIP  
DELAWARE COUNTY, PA

BY: \_\_\_\_\_

Name: Philip M. Ahr  
Title: President

ATTEST: \_\_\_\_\_

Name: Robert Zienkowski  
Title: Township Manager and Secretary

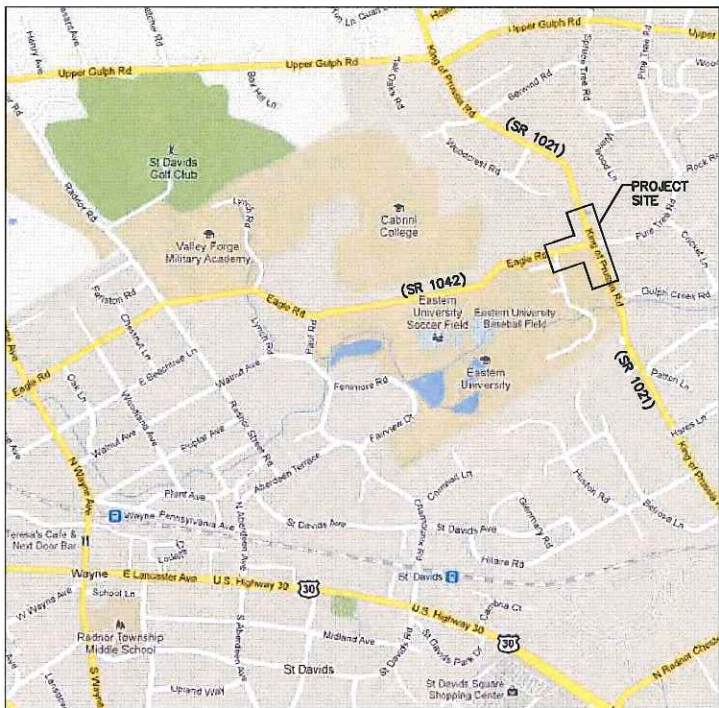


# INTERSECTION IMPROVEMENTS

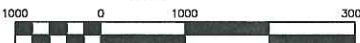
## FOR

# EAGLE ROAD (S.R. 1042) AND KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY



1 LOCATION MAP  
0 SCALE: 1"=1000'



Scale: 1" = 1000 ft



| CIVIL DRAWING SCHEDULE |                                               | DATE     |          | ISSUE    |          | DATE     |          | ISSUE    |          | DATE     |          | ISSUE    |          | DATE     |          | ISSUE    |          |
|------------------------|-----------------------------------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| DRAWING NUMBER         | DRAWING TITLE                                 | 11/18/11 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 | 05/17/12 |
| CS                     | COVER SHEET                                   | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 1                      | PENNDOT CONSTRUCTION PLAN                     | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 2                      | EXISTING CONDITIONS & DEMOLITION PLAN         | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 3                      | EXISTING UTILITIES DEMOLITION PLAN            | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 4                      | SOIL EROSION CONTROL PLAN                     | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 5                      | SITE DEVELOPMENT PLAN                         | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 6                      | ENLARGED INTERSECTION SITE DEVELOPMENT PLAN   | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 7                      | SITE UTILITIES PLAN                           | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 8                      | ENLARGED INTERSECTION SITE UTILITIES PLAN     | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 9                      | PAVEMENT MARKING AND SIGNAGE PLAN             | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 10                     | TYPICAL TRAFFIC CONTROL PLANS AND DETAILS     | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 11                     | PENNDOT SITE DETAILS                          | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 12                     | PENNDOT STORM SEWER DETAILS                   | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 13                     | STORM SEWER PROFILES AND SITE UTILITY DETAILS | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 14                     | SOIL EROSION CONTROL DETAILS AND NOTES        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 15                     | REQUIRED RIGHT-OF-WAY PLAN                    | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 16                     | SPREAD OF FLOW DRAINAGE AREAS PLAN            | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 17                     | TRUCK TURNING MANEUVERS PLAN                  | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 18                     | TRUCK TURNING MANEUVERS PLAN                  | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |
| 19                     | FIRE TRUCK TURNING MANEUVERS PLAN             | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        | •        |

SEAL



PROJECT

INTERSECTION IMPROVEMENTS

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/18/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

COVER SHEET

DRAWN BY: BJD  
CHECKED BY: KRM

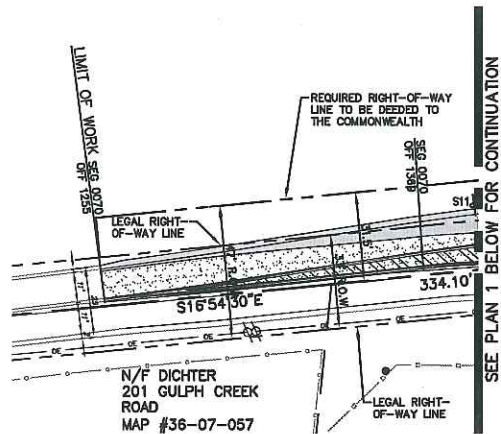
SHEET NO.

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SHEET NO. 1 OF 20

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011





2 PENNDOT CONSTRUCTION PLAN  
SCALE: 1"=30'-0"

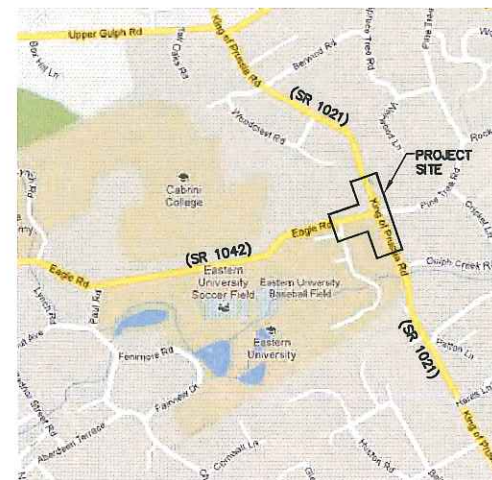
Serial Number: 20122920934 10/18/12

CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

NOTE: AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

BLOCK 2-F6  
LOT 60  
LANDS N/F  
EASTERN COLLEGE  
D.B. 1473, PG. 161



3 LOCATION MAP  
SCALE: 1"=1000'

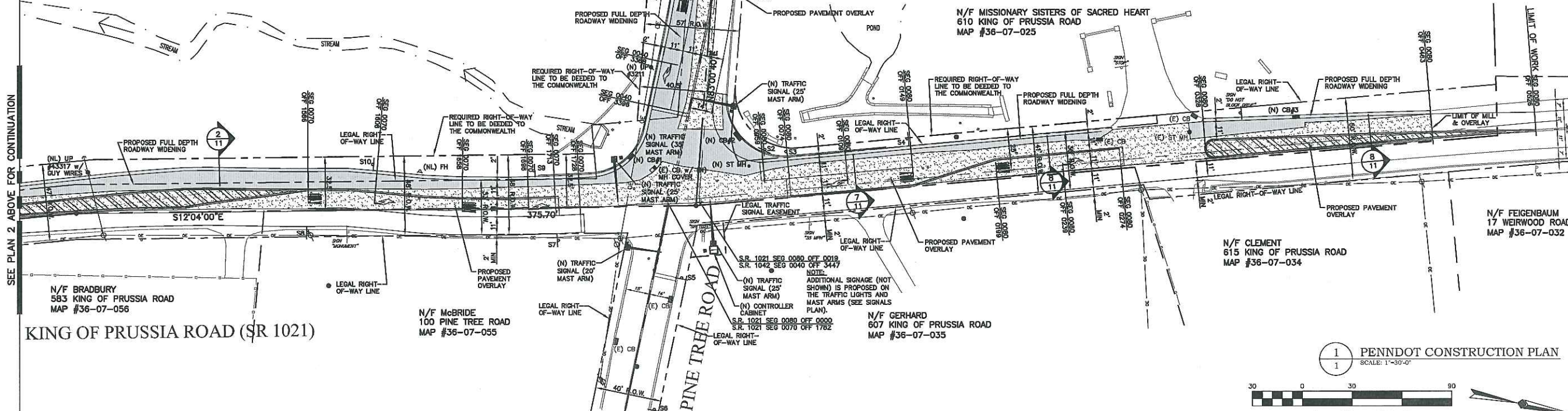
### PAVING LEGEND

FULL DEPTH PAVING (CROSS SLOPE TO MATCH THE EXISTING CROSS SLOPE AND HAVE A MINIMUM SLOPE OF 2%)

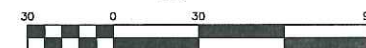
PAVEMENT OVERLAY (MILL & OVERLAY WITH SUPERPAVE - SEE PLAN (MINIMUM 2' WIDTH))

| SIGN TABULATION |             |                |              |         |                                          |
|-----------------|-------------|----------------|--------------|---------|------------------------------------------|
| SIGN            | STATE ROUTE | SEGMENT/OFFSET | SERIES       | SIZE    | DESCRIPTION                              |
| S1              | SR 1042     | 0040 / 3245R   | R3-BA(L-S-R) | 30"x30" | LANE USE CONTROL SIGN                    |
| S2              | SR 1021     | 0080 / 0080L   | R9-3         | 18"x18" | NO PEDESTRIAN CROSSING                   |
| S3              | SR 1021     | 0080 / 0060L   | R9-3         | 18"x18" | NO PEDESTRIAN CROSSING (RELOCATED)       |
| S4              | SR 1021     | 0080 / 0074L   | R10-BAL      | 24"x30" | STOP HERE ON RED                         |
| S5              | SR 1021     | 0080 / 0074L   | R10-B-1      | 24"x18" | LEFT LANE PLAQUE                         |
| S6              | SR 1021     | 0080 / 0148L   | R3-BA(L-SR)  | 30"x30" | LANE USE CONTROL SIGN                    |
| S7              | SR 1021     | 0070 / 1713R   | R10-BAL      | 24"x30" | STOP HERE ON RED                         |
| S8              | SR 1021     | 0070 / 1713R   | R10-B-1      | 24"x18" | LEFT LANE PLAQUE                         |
| S9              | SR 1021     | 0070 / 1565R   | R3-BA(L-SR)  | 30"x30" | LANE USE CONTROL SIGN                    |
| S10             | SR 1021     | 0070 / 1604L   | W11-3        | 30"x30" | DEER CROSSING (RELOCATED)                |
| S11             | SR 1021     | 0070 / 1389L   | W13-3R       | 30"x30" | RIGHT REVERSE TURN (RELOCATED)           |
| S12             | SR 1021     | 0070 / 1389L   | W13-1P       | 18"x18" | 30 MPH ADVISORY SPEED PLAQUE (RELOCATED) |

NOTE: RADNOR TOWNSHIP IS RESPONSIBLE FOR THE MAINTENANCE OF THE SIGNS.



1 PENNDOT CONSTRUCTION PLAN  
SCALE: 1"=30'-0"



Scale: 1" = 30 ft

### GENERAL PENNDOT NOTES:

1. THE POSTED SPEED LIMITS ON SR 1021 AND SR 1042 ARE 35 MPH.
2. THE PERMITTEE IS RESPONSIBLE FOR THE RELOCATION OF ALL UTILITY POLES.
3. THE RESPONSIBILITY FOR ENSURING THAT ALL UTILITY POLES WITHIN THE PROPOSED PAVING ARE RELOCATED OUTSIDE OF PAVED AREAS AND SHOULDERS SHALL BE THAT OF THE PERMITTEE. THE UTILITY POLES MUST BE RELOCATED BEFORE THE START OF ANY PAVING OPERATIONS. THE RELOCATED POLES SHALL BE NO CLOSER THAN 2 FEET BEHIND THE FACE OF CURB OR 4 FEET BEYOND THE EDGE OF PAVING IN UNCURBED AREA.
4. ALL UTILITY RELOCATION PERMITS TAKE PRECEDENCE OVER THE UTILITY RELOCATION POSITIONS SHOWN ON THE HIGHWAY OCCUPANCY PERMIT PLANS.
5. ALL UTILITY RELOCATION MUST BE IN ACCORDANCE WITH PENNDOT DESIGN MANUAL PART 5.
6. ALL WORK PERFORMED WITHIN THE STATE LEGAL RIGHT-OF-WAY MUST BE IN ACCORDANCE WITH PENNDOT PUBLICATION 72M, STANDARDS FOR ROADWAY CONSTRUCTION, RC-DM TO 100M, AS AMENDED.
7. NO UNSUITABLE MATERIAL IS TO BE USED IN ANY PORTION OF THE ROADWAY CONSTRUCTION. REMOVE ANY SUBGRADE THAT CANNOT BE PROPERLY COMPACTED AND THAT IS UNSUITABLE MATERIAL. UNDERCUTTING AND/OR SUBGRADE STABILIZATION MAY BE REQUIRED.
8. SLOPE LOCATIONS MAY BE ADJUSTED IN THE FIELD AS DEEMED NECESSARY BY PENNDOT REPRESENTATIVE.
9. IF DIRECTED, EITHER MILLING OR AN INTERMEDIATE 19 MM BINDER LEVELING COURSE WILL BE REQUIRED TO ACHIEVE PROFILE PRIOR TO THE WEARING COURSE OVERLAY.
10. ALL SUBSTANDARD OR DAMAGED CURB WITHIN THE LIMITS OF WORK MUST BE REPLACED, AS NECESSARY.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE ANY DEBRIS AND FLUSH OUT ALL EXISTING AND PROPOSED STORM DRAINAGE FACILITIES WITHIN THE PROJECT LIMITS AT THE COMPLETION OF CONSTRUCTION.
12. ALL INLETS WITHIN THE STATE MAINTAINED RIGHT-OF-WAY MUST HAVE STRUCTURAL STEEL BICYCLE SAFE GRATES.
13. ONLY PRECAST INLET BOXES SUPPLIED BY A MANUFACTURER LISTED IN PENNDOT PUBLICATION 35, BULLETIN 15 WILL BE PERMITTED FOR USE WITHIN THE STATE MAINTAINED RIGHT-OF-WAY.
14. ALL EXISTING PAVEMENT MARKINGS WHICH ARE NO LONGER APPROPRIATE SHALL BE ERADICATED BY THE PERMITTEE. THE PERMITTEE SHALL PLACE ALL REQUIRED NEW PAVEMENT MARKINGS. ERADICATION METHOD MUST BE APPROVED BY A PENNDOT REPRESENTATIVE.
15. ALL PROPOSED PAVEMENT MARKINGS MUST BE HOT THERMOPLASTIC ON BITUMINOUS PAVEMENT, INCLUDING LONG AND SHORT LINES AND PAVEMENT MARKING LEGENDS.
16. THE TRAFFIC SIGNAL PERMIT PLAN TAKES PRECEDENCE OVER THE TRAFFIC SIGNAL MARKING PLAN AT THE VICINITY OF THE INTERSECTION.
17. ALL EXISTING HIGHWAY SIGNS WHICH WILL BE IMPACTED BY THE PROPOSED WIDENING SHALL BE RESET BY THE PERMITTEE AS PART OF THE IMPROVEMENTS INVOLVED WITH THIS HIGHWAY OCCUPANCY PERMIT.
18. ALL PROPOSED ROADWAY PAVEMENT MARKINGS AND SIGNAGE ARE TO BE IN ACCORDANCE WITH PENNDOT PUBLICATION NO. 111M.
19. EXISTING RIGHT-OF-WAY DETERMINED FROM PENNDOT DRAWINGS FOR CONSTRUCTION OF LEG. ROUTE 23041 SECTION 111 IN DELAWARE COUNTY AND PENNDOT SIGNAL PLAN, PERMIT #63-0173, FILE #0173, DATED 3-17-05.
20. THE PERMITTEE SHALL ENSURE THAT THE SIGHT DISTANCE AT THE DRIVEWAYS SERVING OTHER PROPERTIES OR AT OTHER INTERSECTIONS IS NOT REDUCED AS A RESULT OF THE WORK PERFORMED IN ACCORDANCE WITH THE STATE HIGHWAY OCCUPANCY PERMIT, UNLESS EXISTING AND PROPOSED VALUES EXCEED THE DESIRABLE VALUES SPECIFIED IN THE PENNSYLVANIA CODE, TITLE 67, TRANSPORTATION, CHAPTER 441.B.H.1.

SEAL



PROJECT

INTERSECTION IMPROVEMENTS  
EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

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| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

PENNDOT  
CONSTRUCTION  
PLAN

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.

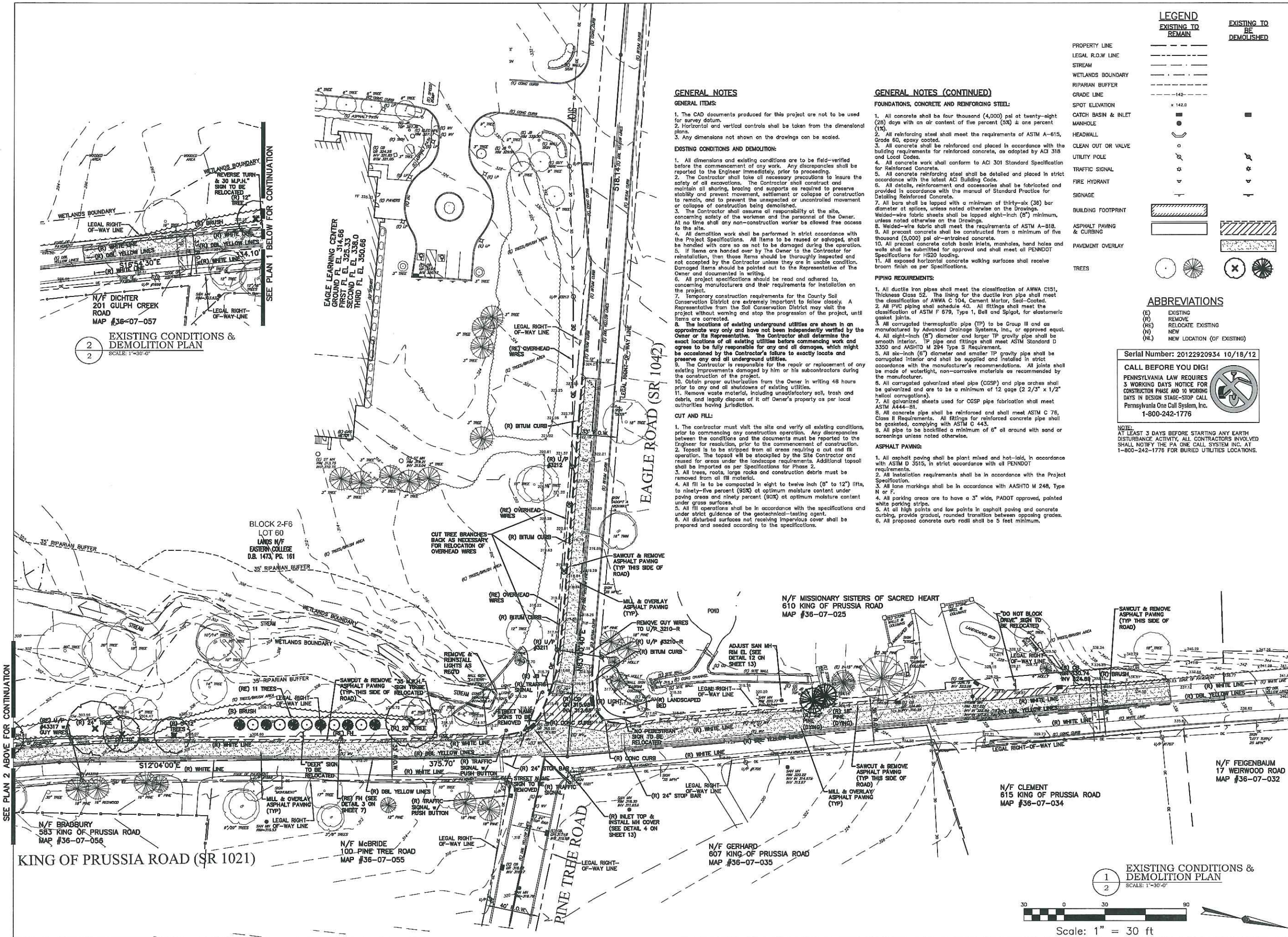
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SHEET NO. 2 OF 19

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



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**INTERSECTION IMPROVEMENTS**

**EAGLE ROAD (SR 1042) AND KING OF PRUSSIA ROAD (SR 1021)**

**SAINT DAVIDS, PENNSYLVANIA 19087**

**RADNOR TOWNSHIP, DELAWARE COUNTY**

**DATE** 11/18/11 **REVISION** H.O.P. SUBMISSION

**DATE** 05/17/12 **REVISION** H.O.P. RESUBMISSION

**DATE** 08/28/12 **REVISION** H.O.P. RESUBMISSION

**DATE** 03/11/13 **REVISION** H.O.P. RESUBMISSION

**SHEET TITLE** EXISTING CONDITIONS & DEMOLITION PLAN

**DRAWN BY:** BJD

**CHECKED BY:** KRM

**SHEET NO.** 2

**PROJECT NO.** 0124.057

**DATE:** NOVEMBER 18, 2011

**Scale:** 1" = 30 ft

**1**  
**2**

**EXISTING CONDITIONS & DEMOLITION PLAN**

**SCALE:** 1"=30'-0"

**Associated Engineering Consultants Incorporated**  
485 Dawson Park Drive, Suite 113, Wayne, Pennsylvania 19087  
Tel: 610.688.3900 Fax: 610.688.4560  
www.aecinc.com

