

**BOARD OF COMMISSIONERS**

**AGENDA**

**Wednesday, January 28, 2015 - 6:30 PM**

Pledge of Allegiance

Public Participation

1. Consent Agenda

- a) Disbursement Review and Approval
- b) Acceptance of Department Monthly Reports
- c) Approval of minutes for the Board of Commissioners meeting of January 5, 2015
- d) Staff Traffic Committee Meeting Minutes – December 17, 2015
- e) Resolution #2015-06 - Revising the Consolidated Fee Schedule for the Louella Park and Walk Fees
- f) Resolution #2015-07 – Approval for the Purchase of Five New Vehicles for Use by the Police Department
- g) Resolution #2015-09 – Approval of Act 511 Auditor contract renewal
- h) Resolution #2015-10 – Authorization to bind workers compensation coverage for 2015

2. Committee Reports

***PUBLIC WORKS & ENGINEERING***

- A. Resolution #2015-08 – (*Preliminary/Final*) - Villanova West End Zone Building

***PUBLIC SAFETY***

***COMMUNITY DEVELOPMENT***

***PARKS & RECREATION***

***PERSONNEL & ADMINISTRATION***

***FINANCE & AUDIT***

***LIBRARY***

***PUBLIC HEALTH***

Old Business  
New Business  
Public Participation  
Adjournment



**RADNOR TOWNSHIP**  
**DISBURSEMENTS SUMMARY**  
*January 26, 2015*

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The table below summarizes the amount of disbursements made since the last public meeting held on January 12, 2015. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://www.radnor.com/egov/apps/document/center.egov?path=browse&id=22>

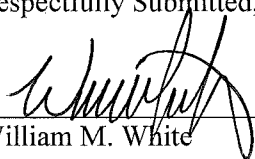
Fund (Fund Number)	2014-12F December 31, 2014	Total
General Fund (01)	295,768.17	\$295,768.17
Sewer Fund (02)	14,362.28	14,362.28
Liquid Fuels Fund (03)	4,200.00	4,200.00
Storm Sewer Management (04)	74,159.89	74,159.89
Capital Improvement Fund (05)	1,090.96	1,090.96
Escrow Fund (10)	875.00	875.00
Investigation Fund (12)	1,710.00	1,710.00
Comm. Shade Tree Fund (15)	16,580.00	16,580.00
\$8 Million Settlement Fund (18)	15,350.03	15,350.03
Parks & Open Space Fund (22)	1,661.53	1,661.53
The Willows Fund (23)	610.70	610.70
<b>Total Accounts Payable Disbursements</b>	<b>426,368.56</b>	<b>\$426,368.56</b>
<i>Electronic Disbursements</i>	n/a	738,413.30
<b>Grand Total</b>	<b>426,368.56</b>	<b>\$1,164,781.86</b>

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to insure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,

  
 \_\_\_\_\_  
 William M. White  
 Finance Director

**ELECTRONICALLY PAID DISBURSEMENT LISTING**  
**Estimated Through February 9, 2015**

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	2/1/2015	1/15 Credit Card Revenue Processing Fees	\$2,000.00 *
Credit Card Revenue Fees - Actual	01-Variou	1/1/2015	12/14 Credit Card Revenue Processing Fees	\$1,309.87
Payroll [Pension] Transaction - Estimated	07-492-4980	1/1/2015	1/15 Police Pension Payments	\$171,497.64
Payroll [Pension] Transaction - Estimated	11-495-4980	1/1/2015	12/14 Civilian Pension Payments	\$133,705.79
Payroll [Bi-Weekly] Transaction - Estimated	01-various	1/29/2015	Salaries and Payroll Taxes - General Fund	\$400,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	1/29/2015	Salaries and Payroll Taxes - Sewer Fund	\$15,000.00
Payroll [Bi-Weekly] Transaction - Estimated	23-various	1/29/2015	Salaries and Payroll Taxes - Willows Fund	\$0.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	1/29/2015	Salaries and Payroll Taxes - K-9 Fund	\$400.00
Payroll [CBA Special] Transaction - Estimated	01-various	1/30/2015	Sick pay Bonus - General Fund (Union)	\$10,000.00
Payroll [CBA Special] Transaction - Estimated	02-various	1/30/2015	Sick pay Bonus - Sewer Fund (Union)	\$1,000.00
Payroll [CBA Special] Transaction - Estimated	01-various	1/30/2015	Sick pay Bonus - General Fund (Non-Union)	\$3,000.00 **
Payroll [CBA Special] Transaction - Estimated	02-various	1/30/2015	Sick pay Bonus - Sewer Fund (Non-Union)	\$500.00 **
<b>Period Total</b>				<b>\$738,413.30</b>

Submitted:



\* Credit card fees are charged to the Township's accounts on the first of the month

\*\* Non-Union Employees, subject to Board Approval (similar benefit payments are to be made to the collective bargaining employees January 31st pursuant to Union Agreements)

<u>Original Estimate</u>			<u>Actual Amount</u>
\$400,000.00	1/15/2015	Salaries and Payroll Taxes - General Fund	\$413,018.61
\$15,000.00	1/15/2015	Salaries and Payroll Taxes - Sewer Fund	\$13,694.89
\$400.00	1/15/2015	Salaries and Payroll Taxes - K-9 Fund	\$527.14
<b>\$415,400.00</b>			<b>\$427,240.64</b>

**Radnor Township**  
**Public Works Department**  
**Monthly Report for December 2014**

**Building Maintenance**     *1 man*

Maintains & cleans facilities including trash and recycling removal – Administration and Police Building, Public Works Buildings, Radnor Activity Center, and Willows Mansion (as needed)

**Fleet**     *3 men*

Serviced and maintained 149 pieces of equipment and vehicles

**Highway**     *12 men*

- Attended All Staff meetings
- Installed new traffic signs to replace faded ones
- Replaced bulbs as needed on traffic signals
- Ran the Tub Grinder at Skunk Hollow
- Installed speed boards for police dept.
- Cleaned inlets throughout the Township
- Delivered Barricades for various events
- Assisted Refuse Department
- Assisted Sewer Department
- Repaired 3 inlets throughout the Township
- 300 storm drains cleaned
- 15 pot holes filled
- Completed street light survey
- Posted High Water Signs for Rain Events
- Turned compost piles at Skunk Hollow
- Repaired meters at various locations
- Replaced and repaired signs as needed
- Called Higgins Electric for Traffic Signal Concerns
- Cleaned Storm Sewer Lines with the Sewer Department
- Moved Speed Boxes for Police Department
- Sweeper cleaned various streets throughout the Twp.
- Changed 5 Traffic Light Bulbs at various intersections
- Completed Leaf Collection in all 3 districts
- Cleaned business district for
- Set up for Fireworks at the Willows
- Attended Budget Meetings

**Parks**     *13 men*

- Cleaned all Park Restrooms, 3 times per week
- Picked up trash at parks and bike trail, 3 times per week
- Checked the Radnor Bike Trail after all storms
- Repaired small equipment
- Serviced all mowers and tractors
- Washed all Vehicles
- Repaired all fences in the parks
- Checked all park playground equipment
- Fall clean up at Parks & Twp. Buildings – 4 men
- Cleaned garages
- Cleared 2 trees from waterway
- Removed 4 trees in Township right of way
- Pruned 12 trees in right of way
- Removed 2 trees in parks
- Assist trash department – Monday and Tuesday
- Removed 1 fallen tree from Roads at night
- Cut out and installed clay at all ballfields
- Repaired swings at tot-lots
- Set up and cleaned up after all Recreation Dept. events
- Assisted Highway Dept with Leaf collection – 9 men

**Sewer**     *3 men*

- Pumping Stations (5) check and maintain 5 times per week – 100 times per month
- PA One Call markouts – 175 for the month of December
- Repaired 2 manholes
- Fueled generators at pumping stations
- 11 stoppages for the month of December
- Generators (4) - check and maintain 5 times per week – 80 times per month
- Jet Truck – cleaned ,260 feet of sewer and storm lines
- Located 4 buried manholes
- Repaired 2 pumping station
- Assist trash department Monday and Tuesday

