

Serial Number: 2016-011-1937

CALL BEFORE YOU DIG! PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776



THE FOLLOWING COMPANIES WERE NOTIFIED BY PENNSYLVANIA ONE CALL SYSTEM, INC. 1-800-242-1776 AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. SERIAL NUMBER(S): 20141072620

Table with columns: UTILITY COMPANY, PHONE NUMBER. Lists AT & T, PECO, ZAYO BANDWIDTH, AQUA PENNSYLVANIA, INC., LEVEL 3, VERIZON, COMCAST CABLE, MCI, RADNOR TOWNSHIP.

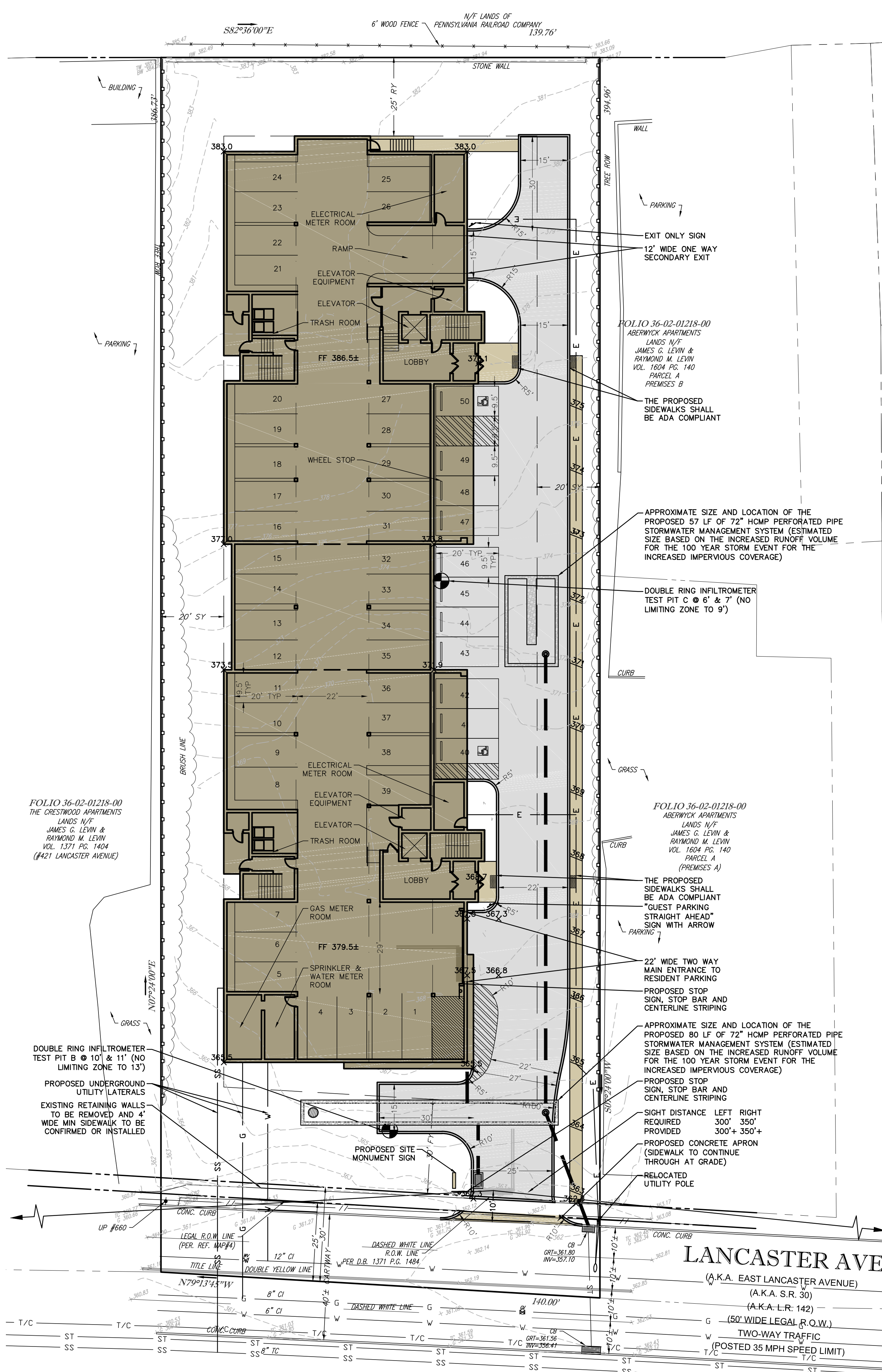
LEGEND

- Legend items: EXISTING CONTOUR, EXISTING SPOT ELEVATION, EXIST. TOP OF CURB ELEVATION, EXIST. GUTTER ELEVATION, EXIST. TOP OF WALL ELEVATION, EXIST. BOTTOM OF WALL ELEVATION, EXIST. FINISHED FLOOR ELEVATION, WATER VALVE, UNKNOWN VALVE, GAS VALVE, GAS METER, OVERHEAD WIRES, APPROX. LOC. UNDERGROUND GAS LINE, APPROX. LOC. UNDERGROUND TEL. LINE, APPROX. LOC. UNDERGROUND WATER LINE, UTILITY POLE, UTILITY POLE/LIGHT POLE, SIGN, MAIL BOX, ABOVE GROUND, UNDER GROUND, DEPRESSED CURB, EDGE OF PAVEMENT, LANDSCAPED AREA, RAILROAD TIE WALL, TYPICAL, WATER MANHOLE, CATCH BASIN OR INLET, PARKING SPACE COUNT, DEPRESSED CURB, DEED DESIGNATION, OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE, SOLID YELLOW LINE, DOUBLE YELLOW LINE, HEIGHT, DASHED WHITE LINE, BUILDING, ELEVATION.

- Proposed Building, Proposed Paving, Proposed Impervious Walks, Walls, Etc.

SOILS INFORMATION table with columns: SYMBOL, NAME, SLOPE, HYDROLOGIC GROUP, DEPTH TO WATER BEDROCK, DEPTH TO WATER BEDROCK.

NOTES: IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.



ZONING DATA R-6 (RESIDENCE DISTRICT): REQUIRED, EXISTING, PROPOSED. Columns include MINIMUM LOT SIZE, MINIMUM LOT AREA PER UNIT, MAXIMUM BUILDING COVERAGE, MINIMUM FRONT YARD, MINIMUM SIDE YARD, MINIMUM REAR YARD, MAXIMUM IMPERVIOUS COVERAGE, MAXIMUM BUILDING HEIGHT, MAXIMUM BUILDING LENGTH, MINIMUM PARKING.

- NOTES: 1. EXISTING NON-COMFORMITY. 2. LOT AREA PER UNIT BASED ON CONSOLIDATED LOT AREA. 3. IMPERVIOUS PERCENTAGES BASED ON CONSOLIDATED SITE AREA. 4. FOR MORE DETAILED INFORMATION REFER TO THE ZONING CODE OF RADNOR TOWNSHIP, LATEST EDITION.

EXISTING LOT DATA: TAX FOLIO NUMBER, TAX MAP NUMBER, SITE AREA, LOT AREA.

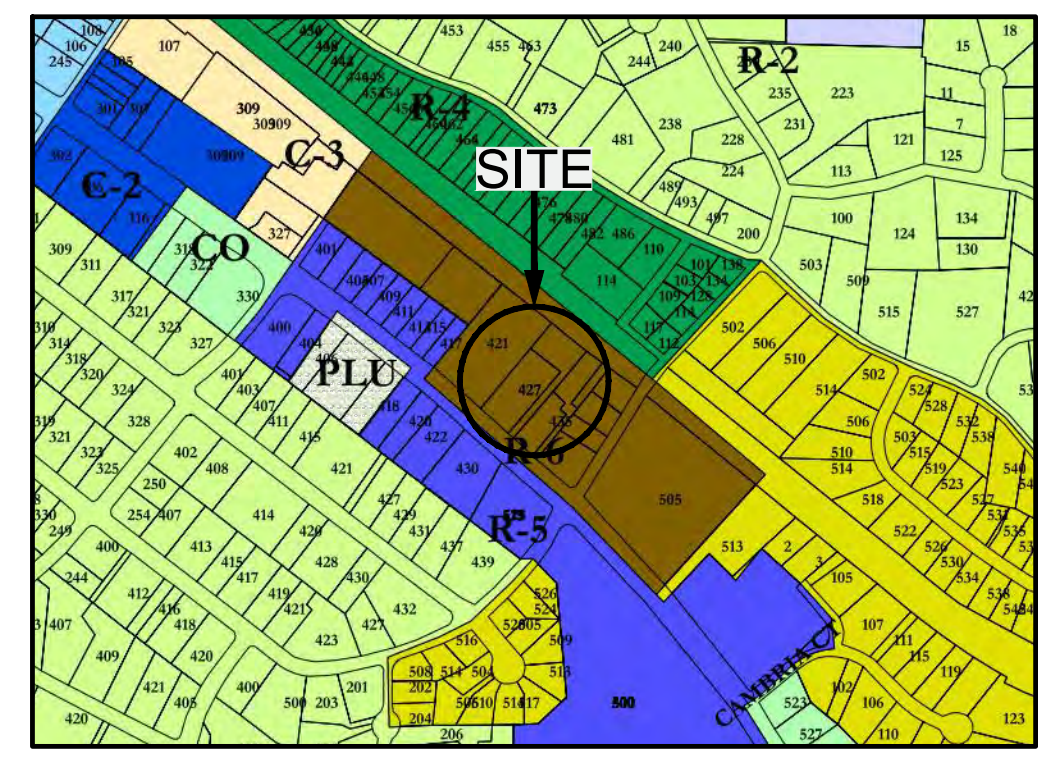
CONSOLIDATED LOT DATA: TAX FOLIO NUMBER, TAX MAP NUMBER, SITE AREA, LOT AREA.

EXISTING IMPERVIOUS COVERAGE: BUILDINGS & PORCHES, WALKS, PATIOS, ASPHALT DRIVES, GRAVEL DRIVES, OTHER.

PROPOSED IMPERVIOUS COVERAGE: BUILDINGS, WALKS, DRIVES, OTHER.

- GENERAL NOTES: 1. THESE PLANS ARE BASED ON THE NOTED REFERENCES AND THE INTENT OF THESE PLANS IS TO ILLUSTRATE A 22 UNIT MULTI-FAMILY DEVELOPMENT AS PERMITTED BY THE RADNOR TOWNSHIP R-6 ZONING DISTRICT. THE UNITS WILL BE A MIX OF 2 AND 3 BEDROOM UNITS. 2. THE MAJORITY OF THE EXISTING FEATURES WILL BE REMOVED AS SHOWN ON THE DEMOLITION PLAN. 3. THIS PROJECT WILL BE DEVELOPED AS A PLANNED COMMUNITY OR A CONDOMINIUM. 4. TRASH AND SNOW REMOVAL WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION. COMMON DUMPSTER AREAS ARE SHOWN ON THE PLAN. A WASTECADDY OR SIMILAR PRODUCT WILL BE USED TO WHEEL THE DUMPSTERS OUT OF THE GARAGE. 5. THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT FACILITIES WILL BE THE OBLIGATION OF THE HOME OWNERS ASSOCIATION. 6. THE PROPERTY SHALL BE GRADED SO THAT RUNOFF FROM THE MAJORITY OF THE PROPOSED DEVELOPMENT WILL BE DIRECTED TO AND COLLECTED BY A SERIES OF INLETS AND SWALES AND CONVEYED TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM WHICH WILL PROVIDE THE TOWNSHIP AND DEP. REQUIRED RATE AND VOLUME CONTROLS. THE COLLECTED RUNOFF WILL BE OVER-CONTROLLED BY THE STORMWATER FACILITIES TO COMPENSATE FOR THE RUNOFF FROM THE REMAINING SITE AREAS THAT ARE UNCONTROLLED. OVERFLOW FROM THE PROPOSED STORMWATER MANAGEMENT FACILITIES WILL BE PIPED TO EXISTING STORM SEWER FACILITIES LOCATED IN LANCASTER AVENUE. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 7. THE DEVELOPMENT WILL BE SERVICED BY A NEW GRAVITY SEWER LATERAL WHICH WILL CONNECT TO EXISTING SEWER MAIN IN LANCASTER AVENUE. 8. THE DEVELOPMENT WILL BE SERVICED BY NEW WATER LATERAL WHICH WILL CONNECT TO EXISTING WATER MAIN IN LANCASTER AVENUE. 9. ALL PROPOSED UTILITY LINES SHALL BE UNDERGROUND WHERE FEASIBLE. 10. LIGHTING WILL BE PROVIDED FOR THE PROPOSED PARKING AND PEDESTRIAN WALKWAYS IN ACCORDANCE WITH TOWNSHIP CODES INCLUDING 280-105.E. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 11. THE PROPOSED MONUMENT SIGN SHALL BE INSTALLED IN ACCORDANCE WITH TOWNSHIP CODES INCLUDING 280-121.C. 12. LANDSCAPING WILL BE PROVIDED IN ACCORDANCE WITH THE TOWNSHIP CODES. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 13. TYPICAL EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED FOR THE CONSTRUCTION OF THIS PROPERTY INCLUDING A STABILIZED CONSTRUCTION ENTRANCE, FILTER SOCKS, SILT FENCE, INLET PROTECTION, TOPSOIL STOCKPILES SURROUNDED BY SILT FENCE AND EROSION CONTROL MATTING, ETC. AS WELL AS OTHER TYPICAL EROSION CONTROL MEASURES INCLUDING LIMITING SITE DISTURBANCE, IMMEDIATE STABILIZATION, ETC. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 14. THE PROJECT'S RECEIVING WATERCOURSE IS ITHAN CREEK WHICH IS PART OF THE DARBY CREEK WATERSHED AND THE CHAPTER 93 CLASSIFICATION IS CWF, MF. 15. A LOW VOLUME HIGHWAY OCCUPANCY PERMIT SHALL BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR ANY WORK PROPOSED WITHIN THE STATE RIGHT OF WAY. 16. AS REQUIRED BY PENNDOT, DURING CONSTRUCTION, PEDESTRIAN ACCESSIBLE ROUTES MUST BE MAINTAINED OR TEMPORARY FACILITIES PROVIDED FOR ALL EXISTING PEDESTRIAN ROUTES ALONG LANCASTER AVENUE (SR 30). 17. THE APPLICANT SHALL PAY A FEE IN LIEU OF PROVIDING PARK AND RECREATION LAND IN ACCORDANCE WITH 255-43.1. 18. PROPOSED WALKWAYS SLOPES SHALL NOT EXCEED 5%.

AVERAGE BUILDING GRADE CALCULATIONS: FRONT, BACK. Columns include ELEV, AVERAGE, LENGTH, PRODUCT.



REFERENCE PLANS: 1. BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR RADNOR FAMILY PRACTICE BY CONTROL POINT ASSOCIATES, INC., CHALFONT, PA, DATED MAY 2, 2014 AND LAST REVISED MAY 14, 2014. FILE NO. CP14056. 2. ZONING MAP OBTAINED ELECTRONICALLY FROM THE RADNOR TOWNSHIP WEBSITE. 3. LIDAR TOPOGRAPHY AND OTHER GIS OBTAINED ELECTRONICALLY FROM SHAPE FILES DISTRIBUTED BY DELAWARE VALLEY REGIONAL PLANNING COMMISSION. FILES WERE OBTAINED VIA WWW.PASDPSJEDU. 4. AERIAL PHOTOGRAPH "PA_X24_Y082" & "PA_X25_Y082" PROVIDED BY DELAWARE VALLEY REGIONAL PLANNING COMMISSION AND AERIAL PHOTOMETRY ACCESSED ELECTRONICALLY AT MAPS.GOOGLE.COM. 5. SOILS INFORMATION VIA THE NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY (WEBSOILSURVEY.SCGOV.USDA.GOV).