**DAVID C. BRANDT**  
ENGINEER  
27452-E  
PENNSYLVANIA

**PROJECT**

**DATE** 11/18/11 **REVISION** H.O.P. SUBMISSION

**DATE** 05/17/12 **REVISION** H.O.P. RESUBMISSION

**DATE** 08/28/12 **REVISION** H.O.P. RESUBMISSION

**DATE** 03/11/13 **REVISION** H.O.P. RESUBMISSION

**SHEET TITLE** EXISTING CONDITIONS & DEMOLITION PLAN

**DRAWN BY:** BJD

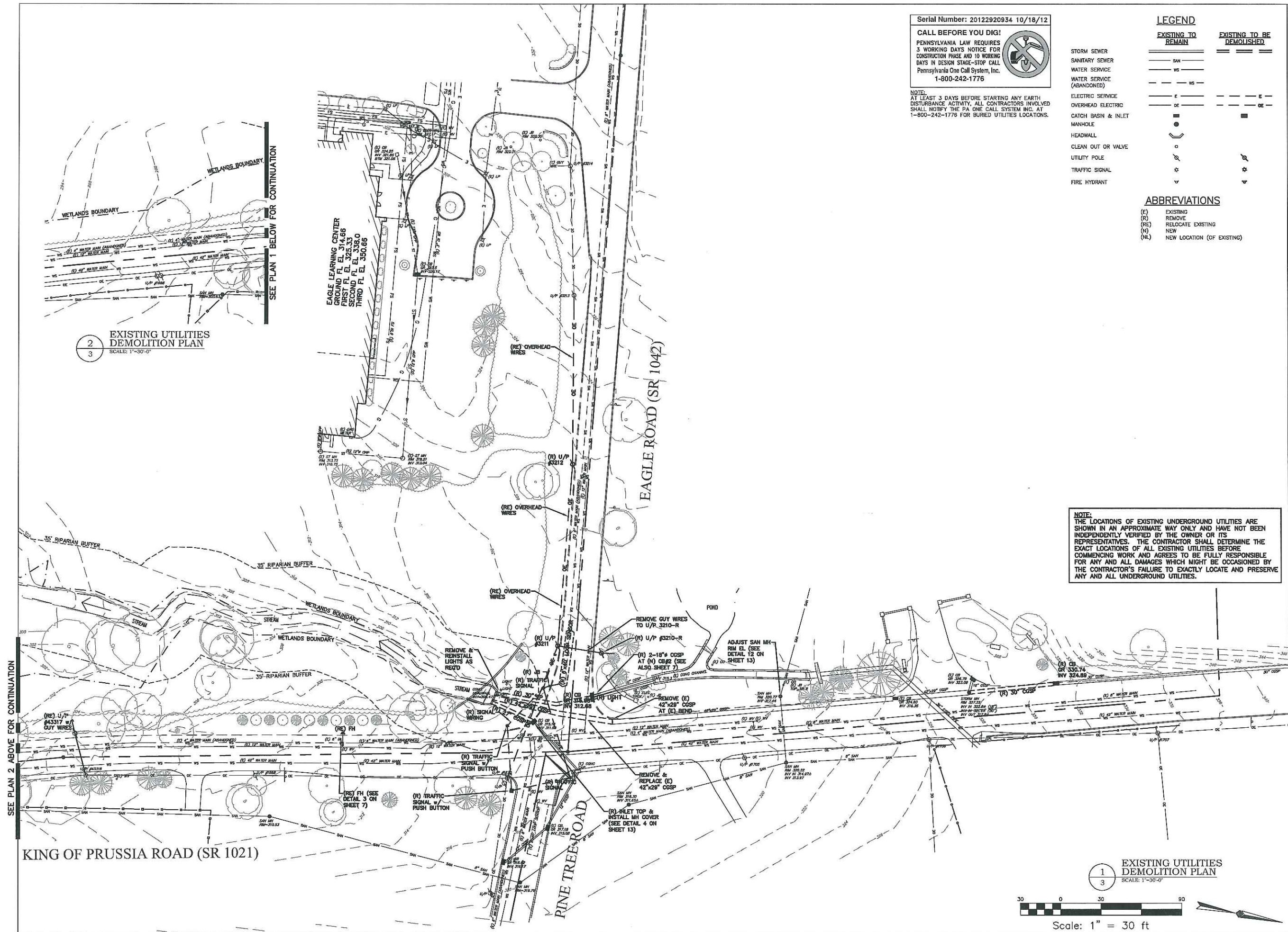
**CHECKED BY:** KRM

**SHEET NO.** 2

**PROJECT NO.** 0124.057

**DATE:** NOVEMBER 18, 2011





**INTERSECTION IMPROVEMENTS**

**EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)**

**SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY**

**PROJECT**

**DATE** 11/18/11  
**REVISION** H.O.P. SUBMISSION

**DATE** 05/17/12  
**REVISION** H.O.P. RESUBMISSION

**DATE** 08/28/12  
**REVISION** H.O.P. RESUBMISSION

**DATE** 03/11/13  
**REVISION** H.O.P. RESUBMISSION

**SHEET TITLE**

**EXISTING UTILITIES DEMOLITION PLAN**

**DRAWN BY:** BJD  
**CHECKED BY:** KRM

**SHEET NO.** 3

**PROJECT NO.** 0124.057  
**DATE:** NOVEMBER 18, 2011



# CONSTRUCTION SEQUENCE:

## IN GENERAL:

- All earth disturbance activities shall proceed in accordance with the following sequence. Each stage shall be completed before any following stage is initiated. Clearing and grubbing shall be limited only to those areas described in each stage.
- At least 7 days before starting any earth disturbance activities, the Contractor shall invite all subcontractors involved in those activities, the Owner, the Civil Engineer, and all appropriate municipal officials to an on-site pre-construction meeting.
- Township engineer shall be notified 48 hours prior to the start of earthmoving activities.
- Figure numbers referenced herein refer to PennDOT's Maintenance and Protection of Traffic during Construction in PennDOT Publication 213, "Work Zone Traffic Control Guidelines", as amended April 1, 2010, and Title 67 PA Code, Chapter 212, "Official Traffic Control Devices", dated February 4, 2006 or most current.
- Removal and replacement of the storm pipes shall be performed only when the weather forecast predicts at least 72 hours of rain-free weather.
- Any and all open excavations shall be plated at the end of each work day.

## SEQUENCE OF CONSTRUCTION:

- Utilizing Figure 10b along the south side of Eagle Road, the electric utility company shall install the new utility poles #3211 and #3212, relocate the overhead wires to the new poles and remove the old utility poles.
- Utilizing Figure 10a along the west side of King of Prussia Road south of Eagle Road, the electric utility company shall install the new guy pole #43317, relocate the overhead guy wires to the new pole and remove the old guy pole.
- Utilizing Figure 10b along the west side of King of Prussia Road south of Eagle Road, the water utility company shall remove the existing fire hydrant, install the new water service to the relocated fire hydrant and install the relocated fire hydrant.
- Install the silt fence adjacent to the existing headwall as shown on the "Soil Erosion Control Plan" Sheet 4.
- Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 27" CGSP pipe from the existing curb inlet to the existing headwall. Install new CB#1, the new 27" CGSP pipe from the headwall to new CB#1, the new 21" CGSP pipe from new CB#1 to the existing curb inlet. Remove the inlet top and install manhole top. Backfill pipe trenches, patch pavement at copped inlet and install temporary inlet filter bag at new CB#1.
- Install the temporary pump, intake pipe, pump discharge pipe and dam at the existing inlet on King of Prussia Road (see Plan for location).
- Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 42"x29" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Install the new 42"x29" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Backfill the pipe trench and restore the pavement. Plate the opening at the ends of the existing and new pipes before the next step.
- Utilizing Figure 10b along the north side of Eagle Road, excavate and remove the remainder of the existing 42"x29" CGSP pipe to the new ST MH location. Install new ST MH and the remainder of the new 42"x29" CGSP pipe. Backfill the pipe trench and restore the pavement.
- Once ST MH and the new 42"x29" CGSP pipe are installed and backfilled, remove the temporary dam and pumping system at the existing inlet upslope of ST MH.
- Install the temporary pump, intake pipe, pump discharge pipe and dam at the headwall below the existing concrete channel (see Plan for location).

# CONSTRUCTION SEQUENCE (CONTINUED):

- Utilizing Figure 10b along the south side of Eagle Road, excavate and remove the existing 30" CGSP pipe from the existing headwall to the limit of the temporary traffic controls. Install the new 27" RCP pipe from the existing headwall to the limit of the temporary traffic controls. Backfill the pipe trench and restore the pavement. Plate the opening at the ends of the existing and new pipes before the next step.
- Utilizing Figure 10b along the north side of Eagle Road, excavate and remove the remainder of the existing 30" CGSP pipe, the existing inlet and the two 18" CGSP pipes at the new CB#2 location. Install new CB#2 and the remainder of the new 27" RCP pipe. Backfill the pipe trench and restore the pavement. Install temporary inlet filter bag at new CB#2.
- Once CB#2 and the new 27" RCP pipe are installed and backfilled, remove the temporary dam and pumping system at the existing headwall.
- Utilizing Figure 10b along the west side of King of Prussia Road north of Eagle Road, remove the existing curbing at the northwest corner of the intersection. Install the new pavement base drains to CB#2 and the new concrete curbing. Construct the full depth roadway widening. Regrade and seed between the roadway and the concrete channel. Adjust the sanitary manhole top as noted. Install curlex blankets where shown at slopes steeper than 3:1.
- Utilizing Figure 10b along the west side of King of Prussia Road south of Eagle Road, install the temporary silt fence, staggered up the slope as indicated on the Plan. Remove and relocate the existing signs as indicated. Remove the traffic signal and existing curbing south of new CB#1. Provide temporary traffic signal. Install the new concrete curbing south of new CB#1. Install the new traffic signal south of CB#1. Construct the full depth roadway widening. Regrade and seed the disturbed areas beyond the roadway. Remove the temporary silt fence. Stabilize the areas that are disturbed due to the removal of the temporary control measures.
- Utilizing Figure 10b along the south side of Eagle Road, relocate the existing signs as indicated. Remove the traffic signal and existing curbing west of new CB#1. Provide temporary traffic signal. Install the new pavement base drain to CB#1 and the new concrete curbing west of new CB#1. Construct the full depth roadway widening. Install the new traffic signal west of CB#1. Regrade and seed the disturbed areas beyond the roadway.
- Utilizing Figure 10b along the east side of King of Prussia Road north of Pine Tree Road, remove the existing traffic signal. Install the new traffic signal and new controller cabinet.
- Remove the existing traffic signal located at the southeast corner of the intersection and install the new traffic signal in the same corner.
- Install the silt fence north of the Cabrini College entrance driveway and the temporary inlet filter in existing inlet at the driveway (see Plan for location).
- Install the temporary pump, intake pipe, pump discharge pipe and dams at the existing inlet and manhole on King of Prussia Road (see Plan for location).
- Utilizing Figure 10a along the west side of King of Prussia Road, remove the existing inlet and 30" CGSP pipe. Install new CB#3 and new 30" CGSP pipe. Backfill the pipe trench and restore the pavement.
- Construct the full depth roadway widening in this area. Regrade and seed the disturbed areas beyond the pavement. Install curlex blankets where shown at slopes steeper than 3:1.
- Remove the temporary pump, pump pipes and dams.
- Utilizing Figure 10a, mill and overlay the existing roadway areas where shown on Sheet 1. Install signs and pavement lane markings as indicated on Sheet 9.
- Once the site area is stabilized to 70% uniform coverage of permanent vegetation, remove the remaining temporary control measures throughout the site. Stabilize all areas that are disturbed due to the removal of the temporary control measures.

# TEMP. CONSTRUCTION LEGEND

- LIMIT OF DISTURBANCE LINE (0.53 ACRES TOTAL)
- AREAS TO RECEIVE CURLEX BLANKETS (SEE DETAIL 3 ON SHEET 14)
- TEMPORARY SILT FENCE (SEE DETAIL 1 ON SHEET 14)
- TEMPORARY TREE PROTECTION FENCE (SEE DETAIL 5 ON SHEET 14)

## SOIL DATA

- GeC GLENELG CHANNERY SILT LOAM  
WELL-DRAINED, 8 TO 15% SLOPES  
DEPTH TO BEDROCK: VERY DEEP  
DEPTH TO HIGH WATER TABLE: 5'-6"  
PERMEABILITY: SLOW  
HYDROLOGIC SOIL GROUP 'B'
- GnB2 GLENELG SILT LOAM  
SOMEWHAT POORLY DRAINED, MODERATELY ERODED, 3 TO 8% SLOPES  
DEPTH TO BEDROCK: VERY DEEP  
DEPTH TO HIGH WATER TABLE: 0.5'-3"  
PERMEABILITY: MODERATE  
HYDROLOGIC SOIL GROUP 'C'
- We WEHAKKE SILT LOAM  
POORLY DRAINED, 0 TO 3% SLOPES  
DEPTH TO BEDROCK: VERY DEEP  
DEPTH TO HIGH WATER TABLE: 0-0.5'  
PERMEABILITY: MODERATE  
HYDROLOGIC SOIL GROUP 'D'

# EROSION AND SEDIMENT CONTROL

## GENERAL NOTES:

- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. Stockpiled topsoil mounds shall be stabilized by applying temporary seed and a perimeter silt fence shall be installed as shown on the plan. Temporary seeding shall be per PENNDOT form 408, Section 804(e).
- The operator shall ensure that the approved erosion and sediment control plan is properly and completely implemented.
- Until the site achieves final stabilization, the operator shall ensure that the best management practices are properly and completely implemented and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities. The operator shall maintain and make available complete, written inspection logs of all these inspections. All maintenance work, including cleaning, repair, replacement, regrading and restabilization shall be performed immediately.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
- Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the local Conservation District.
- The operator shall ensure that an erosion and sediment control plan has been prepared, approved by the local Conservation District and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
- All pumping of sediment-laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
- The operator is advised to become thoroughly familiar with the provisions of the Appendix C6, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Water Resources, Chapter 102, Erosion Control.
- A copy of the approved erosion and sediment control plan must be available at the project site at all times.
- The E&S control plan mapping must display a PA ONE CALL SYSTEM INCORPORATED symbol including the site identification number.
- Erosion and sediment BMP's must be constructed, stabilized and functional before site disturbance begins within the tributary areas of these BMP's.
- After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
- At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sedimentation control plan preparer, and a representative of the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, Incorporated at 1-800-242-1776 for buried utilities locations.

# EROSION AND SEDIMENT CONTROL

## GENERAL NOTES (CONTINUED):

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
- OTHER BMP's:
  - Sediment must be removed from storm water inlet protection after each runoff event.
  - TEMPORARY STABILIZATION & PERMANENT STABILIZATION:
    - Hay or straw mulch must be applied at 3.0 tons per acre.
    - Provide "Curlex Blankets" as manufactured by American Excelsior Co., or approved equal, on all slopes 3:1 and steeper.
    - Straw mulch shall be applied in long strands, not chopped or finely broken.
    - Until the site is stabilized, all erosion and sediment control BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.
    - Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
    - The operator shall remove from the site, recycle or dispose of all building materials and waste in accordance with PADEP's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump or discharge any building material or wastes at the site.

Serial Number: 20122920934 10/18/12

## CALL BEFORE YOU DIG!

PENNSYLVANIA LAW REQUIRES  
3 WORKING DAYS NOTICE FOR  
CONSTRUCTION PHASE AND 10 WORKING  
DAYS IN DESIGN STAGE-STOP CALL  
Pennsylvania One Call System, Inc.  
1-800-242-1776



NOTE:  
AT LEAST 3 DAYS BEFORE STARTING ANY EARTH  
DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED  
SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT  
1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.

WATERSHED NOTE:  
THE PROJECT IS LOCATED IN THE GULPH  
CREEK WATERSHED, WHICH HAS A CHAPTER  
93 RECEIVING WATER CLASSIFICATION OF WWF.

SEAL



PROJECT

INTERSECTION IMPROVEMENTS  
EAGLE ROAD (SR 1042) AND  
KING OF PRUSSIA ROAD (SR 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/18/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/29/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

SOIL EROSION  
CONTROL  
PLAN

DRAWN BY: BJD  
CHECKED BY: KRM  
SHEET NO.

4

SHEET NO. 5 OF 19

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

KING OF PRUSSIA ROAD (SR 1021)

EAGLE ROAD (SR 1042)

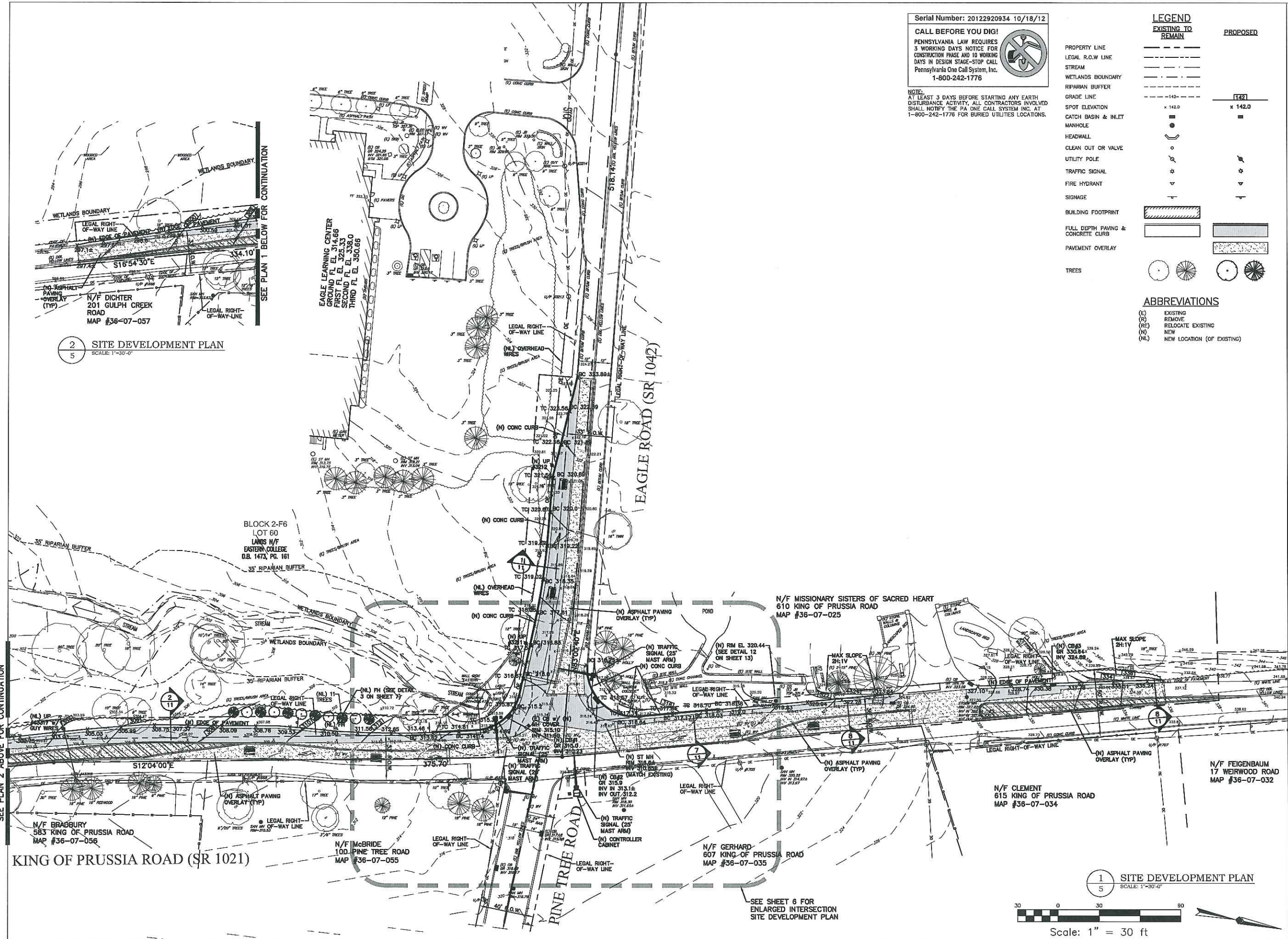
PINE TREE ROAD

NOTE:  
STORM PIPE REMOVAL AND  
INSTALLATION SHALL  
OCCUR ONLY WHEN THE  
FORECAST IS RAIN FREE  
FOR AT LEAST 72 HOURS.