- Cleaned 12 manholes
- Washed all vehicles

- Cleaned garages
- Assisted highway department with leaf collection – 2 men

**Solid Waste**                      *17 full time and 6 part time men*

- Solid Waste and Recycling collections -7,500 collections 2 times per week
- 69 Open truck collections
- Sanded and primed trash trucks

- Curbside Yard Waste Collection – Every Wednesday
- Picked up paint at stops as needed
- Cleaned road side on State Roads

# RADNOR TOWNSHIP RECREATION & COMMUNITY PROGRAMMING DEPARTMENT MONTHLY REPORT – DECEMBER 2014



## Programs/Excursions/Events

- Programming consisted of:
  - Pre-School Little Hoop Stars with Jumpstart Sports (27 participants)
  - Pre-School indoor Soccer in cooperation with World Cup Sports Academy (registration underway)
  - Pre-School Indoor Soccer in cooperation with Soccer Shots (registration underway)
  - Men's Basketball (15 participants)
  - Gryphon Volleyball (19 participants)
  - Youth Wrestling (14 participants)
  - After-School Science at Ithan (22 participants)
  - After-School Chess at Ithan (24 participants)
  - New York City Trip – coordinated staffing and logistics; trip was a sell out with 49 participants.
  - Holiday at the Willows & Fireworks Finale (1,000 participants)
  - Santa's Delivery Gift Drop Off (277 households - up 62% from 2013; 663 gifts - up 76% more than 2013)
  - Overall attendance at community events in 2014 is over 18,000; last year's event attendance came was 12,769 (47% increase); attendance in 2014 is a 471% increase from 2010.
  - Regal Movie Discount Ticket Program (381 movie tickets sold in 2014)
  - PRPS Discount Ticket Program (84 ski tickets sold in 2014) ski tickets are currently available for 2015; Amusement Park Ticket Program (266 sold in 2014); 731 total tickets were sold in 2014, up 13% from last year and up 30% since the program's inception in 2012.
- Met with winter programming and event vendors/instructors and aligned contractual agreements and coordinated facility schedules with venues.
- Developed and distributed Winter & Spring 2015 Programming/Activities Brochure.
- Continued planning the Winter 2014-2015 Radnor Youth Basketball Program – worked through goals and objectives that have been set; worked with new Basketball Program Coordinator in aligning division representatives and setting practice/game schedules; worked with new vendor to coordinate production of new and improved apparel for the program; coordinated facility usage with RTSD and various local private schools such as Agnes Irwin School, Hill Top Preparatory School, Woodynde School, and Villanova University; worked through online registration and coaches/background check registration processes; updated website; met with potential, contractual program partners for the 2015-2016 program.

## Radnor Youth Basketball Participation Summary

	2009/2010	2010/2011	2011/2012	2012/2013	2013/2014*	2014/2015**
<b>Hoops Clinic</b>	296	225	204	185	192	165
<b>League</b>	969	878	862	813	907	892
<b>Total:</b>	<b>1265</b>	<b>1103</b>	<b>1066</b>	<b>998</b>	<b>1099</b>	<b>1057</b>

\*2014 program includes Kindergartners/2<sup>nd</sup> Grade League options

\*\*2015 program registration is still underway

- Developed Manager's Challenge Program along with Employee Wellness Incentive Program.
- Upcoming Community Events coordinated consisted of:
  - Santa's Delivery/Delivery Night – coordinated position volunteers, vehicle assignments, program delivery logistics, and communications.
  - Holiday at the Willows – coordinated entertainment, activities, fireworks, and sponsors.
  - Daddy-Daughter Valentine's Dance – coordinated venue and met with representatives to discuss logistics, developed contract, and coordinated activities.

- Continued sponsorship development by working with local businesses and organizations for current events and programs; conducted meetings and discussions with several potential sponsors to secure monetary and in-kind sponsorships for 2015 events; updated areas of the website to include continual updates on event information and sponsorship opportunities; sponsorship contributions in 2014 are at \$63,550; there are 133 total sponsorships that been received to date (includes all monetary and in-kind sponsorships).
- Continued/developed event and programming collaborations with Radnor Township School District, Villanova University, Radnor Memorial Library, Wayne Senior Center, the American Lung Association, Radnor Hotel, La Maison, PSSC, and with other prospective businesses and organizations within the community.
- Submitted grant for Outdoor Education Programming and Enrichment per PEOC's 2014 10<sup>th</sup> Anniversary Green Region Open Space Grant Program Bonus Round (in November); received notification that the application was declined.
- Prepared financial reporting and evaluation for seasonal programming, events, discount ticket program, picnic, park, athletic field, and facility rentals; continued review and development of the Department's Goals and Objectives/Projects and Status for 2015.

### **Administrative**

- Processed daily phone and email communications in order to provide information on community sports, recreational activities, and events; set up online registration for applicable programs and events through egov Strategies/handled registrations for programs; prepared purchase orders/invoices, deposited income; conducted ongoing program wrap-ups as needed including the reconciling of participation numbers, finalizing instructor payments, performing program financial analyses, and sending out program evaluations; coordinated locations and logistics for programming, scheduled facility reservations/submitted applications, maintained Outlook event calendars, met with instructors and vendors to develop program agreements and process background checks; continued utilization of PEN (Programmer's Exchange Network) listserv to obtain and share information to evaluate and advance; updated all Department areas of the Township website and social media page and distributed monthly/weekly e-newsletters; filmed our monthly segment for the *Radnor 411* television show, *30 Minutes with the Manager* television show, and prepared slides for the Radnor Cable Channel; coordinated ongoing marketing efforts; managed inventories and distributed supplies to programs; worked with Township solicitor on various pieces of Department legislation and matters.
- Continued to work with Program Supervisor and Program Coordinator through continued planning, programming, and procedures; visited facilities in the Township; met with organizations; discussed daily/seasonal operations, services, and Township/Department procedures; conducted programmatic planning and developed short-term goals and objectives for 2015.
- Attended and prepared reports and documentation for monthly Board of Commissioners Meetings and monthly Parks Board Meeting.
- Developed presentation on 2014 highlights for the Parks Board's January Meeting (see attached).
- Attended weekly staff meetings with Township Manager and Department Directors/Supervisors.
- Monitored budgetary line items; developed budgetary analyses outline and management of vendor expense data along with budgetary composition analyses; continued to build on our Department's reporting and time allocation; developed cost assumptions and cost recovery illustrations relative to our Department's financial overview; continued review of Department operating budget and parks capital and improvement planning.
- Met to discuss staff performance evaluations.
- Program Supervisor attended monthly Township Safety Committee meeting.
- Met with Finance staff and potential parks and recreation software demo representatives.
- Finalized internship for spring 2015 with a student from Temple University.
- Established and distributed job advertisements for part-time leadership positions for programs, birthday party program at Radnor Activity Center, and summer camp positions.
- Coordinated new website advertisement.
- Administrative Projects underway: Passport to Parks Program Initiative; Department Strategic Plan; Online registration solution for programs.