- REFERENCE PLAN #1 NOTES: 1. PROPERTY KNOWN AS FOLIO 36-02-01219-00 & 36-02-01219-01, BLOCK 61 AS IDENTIFIED ON THE TAX MAPS OF DELAWARE COUNTY, RADNOR TOWNSHIP, COMMONWEALTH OF PENNSYLVANIA. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PERMITTED BY THE RADNOR TOWNSHIP R-6 ZONING DISTRICT. THE UNITS WILL BE A MIX OF 2 AND 3 BEDROOM UNITS. 2. THE MAJORITY OF THE EXISTING FEATURES WILL BE REMOVED AS SHOWN ON THE DEMOLITION PLAN. 3. THIS PROJECT WILL BE DEVELOPED AS A PLANNED COMMUNITY OR A CONDOMINIUM. 4. TRASH AND SNOW REMOVAL WILL BE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION. COMMON DUMPSTER AREAS ARE SHOWN ON THE PLAN. A WASTECADDY OR SIMILAR PRODUCT WILL BE USED TO WHEEL THE DUMPSTERS OUT OF THE GARAGE. 5. THE RESPONSIBILITY FOR THE CONTINUED MAINTENANCE AND OPERATION OF THE STORMWATER MANAGEMENT FACILITIES WILL BE THE OBLIGATION OF THE HOME OWNERS ASSOCIATION. 6. THE PROPERTY SHALL BE GRADED SO THAT RUNOFF FROM THE MAJORITY OF THE PROPOSED DEVELOPMENT WILL BE DIRECTED TO AND COLLECTED BY A SERIES OF INLETS AND SWALES AND CONVEYED TO THE UNDERGROUND STORMWATER MANAGEMENT SYSTEM WHICH WILL PROVIDE THE TOWNSHIP AND DEP. REQUIRED RATE AND VOLUME CONTROLS. THE COLLECTED RUNOFF WILL BE OVER-CONTROLLED BY THE STORMWATER FACILITIES TO COMPENSATE FOR THE RUNOFF FROM THE REMAINING SITE AREAS THAT ARE UNCONTROLLED. OVERFLOW FROM THE PROPOSED STORMWATER MANAGEMENT FACILITIES WILL BE PIPED TO EXISTING STORM SEWER FACILITIES LOCATED IN LANCASTER AVENUE. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 7. THE DEVELOPMENT WILL BE SERVICED BY A NEW GRAVITY SEWER LATERAL WHICH WILL CONNECT TO EXISTING SEWER MAIN IN LANCASTER AVENUE. 8. THE DEVELOPMENT WILL BE SERVICED BY NEW WATER LATERAL WHICH WILL CONNECT TO EXISTING WATER MAIN IN LANCASTER AVENUE. 9. ALL PROPOSED UTILITY LINES SHALL BE UNDERGROUND WHERE FEASIBLE. 10. LIGHTING WILL BE PROVIDED FOR THE PROPOSED PARKING AND PEDESTRIAN WALKWAYS IN ACCORDANCE WITH TOWNSHIP CODES INCLUDING 280-105.E. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 11. THE PROPOSED MONUMENT SIGN SHALL BE INSTALLED IN ACCORDANCE WITH TOWNSHIP CODES INCLUDING 280-121.C. 12. LANDSCAPING WILL BE PROVIDED IN ACCORDANCE WITH THE TOWNSHIP CODES. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 13. TYPICAL EROSION AND SEDIMENTATION CONTROLS WILL BE PROVIDED FOR THE CONSTRUCTION OF THIS PROPERTY INCLUDING A STABILIZED CONSTRUCTION ENTRANCE, FILTER SOCKS, SILT FENCE, INLET PROTECTION, TOPSOIL STOCKPILES SURROUNDED BY SILT FENCE AND EROSION CONTROL MATTING, ETC. AS WELL AS OTHER TYPICAL EROSION CONTROL MEASURES INCLUDING LIMITING SITE DISTURBANCE, IMMEDIATE STABILIZATION, ETC. ADDITIONAL INFORMATION WILL BE PROVIDED WITH THE FINAL LAND DEVELOPMENT PLANS. 14. THE PROJECT'S RECEIVING WATERCOURSE IS ITHAN CREEK WHICH IS PART OF THE DARBY CREEK WATERSHED AND THE CHAPTER 93 CLASSIFICATION IS CWF, MF. 15. A LOW VOLUME HIGHWAY OCCUPANCY PERMIT SHALL BE OBTAINED FROM THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION FOR ANY WORK PROPOSED WITHIN THE STATE RIGHT OF WAY. 16. AS REQUIRED BY PENNDOT, DURING CONSTRUCTION, PEDESTRIAN ACCESSIBLE ROUTES MUST BE MAINTAINED OR TEMPORARY FACILITIES PROVIDED FOR ALL EXISTING PEDESTRIAN ROUTES ALONG LANCASTER AVENUE (SR 30). 17. THE APPLICANT SHALL PAY A FEE IN LIEU OF PROVIDING PARK AND RECREATION LAND IN ACCORDANCE WITH 255-43.1. 18. PROPOSED WALKWAYS SLOPES SHALL NOT EXCEED 5%.

RECORD OWNER: WALKER FAMILY PROPERTIES, LLP 427 EAST LANCASTER AVENUE WAYNE, PA 19087

EQUITABLE OWNER: 427 LANCASTER AVE, LLC 44 PAPER MILL ROAD NEWTOWN SQUARE, PA 19073

COMMONWEALTH OF PENNSYLVANIA COUNTY OF

ON THIS THE DAY OF 20, BEFORE ME, THE UNDERSIGNED PERSONALLY APPEARED DAVID SCOTT BREHMAN, MEMBER OF 427 E. LANCASTER, LLC, WHO BEING DULY SWORN ACCORDING TO LAW DEPOSES AND SAYS THAT 427 E. LANCASTER, LLC IS THE EQUITABLE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE LAND DEVELOPMENT PLAN WAS MADE AT HIS DISCRETION AS SUCH MEMBER AND THAT HE ACKNOWLEDGES THE SAME TO BE THE ACT AND PLAN OF 427 E. LANCASTER, LLC AND DESIRES THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

427 E. LANCASTER, LLC

BY: NAME: DAVID SCOTT BREHMAN TITLE: MEMBER

WITNESS MY HAND AND SEAL THE DAY AND YEAR AFORESAID.

NOTARY SIGNATURE MY COMMISSION EXPIRES:

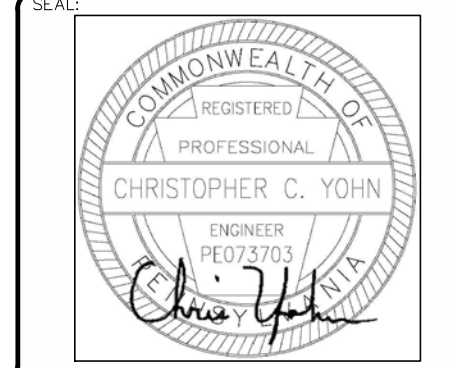
SCALE: 1" = 20'

PROJECT: PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT PROJECT ADDRESS: 427 EAST LANCASTER AVENUE, WAYNE, PA 19087 MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY

PLAN SET: PRELIMINARY PLANS SHEET NAME: ILLUSTRATIVE SITE PLAN

DATE: DECEMBER 31, 2015 SCALE: 1" = 20' ONE CALL NUMBER: 2016-011-1937 DRAWN BY: CCY PROJECT NUMBER: 15-031

PREPARED BY: YOHN ENGINEERING, LLC 555 SECOND AVENUE, SUITE G-110 COLLEGEVILLE, PA 19426 610-489-4580 WWW.YOHNEENGINEERING.COM



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Table with columns: UTILITY COMPANY, PHONE NUMBER. Lists AT & T, PECO, ZAYO BANDWIDTH, AQUA PENNSYLVANIA, INC., VERIZON, COMCAST CABLE, RADNOR TOWNSHIP.

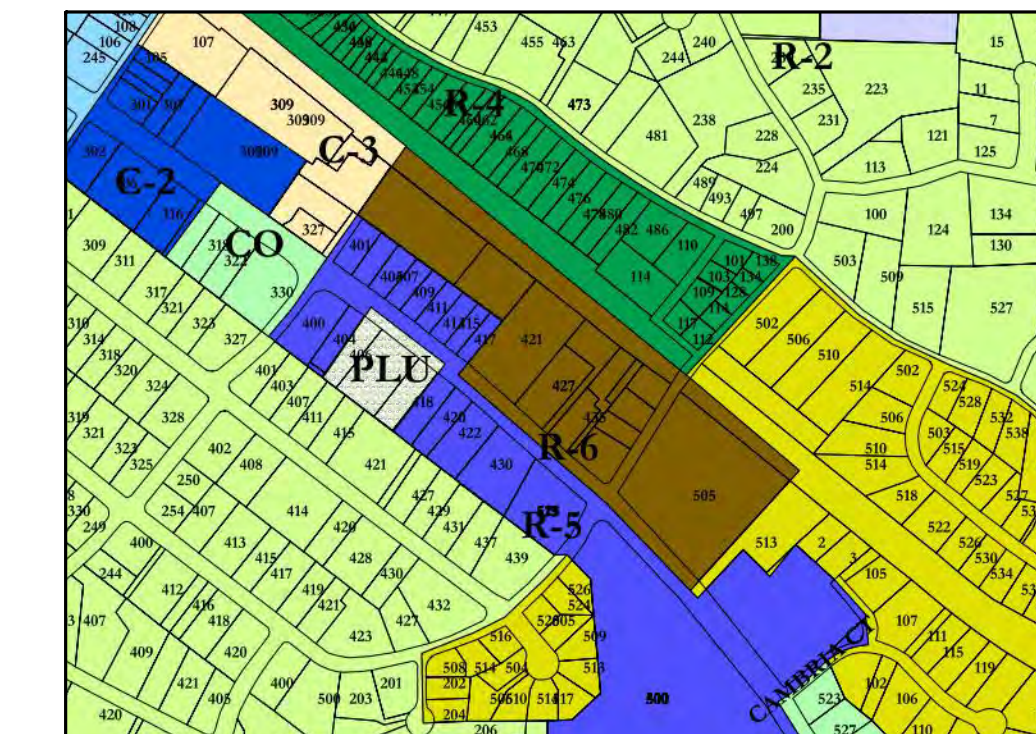
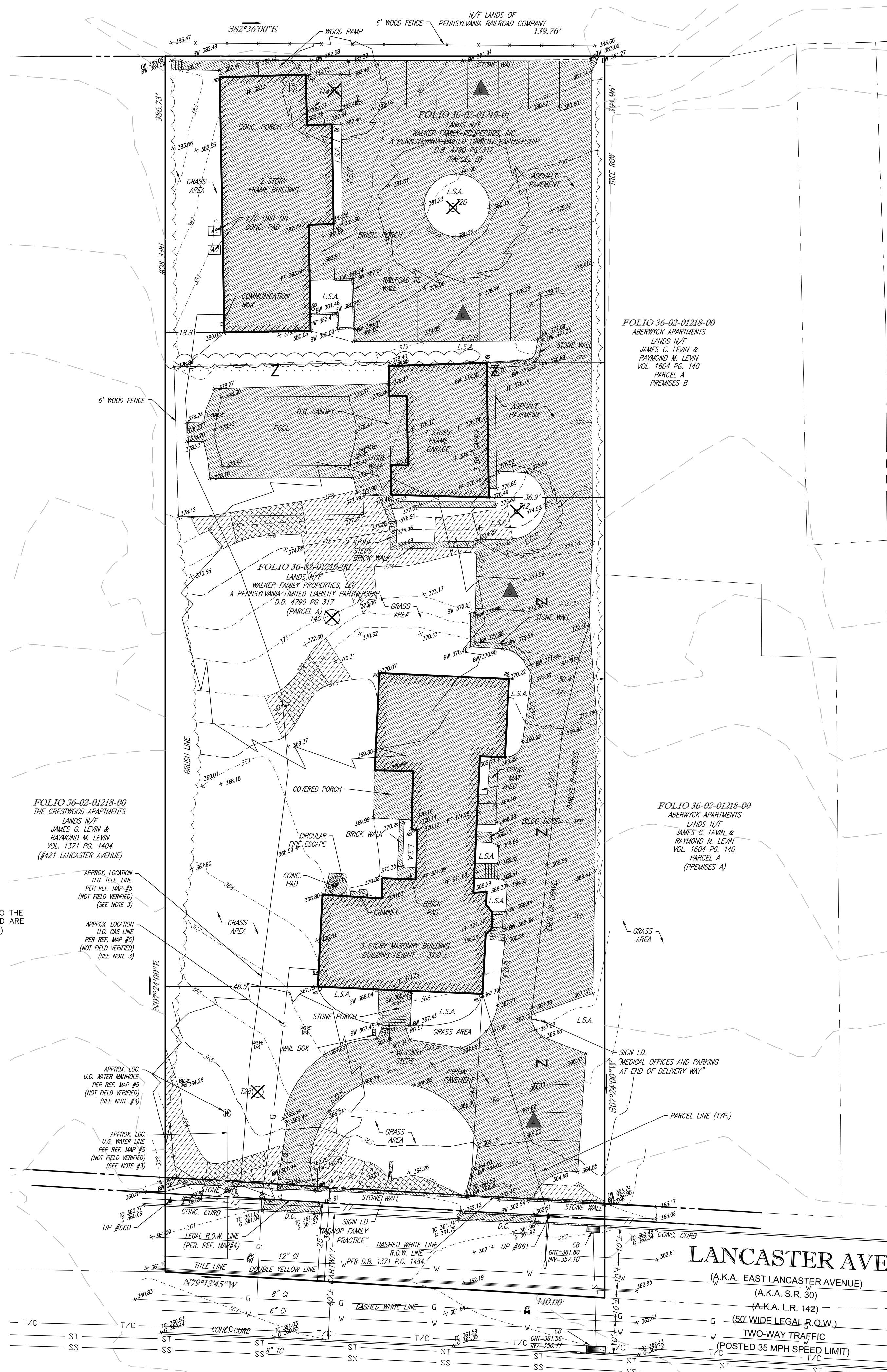
LEGEND

- Legend items: 124 EXISTING CONTOUR, 125 EXISTING SPOT ELEVATION, X 123.45 EXIST. TOP OF CURB ELEVATION, X G 123.95 EXIST. GUTTER ELEVATION, X TW 123.45 EXIST. TOP OF WALL ELEVATION, X BW 123.95 EXIST. BOTTOM OF WALL ELEVATION, X FF 123.45 EXIST. FINISHED FLOOR ELEVATION, W VALVE, U VALVE, G VALVE, M GAS METER, OH OVERHEAD WIRES, G APPROX. LOC. UNDERGROUND GAS LINE, T APPROX. LOC. UNDERGROUND TEL. LINE, W APPROX. LOC. UNDERGROUND WATER LINE, UP UTILITY POLE, UPLP UTILITY POLE/LIGHT POLE, SIGN, MB MAIL BOX, A.G. ABOVE GROUND, U.G. UNDER GROUND, D.C. DEPRESSED CURB, E.O.P. EDGE OF PAVEMENT, L.S.A. LANDSCAPED AREA, RR/T RAILROAD TIE WALL, (TYP.) TYPICAL, WMH WATER MANHOLE, CB CATCH BASIN OR INLET, P PARKING SPACE COUNT, DEPRESSED CURB, (TRACT I) DEED DESIGNATION, 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE, S.Y.L. SOLID YELLOW LINE, D.Y.L. DOUBLE YELLOW LINE, HT. HEIGHT, D.A.W.L. DASHED WHITE LINE, B.L.D.C. BUILDING, E.L. ELEVATION

- Impervious to be removed: Hatched pattern, Slopes 14%-20%: Diagonal lines, Slopes 20% and greater: Stippled pattern

Table with columns: SYMBOL, NAME, SLOPE, HYDROLOGIC GROUP, DEPTH TO WATER BEDROCK. Includes MADE LAND GABBRIC AND DIABASE MATERIALS.

NOTES: IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.



LOCATION MAP SCALE: 1" = 600'

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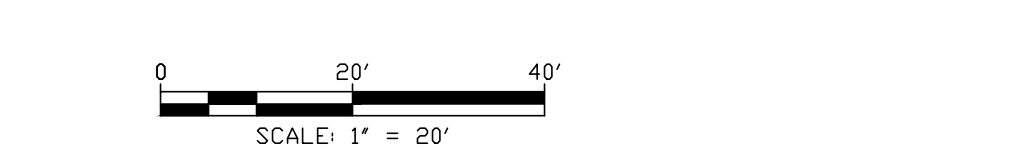
- REFERENCE PLAN #1 NOTES: 1. PROPERTY KNOWN AS FOLIO 36-02-01219-00 & 36-02-01219-01, BLOCK 61 AS IDENTIFIED ON THE TAX MAPS OF DELAWARE COUNTY, RADNOR TOWNSHIP, COMMONWEALTH OF PENNSYLVANIA... 2. LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE... 3. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON... 4. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN... 5. BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. MAP NUMBER 42045C0017F AND 42045C0036F. MAP REVISED NOVEMBER 18, 2009... 6. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY... 7. ELEVATIONS ARE BASED UPON PA DOT BENCHMARK F101 REPUTED TO BE NAVD 1988 ELEVATION 343.57... 8. UNDERGROUND STORM SEWER AND SANITARY SEWER PIPES ARE DRAWN GRAPHICALLY ON THIS SURVEY APPROXIMATELY. UNDERGROUND STORM AND SANITARY PIPES SHOULD BE VERIFIED INDEPENDENTLY AS TO THEIR LOCATION, SIZE AND TYPE AND SHOULD BE CONSIDERED BY THE CONTRACTOR OR DESIGN CONSULTANT PRIOR TO CONSTRUCTION... 9. THESE UNDERGROUND UTILITY COMPANIES DID NOT RESPOND TO PA ONE CALL REQUEST: ELECTRIC, GAS, AND TELEPHONE.