1  
4  
SOIL EROSION  
CONTROL PLAN  
SCALE: 1"=30'-0"

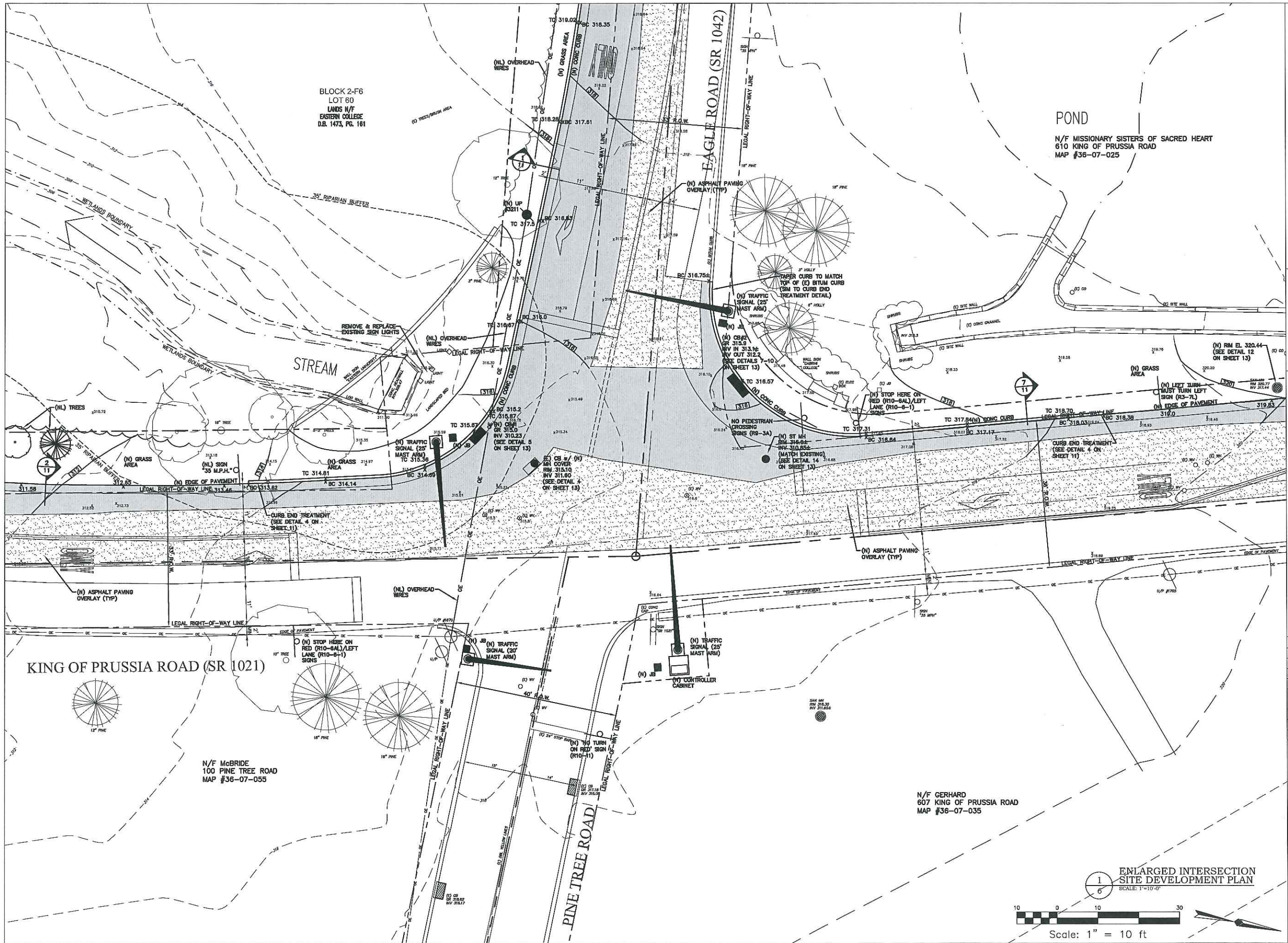
Scale: 1" = 30 ft





|                                                                      |                     |
|----------------------------------------------------------------------|---------------------|
|                                                                      |                     |
| PROJECT                                                              |                     |
| INTERSECTION IMPROVEMENTS                                            |                     |
| EAGLE ROAD (S.R. 1042) AND<br>KING OF PRUSSIA ROAD (S.R. 1021)       |                     |
| SAINT DAVIDS, PENNSYLVANIA 19087<br>RADNOR TOWNSHIP, DELAWARE COUNTY |                     |
| DATE                                                                 | REVISION            |
| 11/18/11                                                             | H.O.P. SUBMISSION   |
| 05/17/12                                                             | H.O.P. RESUBMISSION |
| 08/28/12                                                             | H.O.P. RESUBMISSION |
| 03/11/13                                                             | H.O.P. RESUBMISSION |
| SHEET TITLE                                                          |                     |
| SITE DEVELOPMENT PLAN                                                |                     |
| DRAWN BY:                                                            | BJD                 |
| CHECKED BY:                                                          | KRM                 |
| SHEET NO.                                                            |                     |
| 5                                                                    |                     |
| PROJECT NO. 0124.057                                                 |                     |
| DATE: NOVEMBER 18, 2011                                              |                     |







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SEAL



DAVID C. BRANDT  
ENGINEER  
27452-E  
PENNSYLVANIA

PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/18/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

**ENLARGED  
INTERSECTION  
SITE DEVELOPMENT  
PLAN**

DRAWN BY: BJD

CHECKED BY: KRM

SHEET NO.

**6**

SHEET NO. 7 OF 19

PROJECT NO. 0124.057

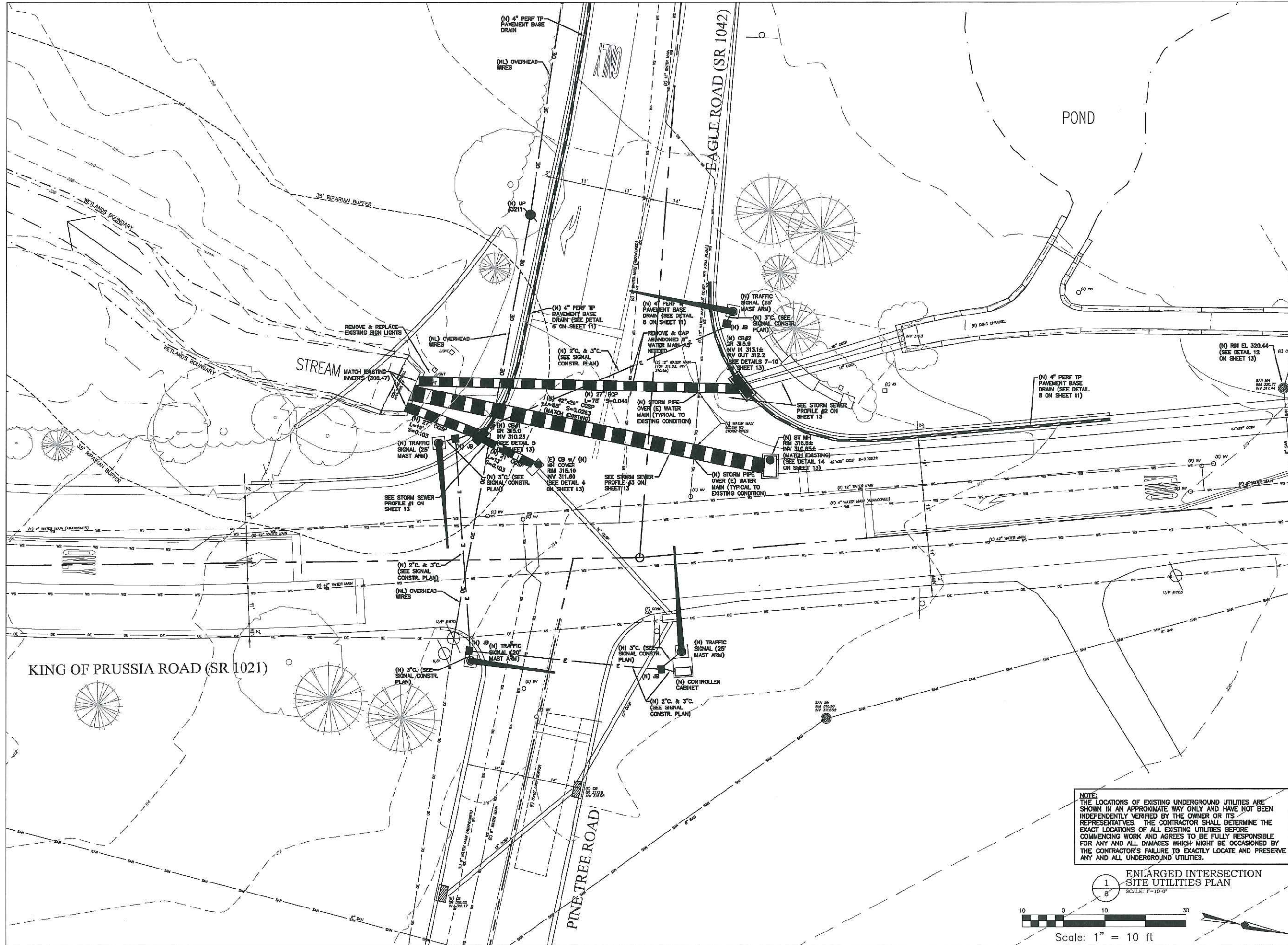
DATE: NOVEMBER 18, 2011









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DAVID C. BRANDT  
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27452-E  
PENNSYLVANIA

PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/18/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

**ENLARGED INTERSECTION SITE UTILITIES PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

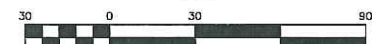
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**8**

SHEET NO. 9 OF 19

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



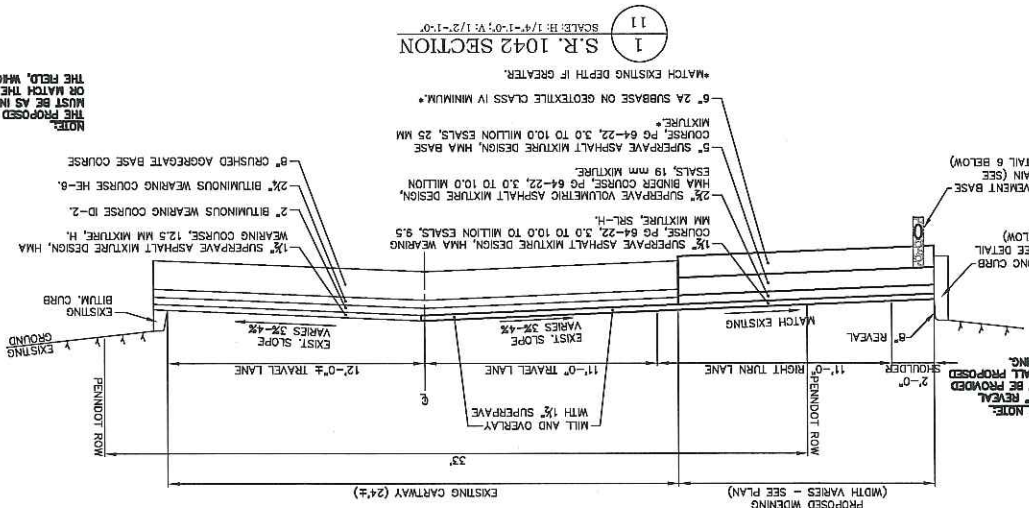
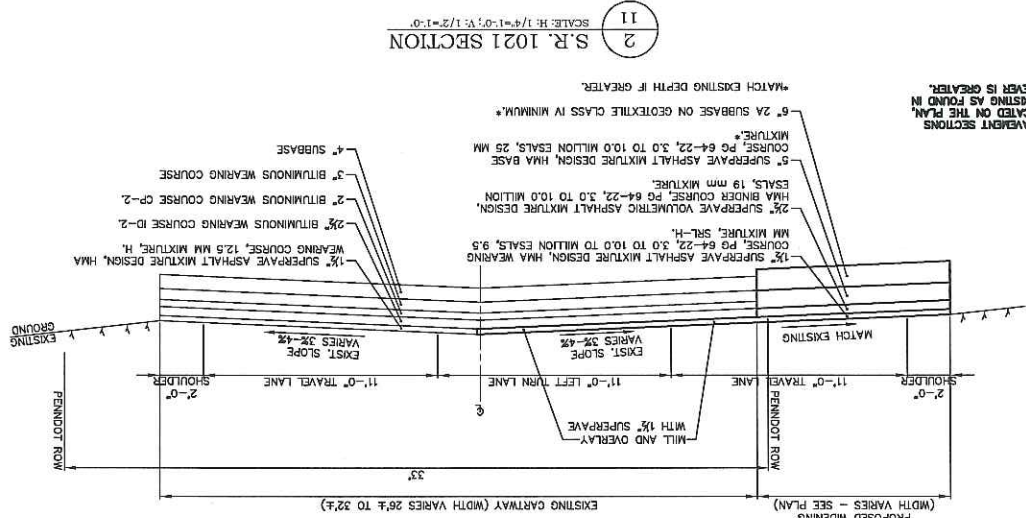
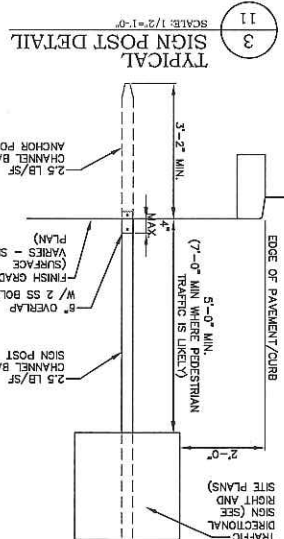
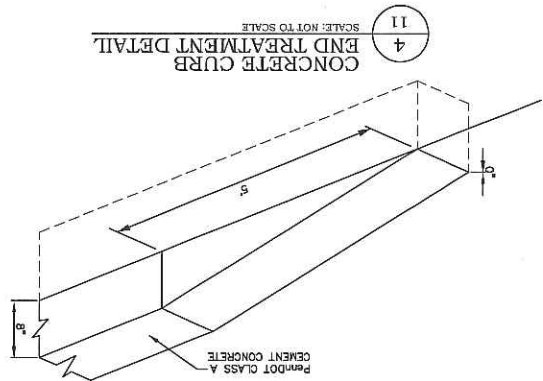
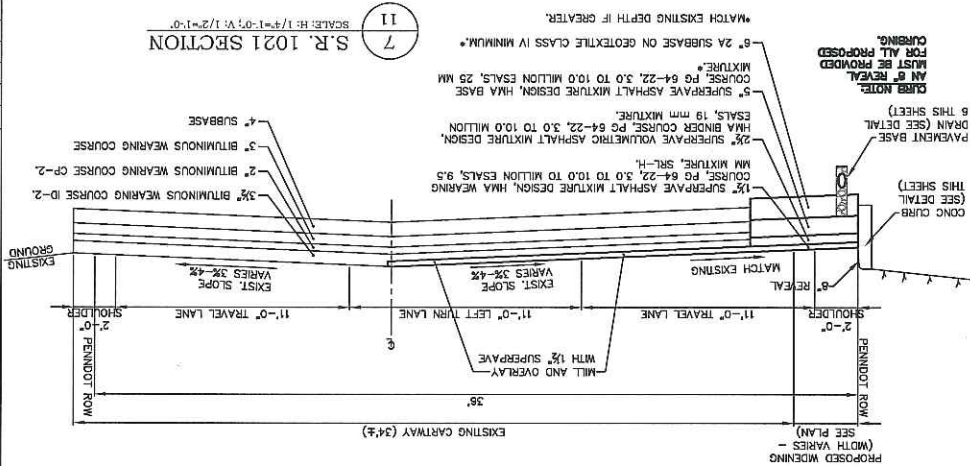
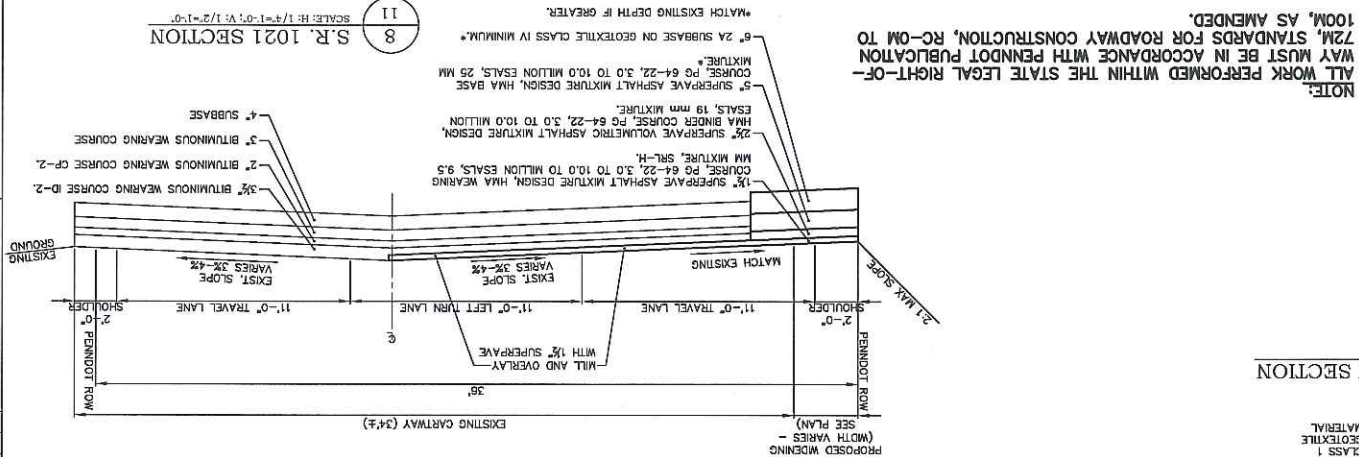
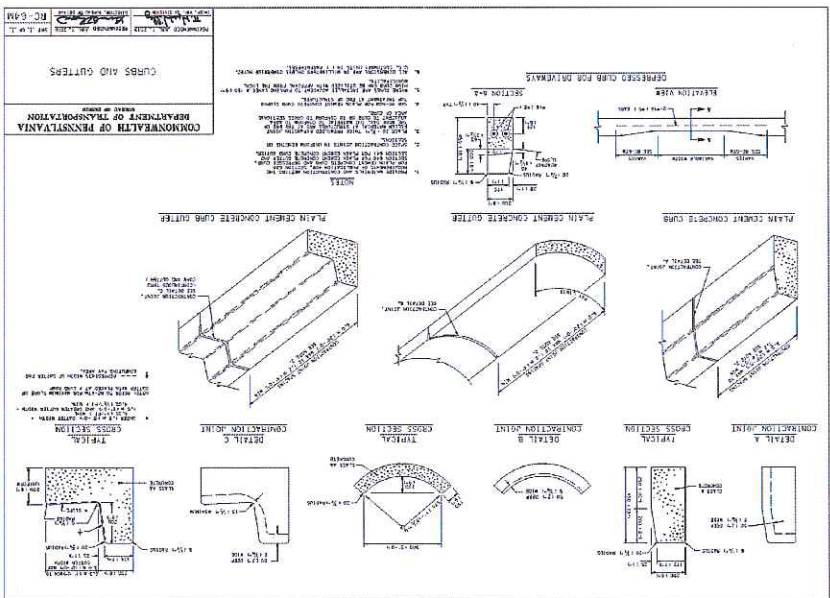
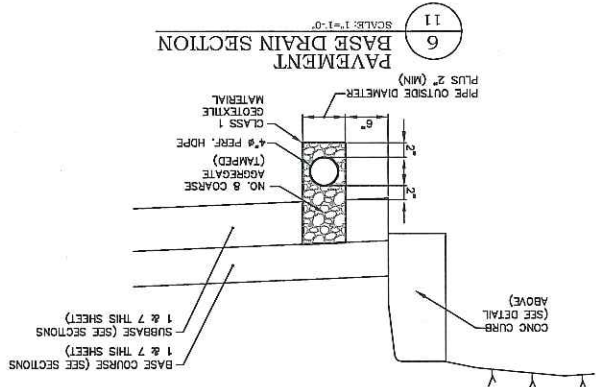
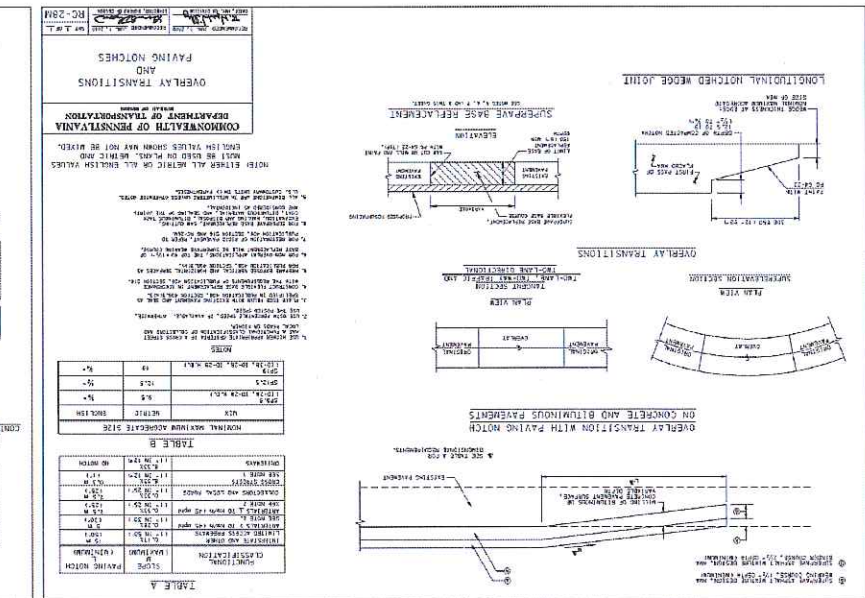
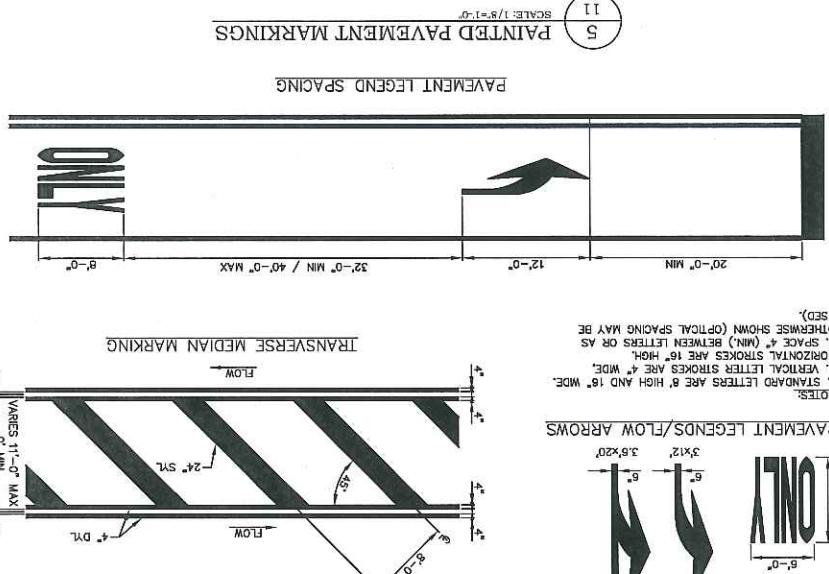