## Parks/Facilities

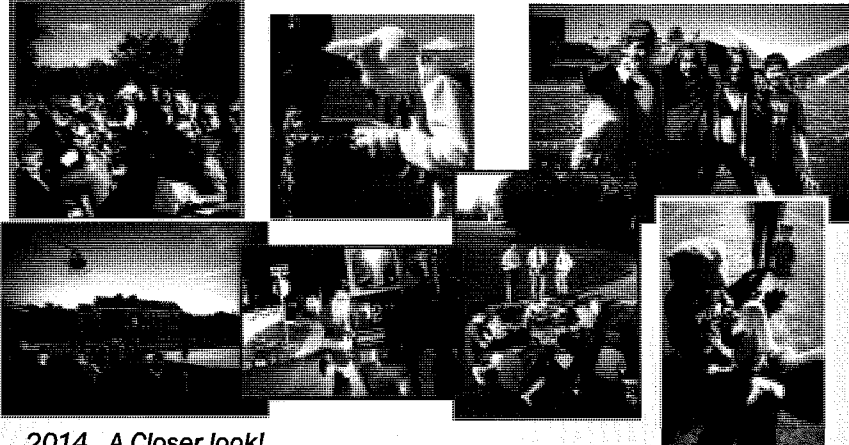
- All park bathrooms have been winterized for the season.
- **Athletic Fields:** Began coordination of spring field scheduling for spring 2015 with the community sports organizations, local schools, and programs.
- **Trails:** worked with the Delaware Valley Planning and Recreation Commission on a project that will entail pedestrian and cycle counts along the Radnor Trail utilizing equipment and technology that was funded by the DVPRC's grant receipt from the William Penn Foundation – we are currently working through the details of a letter of understanding for the project; noteworthy is that the Radnor Trail will be celebrating 10 years in 2015.
- **Radnor Activity Center:** Coordinated usage and rentals – 4 rentals took place in December, several were for multiple dates, along with the Department's seasonal recreational usage including evening men's hoops and the Radnor Youth Basketball Winter Program; we have continued to work on new rental opportunities, the birthday party program and general program growth at the facility; we installed two multipurpose netting systems for volleyball, tennis, etc.; repairs were made on an emergency water pipe leak.
- **Park Areas:** Began taking reservations for the 2015 season.
- **The Willows:** A Request for Proposal (RFP) Submission Process for the Adaptive Reuse of the Willows began in July 2012; the Lake House Inn/Jeffrey Miller Catering Proposal that was submitted and reviewed throughout the RFP process was reengaged and the Board of Commissioners have authorized development of a lease agreement with LHI/JAM (Willows, LLC) to operate the Willows Mansion as a wedding/event facility with improvements to the Willows Mansion and the addition of a pre-fabricated event structure/terrace to accommodate 200+; the operating agreement was approved by the Board of Commissioners on September 8<sup>th</sup>; staff met with Willows LLC representative to discuss timeline for construction and operations which is currently moving along and we anticipate they will be starting soon in 2015. The mansion is not currently being utilized for rentals, however some Township meetings and events are being held there (Holiday at the Willows took place in December). Replacement of the entryway bridge will remain underway through 2015.
- **Encke Park:** We are working with members of Radnor Wayne Little League to discuss potential park improvements that may include a combination comfort station/snackbar, ball field conversion completion, repairs to driveway access off of Iven Avenue, scoreboards, and signage; a rain garden project is also being coordinated for the site near the streambank and parking area with more details to follow; additional parking is also being planned for the Township Building/Encke Park complex along with resurfacing and improvements to Radnor Skatepark.
- **Radnor Skatepark Improvements:** Continued working with Skatewave representative/local skaters to review changes/improvements to Radnor Skatepark; input and ideas have been incorporated into another draft that will be reviewed again with the skaters; any upcoming changes/improvements would be funded by the park improvement funding that was received as part of the Township Building cell tower contract renegotiation.
- **Clem Macrone Park Master Planning:** Master planning project underway to review the existing site and provide a conceptual plan of how the park should be developed to maximize its footprint and best serve the passive and active recreational needs of the community; the project conceptual plan was presented at the April 10<sup>th</sup> Parks and Recreation Board Meeting and at the April 28<sup>th</sup> Board of Commissioners Meeting; funding support for the project is being evaluated an updated timeline is under development; we will be requesting authorization to proceed with Kimmel-Bogrette to prepare the construction/design documentation for the Clem Macrone Project at the Monday, January 12<sup>th</sup> BOC Meeting; the grant application that was submitted to the DCNR C2P2 Program for \$500K has been denied; the grant application that was submitted to the DCED Greenways, Trails, and Recreation Program (GTRP) for \$250K was approved with notification that \$224K has been awarded as part of this program with a required match of \$39,500; funding has been requested from the State Capital Budget Program (no notification has been given to date); \$5,000 has been received from a PECO grant application.

- **Veterans Park Planning:** (formerly St. Davids Community Park): Planning project underway to honor Veterans, educate visitors, and improve various features of the site; The Parks and Recreation Board (on March 13<sup>th</sup>) and the Board of Commissioners (on March 24<sup>th</sup>) reviewed the Conceptual Plan as presented by Simone Collins Landscape Architecture who have been engaged to develop the plan; we met with the neighbors of the park in late April to discuss and review the plan; Simone Collins has incorporated the changes to the plan that were recommended and the updates were shared with the Parks & Recreation Board the park neighbors in July; fundraising is underway by the Township Manager to fund the park changes.
- **Cell Towers in Township Parks:** Evaluation is currently underway for cellular towers in Township Parks – parks include Fenimore Woods, the Willows, and Ithan Valley Park; the Parks & Recreation Board reviewed presentations by the proposed cell tower companies in a special meeting in September 2014; they have continued to review this project through 2014 and a recommendation has been made in support of cell towers (with qualifiers) to the Board of Commissioners; the BOC will discuss the topic at their Monday, January 26<sup>th</sup> Meeting.
- **Greenways & Open Space Network Plan:** Development of the Greenways and Open Space Network Plan is moving forward with the project's subcommittee. The plan will examine opportunities for new pedestrian and bicycle routes throughout the Township that will link open space, natural areas, parks, existing trails, schools, residential developments, places of business, regional transportation, other prominent Township destinations, and provide links to trails in adjoining municipalities. The final plan was presented and approved by the Board of Commissioners in December 2014.
- **North Wayne Park Stormwater Plan:** Development of a plan is underway and has been ongoing since 2010 to install a stormwater retention system at the site of North Wayne Park while retaining the recreational amenities of the site; public meetings took place with residents on June 30<sup>th</sup> at the Public Works Garage and at the September 22<sup>nd</sup> at the Board of Commissioners Meeting; the voted stormwater plan, that retains the current recreational features of the park, is currently under development.
- **Recreation Center Project:** The Board of Commissioners authorized the Township to review this project in cooperation with Comcast-Spectacor and it is underway; an update on the project and the conceptual plan will be further reviewed in the near future.

Respectfully Submitted,




Tammy S. Cohen  
Director of Recreation & Community Programming



*2014...A Closer look!*

**RADNOR TOWNSHIP RECREATION & COMMUNITY PROGRAMMING**



January 8, 2015  
Tammy Cohen, Director

## **DEPARTMENT COMMUNITY EVENTS**

### **3 NEW Events in 2014**

- Great American Backyard Campout
- Zumbathon
- Highest Ollie Contest at Radnor Skatepark

### **Changes in 2014**

- Daddy Daughter Dance at Radnor Hotel
- Wheels of Wayne expanded footprint
- Concert at Veterans Park (instead of Movie Night)

### **6 NEW Events in 2013**

- Mystery Dinner Theatre
- Shred for the Park at Radnor Skate Park
- Wheels of Wayne Car & Motorcycle Show
- Truck Zoo & Community Celebration
- Willows Concert & Fireworks Celebration
- Santa's Delivery

### **7 NEW Events in 2012**

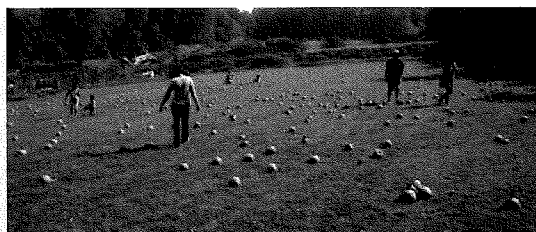
- Daddy-Daughter Valentine's Dance
- Shakespeare Theatre in the Park
- Night at the Ball Park & Fireworks Finale
- Radnor Family Movie Night
- Wayne Senior Center Open House/Active Aging Celebration
- Fall Harvest & Great Pumpkin Patch Halloween Event
- Trick or Treat at the Radnor Township Building

### **Events 2011 & Prior**

- Spring Eggstravaganza & Community Event
- Chester Valley Sportsman Association Youth Trout Derby
- Arbor Day Celebration
- Radnor Summer Concert Series 2013 (2 Concerts)
- Penn Medicine Radnor Run
- Holiday at the Willows & Fireworks Finale

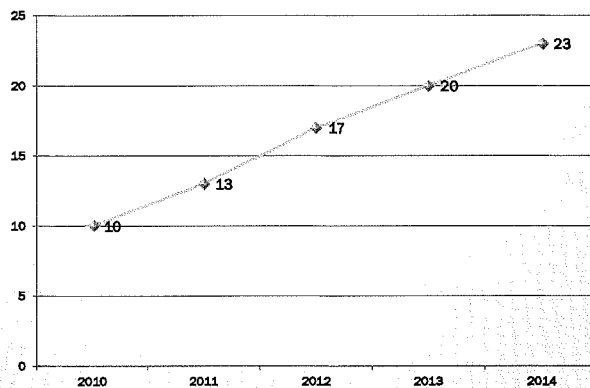
### PA RECREATION & PARKS SOCIETY RECOGNITION!