- REFERENCE PLAN #1 REFERENCES: 1. MAP #015 OF THE OFFICIAL TAX MAPS OF THE RADNOR TOWNSHIP, DELAWARE COUNTY, COMMONWEALTH OF PENNSYLVANIA... 2. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PENNSYLVANIA, DELAWARE COUNTY, PANEL 36 OF 250", COMMUNITY-PANEL NUMBER 420428 0036 F, MAP REVISED: NOV 18, 2009... 3. MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PENNSYLVANIA, DELAWARE COUNTY, PANEL 17 OF 250", COMMUNITY-PANEL NUMBER 420428 0017 F, MAP REVISED: NOV 18, 2009... 4. MAP ENTITLED "COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF HIGHWAYS, DRAWING FOR CONSTRUCTION AND CONDEMNATION OF RIGHT OF WAY ROUTE NO. 142 SECTION NO. 1 IN DELAWARE COUNTY; FROM STA. 2882+35 TO STA. 2891+10, LENGTH 875.0 FT @ 0.166 MI" SHEETS 1-3... 5. MAP ENTITLED "AS BUILT SURVEY MADE FOR J. GORDON AND LOIS T. LONGENECKER, RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA," PREPARED BY YERKS ASSOCIATES, INC., DATE MARCH 28, 2002, PLAN D-35-13 384.

RECORD OWNER: WALKER FAMILY PROPERTIES, LLP 427 EAST LANCASTER AVENUE WAYNE, PA 19087

Table with columns: EXISTING LOT DATA, TAX FOLIO NUMBER, TAX MAP NUMBER, SITE AREA, LOT AREA. Lists data for parcels 36-02-01219-00, 36-13-384-001, 36-02-01219-01, 36-13-384-001.

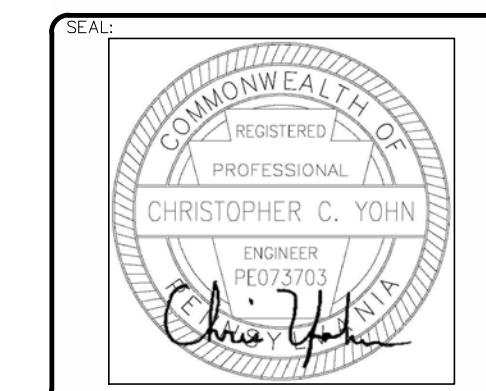
Table with columns: EXISTING IMPERVIOUS COVERAGE, BUILDINGS & PORCHES, WALKS, PATIOS, ASPHALT DRIVES, GRAVEL DRIVES, OTHER, TOTAL. Lists coverage areas in SF and percentages.



PROJECT: PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT PROJECT ADDRESS: 427 EAST LANCASTER AVENUE, WAYNE, PA 19087 MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY

PLAN SET: PRELIMINARY PLANS SHEET NAME: EXISTING CONDITIONS / DEMOLITION PLAN

Table with columns: REV, DATE, COMMENTS. Shows revision 1 on 02/22/16 for PER TWP ENCS.



PREPARED FOR: EQUITABLE OWNER/APPLICANT 427 E. LANCASTER, LLC 44 PAPER MILL ROAD NEWTOWN SQUARE, PA 19073

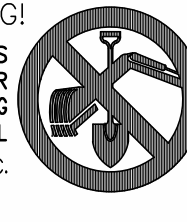
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PREPARED BY: YOHN ENGINEERING, LLC 555 SECOND AVENUE, SUITE G-110 COLLEGEVILLE, PA 19426 610-489-4580 WWW.YOHNENGINEERING.COM



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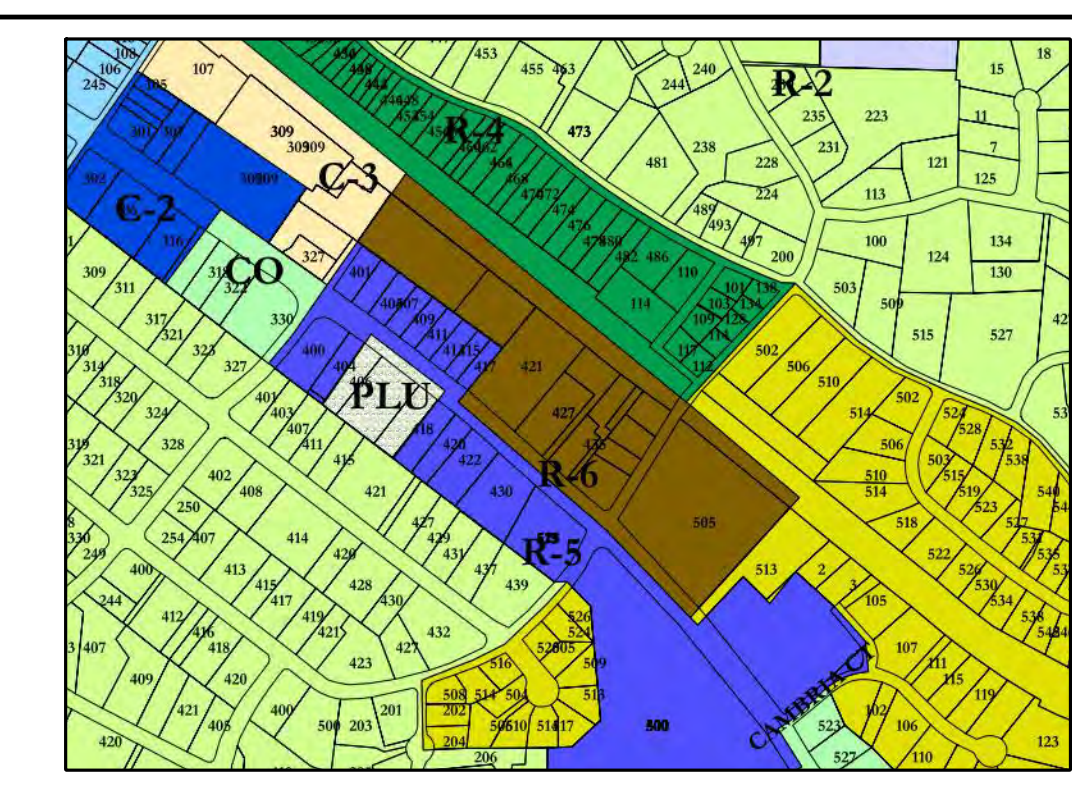
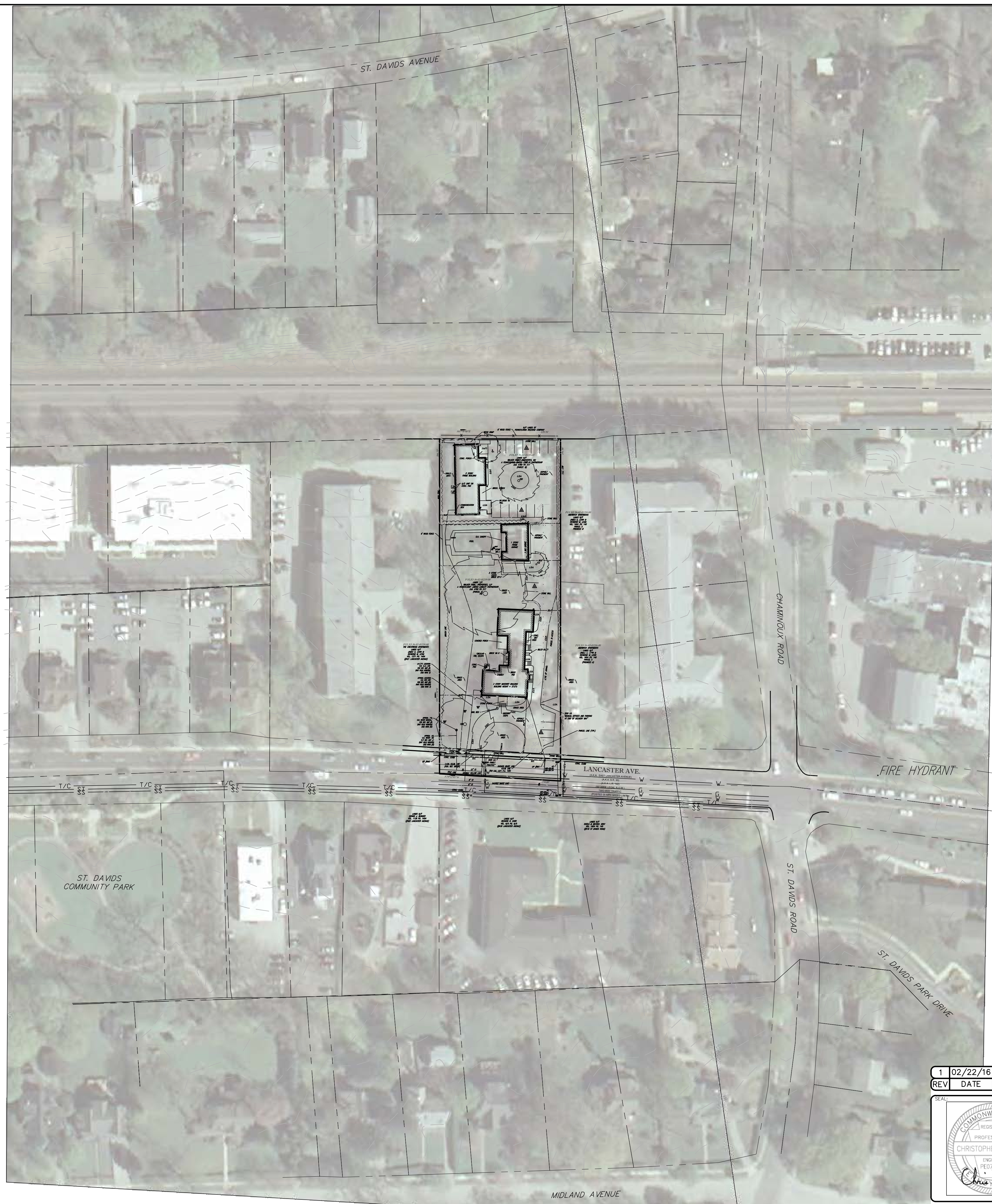
UTILITY COMPANY	PHONE NUMBER
AT & T	215-233-3474
PECO	215 841-4000
ZAYO BANDWIDTH	1-800-390-6094
AQUA PENNSYLVANIA, INC.	610-525-1400
LEVEL 3	720-888-0165
VERIZON	215-571-7050
COMCAST CABLE	888 240-8321
MCI	610 285-4448
RADNOR TOWNSHIP	610 688-5600

LEGEND

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- X G 123.45 EXIST. GUTTER ELEVATION
- X TW 123.45 EXIST. TOP OF WALL ELEVATION
- X BW 123.45 EXIST. BOTTOM OF WALL ELEVATION
- X FF 123.45 EXIST. FINISHED FLOOR ELEVATION
- WV WATER VALVE
- UV UNKNOWN VALVE
- GV GAS VALVE
- GM GAS METER
- OW OVERHEAD WIRES
- G --- APPROX. LOC. UNDERGROUND GAS LINE
- T --- APPROX. LOC. UNDERGROUND TEL. LINE
- W --- APPROX. LOC. UNDERGROUND WATER LINE
- UP UTILITY POLE
- UPLP UTILITY POLE/LIGHT POLE
- SIGN
- MB MAIL BOX
- A.G. ABOVE GROUND
- U.G. UNDER GROUND
- D.C. DEPRESSED CURB
- E.O.P. EDGE OF PAVEMENT
- L.S.A. LANDSCAPED AREA
- RRT WALL RAILROAD TIE WALL
- (TYP.) TYPICAL
- WMH WATER MANHOLE
- CB CATCH BASIN OR INLET
- PS PARKING SPACE COUNT
- DEPRESSED CURB
- (TRACT 1)
- 1.0' OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE
- S.Y.L. SOLID YELLOW LINE
- D.Y.L. DOUBLE YELLOW LINE
- HT. HEIGHT
- DA.W.L. DASHED WHITE LINE
- BLDC BUILDING
- EL. ELEVATION

SOILS INFORMATION					
SYMBOL	NAME	%SLOPE	HYDROLOGIC GROUP	DEPTH TO SH WATER	DEPTH TO BEDROCK
Md	MADE LAND GABBRO AND DIABASE MATERIALS	NOT RATED	C	6.6+	6.6+

NOTES: IF THE PROPOSED EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND MAINTAINED PROPERLY, NO UNFORESEEN SOIL LIMITATIONS OR PROBLEMS ARE LIKELY. NEVERTHELESS, IF A PROBLEM DOES DEVELOP, THE DEVELOPER MUST TEMPORARILY SEED AND MULCH THE DISTURBED AREA. SUITABLE TOPSOIL SHALL BE IMPORTED TO SITE IF INADEQUATE QUANTITIES OF SUITABLE TOPSOIL EXIST ON SITE. ADEQUACY OF SOIL TO BE DETERMINED BY SITE GEOTECHNICAL ENGINEER IN CONJUNCTION WITH THE LANDSCAPE ARCHITECT. SOIL AMENDMENTS SHALL BE ADDED AS REQUIRED. ALL UNSUITABLE MATERIAL SHALL BE DISPOSED OF PROPERLY. SITE GEOTECHNICAL ENGINEER SHALL ALSO BE CONSULTED DURING WINTER GRADING OPERATIONS.



- REFERENCE PLANS:
- BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED FOR RADNOR FAMILY PRACTICE BY CONTROL POINT ASSOCIATES, INC., CHALFONT, PA, DATED MAY 2, 2014 AND LAST REVISED MAY 14, 2014. FILE NO. CP14056
 - ZONING MAP OBTAINED ELECTRONICALLY FROM THE RADNOR TOWNSHIP WEBSITE. FILES WERE OBTAINED VIA WWW.PA.DPS.EDU
 - LIDAR TOPOGRAPHY AND OTHER GIS OBTAINED ELECTRONICALLY FROM SHAPE FILES DISTRIBUTED BY DELAWARE VALLEY REGIONAL PLANNING COMMISSION.
 - AERIAL PHOTOGRAPH "PA_X24_Y082" & "PA_X25_Y082" PROVIDED BY DELAWARE VALLEY REGIONAL PLANNING COMMISSION AND AERIAL PHOTOMETRY ACCESSED ELECTRONICALLY AT MAPS.GOOGLE.COM.
 - SOILS INFORMATION VIA THE NATURAL RESOURCES CONSERVATION SERVICE WEB SOIL SURVEY (WEBSOILSURVEY.SCEGVS.USDA.GOV.)