Scale: 1" = 30 ft









# INTERSECTION IMPROVE

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

**SHEET TITLE**

**PENNDOT**

**SITE**

**DETAILS**

**DATE**

11/8/11

**REVISION**

H.O.P. SUBMISSION

05/17/12

H.O.P. RESUBMISSION

08/29/12

03/11/13

H.O.P. RESUBMISSION

**SHEET NO.**

11

**DRAWN BY:**

KRM

**CHECKED BY:**

BJD

**PROJECT NO.**

0124.057


**DATE: NOVEMBER 18, 2011**

SEAL

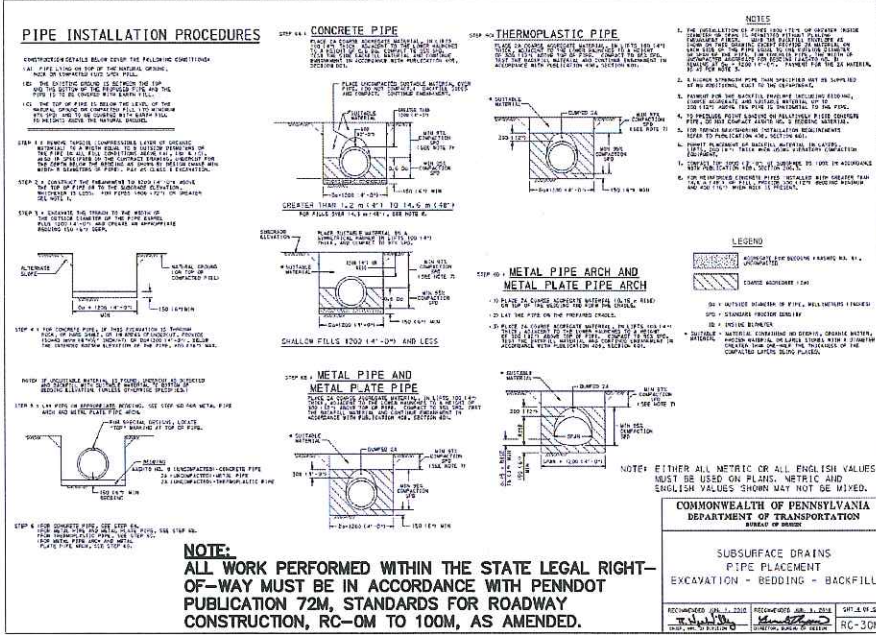
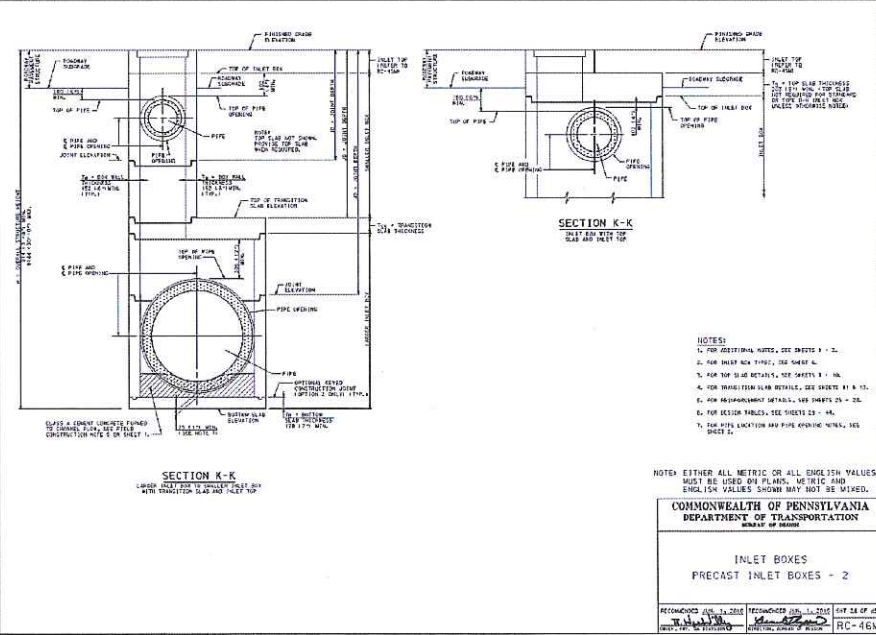
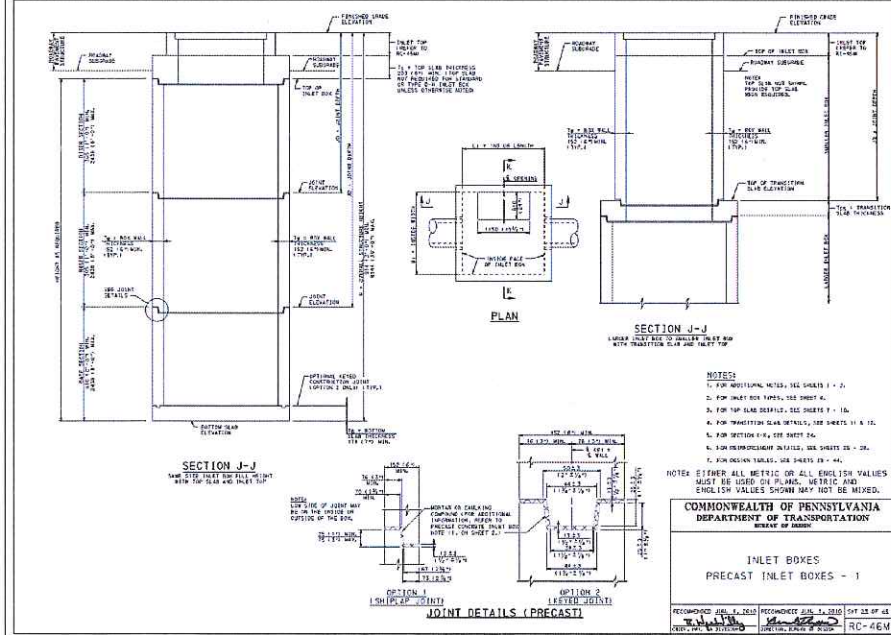
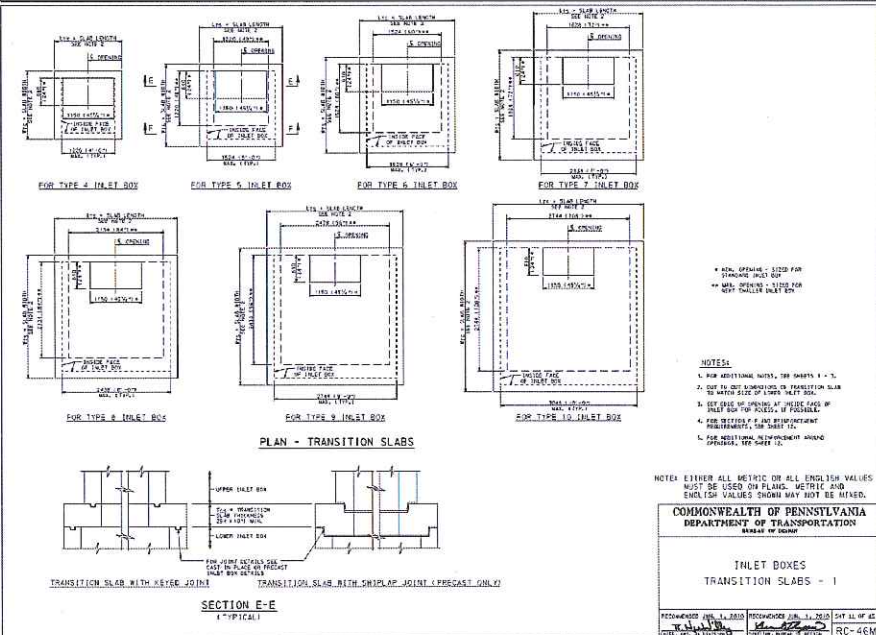
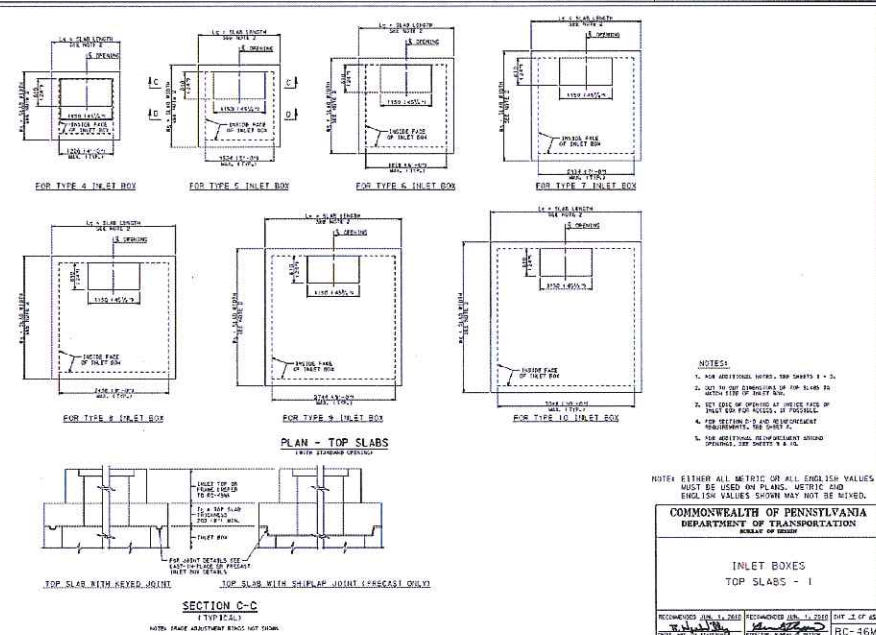
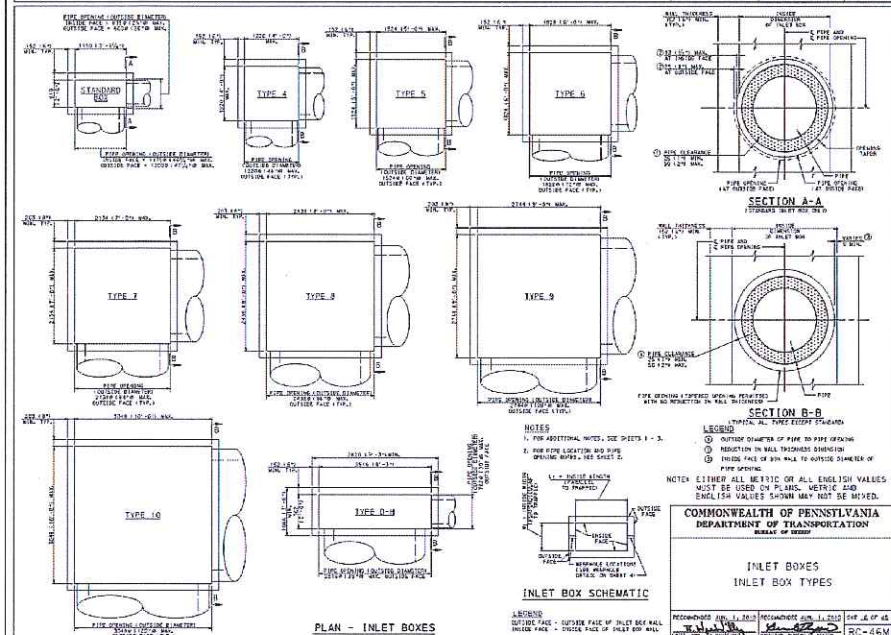
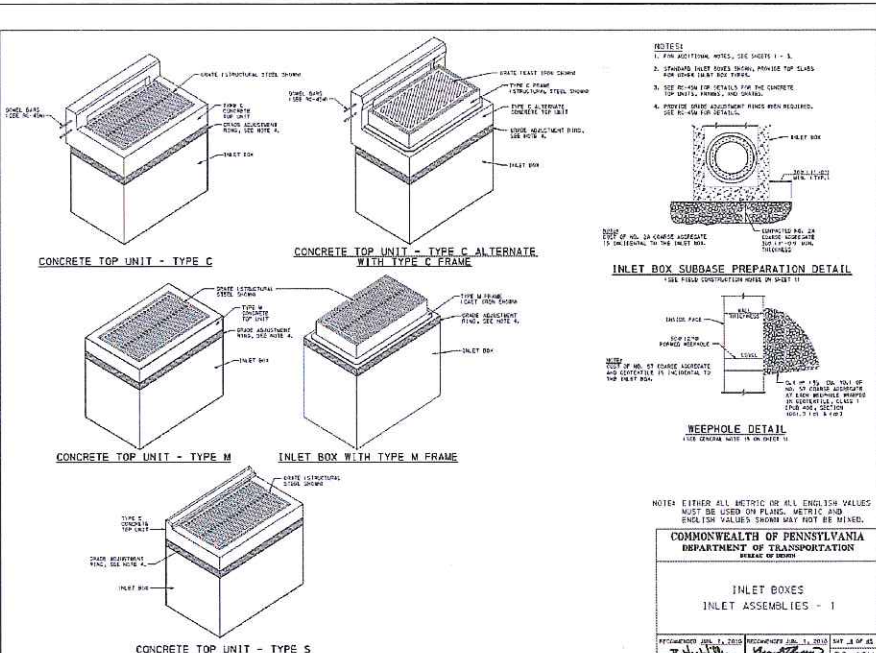
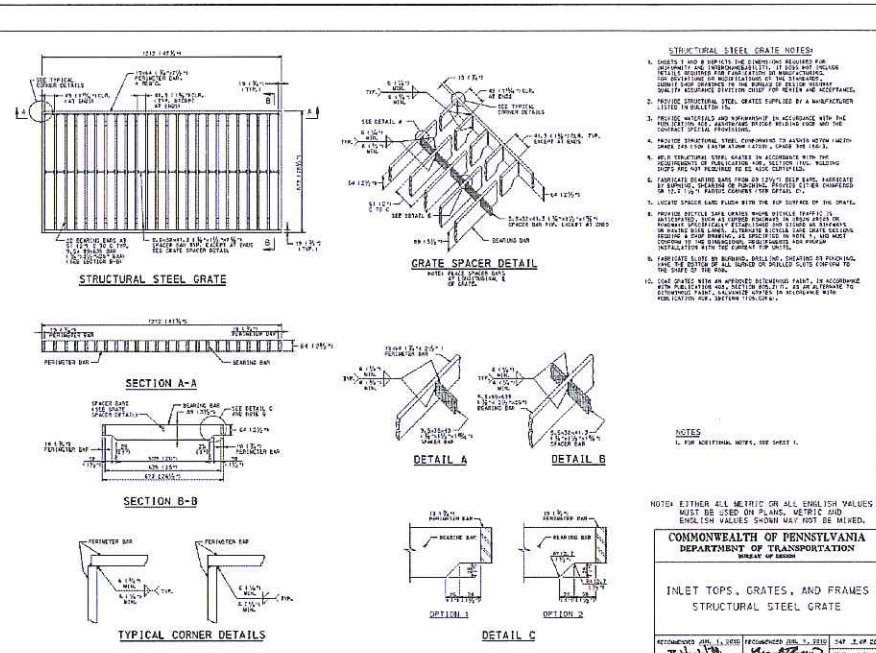
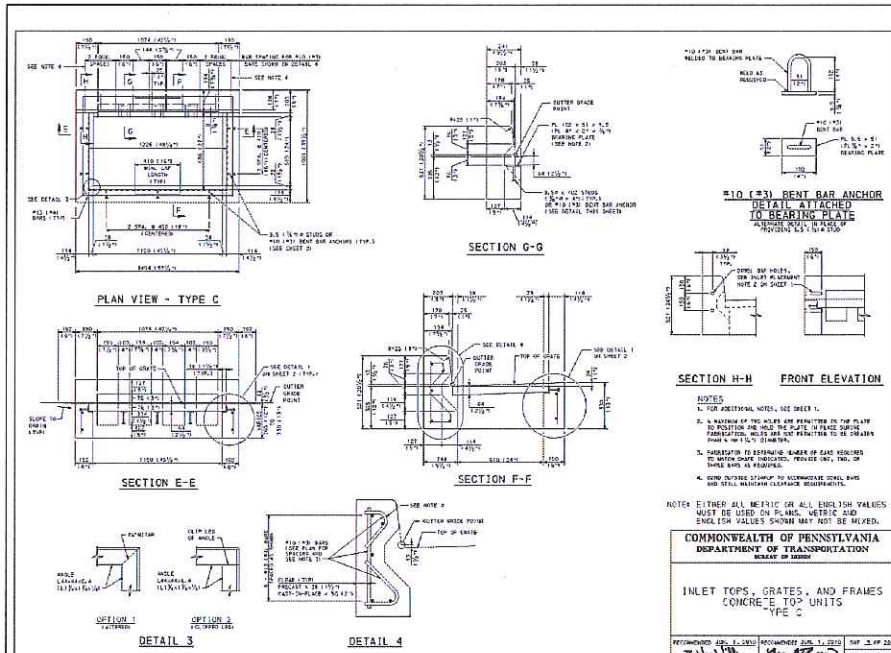
COMMONWEALTH OF PENNSYLVANIA  
PROFESSIONAL ENGINEER  
DAVID C. BRANDT  
27452-3

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**DAVID C. BRANDT**  
REGISTERED PROFESSIONAL ENGINEER  
27452-E

**PROJECT**  
INTERSECTION IMPROVEMENTS  
EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

**DATE** 11/19/11 **REVISION** H.O.P. SUBMISSION  
05/17/12 H.O.P. RESUBMISSION  
08/28/12 H.O.P. RESUBMISSION  
03/11/13 H.O.P. RESUBMISSION

**SHEET TITLE**  
PENNDOT  
STORM SEWER  
DETAILS

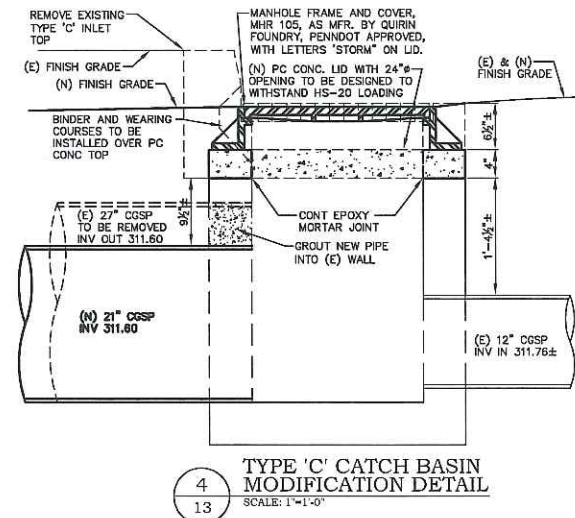
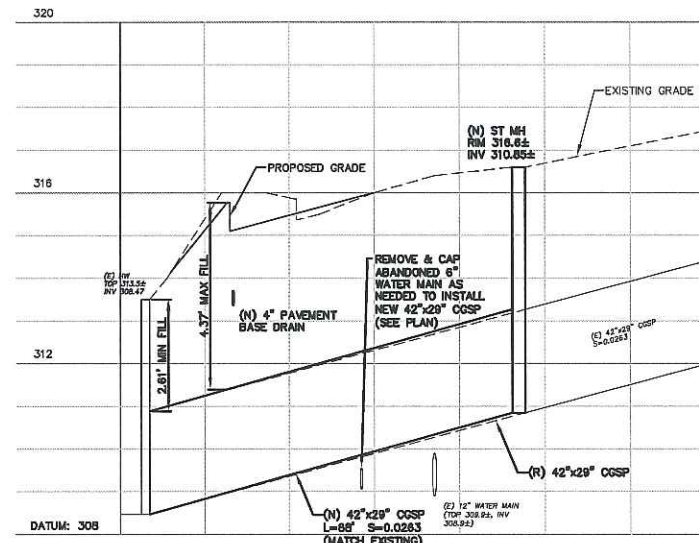
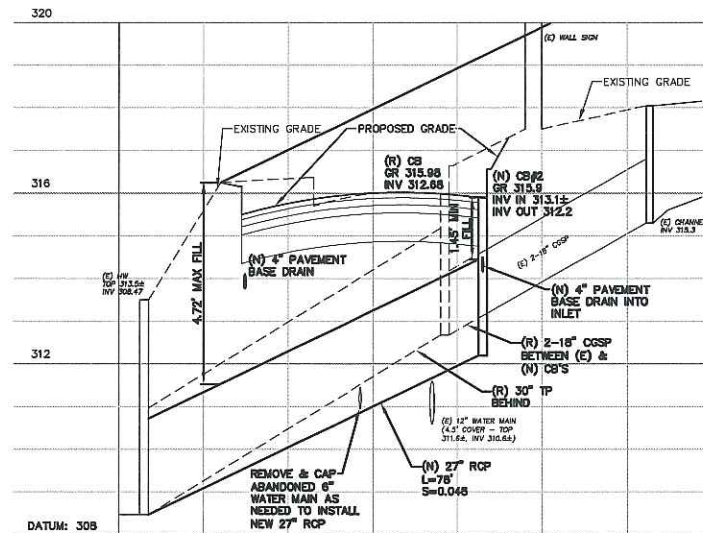
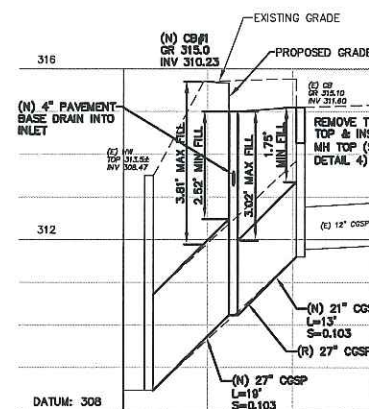
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**CHECKED BY:** KRM