THE  
**FALL HARVEST  
& GREAT PUMPKIN PATCH**  
EVENT!



### GROWTH IN COMMUNITY EVENTS OFFERED

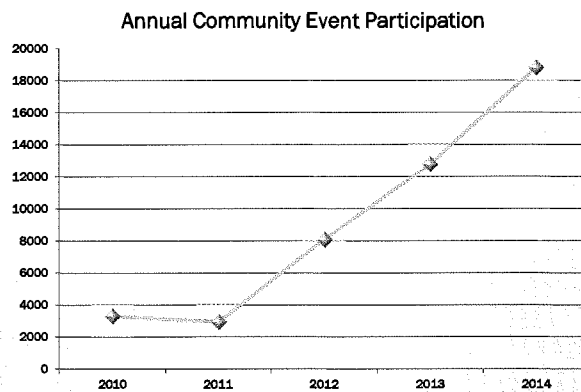
Number of Events Offered By Year



## 2015 COMMUNITY EVENT SCHEDULE

Daddy-Daughter Valentine's Dance - Friday, February 6, 2015 at the Radnor Hotel  
 Spring Eggstravaganza - Sunday, March 22, 2015 at Villanova University Football Stadium  
 Wheels of Wayne Car & Motorcycle Show - Sunday, April 19, 2015 on North Wayne Avenue, Wayne  
 Arbor Day Celebration - Tuesday, April 21, 2015 at Friends of Radnor Trails Park  
 Bike Rodeo - Sunday, May 3 at Wayne Art Center Parking Lot  
 Radnor Trail 10 Year Celebration - Date to be Determined  
 Chester Valley Sportsman's Association Youth Trout Derby - Dates to be Determined  
 Shred for the Park at Radnor Skate Park - Sunday, May 17, 2015 at Radnor Skate Park  
 Radnor's Great American Backyard Campout - Saturday, June 27, 2015 at the Willows Park  
 Radnor Summer Concert Series 2015 (3 Concerts) -  
     Back to Rock - Wednesday, July 8 at Veterans Park  
     Mango Men - Wednesday, July 29 at Clem Macrone park  
     Melissa Martin & the Mighty Rhythm Kings - Wednesday, August 5 at Bo Connor Park  
 Shakespeare Theatre in the Park - Tuesday, July 14, 2015 at the Willows Mansion front lawn  
 Night at the Ball Park & Fireworks Finale - Wednesday, July 22, 2015 at Encke Park  
 Truck Zoo & Community Celebration - Sunday, September 20, 2015 Radnor Memorial Library Parking Lots  
 Wayne Senior Center Open House/Active Aging Celebration - Thursday, September 24, 2015 at Wayne Senior Center  
 Fall Harvest & Great Pumpkin Patch Halloween Event - Sunday, October 4, 2015 at the Willows Park  
 Penn Medicine Radnor Run - Sunday, October 25, 2015 at the Radnor Township Building  
 Trick or Treat at the Radnor Township Building - Friday, October 30, 2015 at the Radnor Township Building  
 Santa's Delivery Night - Saturday, December 12, 2015

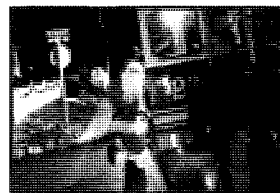
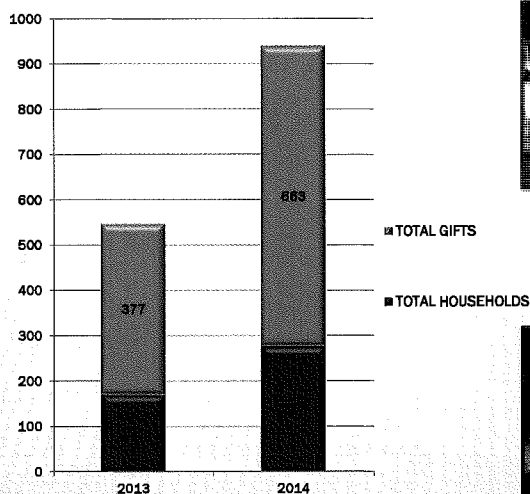
## GROWTH IN COMMUNITY EVENT PARTICIPATION



Participation has grown 47% from 2013!

Participation has grown by 471% since 2010!

### SANTA'S DELIVERY PARTICIPATION!



### PARTNERSHIPS 2014

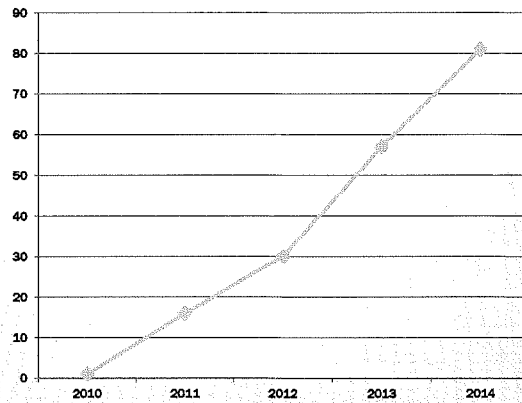
#### 14 Organizational Partners

- Radnor Cub Scouts
- Radnor Girl Scouts
- Wayne Business Association
- Radnor Memorial Library
- Villanova University
- Radnor Conservancy
- Radnor Wayne Little League
- Wayne Art Center
- Wayne Senior Center
- Radnor Fire Company
- Bryn Mawr Fire Company
- Broomall Fire Company
- Gladwyne Fire Company
- American Lung Association

#### Business Partners/Presenting Sponsors

## SPONSORSHIPS...A CLOSER LOOK

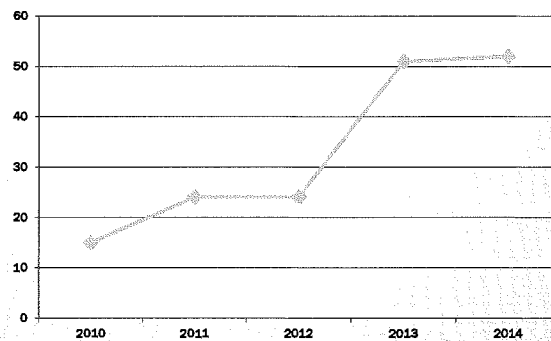
Total In-Kind Sponsorship Contributions



81 In-Kind and Service Sponsorship Contributions ...42% increase from 2013

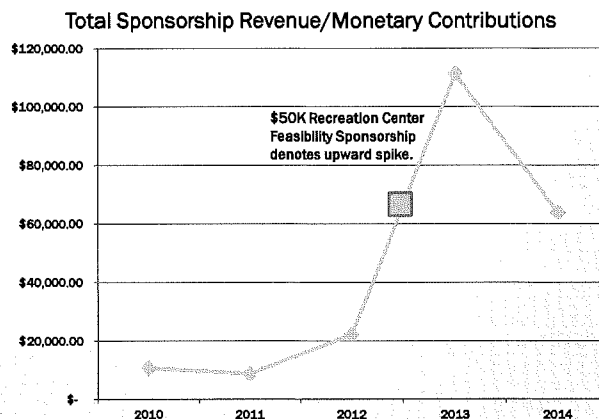
## SPONSORSHIPS...A CLOSER LOOK

Total Quantity/Monetary Sponsorship Contributions



52 Monetary Sponsorship Contributions in 2014 totaling \$63,550

## SPONSORSHIPS...A CLOSER LOOK



Contributions have ranged from \$10K to \$111K

## SPONSORSHIPS...A CLOSER LOOK

- Organization/Business-Focused Approach
- What do sponsors get out of it?
  - Advertising
  - Outreach
  - Visibility
  - Relationship Building
- How is the sponsorship money spent?
  - Cover the Event Direct Expenses (entertainment, supplies, fireworks, etc.)
  - Defray Event Indirect Costs