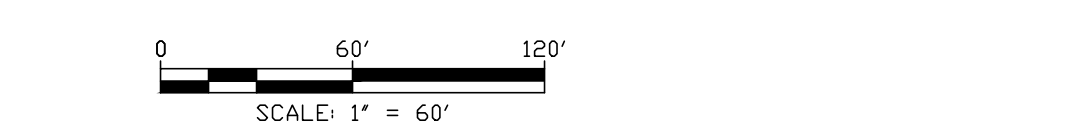
- REFERENCE PLAN #1 NOTES:
- PROPERTY KNOWN AS FOLIO 36-02-01219-00 & 36-02-01219-01, BLOCK 61 AS IDENTIFIED ON THE TAX MAPS OF DELAWARE COUNTY, RADNOR TOWNSHIP, COMMONWEALTH OF PENNSYLVANIA.
 - LOCATION OF UNDERGROUND UTILITIES ARE APPROXIMATE. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
 - THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND IS SUBJECT TO THE RESTRICTIONS, COVENANTS AND/OR EASEMENTS THAT MAY BE CONTAINED THEREIN.
 - BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. MAP NUMBER 42045C0017F AND 42045C0036F. MAP REVISED NOVEMBER 18, 2009
 - THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 - ELEVATIONS ARE BASED UPON PA DOT BENCHMARK F101 REPUTED TO BE NAVD 1988 ELEVATION 343.57
 - UNDERGROUND STORM SEWER AND SANITARY SEWER PIPES ARE DRAWN GRAPHICALLY ON THIS SURVEY APPLICABLE TO UNDERGROUND STORM AND SANITARY PIPES SHOULD BE VERIFIED INDEPENDENTLY AS TO THEIR LOCATION, SIZE AND TYPE AND SHOULD BE CONSIDERED BY THE CONTRACTOR OR DESIGN CONSULTANT PRIOR TO CONSTRUCTION.
 - THESE UNDERGROUND UTILITY COMPANIES DID NOT RESPOND TO PA ONE CALL REQUEST: ELECTRIC, GAS, AND TELEPHONE.

- REFERENCE PLAN #1 REFERENCES:
- MAP #015 OF THE OFFICIAL TAX MAPS OF THE RADNOR TOWNSHIP, DELAWARE COUNTY, COMMONWEALTH OF PENNSYLVANIA.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PENNSYLVANIA, DELAWARE COUNTY, PANEL 36 OF 250", COMMUNITY-PANEL NUMBER 420428 0036 F, MAP REVISED: NOV 18, 2009.
 - MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, FLOOD INSURANCE RATE MAP, PENNSYLVANIA, DELAWARE COUNTY, PANEL 17 OF 250", COMMUNITY-PANEL NUMBER 420428 0017 F, MAP REVISED: NOV 18, 2009.
 - MAP ENTITLED "COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF HIGHWAYS, DRAWING FOR CONSTRUCTION AND CONDEMNATION OF RIGHT OF WAY ROUTE NO. 142 SECTION NO. 1 IN DELAWARE COUNTY; FROM STA. 2882+35 TO STA. 2891+10, LENGTH 875.0 FT @ 1.68 MI" SHEETS 1-3.
 - MAP ENTITLED "AS BUILT SURVEY MADE FOR J. GORDON AND LOIS T. LONGENECKER, RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA," PREPARED BY YERKS ASSOCIATES, INC., DATE MARCH 28, 2002, PLAN D-36-13-384.

RECORD OWNER:
 WALKER FAMILY PROPERTIES, LLP
 427 EAST LANCASTER AVENUE
 WAYNE, PA 19087

EXISTING LOT DATA:	
TAX FOLIO NUMBER:	36-02-01219-00
TAX MAP NUMBER:	36-13-384-000
SITE AREA:	34,770 SF (0.7982 AC)
LOT AREA:	31,171 SF (0.7156 AC)
TAX FOLIO NUMBER:	36-02-01219-01
TAX MAP NUMBER:	36-13-384-001
SITE AREA:	19,852 SF (0.4557 AC)
LOT AREA:	19,252 SF (0.4420 AC)

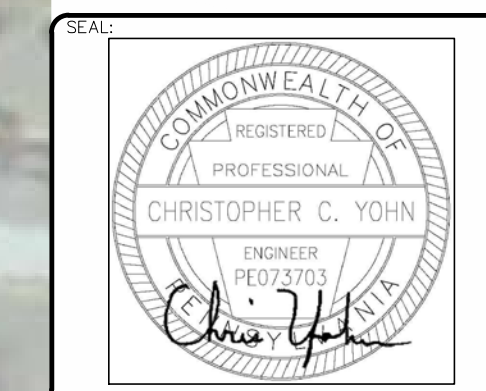
EXISTING IMPERVIOUS COVERAGE:	
BUILDINGS & PORCHES	7,915 SF (14.5%)
WALKS	726 SF
PATIOS	969 SF
ASPHALT DRIVES	14,168 SF
GRAVEL DRIVES	1,506 SF
OTHER	343 SF
TOTAL	25,627 SF (46.9%)



PROJECT: PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT
 PROJECT ADDRESS: 427 EAST LANCASTER AVENUE, WAYNE, PA 19087
 MUNICIPALITY: RADNOR TOWNSHIP COUNTY: DELAWARE COUNTY

PLAN SET: PRELIMINARY PLANS
 SHEET NAME: VICINITY PLAN

REV	DATE	COMMENTS
1	02/22/16	PER TWP ENCS



PREPARED FOR:
 EQUITABLE OWNER/APPLICANT
 427 E. LANCASTER, LLC
 44 PAPER MILL ROAD
 NEWTOWN SQUARE, PA 19073

DATE: DECEMBER 31, 2015
 SCALE: 1" = 60'
 ONE CALL NUMBER: 2016-011-1937
 DRAWN BY: CCY
 PROJECT NUMBER: 15-031

PREPARED BY:
 YOHN ENGINEERING, LLC
 555 SECOND AVENUE, SUITE G-110
 COLLEGEVILLE, PA 19426
 610-489-4580
 WWW.YOHNEENGINEERING.COM



SHEET: 3 OF 3

TREE REPLACEMENT - SECTION 263-4.B.

TREE REPLACEMENT FORMULA:
 6" - 18" DBH removed = 1 Replacement Tree
 19" - 29" DBH removed = 3 Replacement Trees, 2 being large canopy trees
 30" DBH & Greater removed = 6 Replacement Trees, 4 being large canopy trees

TOTAL TREES BEING REMOVED:
 6" - 18" DBH removed = 2 Trees (x in poor condition or dead)
 19" - 29" DBH removed = 1 Trees (x in poor condition or dead)
 30" DBH & Greater removed = 2 Trees (x in poor condition or dead)
 TOTAL = 5 Trees (x in poor condition or dead)

TOTAL TREES REPLACEMENT TREES REQUIRED:
 6" - 18" DBH removed = 2 Trees
 19" - 29" DBH removed = 3 Trees, 2 being large canopy trees
 30" DBH & Greater removed = 12 Trees, 8 being large canopy trees
 TOTAL = 17 Trees, 10 being large canopy trees

- All replacement trees shall have a minimum DBH of 2"-2.5".
- Should any additional trees be removed, additional replacement trees shall be provided in accordance with Chapter 263 of the Radnor Township Code.

SIZE SPECIES:	CONDITION	ACTION	REPLACEMENT
14" STEWARTIA	GOOD	REMOVE	1
20" MAPLE	FAIR	REMOVE	3
12" DOGWOOD	GOOD	REMOVE	1
40" OAK	GOOD	REMOVE	6
32" OAK	GOOD	REMOVE	6
TOTAL TREE REPLACEMENT REQUIRED			17

GENERAL NOTES:

- Base information including topography, grading, utilities, building and existing vegetation location prepared by Yohn Engineering, LLC, February, 2016.
- Location of existing trees on adjacent properties are approximate based upon field observations conducted by Glackin Thomas Panzak, Inc., January 2016.
- This plan is for landscaping purposes only.
- The Landscape Architect's seal applies only to the landscape portion of this plan.
- See Sheet LP-2 for Planting Details and Planting and Maintenance Notes.
- All plant material is to be field adjusted as necessary to address existing site conditions, proposed unit landscaping, and to ensure that clear sight triangles and clear sight lines are maintained.
- Proposed shade trees shall not be planted over the top of any sewer or water laterals, mains or services. Sewer and water laterals, mains and services are shown on Landscape Plans for reference only. See engineer's plans for location of all utilities.
- Shade and evergreen trees shall be planted fifteen (15) feet from overhead utility lines or light standards. Utilities are shown on Landscape Plans for reference only. See engineer's plans for location of all utilities.
- No planting shall be installed closer than five (5) feet to any property line.
- All plantings shall be permanently maintained.
- All trees shall be pruned as necessary to maintain required light levels.
- Final location of all plant material proposed for adjacent properties shall be determined in the field in order to address existing conditions.

LEGEND:

- EXISTING VEGETATION
- PROPOSED DECIDUOUS TREE
- PROPOSED ORNAMENTAL TREE
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUBS
- PROPOSED GROUND COVERS / PERENNIALS
- EXISTING TREE TO BE REMOVED
- SANDWICH BOARD FENCE

LANDSCAPE COMPLIANCE:

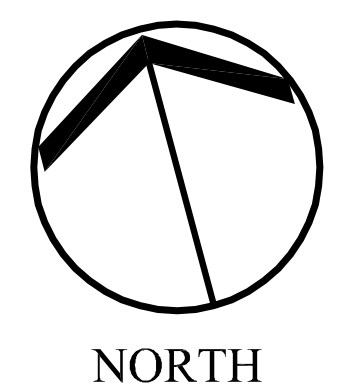
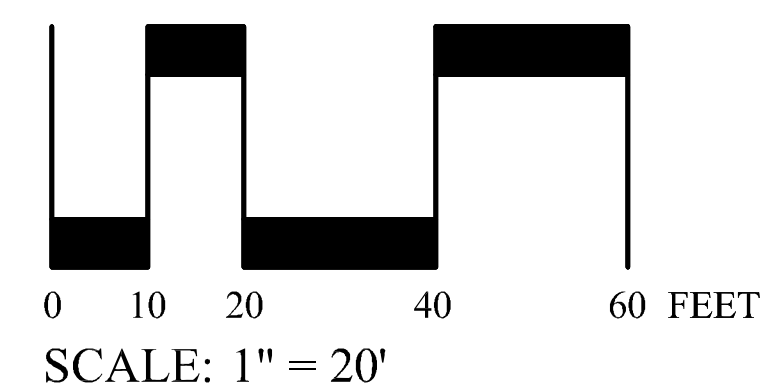
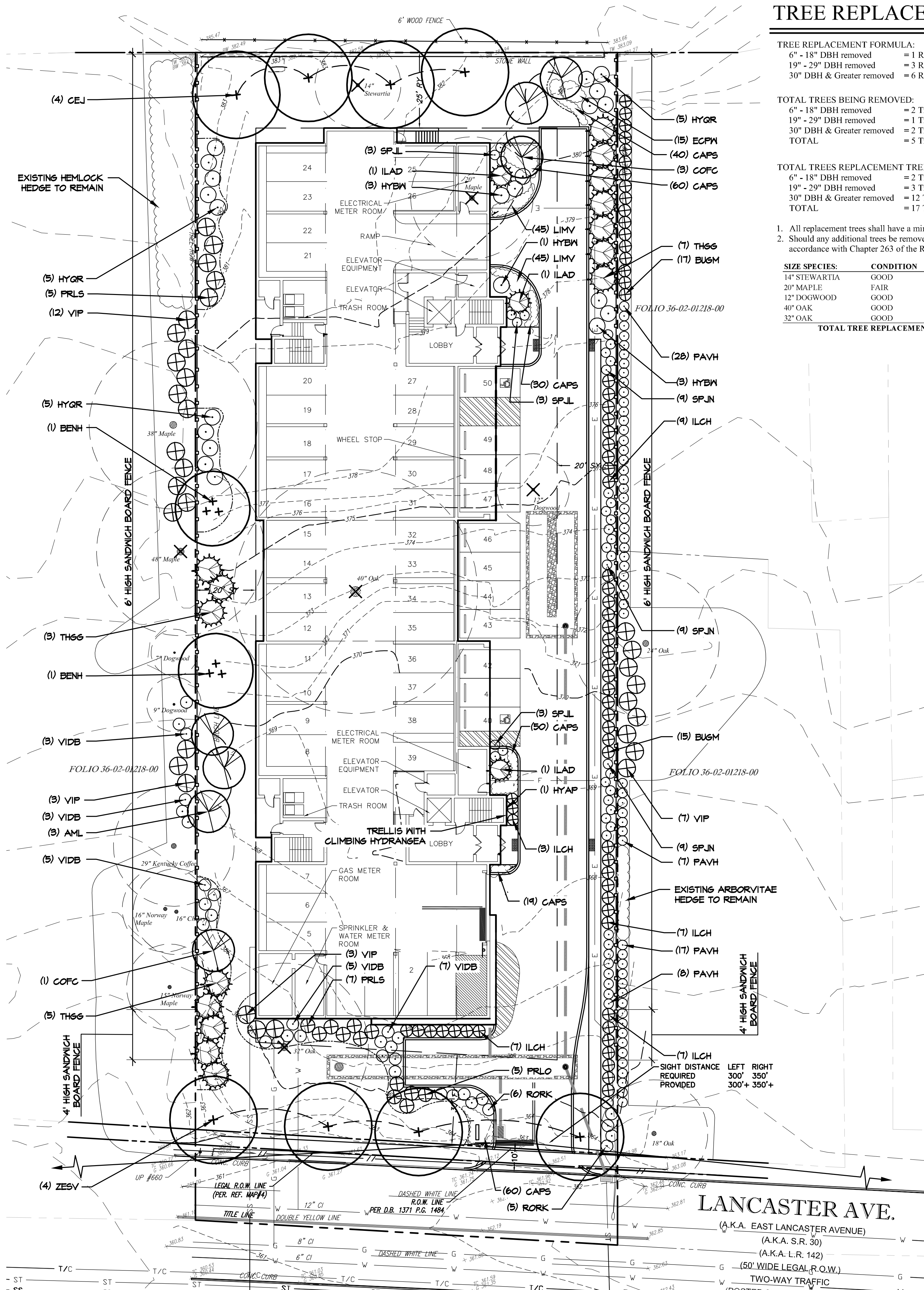
SECTION	CATEGORY	REQUIRED				PROVIDED			
		Shade Trees	Flowering Trees	Evergreen Trees	Shrubs	Shade Trees	Flowering Trees	Evergreen Trees	Shrubs
255-29.B.	PARKING FACILITY LANDSCAPE (1) 2.5" cal. per 5 Spaces of Single Bay Parking	2	--	--	--	2	--	--	--
255-38.B.	STREET TREES (1) 2.5" cal. tree spaced at 30' o.c. Applied to 115 LF*	4	--	--	--	4	--	--	--
255-42	BUFFER SCREENS CLASS B - Lancaster Ave. (Arterial Road Classification) Option of (1) Evergreen Tree per 15 LF and (1) Evergreen Shrub per 8 LF applied to 115 LF*	--	--	8	15	--	--	8	15
TOTALS:		6	--	8	15	6	--	8	15

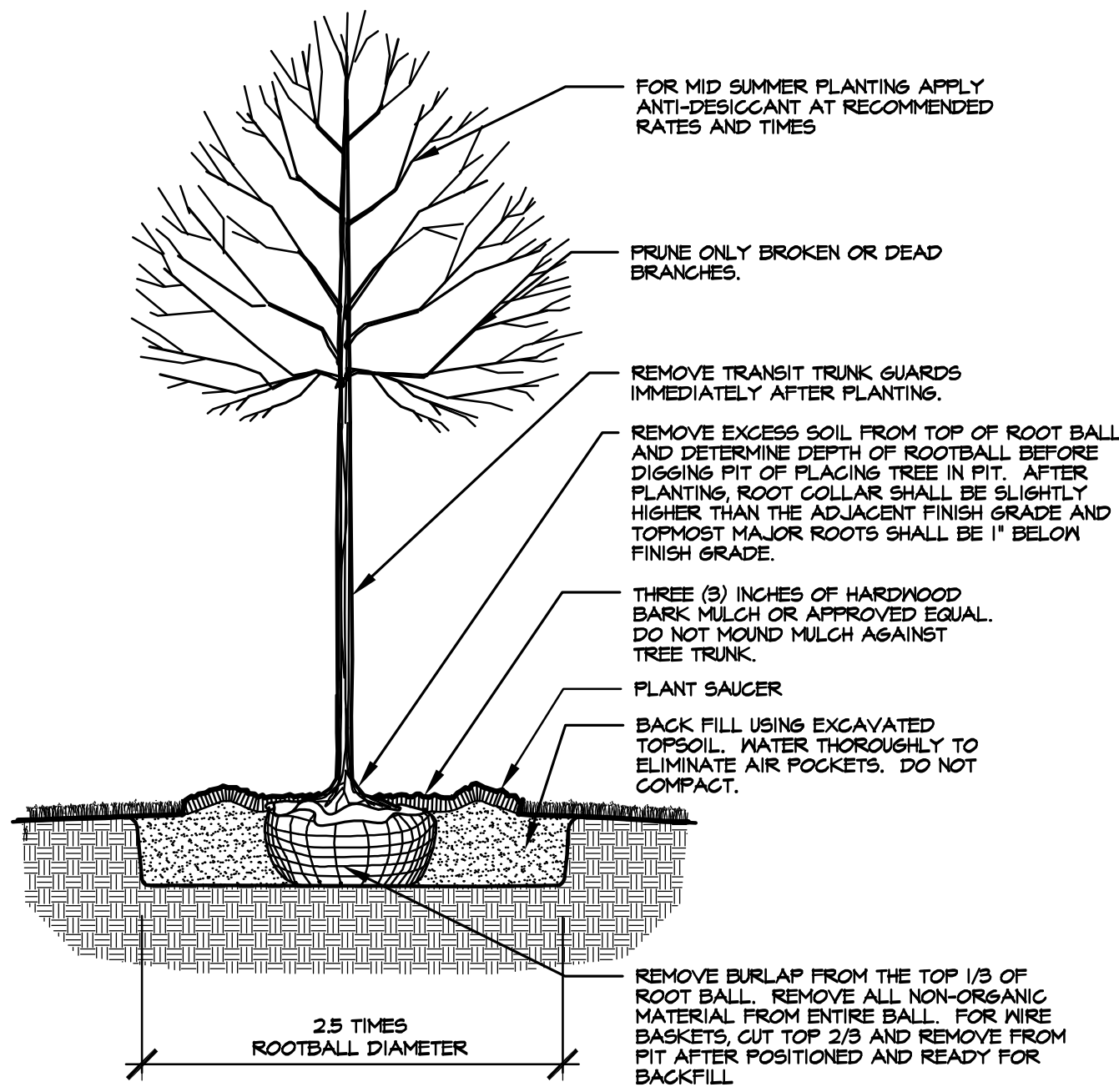
*Linear foot measurement does not include access driveway width.