**SHEET NO.** 12

**PROJECT NO.** 0124.057  
**DATE:** NOVEMBER 18, 2011

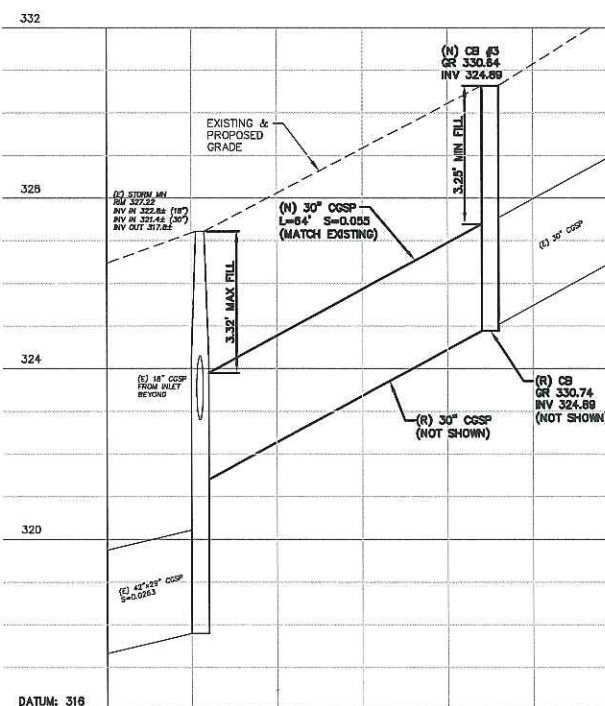
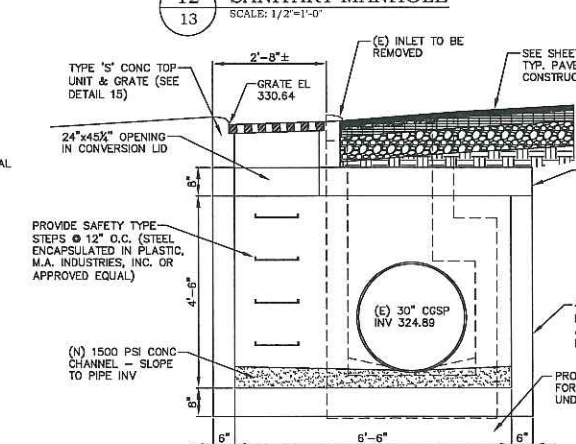
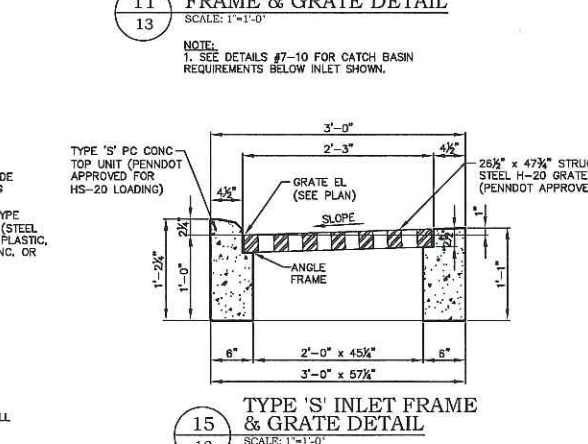
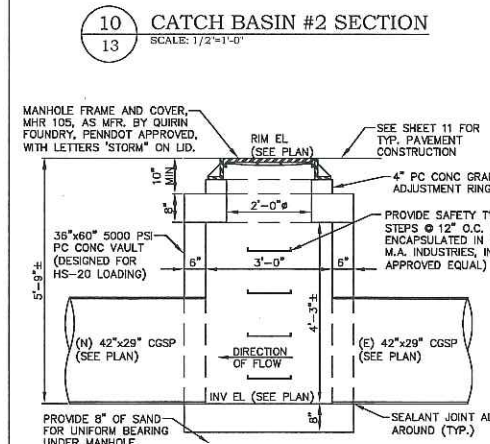
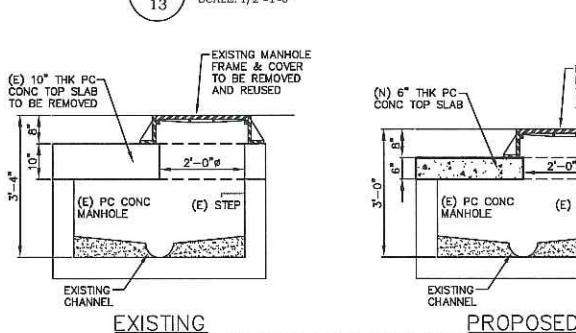
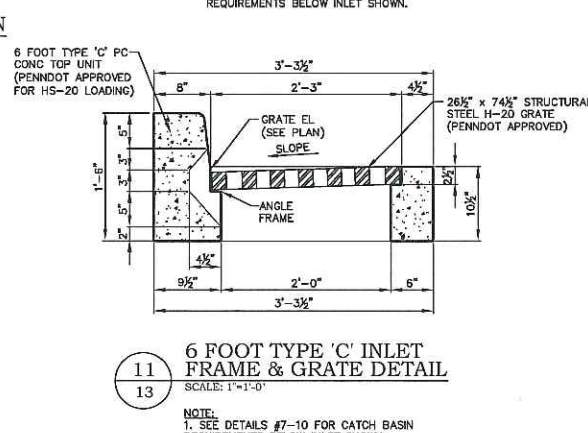
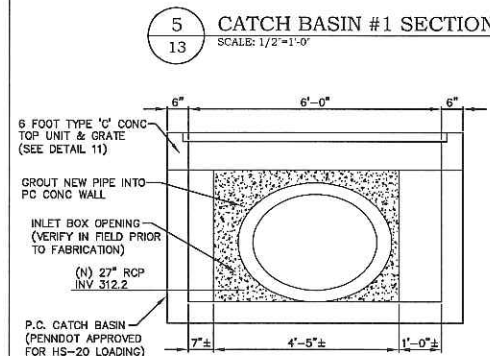
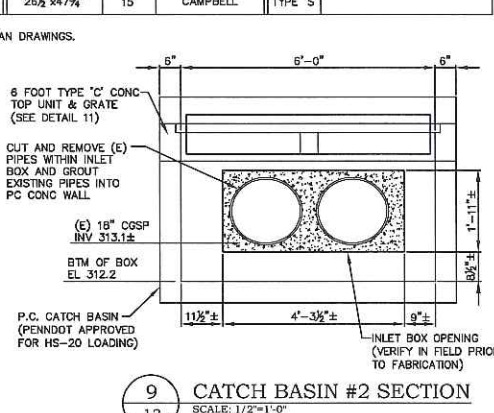
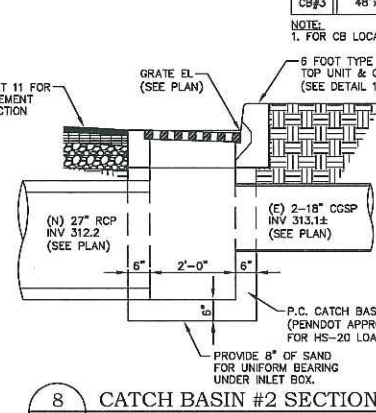
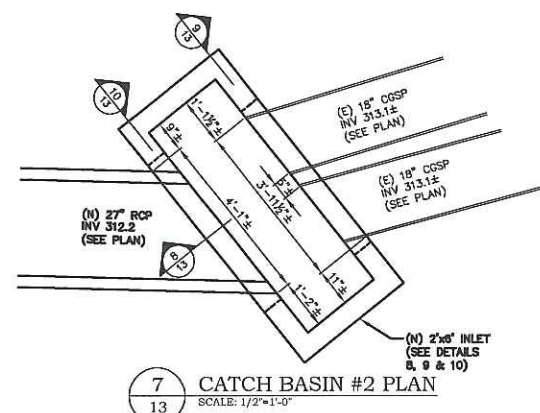
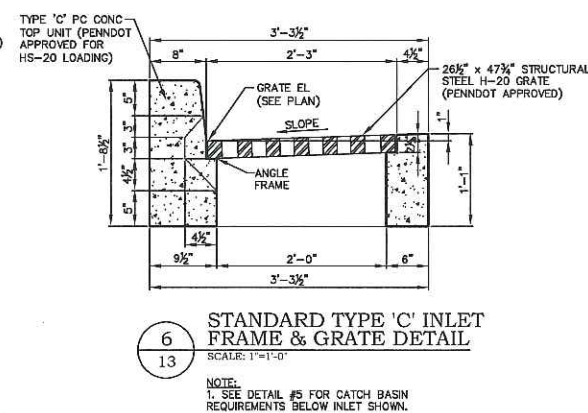
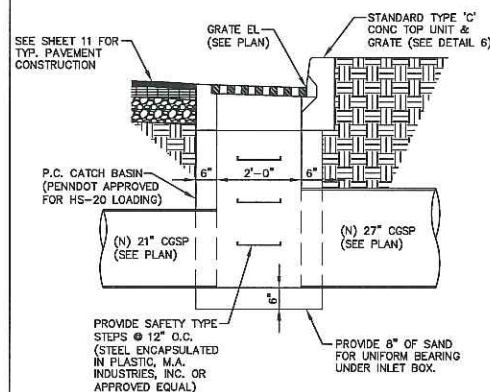
**Sheet No. 13 of 19**





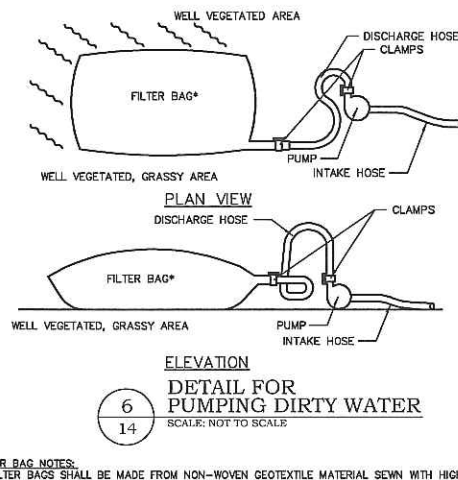
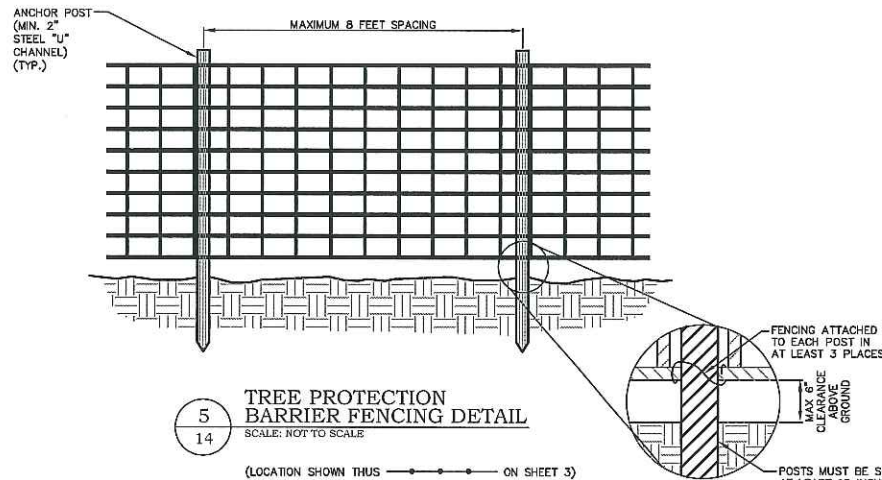
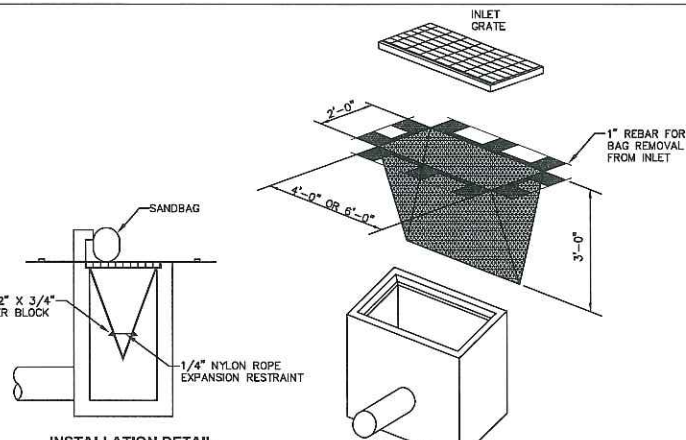
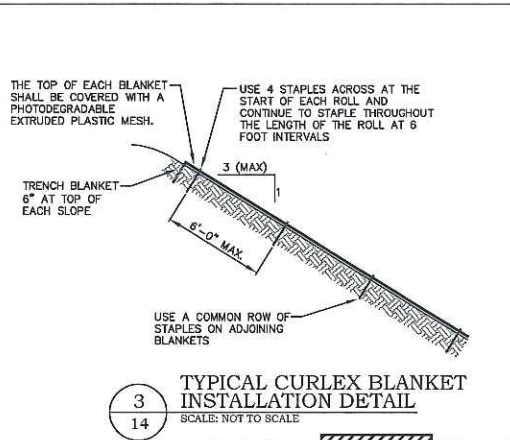
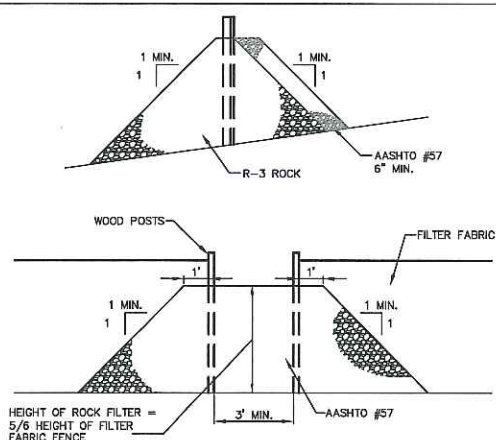
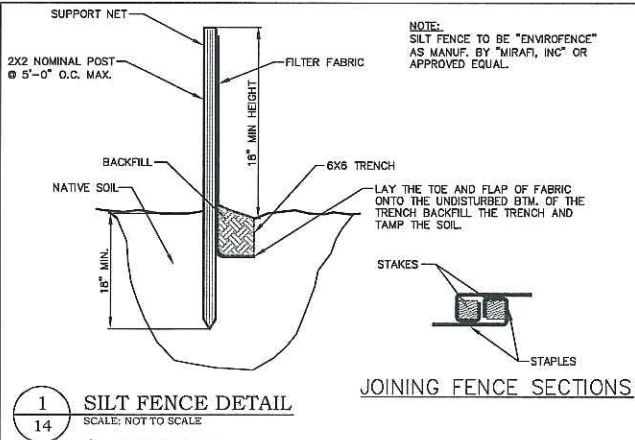
| INLET & CATCH BASIN SCHEDULE |                     |                  |                 |                      |                    |                        | REMARKS |
|------------------------------|---------------------|------------------|-----------------|----------------------|--------------------|------------------------|---------|
| C.B. NO.                     | INLET BOX MIN. SIZE | INLET BOX DETAIL | GRATE SIZE      | FRAME & GRATE DETAIL | FRAME & GRATE MFR. | FRAME & GRATE CAT. NO. |         |
| CB#1                         | 24"x45 1/4"         | 5                | 25 1/2"x73 3/4" | 8                    | CAMPBELL           | TYPE 'C'               |         |
| CB#2                         | 24"x72"             | 7-10             | 26 1/2"x74 1/2" | 11                   | CAMPBELL           | TYPE 'C'               |         |
| CB#3                         | 48"x78"             | 16               | 26 1/2"x73 3/4" | 15                   | CAMPBELL           | TYPE 'S'               |         |

**NOTE:**  
1. FOR CB LOCATIONS, SEE PLAN DRAWINGS





E:\AEC\_Registration\24-25\AUP\049172 Erosion Control Details.dwg, 3/6/2013, 1:54:17 PM



### EROSION AND SEDIMENTATION CONTROL CONSTRUCTION NOTES:

- SILT FENCE: Silt fences shall be installed downslope of all areas to be disturbed before any work begins. Silt fence shall be installed as near as possible to the locations shown on the plan. Installation shall be as follows:
  - Silt fencing must be installed parallel to existing contours or constructed level alignments. Both ends of each fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.
  - Dig a 6" deep trench along the upslope side of the fence line.
  - Install fence posts 18" below the ground surface at 8' maximum intervals on a slight angle toward the anticipated runoff source.
  - Stretch and fasten filter fabric to the upslope side of the support stakes. Wherever reinforced fabric fence is installed, the reinforcement mesh shall be fastened to the stakes prior to the fabric.
  - At fabric ends, both ends should be wrapped around the support stake and stapled. If the fabric comes already attached to the stakes, the end stakes shall be held together while the fabric is wrapped around the stakes at least one revolution prior to driving the stakes.
  - The bottom of the fence shall be anchored by placing the fabric in the bottom of the trench, and backfilling and compacting the fill material in the trench.
  - Guy wires shall be attached to reinforced silt fence. An acceptable alternative is to stake straw bales on the downslope side of the fence.
  - Silt fence shall be inspected weekly and after each runoff event. Needed repairs shall be performed immediately after the inspection. Damaged fences shall be immediately replaced. Rock filter outlets shall be installed where fences have become overstressed due to sediment build up.
- Stormwater inlets must be protected until the tributary areas are stabilized.
- STRUCTURAL AND CONSTRUCTION FILL: In all areas where structural or construction fill is to be placed, "grubbing" shall be carried out prior to placing any fill. All trees, brush and other vegetation within the construction fill areas shall be removed from the site.
- DUST CONTROL: To control dust generation on-site, the contractor shall wet construction traffic routes and staging areas.
- TEMPORARY VEGETATION BY SITE CONTRACTOR: Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. Temporary seeding shall be as follows:
  - Lime shall be evenly broadcast @ 190 lbs/1,000 sq. ft. (or as per soil test).
  - 10-25-25 Basic Fertilizer shall be evenly broadcast at the rate of 25 lbs/1,000 sq. ft.
  - Seed with annual ryegrass at a rate of 1 lb/1,000 sq. ft.If the season prevents the establishment of a temporary vegetative cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 140 pounds per 1000 square feet. Mulch should be applied regardless of the time of year.
- EXISTING ROADWAY CLEANING: Contractor shall maintain a clean approach to the site. If the dirt and/or debris builds up on existing asphalt surfaces, the site contractor shall professionally clean that surface to the satisfaction of the authority having jurisdiction.
- Inlet protection shall be applied, as detailed on the plan, to every inlet which has been constructed to the roadway subbase elevation.
- Pollutants such as fuels, lubricants, bitumens, raw sewage and other harmful materials shall not be discharged into or near rivers, streams and impoundments or into natural or manmade channels leading thereto.

### PERMANENT VEGETATION BY CONTRACTOR:

#### GRADING AND SUB-SOIL PREPARATION

All areas that will receive permanent vegetation, such as, but not limited to, turf and planting beds, shall be prepared in the following manner:

- Sub soils shall be native material free from any construction debris, stones larger than 3", organic material such as wood or dead plants larger than 2" in diameter. Any additional fill soil material brought onto site must be inspected by owner for suitability.
- Where Sub soils are backfilled or constructed in depths greater than 2 feet, each 2 foot lift shall be compacted to minimize subsidence.
- Sub grade to be graded to within 6" of contours called for on plan, to provide proper drainage and be free of standing water.
- Sub soils to be scarified and loosened to relieve surface compaction prior to placement of topsoil.
- After approval of subsoil grading, no additional equipment or vehicles may be driven on the area approved, except for equipment used in landscape operations. Any compaction or depressions must be corrected to reestablish proper sub grade as previously approved, prior to installation of topsoil and plant material.

#### TOPSOIL APPLICATION AND TREATMENT:

- After topsoil (6" minimum thickness) is graded to the proper elevations, the following materials shall be applied and tilled (mixed) into the top 4" of the surface:
  - Lime shall be evenly broadcast @ 190 lbs/1,000 sq. ft. (or as per soil test).
  - Soil Conditioner shall be evenly broadcast @ 50 lbs/1,000 sq. ft.
  - 10-25-25 Basic Fertilizer shall be evenly broadcast at the rate of 25 lbs/1,000 sq. ft.
  - Soil Amendment (Aqua or Iselite) is evenly mixed into the top 4" of the field surface.
- After incorporation of the above materials, the topsoil shall be re-firmed by dry-rolling (topsoil moisture content must be near zero percent) with a five (5) ton roller on a dual flotation tired agricultural tractor.
- The surface grades shall be surveyed and any undulations or irregularities resulting from applications and soil restructuring shall be corrected.
- Any stones larger than 2 inches in any dimension, shall be removed from the top 3" utilizing a mechanical rock picker.
- Final grading shall be accomplished utilizing an automatic draft sensing hydraulic land plane attached to a flotation tired agricultural tractor.
- Cultivate and restructure the topsoil to a depth of 3-4". Grade tolerance shall be held to 1/4" per foot.
- Cultivate and till the soil to a depth of 4-6" (depth may be limited by subsurface conditions).
- Re-grade, re-firm and rake the soil surface. This is a smoothing and leveling operation to establish the final crown contours and elevations.
- Final stone pick the surface of any stones larger than 1" in any dimension.

#### SEEDING AND MULCHING:

- Only Flotation Tired Equipment will be permitted after final grade approval.
- Drill seeding shall be accomplished by utilizing a 4' wide seeder constructed with 16 rows of steel slicers spaced 3" or less on center and capable of placing seed 1/4" into the surface at a rate of 8 lbs. per 1000 square feet.
- Seed shall be Villanova Mixture Lot No. L20M-4-FSVSM-2, as supplied by Fisher and Son Co., Inc., 237 King Street, Malvern, PA. 19355.
- Mulching - The Contractor shall mulch all newly seeded areas with salt hay, at the rate of 140 pounds per 1,000 square feet in accordance with DEP specifications.
- Provide manufacturer's fabric and straw combination to all seeded areas on banks 3 to 1 or steeper and where potential erosion may take place.

#### MAINTENANCE:

- Seeded low maintenance shall be for not less than 60 days after substantial completion.
  - If seeded in fall and not given full 60 days of maintenance, or if not considered acceptable at that time, continue maintenance the following spring until acceptable lawn is established.
- Maintain lawns by watering, fertilizing, weeding, mowing, trimming and other operations such as rolling, regrading and replanting, as required, to establish a smooth, acceptable lawn; free of eroded or bare areas.
- When seeding is completed, including maintenance, Owner will make an inspection to determine acceptability.
- When it becomes necessary, the Owner shall inform the Contractor of unsatisfactory conditions of erosion and sediment devices, at such time the Contractor shall improve the conditions of said devices to meet with the approval of the Owner.
- Should unforeseen erosive conditions develop during construction the Contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement.
- Seeded areas that have been washed away shall be filled and graded as necessary and then reseeded. This procedure shall be repeated after each storm or until no more signs of erosion are evident.

### FILL MATERIAL NOTES:

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the General Contractor.

#### DEFINITIONS:

**Clean Fill** is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).

**Clean Fill affected by a spill or release of a regulated substance:** Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".

Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions.