## **FOCUS ON PROGRAMMING 2014**

### **2014 Overview:**

- Maintained delivery of staple programming – Summer Camps, Youth Basketball
- 100 programs offered/100% coverage direct costs
- Over 3,500 participated in programming
- Continued to focus on quality vs. quantity

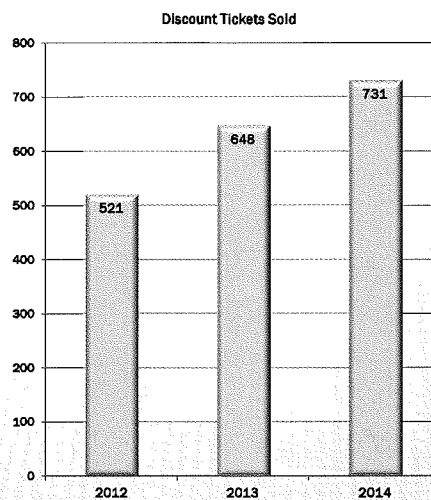
### **2014 Highlights**

- Adult Sports Leagues at Memorial Park with Philadelphia Sport and Social Club – 130+
- Preschool soccer and tee ball programming growth in summer and fall seasons 150+
- 2 new summer specialty camps
- Coaches clinic for Radnor Youth Basketball
- Radnor Youth Basketball up 10% from 2013\*
- Radnor Day Camp up 16% from 2013\*
- Stabilized participation for summer camps from 2013 to 2014

### **Where are we headed in 2015?**

- Increase off-peak utilization of Radnor Activity Center/Radnor Memorial/Park Locations
- Increase focus on programming partnerships and delivery collaborations - Radnor Youth Basketball Program, RTSD PTOs, Main Line School Night
- Convert all programming to cost-effective online registration/finance software integration

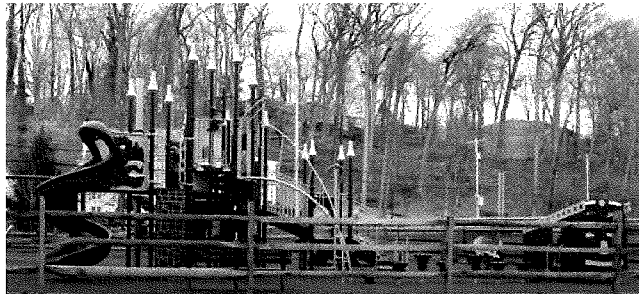
## **PA RECREATION & PARKS SOCIETY & REGAL CINEMA DISCOUNT TICKET PROGRAM PERFORMANCE**



### **PARK & FACILITY IMPROVEMENTS & PROJECTS**

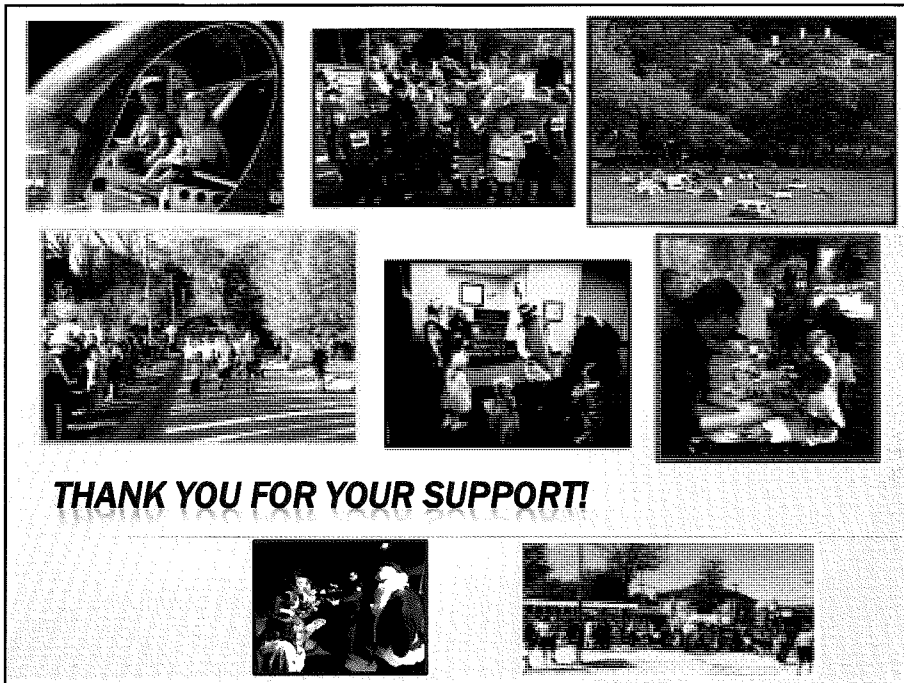
- Encke Park Playground Enhancement Project
- Willows Mansion Partnership Development
- Clem Macrone Master Planning
- Evaluation of Cell Towers in Township Parks
- Veterans Park Planning
- North Wayne Park Stormwater Basin Development
- Greenways & Open Space Network Plan
- Radnor Skatepark Improvements
- Ithan Valley Park Historical Recognition & Improvements (kiosk & steps)
- Skunk Hollow Garden sign
- Ardrossan Property/Trails
- Park Comfort Stations
- Park Signage
- Recreation Center Feasibility

### **ENCKE PARK PLAYGROUND ENHANCEMENT PROJECT**



# **TOWNSHIP DEPARTMENTS & TEAMWORK**

**Intense Collaboration Amongst Township Departments**



**THANK YOU FOR YOUR SUPPORT!**

MEMORANDUM

To: Board of Commissioners  
CC: Robert A. Zienkowski, Twp. Manager  
Stephen F. Norcini, P.E.; Director of Public Works  
From: Suzan Jones, Administrative Assistant Engineering Department  
Re: December 2014 Monthly Summary Report

\*\*\*\*\*

We hereby submit for your review the December 2014 Engineering and Public Works Departments Revenue, respectively \$ 8,490.00 and \$ 3,795.00 as outlined below.

➤ 6	Grading Permit Applications - \$ 1,425.00	year-to-date - \$ 76,095.00
➤ 0	Clearing Permit Application - \$ 0.00	year-to-date - \$ 160.00
➤ 1	SALDO Application - \$ 4,600.00	year-to-date - \$ 64,350.00
➤ 8	Sidewalk Permit Applications - \$ 450.00	year-to-date - \$ 3,750.00
➤ 46	Sidewalk blocks replaced -	year-to-date - 451 blocks
➤ 0	Septic Permit Applications - \$ 750.00	year-to-date - \$ 7,885.00
➤ 1	Property inspections - \$ 65.00	year-to-date - \$ 23,320.00
➤ 12	Certificate of Occupancy Applications - \$ 1,950.00	year-to-date - \$ 62,250.00
➤ 17	Highway Permit Applications - \$ 3,795.00	year-to-date - \$ 58,455.00

Engineering income for 2014 year-to-date \$ 237,810.00

Public Works income for 2014 year-to-date \$ 58,455.00

Engineering Assistant Doug Meder, SEO, performed the following:

- 69 site visits
- 19 mark outs for property resale (sidewalks)
- 19 sewer inspections
- 3 complaints investigated
- 4 grading permit applications reviewed
- 16 meetings attended
- 0 Sewage Permit Review    0 Deep Holes    0 Pre-soaks    0 Perc Tests    1 Septic Installations
- 0 Storm percolation tests

Professional Service Fees Reimbursed for 2014 year-to-date \$ 632,504.49

## MEMORANDUM

To: Board of Commissioners  
CC: Robert A. Zienkowski, Twp. Manager  
Stephen F. Norcini, P.E.; Director of Public Works  
From: Suzan Jones, Administrative Assistant Engineering Department  
Re: 2014 Yearly Summary Report

\*\*\*\*\*

We hereby submit for your review the January - December 2014 Engineering and Public Works Departments Revenue, respectively \$ 237,810.00 and \$ 58,455.00 as outlined below.