PLANT LIST:

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS
DECIDUOUS TREES					
AML	3	Amelanchier laevis	Allegheny Serviceberry	2"-2.5" cal.	B&B
BENH	2	Betula nigra 'Heritage'	Heritage River Birch	12"-14" ht.	B&B, Multi-stem
CEJ	4	Cercidiphyllum japonicum	Katsura Tree	2"-2.5" cal.	B&B
COFC	4	Cornus florida 'Cherokee Princess'	Cherokee Princess Dogwood	2"-2.5" cal.	B&B
ZESV	4	Zelkova serrata 'Village Green'	Village Green Zelkova	2"-2.5" cal.	B&B
EVERGREEN TREES					
ILAD	3	Ilex aquipernyi 'Dragon Lady'	Dragon Lady Holly	8'-10' ht.	Cont.
THGG	15	Thuja plicata 'Green Giant'	Green Giant Arborvitae	8'-10' ht.	B&B
SHRUBS					
BUGM	32	Buxus x 'Green Mountain'	Green Mountain Boxwood	24"-30" ht.	Cont.
HYBW	7	Hydrangea 'Blue Wave'	Blue Wave Hydrangea	24"-30" ht.	Cont.
HYOR	15	Hydrangea quercifolia 'Ruby Slippers'	Ruby Slippers Oakleaf Hydrangea	24"-30" ht.	Cont.
ILCH	33	Ilex crenata 'Heller'	Helleri Japanese Holly	24"-30" ht.	Cont.
PRLO	5	Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	24"-30" ht.	Cont.
PRLS	12	Prunus laurocerasus 'Schipkaensis'	Skip Laurel	24"-30" ht.	Cont.
RORK	11	Rosa 'Red Knockout'	Red Knockout Rose	24"-30" ht.	Cont.
SPJL	9	Spiraea japonica 'Little Princess'	Little Princess Spiraea	24"-30" ht.	Cont.
SPJN	27	Spiraea japonica 'Neon Flash'	Neon Flash Spiraea	24"-30" ht.	Cont.
VIDB	23	Viburnum dentatum 'Blue Muffin'	Blue Muffin Arrowwood Viburnum	24"-30" ht.	Cont.
VIP	25	Viburnum x pragensis	Prague Viburnum	24"-30" ht.	Cont.
PERENNIALS & GROUNDCOVERS					
CAPS	259	Carex pensylvanica	Pennsylvania Sedge	2 qt.	Cont. 12" o.c.
ECPW	15	Echinacea purpurea 'White Swan'	White Coneflower	1 gal.	Cont. 18" o.c.
LIMV	90	Liriope muscari 'Variegata'	Variegated Lilyturf	2 qt.	Cont. 12" o.c.
PAVH	60	Panicum virgatum 'Heavy Metal'	Heavy Metal Switch Grass	3 gal.	Cont.
VINES					
HYAP	1	Hydrangea anomala v. petiolaris	Climbing Hydrangea	3 gal.	Cont., On Trellis

NOTE:
 1. Where there is a discrepancy between the plant list and plan, the plan shall prevail.

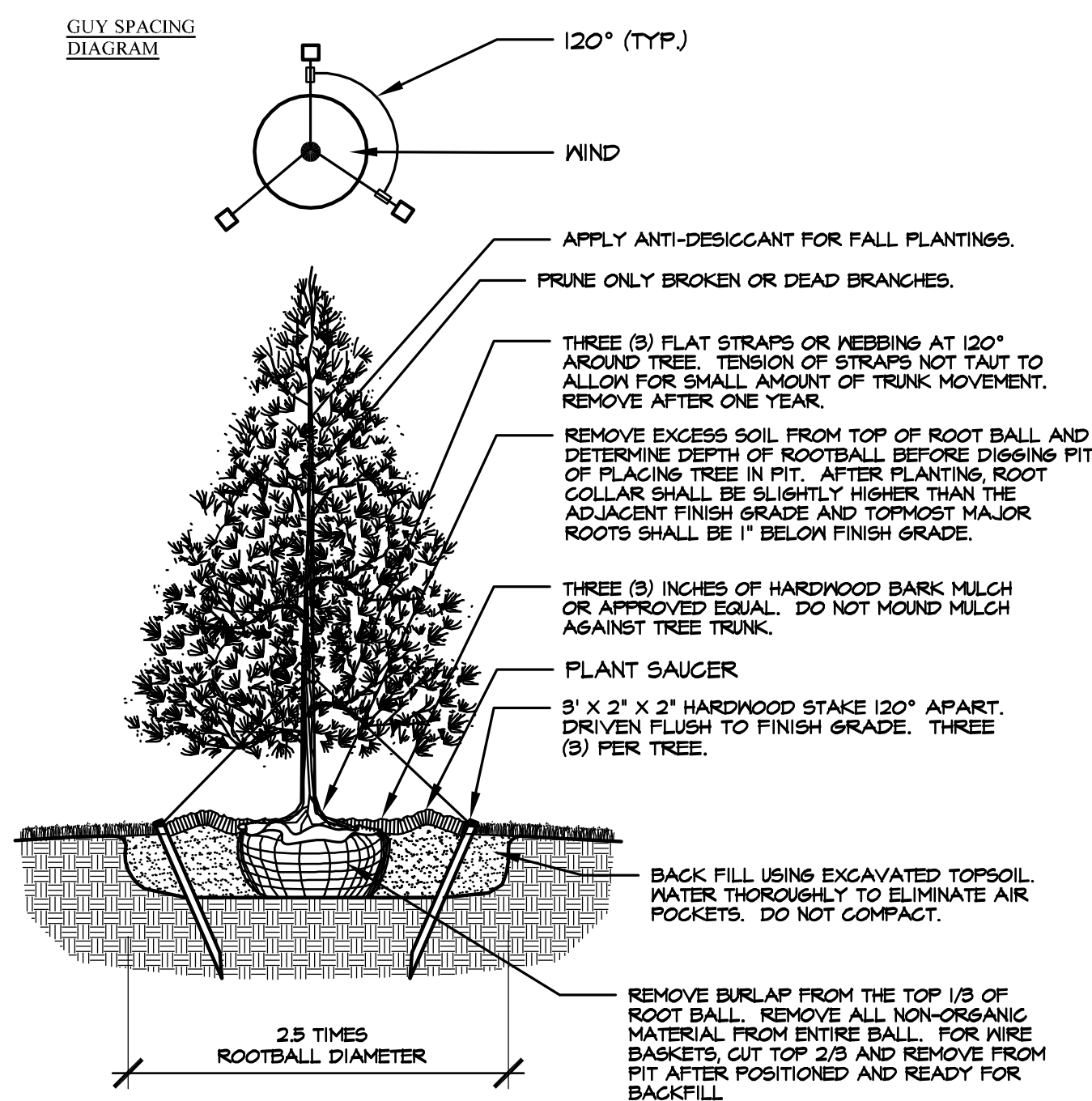




NOTES:
 1. TREES WITH POOR QUALITY ROOT BALLS OR ROOT BALLS THAT HAVE BEEN CRACKED OR DAMAGED SHALL BE REJECTED.
 2. TREES WITH CENTRAL LEADER BROKEN OR DEAD SHALL BE REJECTED.
 3. TREES THAT DO NOT DISPLAY THE TYPICAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.

1 DECIDUOUS TREE DETAIL

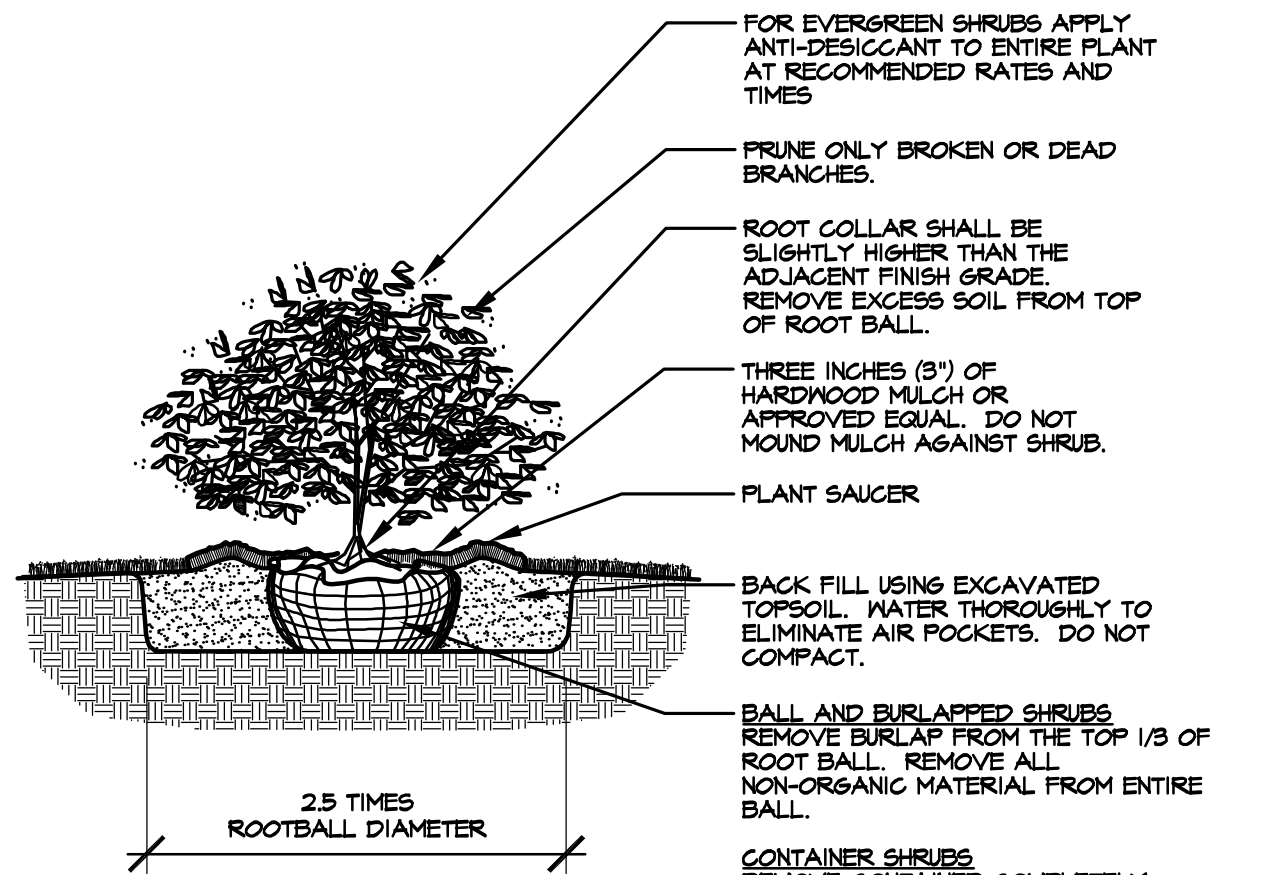
NTS
 NOTE:
 1. FLOOD PLANTING PIT WITH WATER TWICE WITHIN 24 HOURS OF PLANTING.



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2 EVERGREEN TREE DETAIL

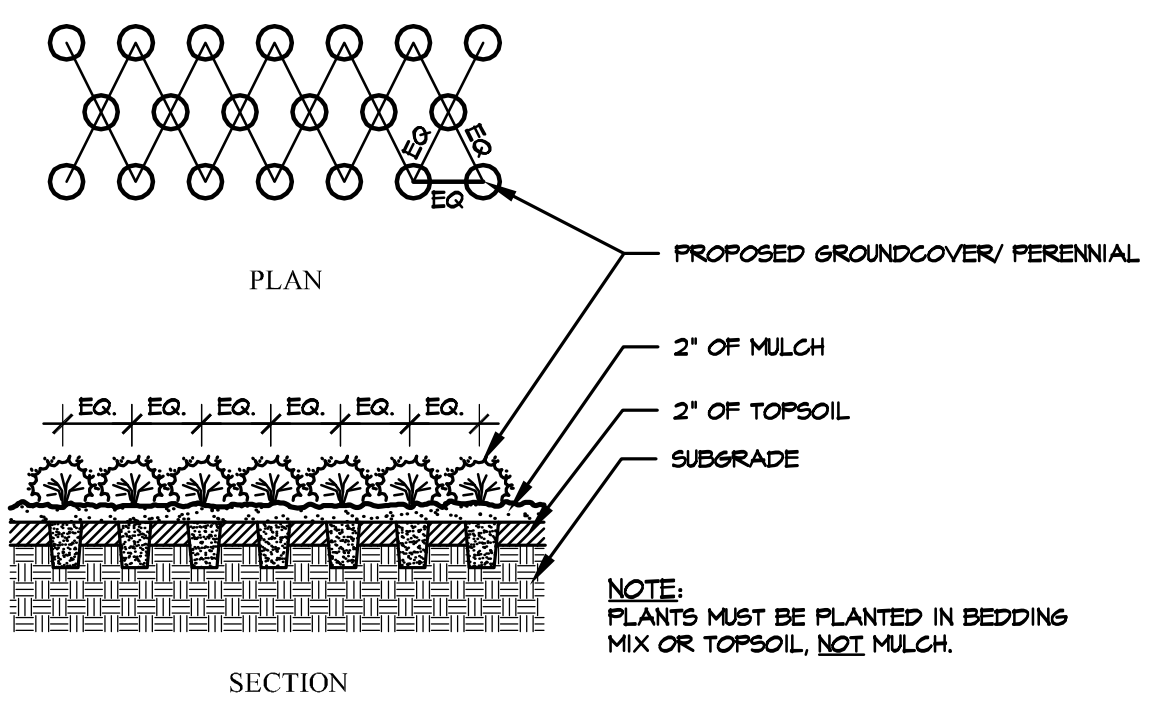
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NOTES:
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 3. TREES THAT DO NOT DISPLAY THE TYPICAL CHARACTERISTICS FOR THEIR SPECIES SHALL BE REJECTED.