**Environmental due diligence:** The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. **Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substances.** If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

**NOTE:** Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at [www.pseeds.com](http://www.pseeds.com).

### UTILITY LINE TRENCH EXCAVATION

- Limit advanced clearing and grubbing operations to a distance equal to two times the length of the pipe installation that can be completed in one day.
- Work crews and equipment for trenching, pipe installation and backfilling shall be self-contained and separate from clearing, grubbing, site restoration and stabilization operations.
- All soil excavated from the trench shall be placed on the uphill side of the trench.
- Limit daily trench excavation to the length of pipe placement and backfilling that can be completed that same day.
- Water which accumulates in the open trench shall be completely removed by pumping before pipe placement and/or backfilling begins. Water removed from the trench shall be pumped through a filtration device.
- On the day following pipe placement and backfilling, the disturbed area shall be graded to final contours and appropriate temporary erosion and sediment pollution control measures/facilities shall be installed. Stabilization shall be done immediately after the backfilling is complete.

**aec**  
Associated Engineering Consultants Incorporated  
485 Dover Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3800 fax 610 688 4060  
www.aeceng.net

CHA | Structural | HVAC | Plumbing | Electrical | Fire Protection

SEAL

**DAVID C. BRANDT**  
ENGINEER  
27452-E  
PENNSYLVANIA

PROJECT

**EASTERN UNIVERSITY**  
PROPOSED STUDENT UNION BUILDING  
1300 EAGLE ROAD  
SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/18/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

**SOIL EROSION CONTROL DETAILS AND NOTES**

DRAWN BY: BJD  
CHECKED BY: KRM

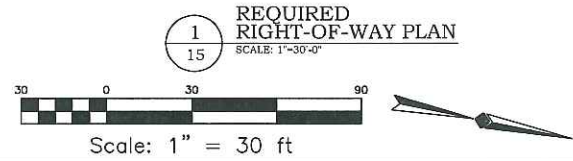
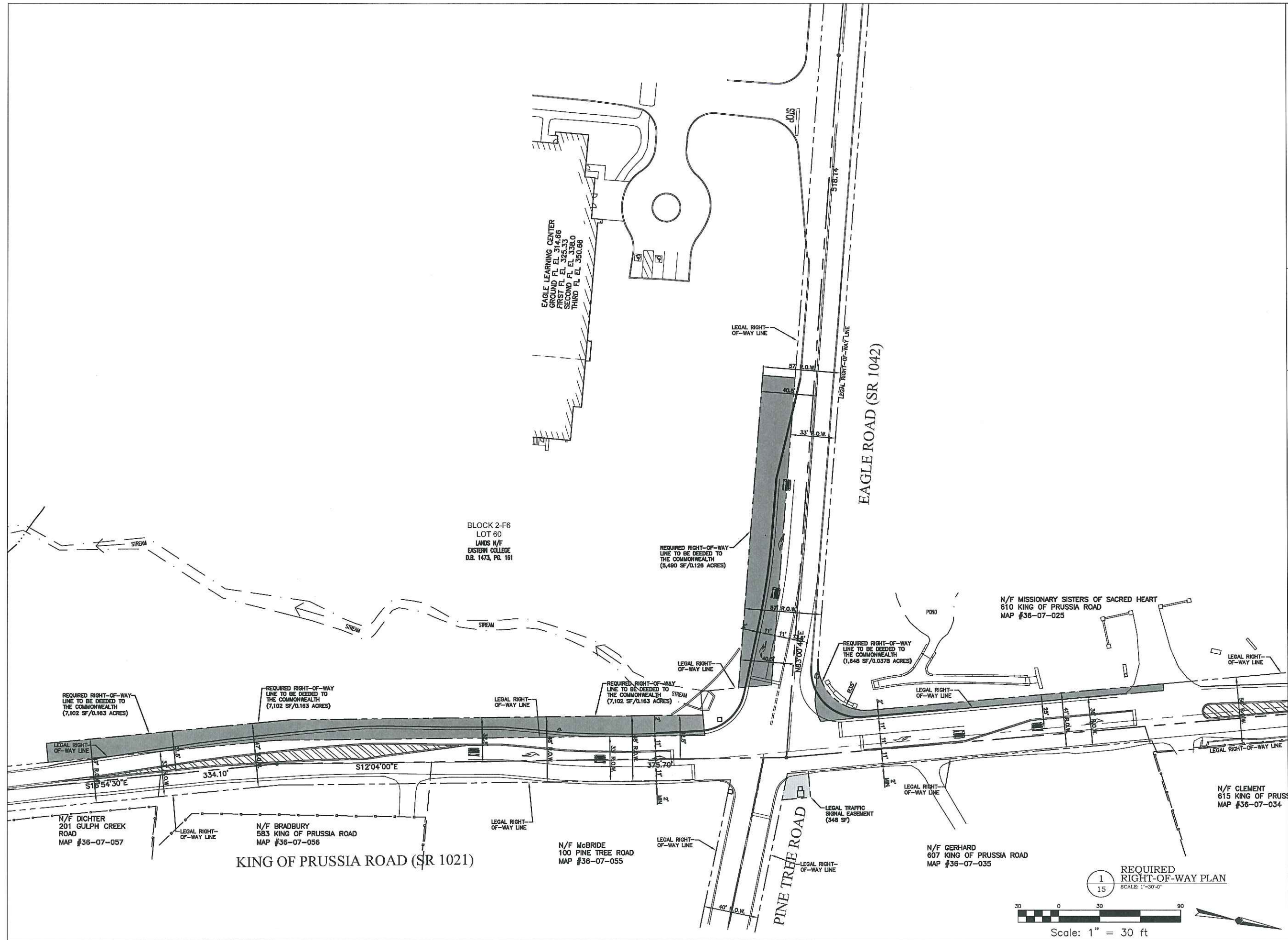
SHEET NO.

**14**

SHEET NO. 15 OF 19

PROJECT NO. 0124.051  
DATE: SEPTEMBER 13, 2010





**INTERSECTION IMPROVEMENTS**

**EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)**

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE: 11/18/11  
11/17/12  
08/28/12  
03/11/13

REVISION:  
H.O.P. SUBMISSION  
H.O.P. RESUBMISSION  
H.O.P. RESUBMISSION  
H.O.P. RESUBMISSION

SHEET TITLE:  
**REQUIRED RIGHT-OF-WAY PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.: **15**

SHEET NO. 16 OF 18

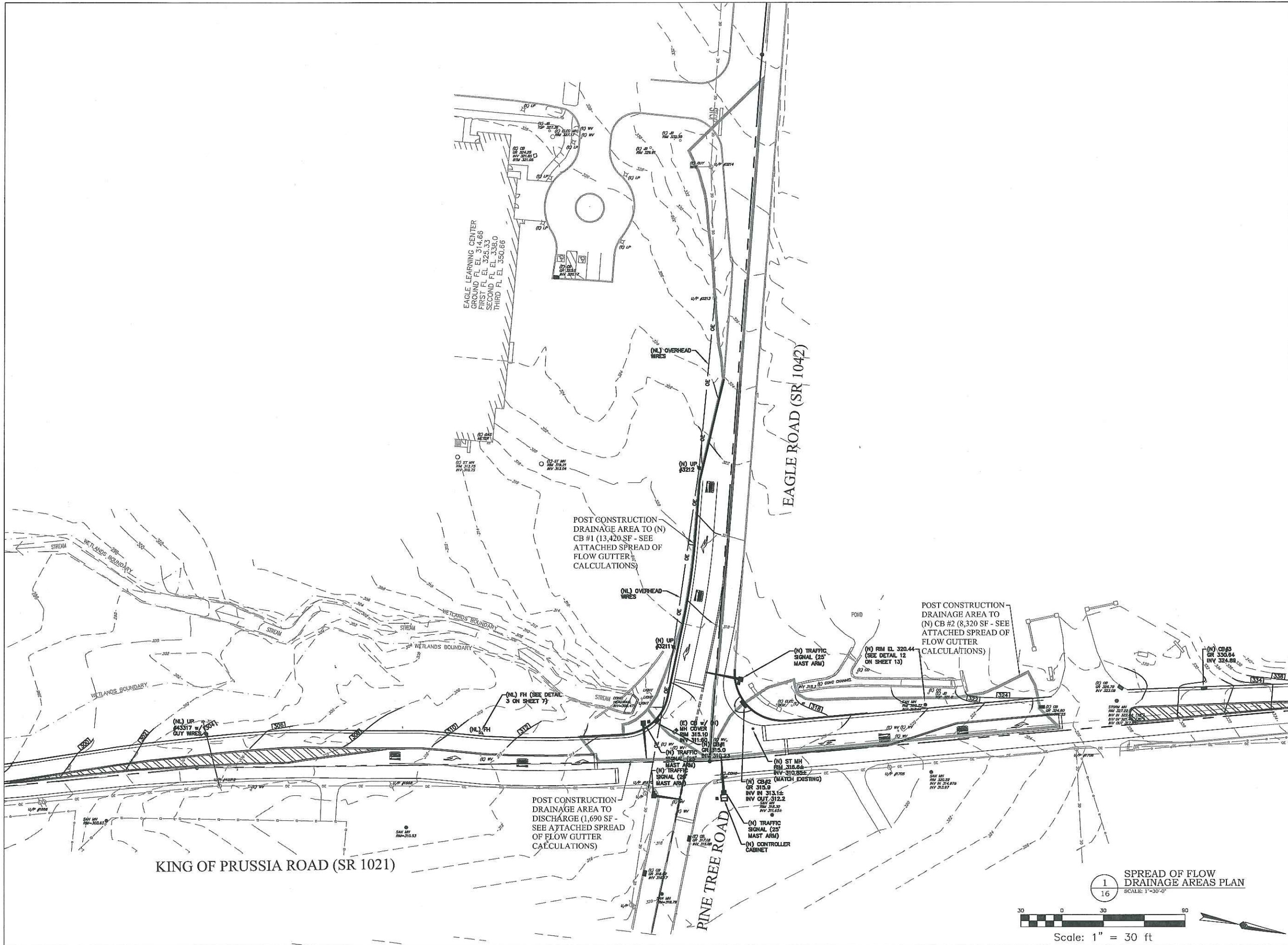
PROJECT NO.: 0124.057  
DATE: NOVEMBER 18, 2011


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Associated Engineering Consultants Incorporated  
405 Dover Park Drive Suite 113 Wayne Pennsylvania 19087 Tel: 610 688 3990 Fax: 610 688 4566  
www.aeceng.net

Civil Structural HVAC Plumbing Electrical Fire Protection




\\nas-proj\proj\0124\0124.dwg - 1st PRUSSIA ROAD, 1/1/2013 11:11:11 PM





Associated Engineering Consultants Incorporated  
405 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3900 fax 610 688 4566  
Civil Structural HVAC Plumbing Electrical Fire Protection www.aecengr.net

SEAL



DAVID C. BRANDT  
ENGINEER  
27452-E  
PENNSYLVANIA

PROJECT

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 11/19/11 | H.O.P. SUBMISSION   |
| 05/17/12 | H.O.P. RESUBMISSION |
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

**SPREAD OF FLOW DRAINAGE AREAS PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.

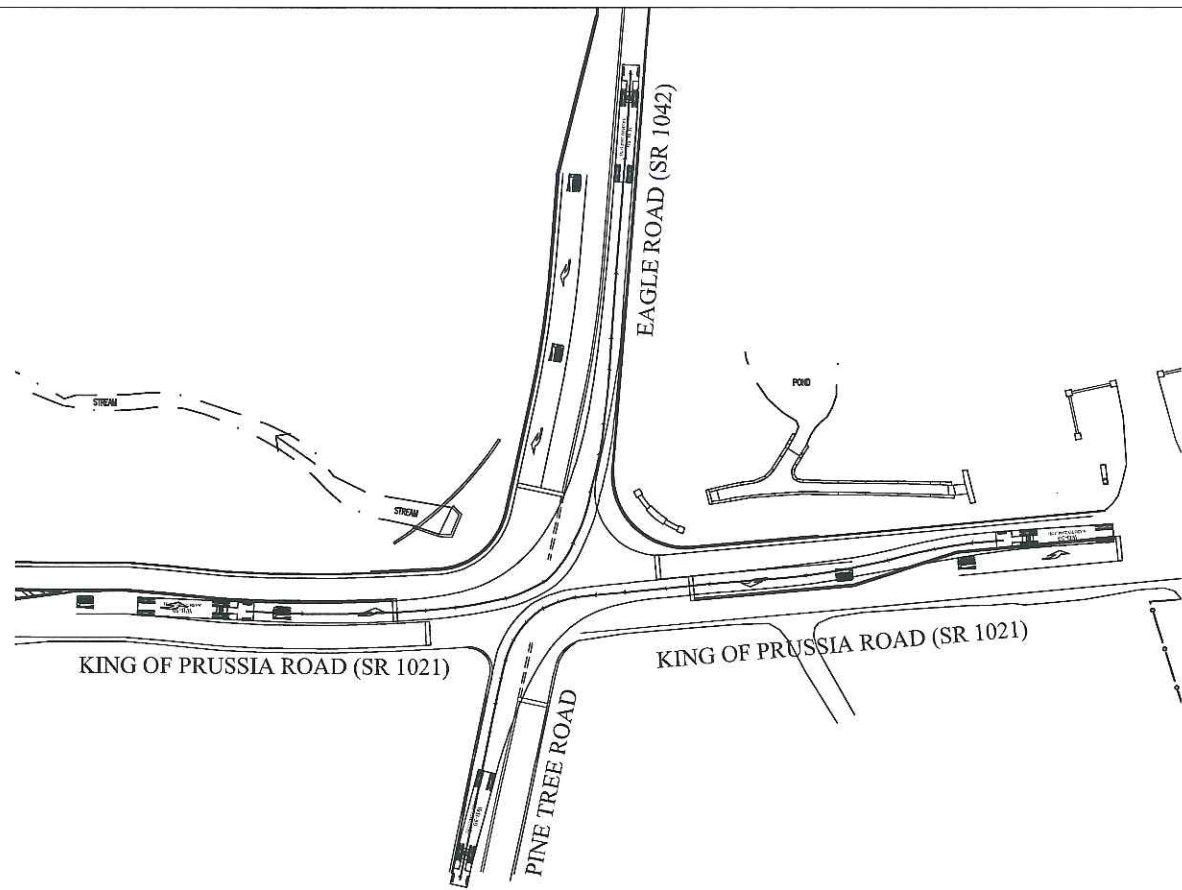
**16**

SHEET NO. 17 OF 19

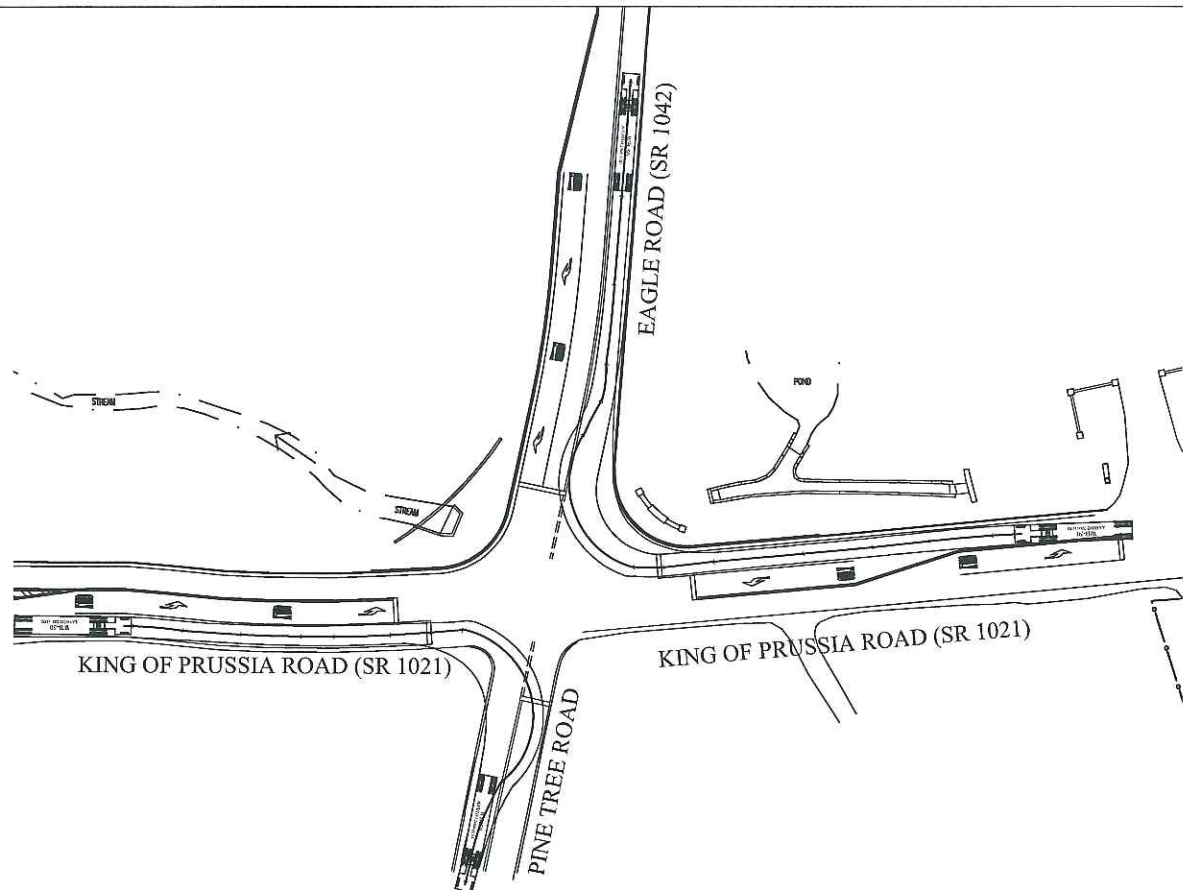
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



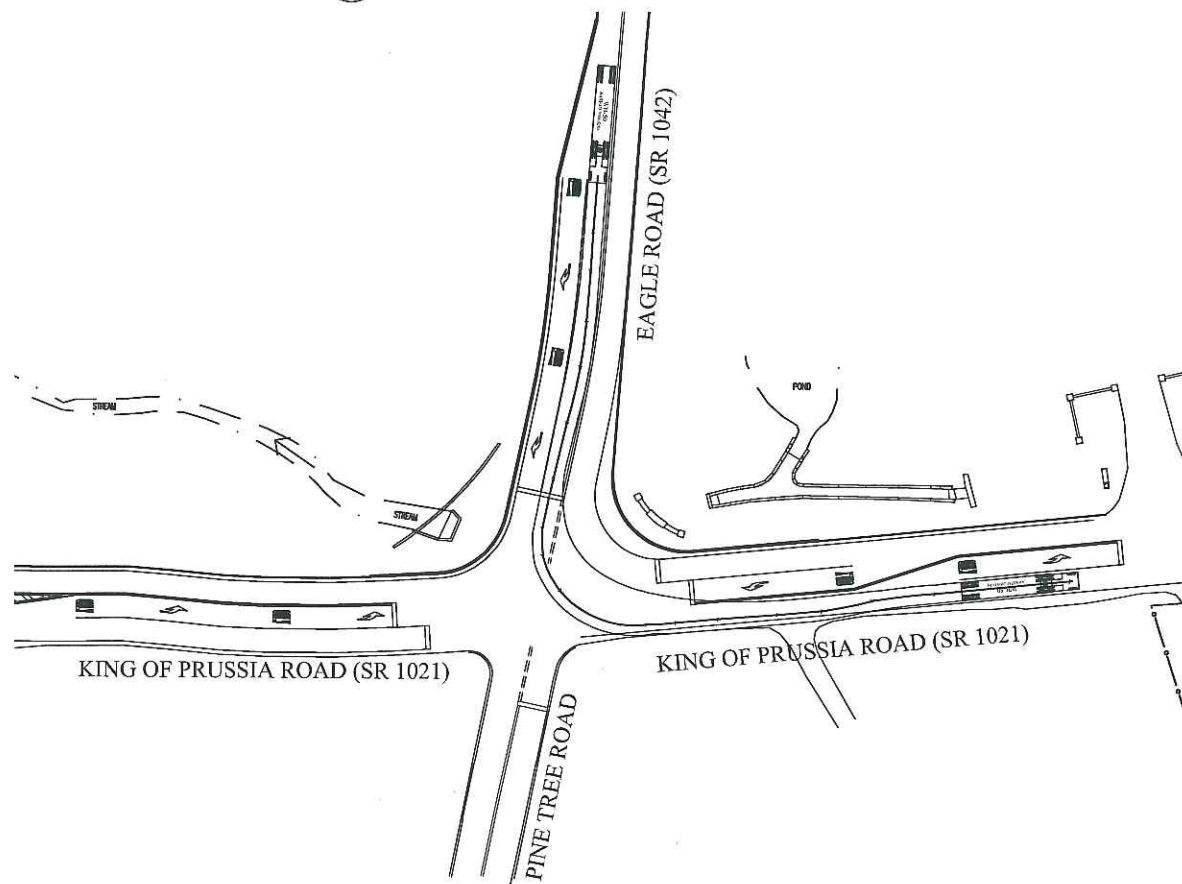
K:\ALC\_Projects\124\0124\001\Drawings\14\_Site Plans.dwg, 3/16/2013 2:38:42 PM