➤ 242	Grading Permit Applications	year-to-date - \$ 76,095.00
➤ 2	Clearing Permit Application	year-to-date - \$ 160.00
➤ 19	SALDO Application	year-to-date - \$ 64,350.00
➤ 65	Sidewalk Permit Applications	year-to-date - \$ 3,750.00
➤	Sidewalk blocks replaced	year-to-date - 451 blocks
➤ 13	Septic Permit Applications	year-to-date - \$ 7,885.00
➤ 359	Property inspections	year-to-date - \$ 23,320.00
➤ 359	Certificate of Occupancy Applications	year-to-date - \$ 62,250.00
➤ 187	Highway Permit Applications	year-to-date - \$ 58,455.00

Engineering income for 2014 year-to-date \$ 237,810.00

Public Works income for 2014 year-to-date \$ 58,455.00

Engineering Assistant Doug Meder, SEO, performed the following:

- 855 site visits
- 353 mark outs for property resale (sidewalks)
- 353 sewer inspections
- 115 complaints investigated
- 121 grading permit applications reviewed
- 329 meetings attended
- 40 Sewage Permits Review    Deep Holes    Pre-soaks    Perc Tests    Septic Installations
- 19 Storm percolation tests

Professional Service Fees Reimbursed for 2014 year-to-date \$ 632,504.49

# **RADNOR TOWNSHIP POLICE DEPARTMENT**

## **MONTHLY REPORT**



**NOVEMBER 2014**

**William A. Colarulo**  
**Police Superintendent**



# **RADNOR TOWNSHIP POLICE DEPARTMENT**

**301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297  
OFFICE: (610) 688-0503  
FAX: (610) 688-1238**

**WILLIAM A. COLARULO  
POLICE SUPERINTENDENT**

## **Executive Summary**

**November 2014**

The Radnor Police Department responded to 1,693 calls for service for the month of November 2014. Radnor Officers issued 421 traffic citations for motor vehicle violations. 63 non-traffic citations were issued for various summary offenses such as Disorderly Conduct, Underage Drinking and Public Drunkenness. A total of 2,155 parking tickets were issued for expired meter violations. Radnor Police Officers made 23 misdemeanor/felony arrests during November 2014.

**Radnor Township Police Department**

**November 2014**

**Accidents / Violations / Investigations / Juvenile Report**

<b>Accidents</b>	<b>Nov-14</b>	<b>YTD 2014</b>	<b>Nov-13</b>	<b>YTD 2013</b>	<b>YTD from 14 to 13</b>
Accidents - Fatal	0	0	0	1	-1
Accidents - Reportable- With Injuries	8	82	6	81	1
Accidents - Reportable - No Injuries	20	171	21	204	-33
Accidents - Non Reportable	58	655	69	636	19
Accidents - Hit & Run	8	121	8	110	11
Accidents - No Report	6	80	7	95	-15
Pedestrian Accidents - With Injuries	0	0	0	0	0
Pedestrian Accidents - Fatal	0	0	0	0	0
<b>Total Accidents</b>	<b>100</b>	<b>1109</b>	<b>111</b>	<b>1127</b>	<b>-18</b>
<b>Violations</b>					
Arrests - Felony & Misdemeanor	23	176	0	173	3
Traffic Violations	421	5137	302	5004	133
Non-Traffic Violations	63	720	56	777	-57
Parking Meter Violations	2155	24687	1789	16953	7734
Abandoned Vehicles	0	10	0	8	2
<b>Total Violations</b>	<b>2662</b>	<b>30730</b>	<b>2147</b>	<b>22915</b>	<b>7815</b>
<b>Complaints</b>					
Complaints	1209	14148	1303	14426	-278
Unlocked Businesses	3	81	4	87	-6
Alarms	142	1584	150	1611	-27
Animal Complaints	22	240	31	500	-260
<b>Total Complaints</b>	<b>1376</b>	<b>16053</b>	<b>1488</b>	<b>16624</b>	<b>-571</b>



# PATROL HIGHLIGHTS



**1<sup>st</sup> Platoon: Sergeant George H. Smith**  
**3<sup>rd</sup> Platoon: Sergeant Shawn C. Dietrich**

**2<sup>nd</sup> Platoon: Sergeant Joseph W. Pinto**  
**4<sup>th</sup> Platoon: Sergeant Joseph R. Maguire III**

## November 2014

### Highlights

On November 3<sup>rd</sup>, Officers responded to a report of a hit and run in the 400 block of East Lancaster Avenue. The vehicle sustained damage on the driver side. No injuries reported and no tow was needed.

On November 3<sup>rd</sup>, Officers responded to for a report of a dog bite to a man making a delivery on Harrison Road. The dog did penetrate the skin but the delivery man refused an ambulance. Contact was made with homeowner and dog bite paperwork was issued.

On November 3<sup>rd</sup>, Officers responded to 105 South Wayne Avenue to a report of theft of bicycles from an apartment. Upon arrival, Officers made contact with the resident who stated he couldn't remember the last time he knew his bicycles were out back of his residence and he recently discovered the bikes missing.

On November 4<sup>th</sup>, Officers responded to a report of a suspicious person on Roberts Road and Beechwood Road. The resident stated he observed a shirtless w/m running down Roberts Road carrying a trash can. Officers checked the area; subject was gone on arrival.

On November 4<sup>th</sup>, a caller reported an illegal parked vehicle on Liberty Lane at South Devon Avenue. Upon arrival, the vehicle was parked on the South side of Liberty Lane. Due to a lack of signage on the south side of the road and the vehicle belonging to a resident on South Devon Avenue, which makes it unlikely that the driver was at the Township Park, it was determined that the vehicle was not in violation.

On November 5<sup>th</sup>, Officers responded to Woodstone Lane for a report of a suspicious person. The resident reported her house cleaner on location saw a w/m in the back yard and then ran away. Police arrived at the location and she stated she saw the male behind the fence line towards the railroad tracks. The properties near the above location were checked and conditions seemed normal at the time of the incident.

On November 6<sup>th</sup>, a resident of Orchard Way came to the Police Station to a report of a suspicious vehicle. The resident stated that on three separate occasions, (10/28), (10/30) and (11/5) a car pulled into her driveway and attempted to call her house using the callbox at her gate. Officers advised the resident to keep all her doors and windows locked and to call Police immediately if she saw the vehicle again.

On November 7<sup>th</sup>, a resident came to the Police Station to report a suspicious vehicle that drove past her house on Boxwood Road. The resident stated she was advised by her neighbor that she saw a suspicious

vehicle stop in front of her home on Monday, 11/3/14 sometime in the afternoon hours. She asked that this be reported in case of any issues in the neighborhood.

On November 8<sup>th</sup>, Officers responded to a burglary discovered on Spruce Tree Road. The resident stated she left her house and returned home to find the closet in the master bedroom had been ransacked. Upon making the discovery, she immediately exited the residence and called Police. Officers responded with K-9 Bear and conducted a search of residence with negative results. It appeared the actor(s) gained access to the house by prying open a garage window on the first floor. She advised a large amount of jewelry was missing. A property report was left for her to complete when she did an inventory of the missing items.

On November 9<sup>th</sup>, Officers responded to Cornerstone Lane to report of a suspicious vehicle parked close to their resident. As the resident approached the vehicle, a male jumped from the rear to the front seat and quickly backed the vehicle away. They were concerned that the male was casing the neighbor's house. Officers thoroughly checked the exterior of the neighbor's house and all appeared in order. They were advised to call Police should the vehicle return and not to approach on their own.

On November 9<sup>th</sup>, Officers responded to Glenbrook Avenue for a burglary attempt discovered. Officers reported the resident believed someone may have tried to gain entry into her residence sometime overnight. She stated that a ground level basement window on the side of her residence was smashed and she discovered the broken glass on her basement floor. Both windows were located on the side of the residence along the walk way that lead to the rear of the property. She completed a written statement.