3 SHRUB DETAIL

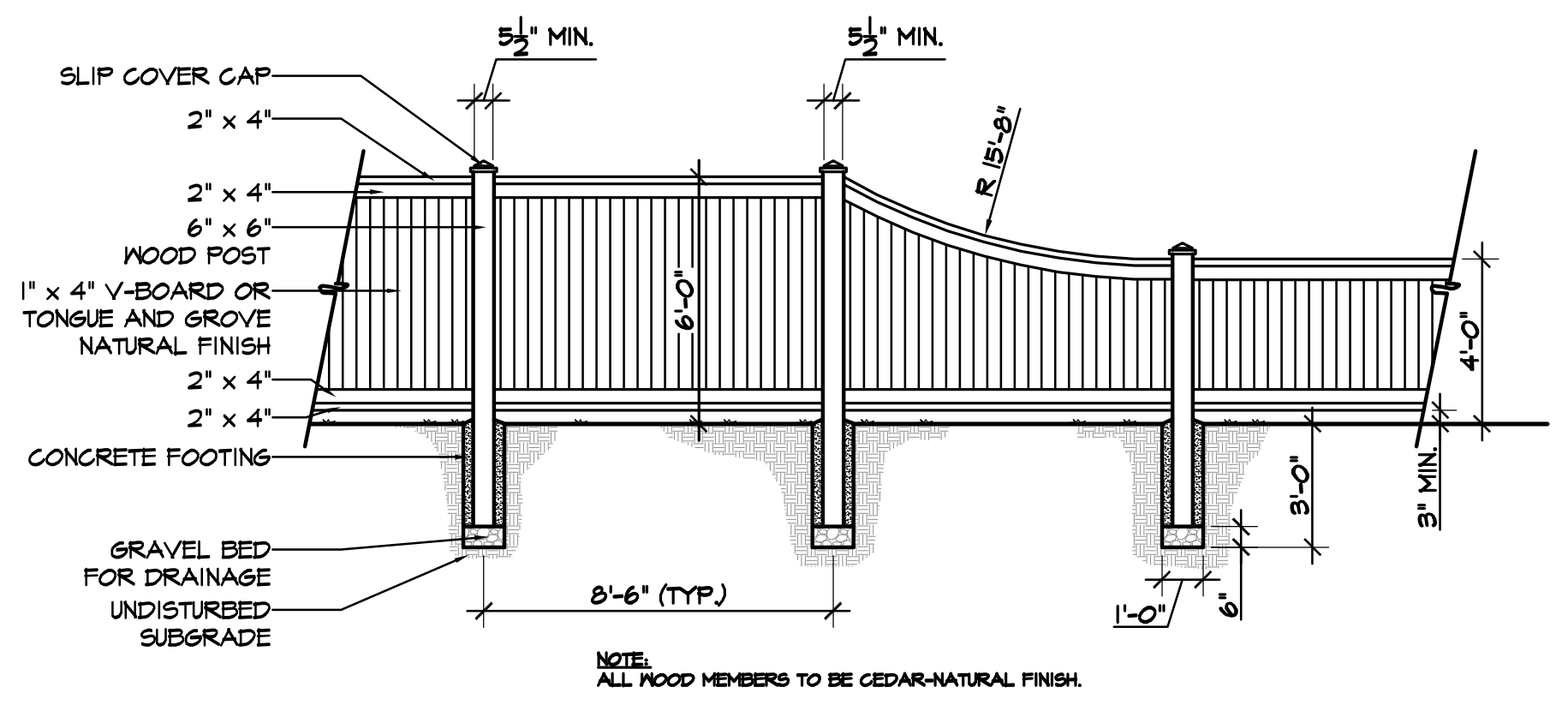
NTS
 NOTE:
 1. FLOOD PLANTING PIT WITH WATER TWICE WITHIN 24 HOURS OF PLANTING.



NOTE:
 PLANTS MUST BE PLANTED IN BEDDING MIX OR TOPSOIL, NOT MULCH.

4 PLANTING DETAIL

NTS
 NOTE:
 PLANTS MUST BE PLANTED IN BEDDING MIX OR TOPSOIL, NOT MULCH.



NOTE:
 ALL WOOD MEMBERS TO BE CEDAR-NATURAL FINISH.

5 SANDWICH BOARD FENCE

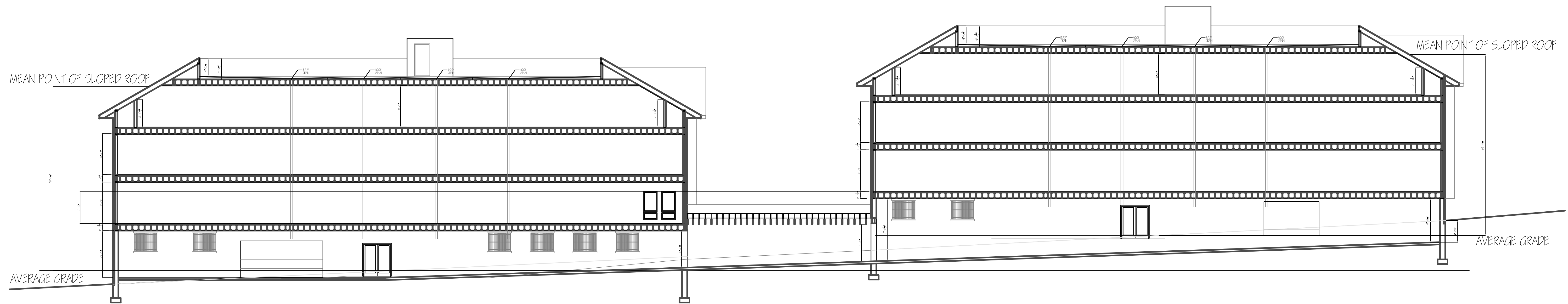
SCALE: 1/4" = 1'-0"

PLANTING NOTES:

- The contractor shall furnish and plant all plants shown on the drawings, as specified, and in quantities indicated on the plant list.
- All plants shall be nursery grown and freshly dug.
- All plants shall be in accordance with The American Standard for Nursery Stock, latest edition.
- All plants shall be hardy under climatic conditions similar to those in the locality of the project.
- Fall Digging Hazard: Any species listed below, if included on the plant list, must not be dug in the fall (October through December) because of risk to the tree's survival. Special exceptions may be granted if the owner is notified in writing and an extended warranty on these plants is agreed upon prior to digging. The following varieties should not be dug in fall: Betula, Carpinus, Celtis, Cercidiphyllum, Crataegus, Cryptomeria, Fagus, Halesia, Ilex (tree form varieties), Liquidambar, Liriodendron, Nyssa, Ostrya, Prunus, Pyrus, Quercus (except Quercus palustris), Salix weeping varieties, and Tilia tomentosa. Digging for Malus and Zelkova varieties should be avoided in fall only when in leaf.
- All plants shall be typical of their species or variety and shall have a normal habit or growth. They shall be sound, healthy and vigorous, well branched and densely foliated when in leaf. They shall be certified by appropriate State and Federal authorities to be free of disease and insect pests, eggs or larvae. They shall have healthy, well-developed root systems.
- Trees with central leader broken or dead shall be rejected.
- Plants that do not display typical characteristics for their species shall be rejected.
- Substitutions: When plants of a specified kind or size are not available within a reasonable distance, substitutions may be made upon written request by the contractor, if approved by the owner and/or municipal authority.
- Measurement: Dimensions of trees and shrubs shall conform to The American Standard for Nursery Stock, latest edition.
- Size: All plants shall conform to the measurement specified on the plant list, unless authorized in writing by the Township landscape architect and the owner.
- Balled and burlapped plants shall be dug with firm natural balls of earth, of diameter and depth to include most of the fibrous roots. Container grown stock shall have been grown in a container long enough for the root system to have developed sufficiently to hold its soil together firm and whole. No plants shall be loose in the container.
- Plants with poor quality root balls or root balls that have been cracked or damaged shall be rejected.
- Root balls of all plants shall be adequately protected at all times from sun and drying winds or frost.
- Conditions detrimental to plants: The contractor shall notify the project representative in writing of all soil or drainage conditions which the contractor considers detrimental to the growth of plants. The contractor shall state the conditions and submit a proposal for correcting the conditions, including any change in cost, for review and acceptance by the project representative.
- The owner or the owner's representative shall be notified prior to beginning planting operations.
- All planting shall be at the locations indicated on the drawings. The contractor shall be responsible for planting at the correct grades, alignment, and to the indicated layout of the planting beds.
- Layout of planting: The contractor shall lay out with identifiable stakes the location of all planting beds as indicated on drawing. The layout of planting shall be approved by the project representative prior to any excavation of plant pits or plant beds.
- Minor adjustments to plant locations may be necessary due to field conditions and final grading. The contractor shall notify the owner if major adjustments are required.
- Planting soil shall be excavated native soil from the planting pit. Planting soil shall be thoroughly mixed, with all rocks, clods and roots removed.
- Plants with broken root balls or excessive damage to the crown shall be replaced prior to planting.
- If needed, trees shall be staked and guyed according to accepted industry practice.
- Each tree and shrub shall be pruned in accordance with The American Nursery and Landscape Association Standards to preserve the natural character of the plant. All dead wood or suckers and all broken or badly bruised branches shall be removed.
- Mulch: Immediately after planting operations are completed, all trees and shrub planting pits shall be covered with a 3" (three inch) layer of double shredded hardwood bark mulch, or other material approved by the owner or the owner's representative. A granular pre-emergent weed control shall be spread prior to mulching. The limit of this mulch for deciduous trees and single evergreen trees shall be the area of the pit. For shrub and perennial beds and for evergreen tree clusters, a continuous, mulched bed shall be created.
- Trees in leaf, including evergreens, when planted shall be treated with anti-desiccant such as Wilt-Pruf® if planted during the months of June through September, November, and December.
- Weed control: All planting areas shall be free from weeds prior to the beginning of planting operation. Contact herbicide sprays should only be used as required and all manufacturer's specifications followed.
- Guarantee: All plant material shall be guaranteed by the contractor for twenty four (24) months from the date of installation. The owner shall be responsible for maintenance unless otherwise agreed with contractor. It shall be the contractor's responsibility to monitor the project during the guarantee and notify the owner if problems develop with the plant material. Any material that is 25% dead or more shall be considered dead and must be replaced at no charge. A tree shall be considered dead when the main leader has died back, or there is 25% of the crown dead.
- All debris resulting from landscape contracting operations shall be cleaned up and removed from the site on a weekly basis.
- Watering: Landscape contractor is responsible for watering sufficiently at the time of planting and until the job is completed, accepted and turned over to the owner.
- All plant material shall be installed in accordance with the planting practices stated in chapter 5 of *Pirone's Tree Maintenance* by J. Hartman, T. Pirone and M. Sall (seventh or most recent edition).

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SLOPED ROOF HIDES 4' PARAPET TO FLAT ROOF BEHIND.
 ALL HVAC CONDENSING UNITS ON FLAT ROOF BEHIND PARAPET.



BUILDING SECTION

FRAME FLOORS WITH 14" TJI'S SERIES 560
 AT 16" O.C. - AS PER SARA - 6/26/15

SOUND CONTROL THROUGH FLOORS:
 3/4" 'MAXXON' ACOUSTI-MAT 3 ON 3/4" PLYWOOD FLOOR DECK
 REINFORCEMENT AND 1 1/2" 'MAXXON' UNDERLAYMENT
 FINISHED FLOOR ENGINEERED WOOD OR TILE.

10" BATT INSULATION BETWEEN FLOOR JOISTS

CEILING BELOW FLOOR ASSEMBLY: (2) LAYERS 5/8" G.W.B.
 SUSPENDED FROM FLOOR JOISTS WITH WAVE CLIPS

JTA ASSOCIATES, INC.
 ARCHITECTS AND SPACEPLANNERS
 EAGLE VILLAGE
 503 WEST LANCASTER AVENUE, WAYNE, PA. 19087
 PHONE (610) 687-0800 FAX (610) 687-8717

WAYNE CONDOMINIUMS
 427 E. LANCASTER AVE.
 WAYNE, PA 19087

BUILDING SECTION

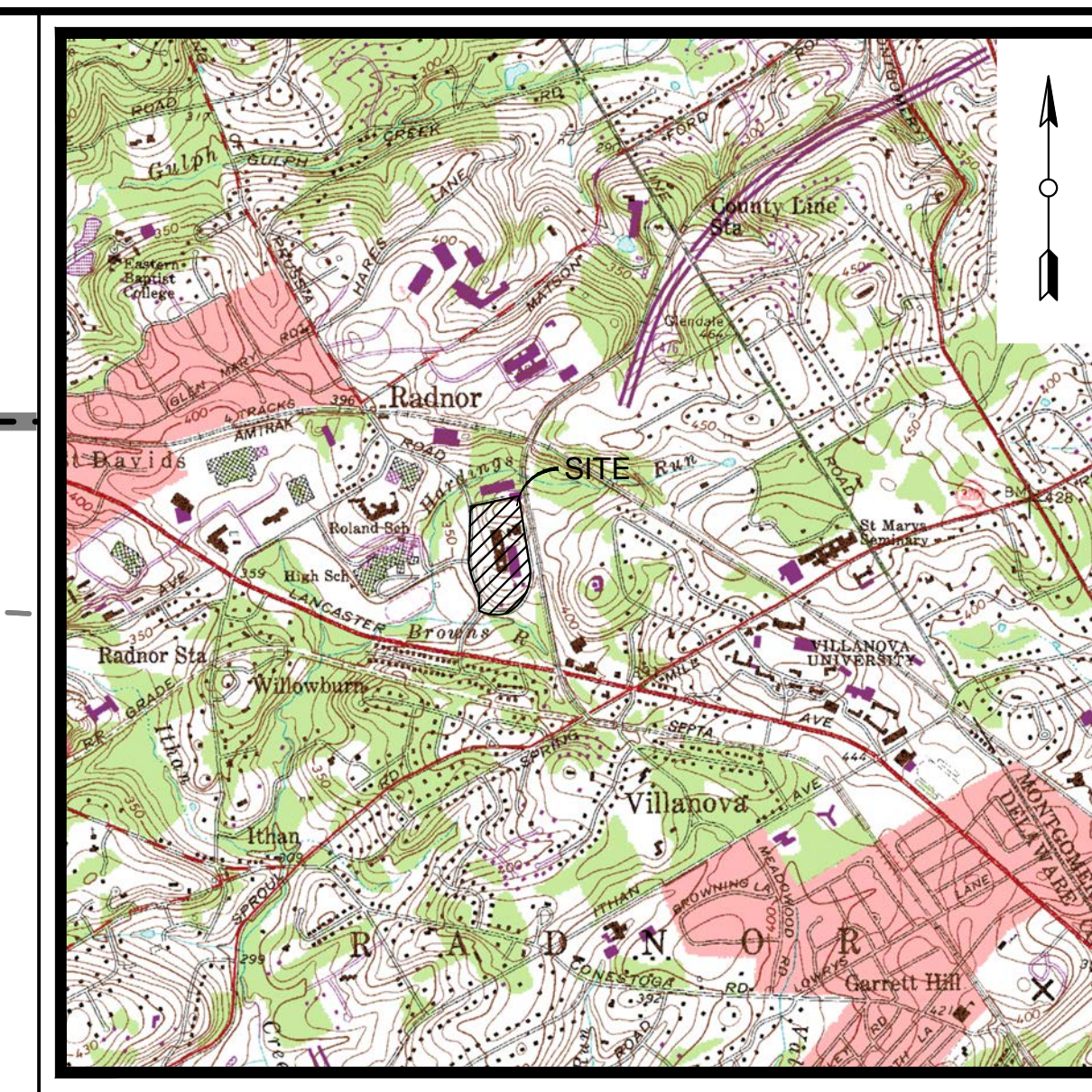
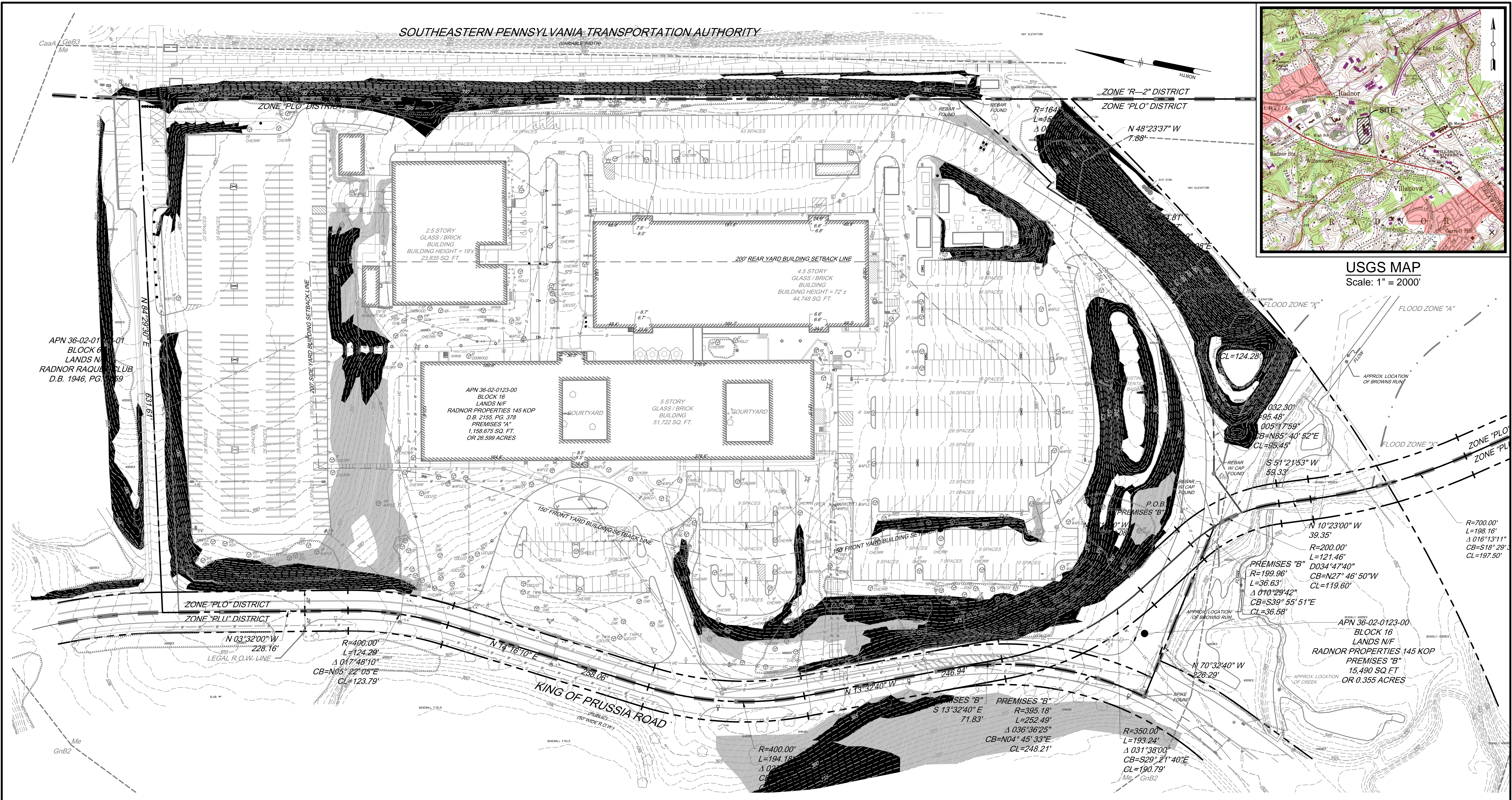
REVISIONS