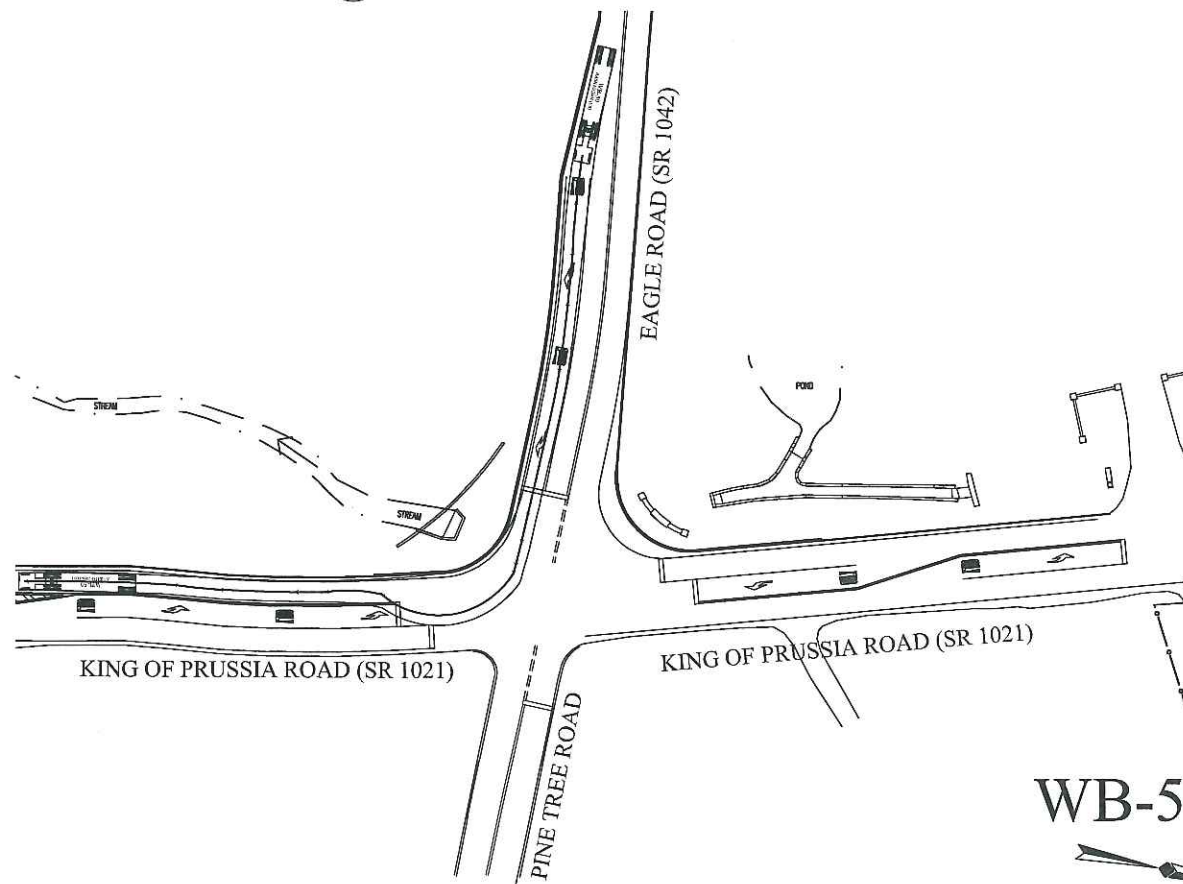
1  
17  
S.R. 1021 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



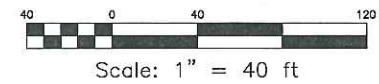
3  
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S.R. 1021 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"




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S.R. 1042 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"




4  
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S.R. 1042 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



WB-50

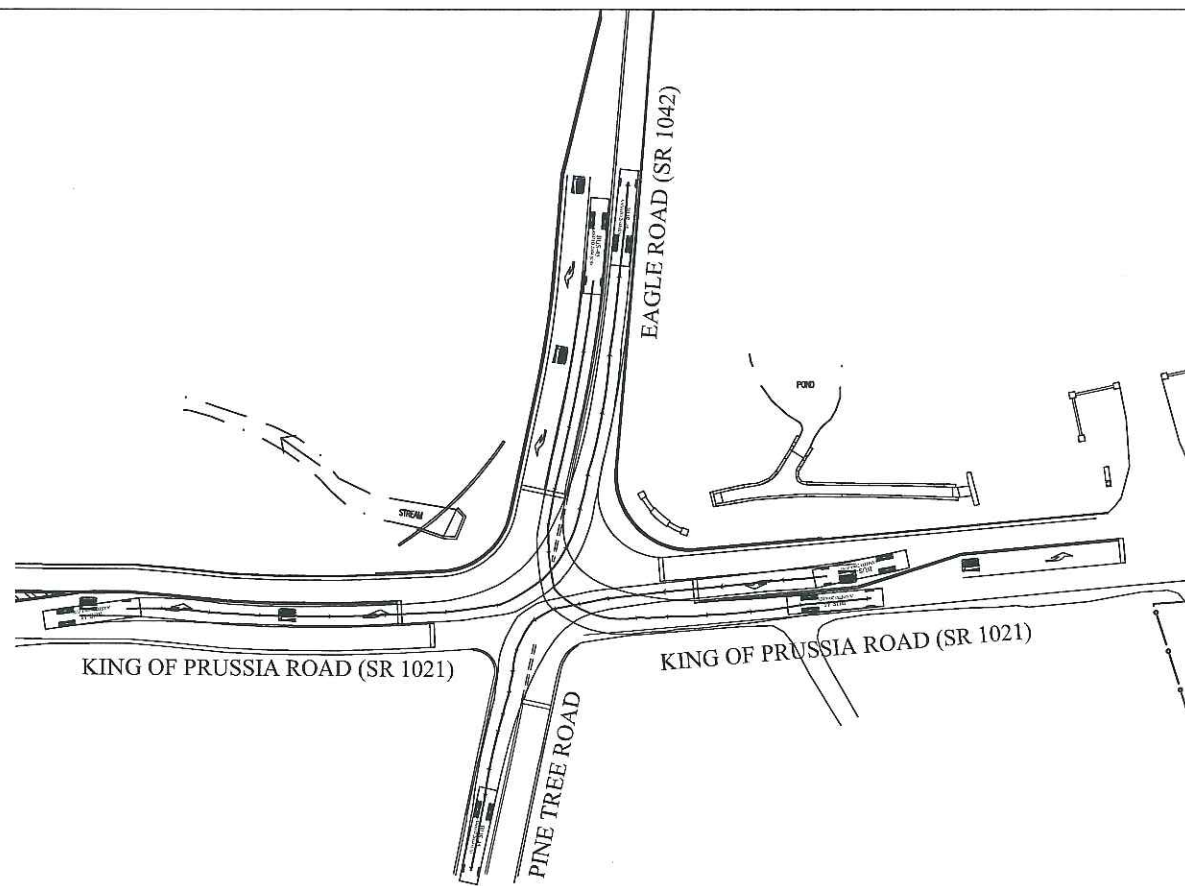
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| EAGLE ROAD (S.R. 1042) AND<br>KING OF PRUSSIA ROAD (S.R. 1021)                      |                     |
| SAINT DAVIDS, PENNSYLVANIA 19087<br>RADNOR TOWNSHIP, DELAWARE COUNTY                |                     |
| DATE                                                                                | REVISION            |
| 08/28/12                                                                            | H.O.P. RESUBMISSION |
| 03/11/13                                                                            | H.O.P. RESUBMISSION |
| SHEET TITLE                                                                         |                     |
| TRUCK TURNING<br>MANEUVERS<br>PLAN                                                  |                     |
| DRAWN BY:                                                                           | BJD                 |
| CHECKED BY:                                                                         | KRM                 |
| SHEET NO.                                                                           |                     |
| 17                                                                                  |                     |
| SHEET NO. 18 OF 19                                                                  |                     |
| PROJECT NO. 0124.057                                                                |                     |
| DATE: NOVEMBER 18, 2011                                                             |                     |



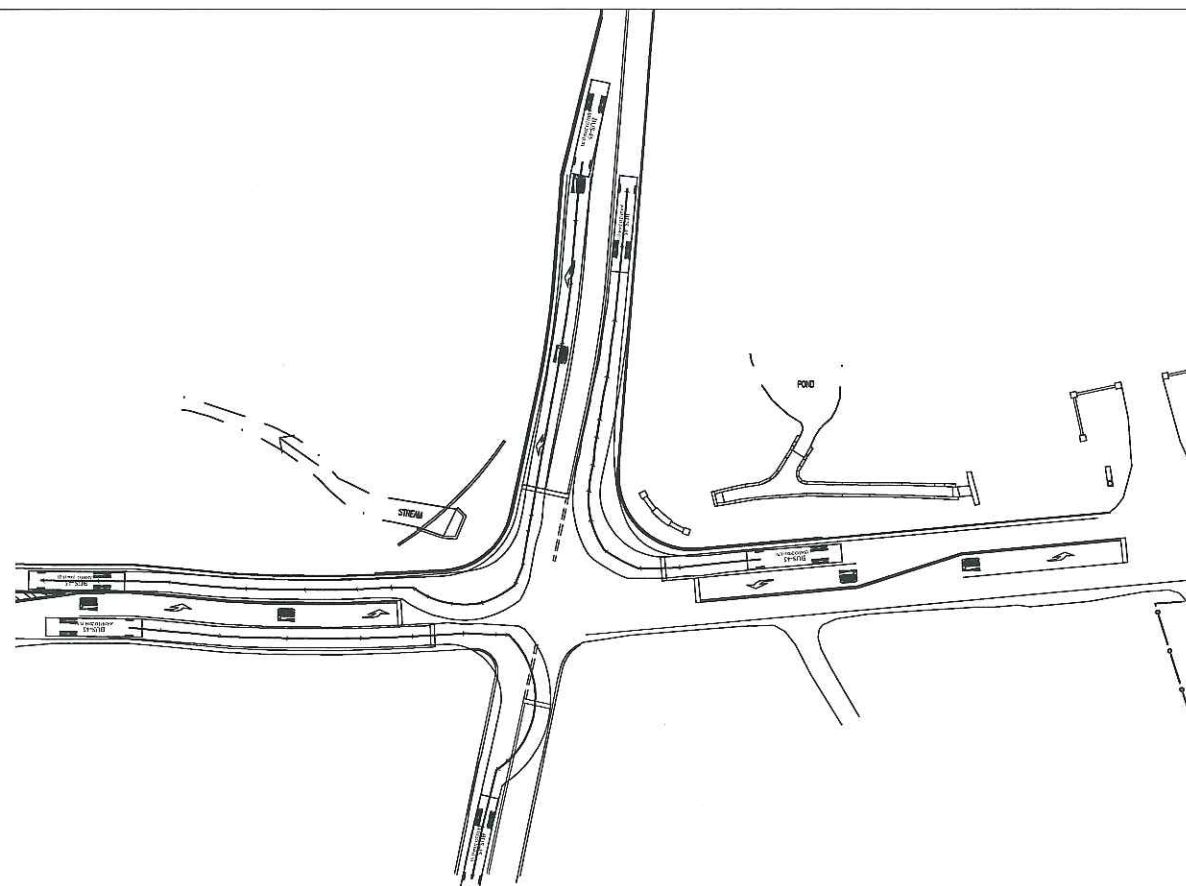
Associated Engineering Consultants Incorporated  
465 Dewart Park Drive, Suite 113 Wayne Pennsylvania 19087 Tel 610 688 3960 Fax 610 688 4566  
www.aecengr.net

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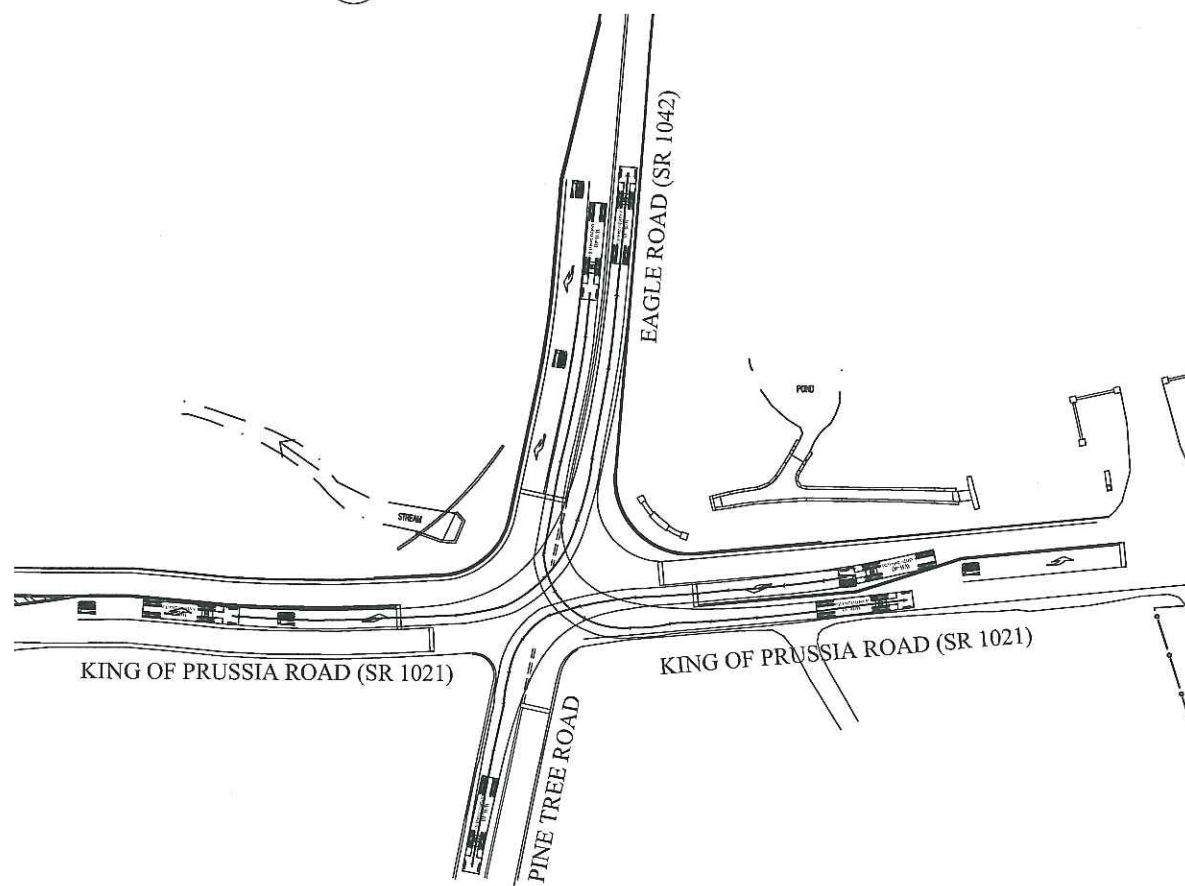




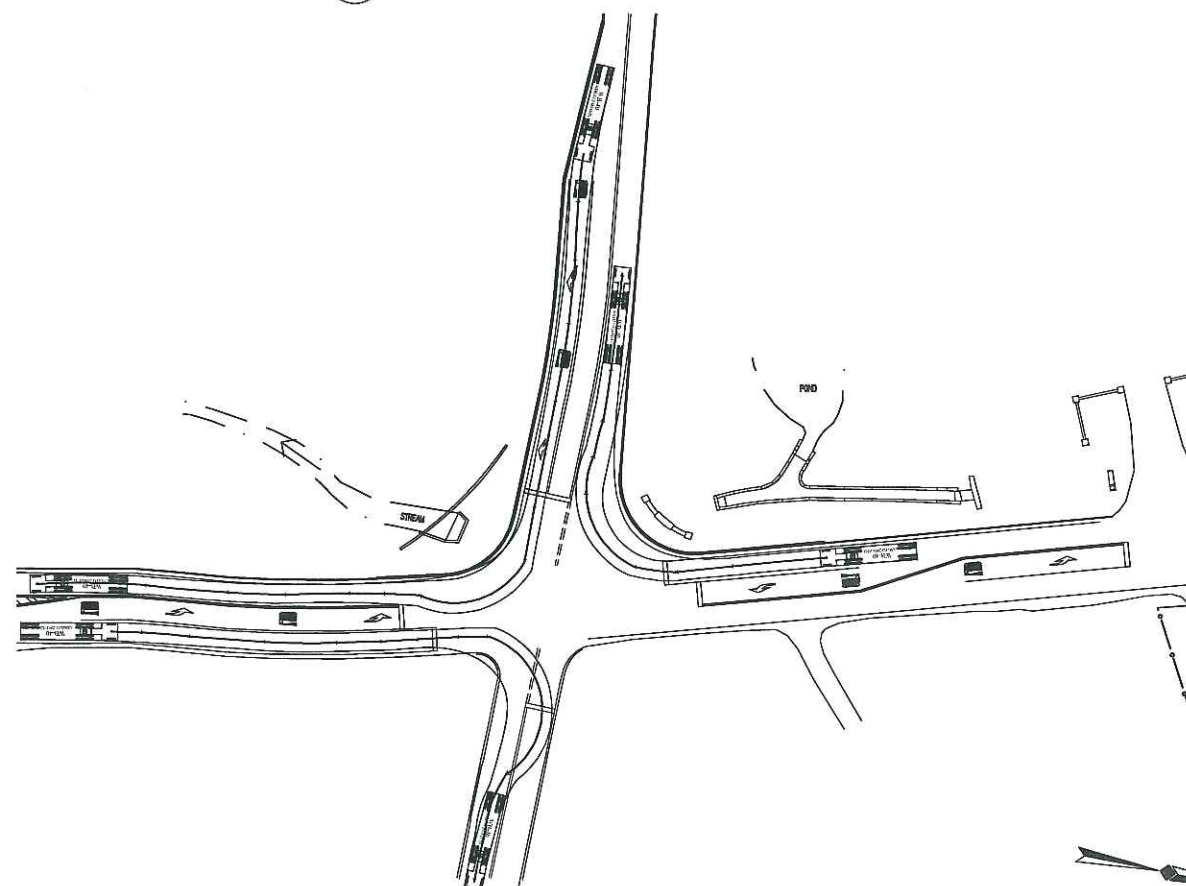
1 45' BUS LEFT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



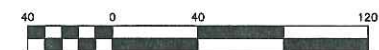
3 45' BUS RIGHT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



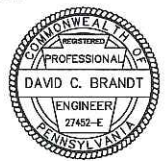
2 WB-40 LEFT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



4 WB-40 RIGHT TURN MANEUVERS PLAN  
18 SCALE: 1"=40'-0"



SEAL



| PROJECT | INTERSECTION IMPROVEMENTS |
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EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 08/28/12 | H.O.P. RESUBMISSION |
| 03/11/13 | H.O.P. RESUBMISSION |

SHEET TITLE

### TRUCK TURNING MANEUVERS PLAN

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.

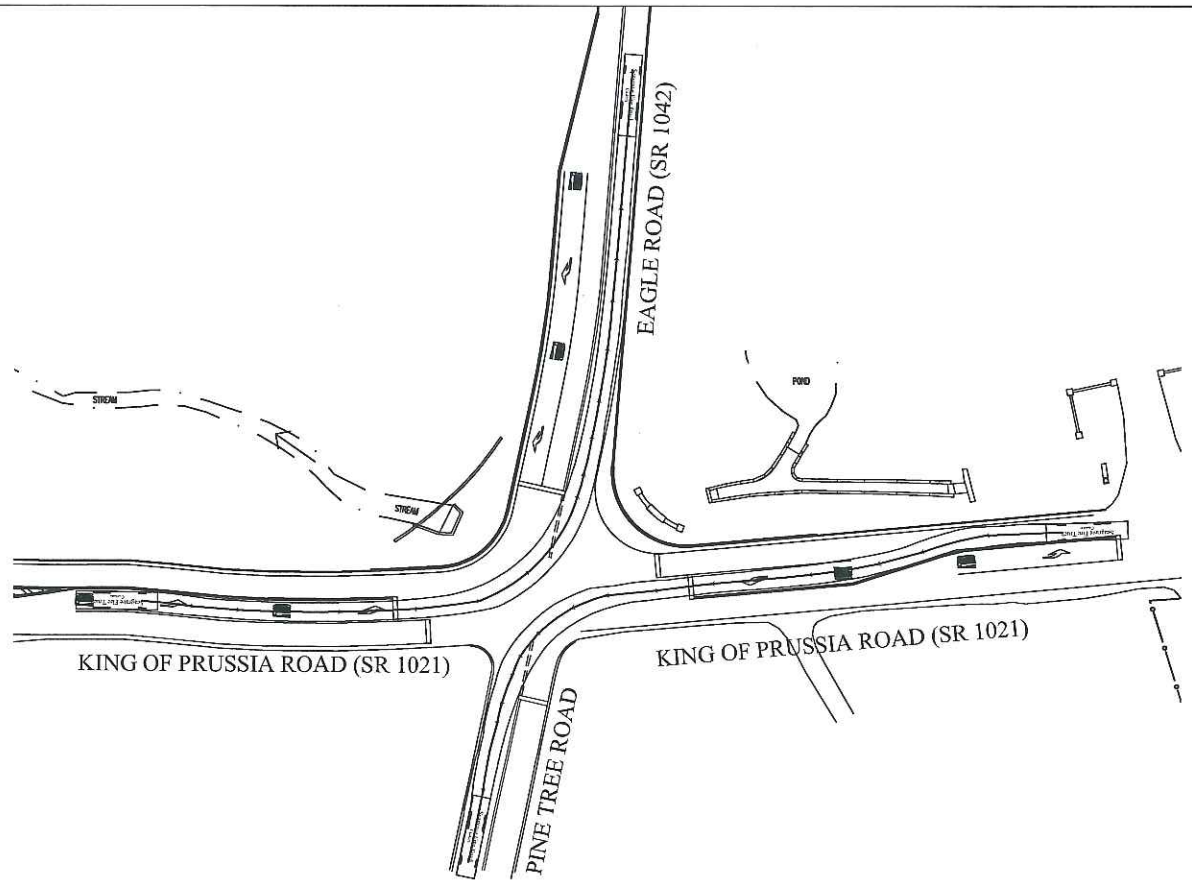
18

SHEET NO. 19 OF 19

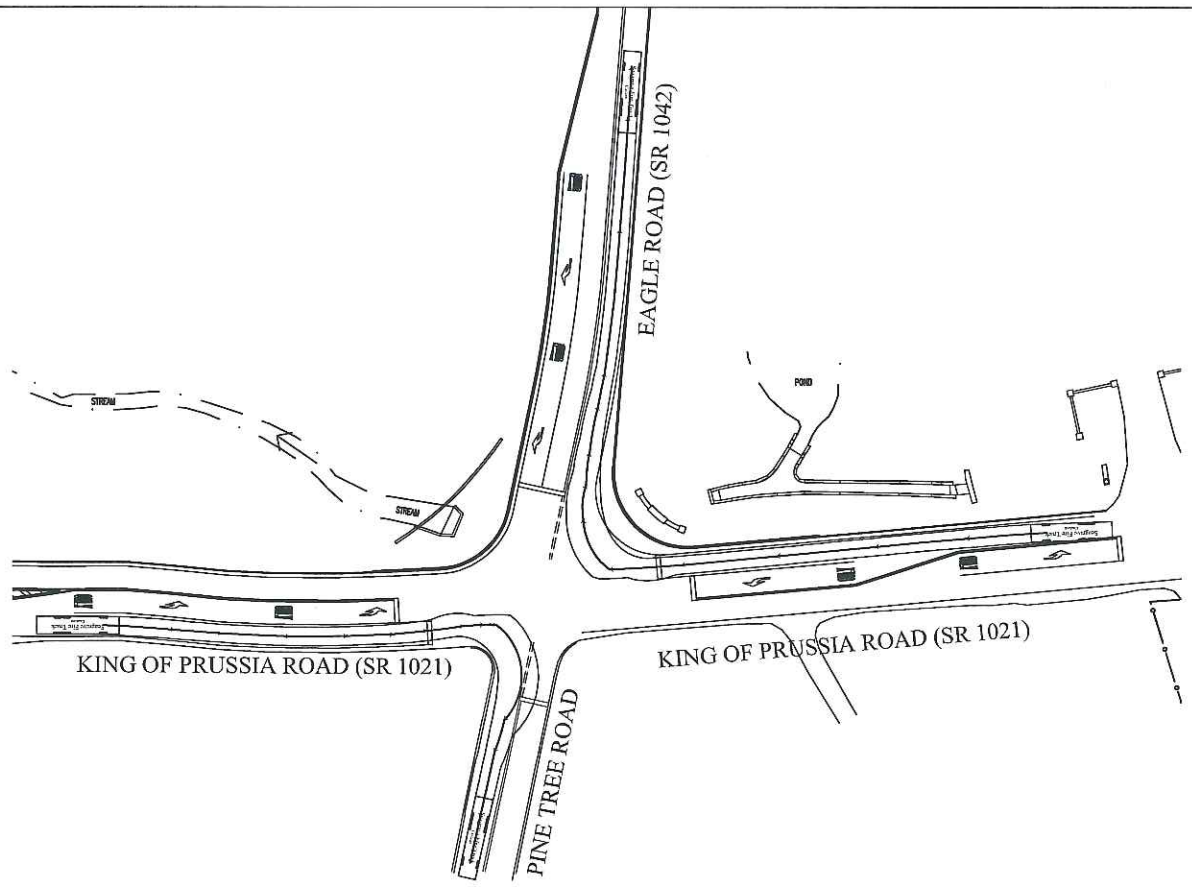
PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011