On November 10<sup>th</sup>, Officers responded to a report of a suspicious circumstance on Wooded Lane. The resident reported she heard two men talking and moving her flower pots around. Officers reported making contact with the resident. She turned on the outside lights but did not see anyone. She also stated two men were walking towards the back of her house. Officers checked the area with negative results.

On November 12<sup>th</sup>, Officers responded to the 139 East Lancaster Avenue for a report of a stolen vehicle. Officers reported making contact with the resident who stated that he parked his rental vehicle in the parking lot in front of the Wayne Hotel on 11/12/14 and found it was missing. Officer asked the male where he was before he parked his vehicle, which he stated he was at the Great American Pub on North Wayne Avenue. Officers located the vehicle parked in front of the Matador restaurant. Vehicle appeared to have been parked there throughout the evening. Officers advised the male of his vehicle location.

On November 14<sup>th</sup>, VUPSD requested added patrol during the return of approximately 20 buses that left campus earlier in the evening for three separate semi-formal events. During the return, Officers interacted with numerous pedestrians, and issued one citation for Public Urination was observed urinating in the bushes adjacent to South Ithan Avenue.

On November 17<sup>th</sup>, Officers responded to South Ithan Avenue for a report of a suspicious vehicle. Passerby reported a disabled vehicle unoccupied at South Ithan Avenue and Meadowood Road. Officers reported finding a Honda Pilot parked in the middle of the intersection blocking traffic at South Ithan Avenue and Meadowood Road. Officers found the vehicle to be unlocked and moved the vehicle off to the side of the road on Meadowood Road. Officers tried via phone to contact the owner, but were unsuccessful. Officer issued a parking ticket, took possession of the keys and placed a yellow card in the window for the owner to contact RTPD should they return.

On November 18<sup>th</sup>, an employee of the Villanova Shell Station reported discovering a burglary. Officers reported upon arrival, the lower glass on the Lancaster Avenue of the building had been shattered. Upon walking inside one of the cash register drawers were open. Also several boxes of register tape were found on the floor near the broken window. Photos were taken of the scene. The camera card was placed into temporary evidence. The employee's boss was contacted and he advised he would drop off the camera footage at the station. The employee completed a statement.

On November 19<sup>th</sup>, Officers reported the speed board at Mill Road at Laurier Place was damaged. The wires coming from the solar panel that go into a junction box were ripped out and hanging from the box. Highway Department removed speed board for repairs.

On November 19<sup>th</sup>, a resident of Allens Lane came to the Police Station regarding fraudulent credit card use. The Officers arrived at the resident who explained she was notified by "Protect My ID Service" today regarding credit card charges. On 11/14/14 a credit card was opened in her name at Synchrony Bank, Walmart. 2 credit card charges were made at a Walmart in Boothwyn for the amounts of \$1,100.00 and \$1,895.68. Synchrony Bank informed the resident to file a Police report. A yellow card was issued at the time of the incident

On November 22<sup>nd</sup>, DelCom reported s shoplifter in custody at the TJ Maxx at 550 East Lancaster Avenue. Upon arrival, Officers made contact with Lost Prevention who stated a b/f was in custody. She made a purchase while attempting to conceal designer perfume inside of her purse. Loss Prevention stopped the female before she exited the store. The female was cited for Retail Theft, Title 18 Section 3929(a)(1). She was released to the custody.

On November 22<sup>nd</sup>, an anonymous complainant reported loud music coming from 104 Charles Drive. Upon walking up to the building, loud music could be heard from a distance away. Upon getting closer to the apartment, it could be determined that the loud music was coming from a second floor apartment. The resident was advised to turn the music down and that he would be receiving a citation in the mail for violating the noise violation.

On November 23<sup>rd</sup>, a resident reported a fight in the courtyard of 105 Charles Drive. Officers were unable to locate anyone fighting, but did observe loud noise. Officers made contact with the resident and advised him of the noise ordinance within Radnor Township. The resident was advised that he would be receiving a citation via mail for violating the noise ordinance.

On November 24<sup>th</sup>, a resident of reported seeing a suspicious b/m carrying a pillow case on Walnut Avenue. Police responded and searched with negative results. Police did meet with the resident and made her aware that Police would add a patrol in the area.

On November 25<sup>th</sup>, Constable requested Police assistance at Francis Avenue in regards to a warrant. . Constable was out with several agents of Delaware County Parole and Probation in an attempt to arrest a male for a probation violation.

**Radnor Township Police Department**  
**November 2014 Burglary Report**

<i>Time of Day</i>	Res-Forced	Res-No Force	Res-Attempt	Non Res-Forced	Non Res-No Force	Non Res-Attempt
Day (6 AM to 6 PM)	1	0	0	0	0	0
Night (6 PM to 6 AM)	0	0	0	2	0	0
Time Unknown	0	0	0	0	0	0
<b>Total Burgs - 11/14</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>0</b>	<b>0</b>
<b>Total Burgs - YTD</b>	<b>16</b>	<b>5</b>	<b>4</b>	<b>13</b>	<b>1</b>	<b>1</b>
<b>Burglaries by Area</b>						
<b>Patrol Area</b>	<b>District</b>	<b>Burgs 11/14</b>	<b>Burgs YTD 14</b>			
Northeast Beat	1	1	17			
Northwest Beat	2	1	9			
Southwest Beat	3	0	5			
Southeast Beat	4	1	8			
Villanova University	7	0	1			
<b>Total Burglaries</b>		<b>3</b>	<b>40</b>			

**Radnor Township Police Department**  
**November 2014 Crime Report**

<b>CLASS 1 Offenses</b>							
<b>Offense</b>	<b>Inc 11/14</b>	<b>Inc YTD 14</b>	<b>Clr'd 11/14</b>	<b>Clr'd YTD 14</b>	<b>Inc YTD 13</b>	<b>Clr'd YTD 13</b>	<b>Inc YTD 14 to 13</b>
Criminal Homicide	0	1	0	0	0	0	1
Forcible Rape	0	1	0	0	1	0	0
Robbery	0	4	0	0	4	0	0
Assault	3	22	0	13	52	45	-30
Burglary	3	40	0	2	34	4	6
Larceny	20	224	0	8	265	23	-41
Auto Theft	0	11	0	1	6	0	5
Arson	0	0	0	0	0	0	0
<b>Total Class 1 Off.</b>	<b>26</b>	<b>303</b>	<b>0</b>	<b>24</b>	<b>362</b>	<b>72</b>	<b>-59</b>
<b>CLASS 2 Offenses</b>							
Vandalism	7	86	0	3	135	4	-49
Illegal Drugs	8	47	2	26	56	49	-9
DUI	4	68	3	54	64	52	4
Disorderly Conduct	11	83	0	14	56	41	27
Fraud Related	21	118	0	0	74	0	44
Underage Drinking	6	57	0	39	68	59	-11
All Other Class 2	10	121	3	51	166	145	-45
<b>Total Class 2 Off.</b>	<b>67</b>	<b>580</b>	<b>8</b>	<b>187</b>	<b>619</b>	<b>350</b>	<b>-39</b>
<b>Grand Total</b>	<b>93</b>	<b>883</b>	<b>8</b>	<b>211</b>	<b>981</b>	<b>422</b>	<b>-98</b>

**Radnor Township Police Department**  
**November 2014 Property Stolen Recovered Report**

Type of Property	Nov-14 Stolen	2014 YTD Stolen	Nov-14 Recovered	2014 Y-T-D Recovered
Currency, Notes, Stocks Etc.	\$472.00	\$66,670.00	\$0.00	\$2.00
Clothing & Furs	\$476.00	\$4,669.00	\$108.00	\$571.00
Locally Stolen Motor Vehicles	\$0.00	\$338,572.00	\$0.00	\$268,043.00
Office Equipment	\$2,350.00	\$36,267.00	\$0.00	\$649.00
Televisions, Radios, Cameras	\$0.00	\$5,375.00	\$0.00	\$0.00
Firearms	\$0.00	\$0.00	\$0.00	\$0.00
Household Goods	\$3,328.00	\$5,903.00	\$40.00	\$410.00
Consumable Goods	\$0.00	\$389.00	\$0.00	\$0.00
Jewelery & Precious Metals	\$5,300.00	\$188,253.00	\$0.00	\$0.00
Livestock	\$0.00	\$0.00	\$0.00	\$0.00
Miscellaneous	\$3,795.00	\$57,086.00	\$0.00	\$1,341.00
<b>Total Property Value</b>	<b>\$15,721.00</b>	<b>\$703,184.00</b>	<b>\$148.00</b>	<b>\$271,016.00</b>