NO.	DATE	DESCRIPTION

DATE:
 FEB. 2, 2016
 SCALE:
 PROJECT NO.:
 ISSUE DATE:

A-3

SOUTHEASTERN PENNSYLVANIA TRANSPORTATION AUTHORITY
(VARIABLE WIDTH)



USGS MAP
Scale: 1" = 2000'

APN 36-02-01-01
BLOCK 6
LANDS N/F
RADNOR RAQUIL CLUB
D.B. 1946, PG. 159

APN 36-03-0123-00
BLOCK 16
LANDS N/F
RADNOR PROPERTIES 145 KOP
D.B. 2155, PG. 378
PREMISES "A"
1,158.675 SQ. FT.
OR 26.599 ACRES

PREMISES "B"
D034°47'40"
R=199.96'
L=36.63'
CB=N27°46'50"W
CL=119.60'

PREMISES "B"
D034°47'40"
R=199.96'
L=36.63'
CB=N27°46'50"W
CL=119.60'

PREMISES "B"
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CB=N27°46'50"W
CL=119.60'

PREMISES "B"
D034°47'40"
R=199.96'
L=36.63'
CB=N27°46'50"W
CL=119.60'

SOIL CHART

OBTAINED FROM NRCS SOIL MART ON 12/13/2013. SURVEY AREA VERSION DATE: 12/02/2008

SYMBOL	NAME	HYDROLOGIC GROUP	SLOPES	HYDRIC	DEPTH TO			LIMITATIONS			RESOLUTION NOTES
					WATER TABLE (FT)	BEDROCK (IN)	FROST	PIPES	BUILDING		
Ma	MADE LAND	B	0 TO 8%	YES	5.0	40-72	MODERATE	MODERATE	MODERATE	SEE RESOLUTION NOTES	
GhB2	GLENVILLE SILT LOAM	C	3 TO 8%	YES	0.5-3.0	60-99	HIGH	HIGH	MODERATE	SEE RESOLUTION NOTES	
CsaA	CALIFORN LOAM	C	0 TO 3%	YES	0.5-3.0	72-99	HIGH	HIGH	HIGH	SEE RESOLUTION NOTES	
GhB3	GLENELG CHANNERY SILT LOAM	B	3 TO 8%	NO	---	60-120	MODERATE	LOW	HIGH	SEE RESOLUTION NOTES	

RESOLUTION NOTES:

- HIGH WATER TABLE
- IF SITE IS TO BE USED FOR CONSTRUCTION, DEWATER EXCAVATIONS THROUGH A PUMPED WATER FILTER BAG AS NECESSARY. AVOID PONDING DURING CONSTRUCTION. CLOSE ALL EXCAVATIONS AS SOON AS PRACTICAL. ENSURE ALL INSTALLED PIPE IS WATERTIGHT.
- NATURALLY ACIDIC
- CONTRACTOR TO WRAP ALL METAL-BASED PIPING WITH PLASTIC LINER. PLASTIC LINER SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO INSTALLATION.
- EROSION HAZARD
- THE CONTRACTOR SHALL FOLLOW THE EROSION AND SEDIMENT CONTROL SEQUENCE OF CONSTRUCTION AND PLANS. THE EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EVERY RUNOFF EVENT AND ON A WEEKLY BASIS. IMMEDIATELY AFTER EVERY RUNOFF EVENT THE EROSION AND SEDIMENTATION FACILITIES AND MEASURES WILL BE CLEANED, REPAIRED, AND REPLACED AS NEEDED. WASHED-OUT AREAS WILL BE RE-GRADED AND RE-SEEDED. SILT FENCES WILL BE INSPECTED AND RESTORED TO AN UPRIGHT AND EFFECTIVE POSITION AFTER EVERY RUNOFF EVENT OR WHEN THEY ARE OBSERVED TO BE IN NEED OF MAINTENANCE.
- SOLUTION CAVERNS IN UNDERLYING BEDROCK
- IF THE SITE IS TO BE USED FOR BUILDING, AND FOUNDATIONS ARE PROPOSED THEN THE SITE SHALL BE EVALUATED BY A GEOTECHNICAL ENGINEER TO DETERMINE IF SOLUTION CAVERNS ARE PRESENT. CONSULT THE GEOTECHNICAL ENGINEER AND REPAIR ACCORDING TO APPROVED DETAILS.
- DEWATER EXCAVATIONS THROUGH A PUMPED WATER FILTER BAG AS NECESSARY.
- AVOID PONDING DURING CONSTRUCTION. CLOSE ALL EXCAVATIONS AS SOON AS PRACTICAL. ENSURE ALL INSTALLED PIPE IS WATERTIGHT
- SINK HOLE OR CLOSED DEPRESSION
- THE CONTRACTOR SHALL CONTACT A GEOTECHNICAL ENGINEER TO ANALYZE THE SINK HOLE AREA. THE CONTRACTOR SHALL FOLLOW THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER FOR REMEDIATION REQUIREMENTS.
- PIPING HAZARD
- SUITABLE FILL MATERIAL FOR ALL PIPING SHALL BE USED PER RECOMMENDATIONS OF A GEO-TECHNICAL ENGINEER.

GEOLOGY CHART

FELSIC GNEISS

LIGHT, MEDIUM GRAINED; INCLUDES ROCKS OF PROBABLE SEDIMENTARY ORIGIN.

STATE PENNSYLVANIA

NAME: FELSIC GNEISS

GEOLOGIC AGE: PRECAMBRIAN

ORIGINAL MAP LABEL: F

PRIMARY ROCK TYPE: FELSIC GNEISS

SECONDARY ROCK TYPE: PARAGNEISS

LEGEND

- PROPERTY LINE
- LEGAL RIGHT-OF-WAY
- EX PROPERTY CORNER FOUND
- EX CONCRETE MONUMENT
- ADJOINING PROPERTY LINE
- EX EASEMENT
- EX BUILDING
- EX CURB
- EX EDGE OF PAVEMENT
- EX EDGE OF GRAVEL
- EX WALL
- EXISTING STEEP SLOPE (14-20%)
- EXISTING VERY STEEP SLOPE (>20%)
- EX FENCE LINE
- EX SIGN
- EX LANDSCAPING
- EX TREE ROW
- EX MINOR CONTOUR
- EX MAJOR CONTOUR
- EX STORM SEWER LINES
- EX UTILITY MANHOLE
- EX STORM SEWER INLET
- EX STORMWATER MANHOLE
- EX OVERHEAD ELECTRICAL LINES
- EX ELECTRICAL LINES
- EX UTILITY POLE
- EX WATER LINES
- EX FIRE HYDRANT
- EX WATER VALVE
- EX SANITARY SEWER LINES
- EX SANITARY MANHOLE
- EX NATURAL GAS LINES
- EX SOIL BOUNDARY LINES
- EX SOILS TEXT
- EX STREAM FLOW

Pennoni

PENNONI ASSOCIATES INC.
One South Church Street, 2nd Floor
West Chester, PA 19382
T 610-428-6807 F 610-428-6818

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR
DISCREPANCIES BEFORE PROCEEDING WITH WORK

PENN MEDICINE AT RADNOR
145 KING OF PRUSSIA ROAD
WAYNE, PA 19087

EXISTING FEATURES PLAN

UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEMS
2408 SPRUCE STREET
PHILADELPHIA, PA 19104

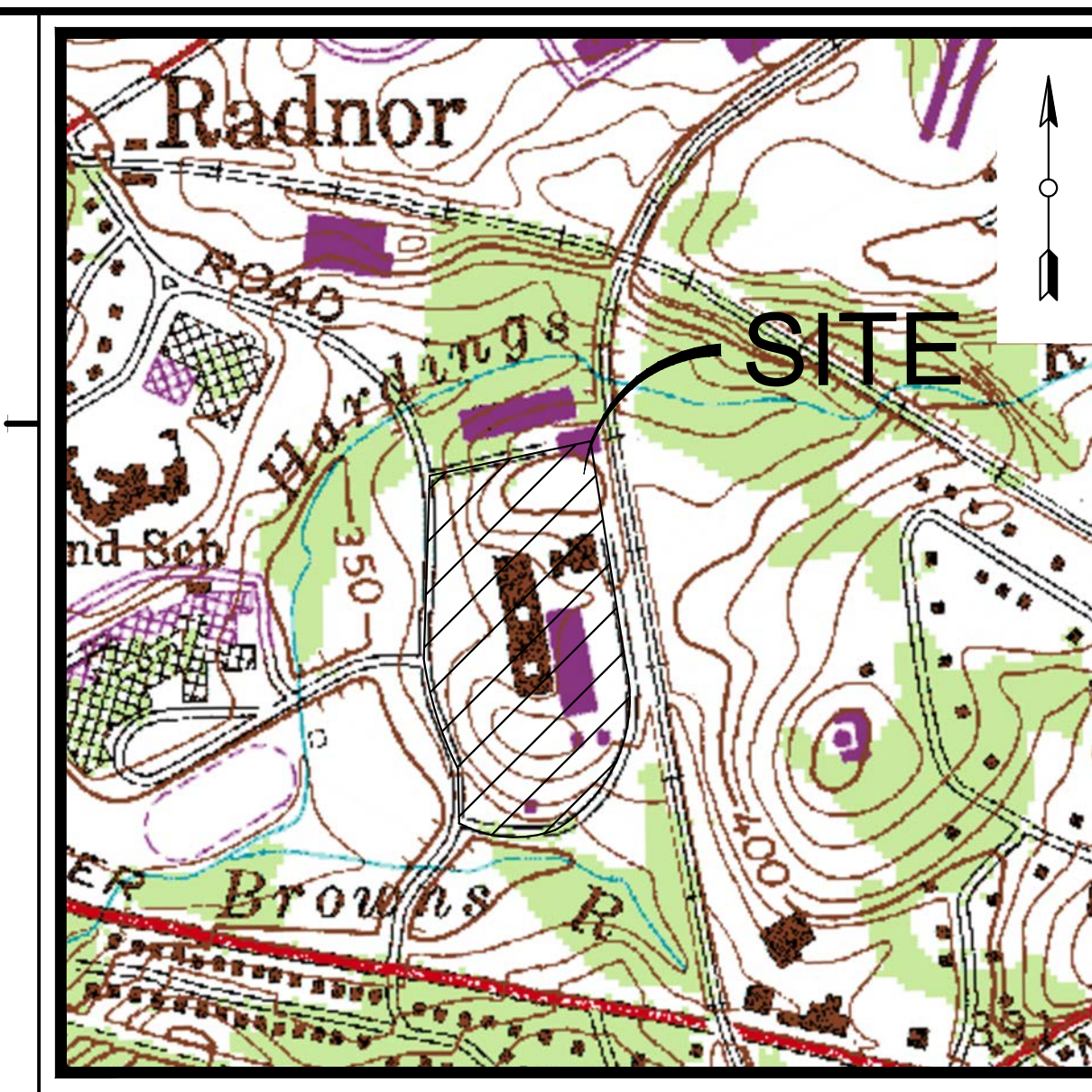
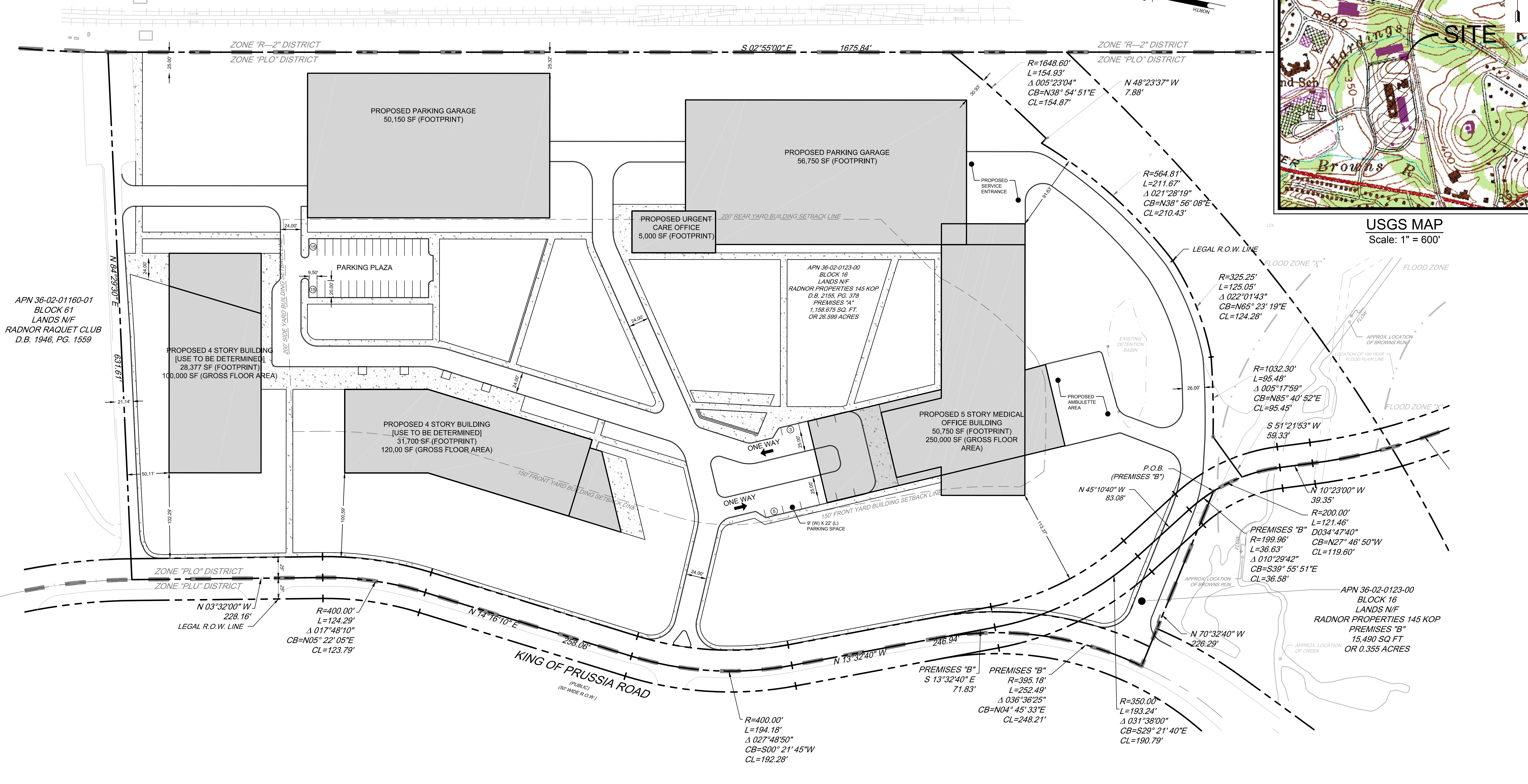
NO.	DATE	REVISIONS	BY