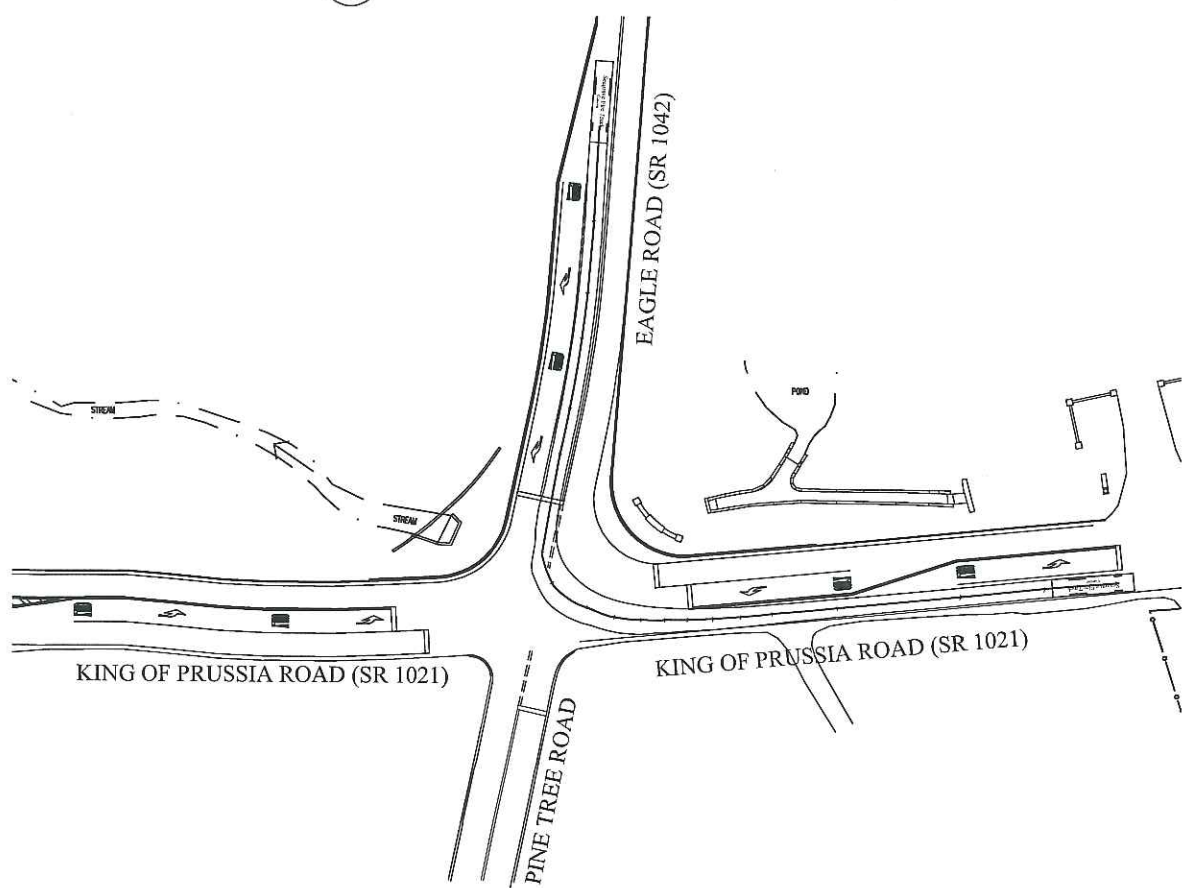
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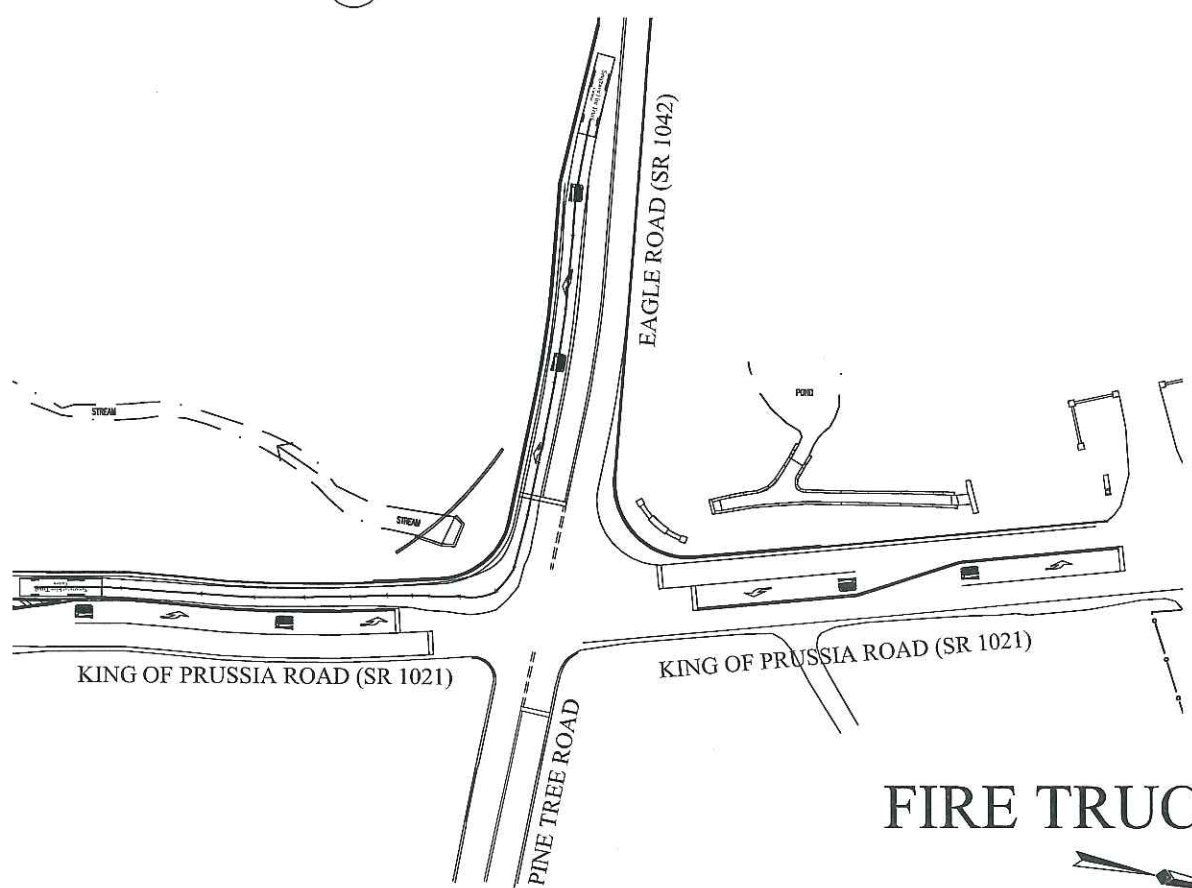
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S.R. 1021 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



3  
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S.R. 1021 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



2  
19  
S.R. 1042 LEFT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"



4  
19  
S.R. 1042 RIGHT TURN MANEUVERS PLAN  
SCALE: 1"=40'-0"

**FIRE TRUCK**

Scale: 1" = 40 ft

SEAL

**INTERSECTION IMPROVEMENTS**

EAGLE ROAD (S.R. 1042) AND  
KING OF PRUSSIA ROAD (S.R. 1021)

SAINT DAVIDS, PENNSYLVANIA 19087  
RADNOR TOWNSHIP, DELAWARE COUNTY

| DATE     | REVISION            |
|----------|---------------------|
| 03/11/13 | H.O.P. RESUBMISSION |
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SHEET TITLE

**FIRE TRUCK  
TURNING  
MANEUVERS  
PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.

**19**

SHEET NO. 20 OF 20

PROJECT NO. 0124.057  
DATE: NOVEMBER 18, 2011

Associated Engineering Consultants Incorporated  
485 Covent Park Drive Suite 113 Wayne, Pennsylvania 19087 Tel: 610.681.3890 Fax: 610.681.4500  
www.aecgroup.net

Civil Structural HVAC Plumbing Electrical Fire Protection



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
[www.radnor.com](http://www.radnor.com)

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

October 3, 2017

David J. Bratina  
PennDOT Office of Multimodal Transportation  
Commonwealth Keystone Building  
400 North Street, 8th Floor  
Harrisburg, PA 17120-3457

RE: King of Prussia Road and Eagle Road Intersection Improvements Project, Radnor Township

Dear Mr. Bratina,

I am writing to acknowledge the intention of Radnor Township, in Delaware County, to submit an approximately \$958,188 Multimodal Transportation Fund grant request to complete roadway and pedestrian safety improvements at the intersection of King of Prussia and Eagle Roads in Radnor Township, PA. The municipality is partnering with Cabrini University and Eastern University to complete the project.

Grant funds received from PennDOT will be used to address congestion and multimodal circulation concerns at the intersection of King of Prussia and Eagle Roads. The improvements involve the overall enlargement of the intersection, including: the addition of a northbound turn lane off of King of Prussia Road; signal improvements; repaving; new signage; and related streetscape and stormwater management enhancements.

Cabrini University, Eastern University and Radnor Township will provide the matching funds for this project. The municipality is committed to providing one third (1/3), up to \$136,884, of the \$410,652 in matching funds towards the anticipated \$1,861,398 in total project costs. Collateral for the municipal match is the Township's taxing authority.

Thank you for your consideration of Radnor's MTF request. Should you have any questions about the project or the municipality's committed match funding, please contact me at (610) 688-5600 or [rzienkowski@radnor.org](mailto:rzienkowski@radnor.org).

Sincerely,

Robert A. Zienkowski  
Township Manager and Secretary



**PHILIP M. AHR**  
*President*

**ELAINE P. SCHAEFER**  
*Vice President*

**JAMES C. HIGGINS, ESQ.**

**LUCAS A. CLARK, ESQ.**

**DON CURLEY**

**JOHN NAGLE**

**RICHARD F. BOOKER, ESQ.**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
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Phone (610) 688-5600

Fax (610) 971-0450

[www.radnor.com](http://www.radnor.com)

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

October 18, 2017

Daniel P. Farley  
Chief, Traffic Operations Deployment and Maintenance Section  
Bureau of Maintenance and Operations, Transportation Operations Division  
Pennsylvania Department of Transportation  
400 North Street  
Harrisburg, PA 17120-0064

Re: King of Prussia Road and Eagle Road Signal Improvements Project, Radnor Township,  
Funding Commitment Letter

Dear Mr. Farley,

On behalf of Radnor Township, by virtue of Radnor Township Resolution #2017-120, I am submitting this letter as demonstration of the municipality's commitment to provide match funding for the King of Prussia Road and Eagle Road Signal Improvements Project. The Township is requesting \$394,046 in Green Light – Go Program funding to complete this project.

Green Light-Go funds will support improvements and related costs to enhance the efficiency and operation of an existing traffic signal at King of Prussia and Eagle Road, adjacent to Cabrini University and Eastern University. The signal improvements are part of a set of road and pedestrian improvements at the intersection that are intended to improve overall safety and mobility of Township residents and commuters, as well as students, staff and visitors to the Cabrini and Eastern campuses.

The Township is partnering with Cabrini and Eastern Universities to complete the King of Prussia and Eagle Road improvements, with each entity committed to providing one third (1/3) of the local matching funds. Radnor Township is committed to providing a total of \$32,837 in municipal funds for the Green Light-Go project, equal to one third (1/3) of the required \$98,512 in total matching funds. The municipal matching funds are 100% secured and committed to the project. The combined contributions of Cabrini University, Eastern University and Radnor Township represent a match of twenty (20) percent. Please accept this letter as demonstration of Radnor Township's commitment to the project and to providing the matching funds as outlined above.



If you have any questions regarding the municipality's funding commitment in the amount of \$32,837, I welcome you or your staff to contact me directly at (610) 688-5600 or [rzienkowski@radnor.org](mailto:rzienkowski@radnor.org) with questions about the project and funding sources.

Sincerely,

Robert Zienkowski  
Township Manager and Secretary





# Radnor Township Intersection Improvements (KOP Road/Eagle Road)

PennDOT Applications

## Green Light-Go Program

The Green Light-Go Program supports improvements to the efficiency and operation of existing traffic signals, including LED replacement, traffic signal retiming, study and removal of unwanted traffic-control signals, monitoring, innovative technologies, connections back to traffic management center (TMC), detection and/or controller upgrades, modernizations upgrades, and Intelligent Transportation System (ITS) applications. New traffic signals and routine maintenance are not eligible for Green Light-Go funding.

*Funding to be requested to support the improvements to the signal at the intersection of King of Prussia Road and Eagle Road, and related costs, estimated to be \$492,558.*

**Applicant:** Radnor Township

**Application Lead:** Cabrini University

**Application Deadline:** November 9, 2017

**Funding Decisions:** January 2018

**Local Cost Share Requirement:** 20% of total project costs (to be provided in thirds by Radnor Township, Eastern University and Cabrini University)

### Required Municipal Documents:

- Funding commitment letter identifying source of local matching funds  
(See Draft: *GLG Match Funding Commitment Letter\_Radnor Township\_KOP\_Eagle Roads\_10.17.2017.doc*)

## Multimodal Transportation Fund (MTF) Program

The Multimodal Transportation Fund Program supports the development, rehabilitation and enhancement of transportation assets to existing communities, streetscape, lighting, sidewalk enhancement, pedestrian safety, connectivity of transportation assets and transit-oriented development.

*Funding to be requested to support the complete scope of improvements at the intersection of King of Prussia Road and Eagle Road, including: the addition of a northbound turn lane off of King of Prussia Road; signal improvements; repaving; new signage; and related streetscape and stormwater management enhancements. These improvements are currently estimated to cost \$1,861,398.*

**Applicant:** Radnor Township

**Application Lead:** Cabrini University

**Application Deadline:** Anticipated mid-December 2017

**Funding Decisions:** Summer – Early Fall 2018



**Local Cost Share Requirement:** 30% of total project costs (to be provided in thirds by Radnor Township, Eastern University and Cabrini University)

**Required Municipal Documents:**

- Authorized official resolution  
(see Draft: *Radnor Township KOP\_Eagle Roads PennDOT MTF Resolution\_10.17.2017.doc* )
- Funding commitment letter identifying source of local matching funds  
(See Draft: *MTF Match Funding Commitment Letter\_Radnor Township\_KOP\_Eagle Roads\_10.17.2017.doc*)
- Most recent audited financial statement for Radnor Township

## Possible Funding Scenarios:

*Assuming a Green Light-Go cost estimate of \$492,558, full funding of the grant requests and equal cost share between the Township, Cabrini University and Eastern University.*

| <u>Green-Light Go Award Only</u>    |             | Party Share<br>(1/3) |
|-------------------------------------|-------------|----------------------|
| Total Project Cost for Application: | \$492,558   |                      |
| PennDOT GLG Grant:                  | \$394,046   |                      |
| Local Match (20%):                  | \$98,512    | \$32,837             |
| Non-GLG Balance:                    | \$1,368,840 | \$456,280            |
| <b>Each Party's Total Share:</b>    |             | <b>\$489,117</b>     |

|                                      |             |                  |
|--------------------------------------|-------------|------------------|
| <u>PennDOT Multimodal Grant Only</u> | \$1,861,398 |                  |
| PennDOT MTF Grant:                   | \$1,302,979 |                  |
| Local Match (30%):                   | \$558,419   | \$186,140        |
| <b>Each Party's Total Share:</b>     |             | <b>\$186,140</b> |

Green Light-Go (\$492,558) and PennDOT MTF (\$1,368,840) Full Funding:

|                                       |           |                  |
|---------------------------------------|-----------|------------------|
| Green Light Go Grant:                 | \$394,046 |                  |
| GLG Local Match (20%):                | \$98,512  | \$32,837         |
| Multimodal Transportation Fund Grant: | \$958,188 |                  |
| MTF Local Match (30%):                | \$410,652 | \$136,884        |
| <b>Each Party's Total Share:</b>      |           | <b>\$169,721</b> |



# Capital Plan Discussion



**RESOLUTION 2017-115  
TOWNSHIP OF RADNOR**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE  
COUNTY, PENNSYLVANIA, ADOPTING THE 2018 TOWNSHIP  
MANAGER'S RECOMMENDED BUDGET (V1) AS THE  
PRELIMINARY RECOMMENDED COMPREHENSIVE BUDGET  
FOR THE FISCAL YEAR ENDING DECEMBER 31, 2018**

**WHEREAS**, Article VII, Section 7.06(2) of the Radnor Township Home Rule Charter ("Charter") requires that no later than 60 days prior to the end of the fiscal year, that the Board shall approve the recommended comprehensive budget; and

**WHEREAS**, the 2018 Township Manager's Recommended Budget (v1), which includes the five-year capital plan and five-year forecast, shall serve as the recommended comprehensive budget; and

**WHEREAS**, Article VII, Section 7.06(A)(3) further stipulates that the final comprehensive budget must be approved no later than 20 days before the end of the year; and

**WHEREAS**, the Board of Commissioners has scheduled various public hearing dates to review the recommended comprehensive budget in November 2017 which will provide the public and Board the opportunity to review and make changes to the recommended comprehensive budget.

**NOW, THEREFORE**, be it hereby **RESOLVED** that The Radnor Township Board of Commissioners hereby adopts on, a preliminary basis, the 2018 Township Manager Recommended Budget (v1) as the recommended comprehensive budget pursuant to §7.06(A)(2), subject to future review and amendment by the Board of Commissioners prior to final approval.

**RESOLVED** this 23<sup>rd</sup> day of October, 2017.

TOWNSHIP OF RADNOR

By: \_\_\_\_\_  
Elaine Schaefer, Vice-President

Attest: \_\_\_\_\_  
Robert A Zienkowski, Township Manager / Secretary



# Radnor Township

## PROPOSED LEGISLATION



**DATE:** October 18, 2017

**TO:** Board of Commissioners

**FROM:** William M. White, Finance Director

A handwritten signature in black ink, appearing to read "W. White", is placed over the name "William M. White" in the "FROM:" line.

**LEGISLATION:** A resolution adopting the preliminary budget pursuant to the home rule Charter Chapter §7.06A(2) which requires that the recommended comprehensive budget be passed no later than 60 days before the end of the fiscal year.

**LEGISLATIVE HISTORY:** The 2018 Township Manager Recommended Budget (v1) was submitted to the Board of Commissioners and published on the Township's website on October 18, 2017 and is meant to serve at the initial recommended comprehensive budget for 2018.

**PURPOSE AND EXPLANATION:** The sole purpose of this legislation is to satisfy Chapter §7.07A(2) of the Charter. As described in the legislation and pursuant to the Chapter §7.07A(3), the Board of Commissioners and the public will have opportunities to comment on the recommended comprehensive budget prior to its final adoption in December 2017.

**FISCAL IMPACT:** There is no fiscal impact associated with this approval.

**RECOMMENDED ACTION:** For no other reason than to satisfy Chapter §7.07A(2) of the Charter and to keep the 2018 budget process moving forward, the Administration recommends that the Board adopt the 2018 Township Manager's Recommended Budget (v1) (recommended comprehensive budget) as submitted.



# Q3 Finance Update Presentation