PROJECT: UPH51504
DATE: 2016-03-04
DRAWING SCALE: 1"=50'
DRAWN BY: JCS
APPROVED BY: MK

SK-1

SHEET 1 OF 2

SOUTHEASTERN PENNSYLVANIA TRANSPORTATION AUTHORITY
(VARIABLE WIDTH)



APN 36-02-01160-01
BLOCK 61
LANDS N/F
RADNOR RAQUET CLUB
D.B. 1946, PG. 1559

ZONING COMPLIANCE SUMMARY TABLE
ARTICLE XV, PLO PLANNED LABORATORY-OFFICE DISTRICT
PROPOSED USE: MEDICAL OFFICE, URGENT CARE, AND USE TO BE DETERMINED

SECTION	ALLOWABLE	EXISTING	PROPOSED
SECTION 280-64.A	LOT AREA (AC)	10	18.71
	LOT WIDTH (FT)	300	1,294
SECTION 280-64.B	BUILDING AREA (%)	30	27.3
	LOT COVERAGE (%)	55	46.7
	LANDSCAPE COVERAGE (%)	45	53.3
SECTION 280-64.C	BUILDING SETBACK LINE		
	FRONT YARD (FT)	150	165
	SIDE YARD (FT)	200	240
	REAR YARD (FT)	200	43*
SECTION 280-64.D	BUILDING SIZE AND SPACING		
	MAX. LENGTH OR DEPTH OF BUILDING (FT)	160	484*
	MAX. NUMBER OF BUILDINGS ATTACHED TO ONE ANOTHER	3	100
	BUILDING SPACING (FT)	45	40*
	WIDTH OF BUILDINGS OR ACCESSORY STRUCTURES OR AGGREGATE WIDTHS OF BUILDINGS ON ACCESSORY STRUCTURES FRONTING A STREET	80% OF LOT WIDTH	38%
SECTION 280-64.E	MAX. BUILDING HEIGHT (FT)	38 (3 STOREYS)	72
SECTION 280-64.F	RIPARIAN BUFFER SETBACK (FT)	35	N/A
	AVERAGE SLOPE	3%	3%

* EXISTING NON-CONFORMING CONDITION/VARIANCE REQUIRED
** VARIANCE REQUIRED

BUILDING COVERAGE = 222,727 SF / 43,560 SF / 18.71 AC = **0.273 = 27.3%**
 LOT COVERAGE = (BUILDING: 222,727 SF + SIDEWALKS: 64,250 SF + ROADS: 83,166 SF + PARKING: 10,470 SF) / 43,560 SF = 8.74 AC / 18.71 AC = **0.467 = 46.7%**
 LANDSCAPE COVERAGE = 1 - 0.467 = **0.533 = 53.3%**
 MAXIMUM BUILDING WIDTH ALONG FRONTAGE = 757' / 1,294' = **0.585 = 58.5%**

VARIANCES REQUESTED:

§280-63 - USE REGULATION. WE PROPOSE ADDING MEDICAL OFFICE AND URGENT CARE OFFICES TO THE ALLOWABLE USES.

§280-64.C - BUILDING PLACEMENT. NO BUILDING OR ACCESSORY STRUCTURE SHALL BE LOCATED LESS THAN 150 FEET FROM A STREET RIGHT-OF-WAY LINE NOR LESS THAN 200 FEET FROM A SIDE OR REAR PROPERTY LINE, AND NO SURFACE PARKING AREA, DRIVEWAY, SERVICE OR INTERIOR ROADWAY, WITH THE EXCEPTION OF APPROVED AREAS FOR VEHICULAR ACCESS, SHALL BE LOCATED LESS THAN 75 FEET FROM A STREET RIGHT-OF-WAY OR OTHER PROPERTY LINE. WE PROPOSE A MINIMUM FRONT YARD OF 100', MINIMUM SIDE YARD OF 50', AND A MINIMUM REAR YARD OF 25'.

§280-64.D(1) - THE GREATEST DIMENSION IN LENGTH OR DEPTH OF A BUILDING SHALL NOT EXCEED 180 FEET, AND NO MORE THAN THREE BUILDINGS MAY BE ATTACHED TO EACH OTHER, PROVIDED FURTHER THAT THE FACADE OF ANY BUILDING ATTACHED TO ANOTHER BUILDING BE VISIBLY OFFSET FROM THE ADJOINING BUILDING AT AN ANGLE OF APPROXIMATELY 90 DEGREES. WE PROPOSE A MAXIMUM BUILDING LENGTH OF 360'.

§280-64.E - HEIGHT REGULATIONS. NO BUILDING OR ACCESSORY STRUCTURE SHALL EXCEED THREE STOREYS OR 38 FEET IN HEIGHT. WE PROPOSE A MAXIMUM HEIGHT OF 85'.

PARKING CALCULATION

§280-103.11-OFFICE BUILDINGS OR BANKS: ONE SPACE PER 200 SQUARE FEET OF FLOOR AREA FOR THE FIRST 50,000 SQUARE FEET, PLUS ONE SPACE FOR EVERY 300 SQUARE FEET OF FLOOR AREA OVER 50,000 SQUARE FEET.

FLOOR AREA (SF)	SPACES REQUIRED PER SQUARE FOOT	PARKING REQUIRED
FIRST 50,000 SF	1 SPACE / 200 SF	250
REMAINING FLOOR AREA	1 SPACE / 300 SF	1,417
TOTAL		1,667

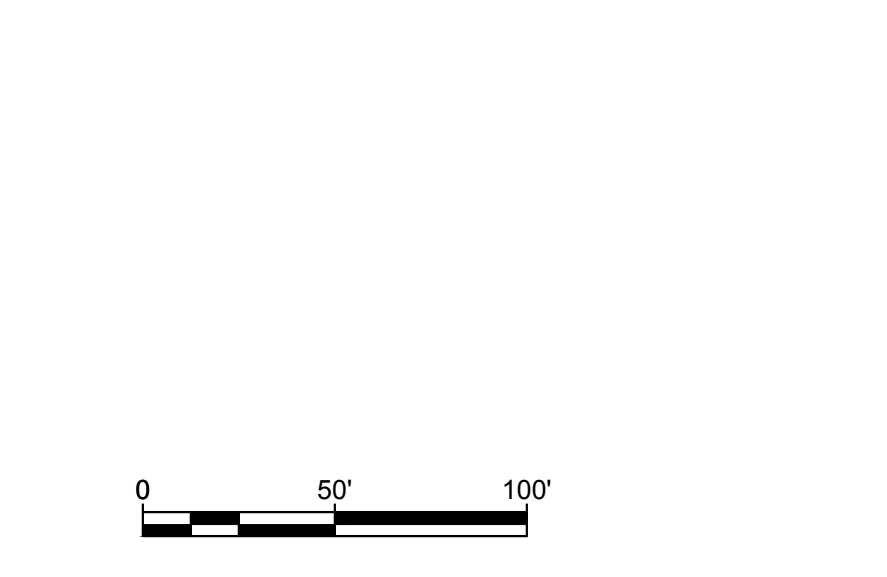
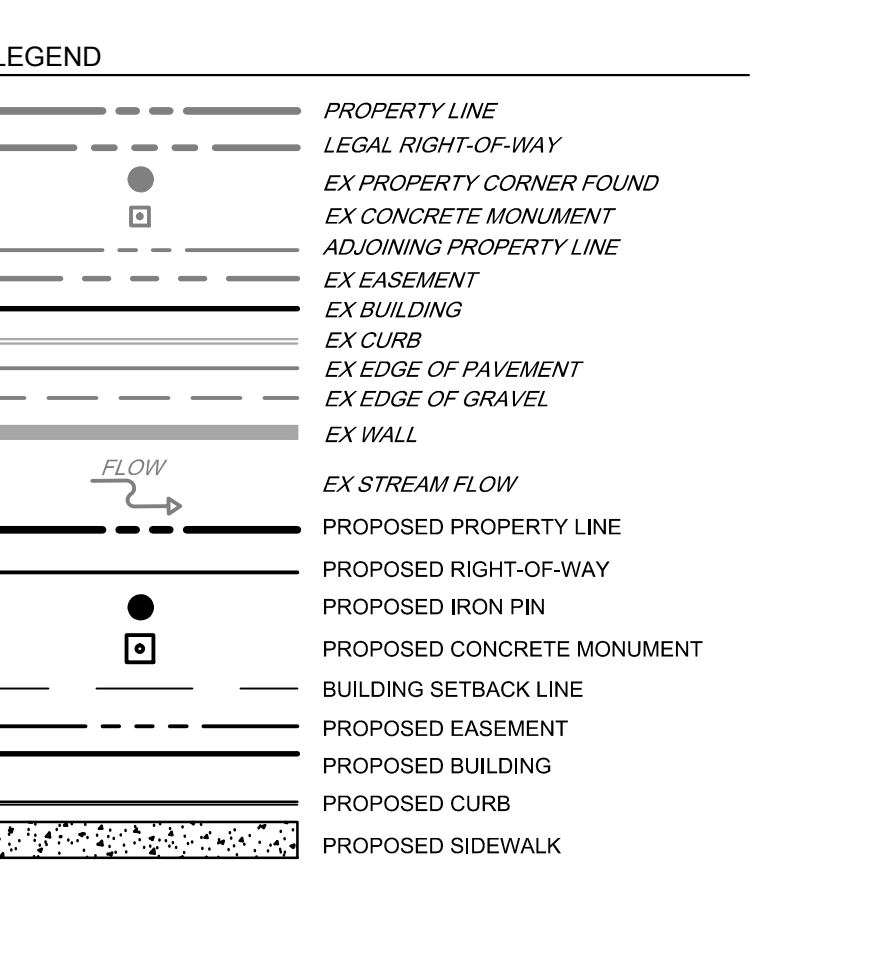
PROPOSED PARKING
 SURFACE 38
 GARAGE 1,629
TOTAL 1,667

GENERAL NOTES:

1. SITE ADDRESS: 145 KING OF PRUSSIA ROAD RADNOR, PA 19087
 OWNER: UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEMS 3400 SPRUCE STREET PHILADELPHIA, PA 19104
 APPLICANT: UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEMS 3400 SPRUCE STREET PHILADELPHIA, PA 19104
2. THE PURPOSE OF THIS PLAN IS TO DEPICT REDEVELOPMENT OF THE EXISTING 28 ACRE SITE TO CONSTRUCT ONE NEW MEDICAL OFFICE BUILDING, TWO NEW BUILDINGS, TWO NEW PARKING GARAGES AND ASSOCIATED SITE IMPROVEMENTS.
3. BENCHMARK FOR THE SITE IS A SANITARY MANHOLE IN KING OF PRUSSIA ROAD TO THE WEST OF THE PROPERTY NEAR THE INTERSECTION WITH RAIDER ROAD WITH A RIM ELEVATION OF 368.88.
4. THIS SITE IS CURRENTLY ZONED PLO - PLANNED LABORATORY OFFICES DISTRICT BY THE RADNOR TOWNSHIP ZONING MAP FOR COMPLETE ZONING INFORMATION PLEASE REFER TO THE ZONING CODE OF THE RADNOR TOWNSHIP.
5. THE EXISTING FEATURES WERE OBTAINED BY A FIELD SURVEY, PREPARED BY NAVE NEWELL INC. DATED MAY 1, 2007. THE ELEVATIONS SHOWN HEREIN ARE BASED UPON PA STATE PLANE COORDINATE, PA SOUTH (NAVD89).
6. BY GRAPHIC PLOTTING ONLY, SUBJECT PARCEL AREA IS LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 100-YEAR FLOODPLAIN OF THE FLOOD INSURANCE RATE MAP, PANEL NO. 38 OF 200, COMMUNITY MAP NO. 42045C00361 WHICH BEARS AN EFFECTIVE DATE OF NOVEMBER 18, 2009. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION OR APPLY FOR A VARIANCE FROM THE FEDERAL EMERGENCY MANAGEMENT AGENCY.
7. UNLESS SPECIFICALLY STATED OR SHOWN HEREON TO THE CONTRARY, THIS SURVEY IS MADE SUBJECT TO AND DOES NOT LOCATE OR DELINEATE:
 - A. RIGHTS OR INTERESTS OF THE UNITED STATES OF AMERICA OR COMMONWEALTH OF PENNSYLVANIA OVER LANDS NOW OR FORMERLY FLOWED BY TIDEWATER, BUT NO LONGER VISIBLE OR PHYSICALLY EVIDENT, OR LANDS CONTAINING ANY ANIMAL, MARINE, OR BOTANICAL SPECIES REGULATED BY OR UNDER THE JURISDICTION OF ANY FEDERAL, STATE, OR LOCAL AGENCY.
 - B. BUILDING SETBACK LINES, ZONING REGULATIONS OR LINES ESTABLISHED BY ANY FEDERAL, STATE OR LOCAL AGENCY WHICH MAY AFFECT THE BUILDING OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.
 - C. ANY SUBSURFACE OR SUBTERRANEAN CONDITION, EASEMENTS OR RIGHTS, INCLUDING, BUT NOT LIMITED TO MINERAL OR MINING RIGHTS, OR THE LOCATION OF OR RIGHTS TO ANY SUBSURFACE STRUCTURES, CONTAINERS OR FACILITIES OR ANY OTHER NATURAL OR MAN-MADE SUBSURFACE CONDITION WHICH MAY OR MAY NOT AFFECT THE USE OR DEVELOPMENT POTENTIAL OF THE SUBJECT PROPERTY.

LEGEND

8. THE LOCATION OF THE EXISTING UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN TAKEN FROM EXISTING UTILITY RECORDS AVAILABLE AT THE TIME THESE PLANS WERE PREPARED AND FROM SURFACE OBSERVATION OF THE SITE.
9. COMPLETENESS OR ACCURACY OF LOCATION AND DEPTH OF UNDERGROUND UTILITIES AND STRUCTURES IS NOT GUARANTEED.
10. IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 197 OF 1998, THE CONTRACTOR SHALL NOTIFY ALL UTILITIES WITHIN THE WORK AREA VIA THE PENNSYLVANIA ONE CALL SYSTEM, INC. (800-242-1778) A MINIMUM OF 3 WORKING DAYS BEFORE THE START OF EXCAVATION.
11. THE CONTRACTOR SHALL VERIFY LOCATIONS AND DEPTHS OF ALL UNDERGROUND UTILITIES AND STRUCTURES BEFORE THE START OF WORK.
12. REFERENCE IS MADE TO PENNSYLVANIA ONE CALL SYSTEM ASSIGNED SERIAL NUMBER 2012280848 IN ACCORDANCE WITH PA ACT 287 OF 1974 AS AMENDED BY PA ACT 121 OF 2008 ENTITLED "UNDERGROUND UTILITY LINE PROTECTION LAW". (800-242-1778)
13. THE SITE IS TO BE SERVED BY PUBLIC SEWER AND WATER SERVICE.
14. THE ENTIRE TRACT IS LOCATED WITHIN THE ITHANS CREEK WATERSHED, WHICH IS CLASSIFIED AS COLD WATER FISHES, MIGRATORY FISHES (TSF-MF) BY TITLE 25, CHAPTER 93 OF THE PENNSYLVANIA CODE.



NOT FOR CONSTRUCTION

Pennoni
 PENNONI ASSOCIATES INC.
 One South Church Street, 2nd Floor
 West Chester, PA 19382
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PENN MEDICINE AT RADNOR
 145 KING OF PRUSSIA ROAD
 WAYNE, PA 19087
SITE PLAN
 UNIVERSITY OF PENNSYLVANIA HEALTH SYSTEMS
 PHILADELPHIA, PA 19104

NO.	DATE	BY	REVISIONS

PROJECT: **UPHS1504**
 DATE: 2016-03-04
 DRAWING SCALE: 1"=50'
 DRAWN BY: JCS
 APPROVED BY: MK

SK-2
 SHEET 2 OF 2