**Calls for Service - by UCR Code**

Incidents Reported Between 11/01/2014 and 11/30/2014

**RADNOR TOWNSHIP**

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
0110	MURDER AND NON-NEGLIGENT MANSLAUGHTER	0	1		
0512	BURGLARY-FORCED ENTRY-RESIDENCE-DAY	1			
0514	BURGLARY-FORCE ENTRY-NON-RESID-NIGHT	2			
0613	THEFT-\$200 & OVER-RETAIL THEFT	3			
0616	THEFT-\$200 & OVER-BICYCLES	1			
0617	THEFT-\$200 & OVER-FROM BUILDINGS	4			
0619	THEFT-\$200 & OVER-ALL OTHER	4			
0623	THEFT-\$50 TO \$200-RETAIL THEFT	1			
0627	THEFT-\$50 TO \$200-FROM BUILDINGS	2			
0633	THEFT-UNDER \$50-RETAIL THEFT	1			
0634	THEFT-UNDER \$50-FROM AUTO (EXCEPT 0635)	1			
0637	THEFT - UNDER \$50 - FROM BUILDINGS	1			
0643	THEFT-ATTEMPTED-RETAIL THEFT	2			
0690	THEFT - REPORTS	3			
0810	SIMPLE PHYSICAL ASSAULTS	3			
1100	FRAUD	7			
1130	FRAUD - ALL OTHERS (FLIM-FLAM, ETC.)	3			
1150	FRAUD - CREDIT CARDS	8			
1191	FRAUD - REPORTS	2			
1410	CRIMINAL MISCHIEF TO AUTOMOBILES	3			
1430	CRIMINAL MISCHIEF - PUBLIC BUILDINGS	1			
1440	CRIMINAL MISCHIEF - ALL OTHER	2			
1490	CRIMINAL MISCHIEF - REPORTS	1			
1812	NARCOTICS-SALE-MARIJUANA, HASHISH, ETC.	1			
1822	NARCOTICS-MANUFACTURE-MARIJUANA, ETC.	1			
1832	NARCOTICS-POSSESSION-MARIJUANA, ETC.	5			
2111	DRIVING UNDER THE INFLUENCE - ALCOHOL	2			
2112	DRIVE UNDER INFLUENCE-ALCOHOL-IMPAIRED	2			
2211	LIQUOR LAW-UNDERAGE-PURCH, CONSUMP, POSSES	6			
2300	PUBLIC DRUNKENESS	3	1		
2400	DISORDERLY CONDUCT	1			
2410	HARASSMENT BY COMMUNICATION	2			
2450	HARASSMENT	7	2		
2480	DISORDERLY CONDUCT-ALL OTHERS	0		1	
2490	DISORDERLY CONDUCT-REPORTS	1			
2640	ALL OTHER ORDINANCE VIOLATIONS	6			
2660	TRESPASSING OF REAL PROPERTY	3			
2664	ALL OTHER OFFENSES - ALL OTHER (MISC.)	1			
2900	JUVENILE RUNAWAYS	2			
2910	LOST/MISSING PROPERTY	4			
3200	CHECK ON WELFARE	3			
3300	CIVIL DISPUTES	7			
3500	DISTURBANCE - DISORDERLY PERSONS	7			
3501	DISTURBANCE-COMPLAINT OF NOISE, MUSIC, ETC	9			
3520	DOMESTIC PROBLEM (NO ARREST)	18	1		
3610	DISTURBANCES-JUVENILE	2			
3620	DISTURBANCES-OTHER (FIGHTS, DISPUTES, ETC)	4			
3650	ELECTRIC COMPANY-POWER OUTAGES, ETC	1			

**Calls for Service - by UCR Code**

Incidents Reported Between 11/01/2014 and 11/30/2014

**RADNOR TOWNSHIP**

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
3700	FIRE - RESIDENTIAL	2			
3701	FIRE-COMMERCIAL	1			
3702	FIRE-VEHICLE	1			
3703	FIRE-ALL OTHERS	7			
3706	FIRE - LEAVES, BRUSH, ETC.	2			
3840	FIRES (INCLUDING ALARMS-FOUNDED/UNFOUND)	1			
3850	HAZARDOUS CONDITIONS	12			
3880	OPEN DOORS/WINDOWS - DISCOVERED	2			
3900	GAS LEAKS (NATURAL GAS)	3			
4000	JUVENILE PROBLEMS (NO ARREST)	4			
4018	NON-CRIMINAL-ST. LIGHT OUT, ST. REPAIRS.	4			
4026	NON-CRIMINAL-WIRES AND POLES DOWN	1			
4200	MISSING PERSONS(EXCEPT JUVENILES)	1			
4301	MENTAL HEALTH-ALL OTHERS	6			
4500	OPEN DOORS/WINDOWS	3			
4600	ORDINANCE VIOL.-EXCEPT BURNING/SOLICIT	6	2		
4650	POLICE INFORMATION	48			
4655	CID/DTF INVESTIGATION	1			
4660	911 HANG UP CALL	21			
4700	ADDED PATROL-REQUEST FOR	4	3		
4701	ADDED PATROL - BUSINESS CHECKS	68			
4702	ADDED PATROL - SCHOOL CHECKS	31			
4900	SUSPICIOUS PERSON	19			
4901	SUSPICIOUS CIRCUMSTANCE	34			
4902	SUSPICIOUS VEHICLES	29			
5000	TELEPHONE CALLS-HARASSING/SUSPICIOUS	6			
5002	LOST & FOUND - FOUND ANIMAL	2			
5004	LOST & FOUND - FOUND ARTICLES	6			
5006	LOST & FOUND - LOST ANIMAL	1			
5008	LOST & FOUND - LOST ARTICLES	2			
5090	LOST & FOUND/MISSING PERSONS - REPORTS	1			
5200	TRAFFIC HAZARD-POTHoles/OBSTRUCTIONS/ICE	6			
5300	TREES DOWN AND/OR BLOCKING ROADWAY,ETC	5			
5401	VEHICLES-ASSIST MOTORIST(INCL LOCKOUTS)	32			
5402	VEHICLES-DISABLED	16	1		
5403	VEHICLES-MV VIOLATIONS & MVV COMPLAINTS	13	1		
5404	VEHICLES-PARKING COMPLAINTS	13	1		
5405	VEHICLES-TOWED	10			
5501	WIRES DOWN - NO HAZARD	10			
5502	ANIMAL COMPLAINTS - BARKING DOGS	4			
5504	ANIMAL COMPLAINTS - DOG BITES	1			
5506	ANIMAL COMPLAINTS - STRAY ANIMALS	6			
5510	ANIMAL COMPLAINTS - OTHER	8			
5590	ANIMAL COMPLAINTS - REPORTS	1			
5600	WARRANT-ARREST (ISSUED OUTSIDE RADNOR)	1			
6001	ACCIDENT - WITH INJURIES	8			
6002	ACCIDENT - NO INJURIES (REPORTABLE)	20			
6003	ACCIDENT - NON REPORTABLE	58			



**Calls for Service - by UCR Code**

Incidents Reported Between 11/01/2014 and 11/30/2014

**RADNOR TOWNSHIP**

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
6004	ACCIDENT - HIT & RUN	8			
6005	ACCIDENT - NO REPORT DONE	6	1		
6612	TRAFFIC RELATED - SIGNALS-SIGNS OUT	4			
6614	TRAFFIC RELATED - OTHER TRAFFIC	2			
7002	NOTIFICATION - COMMUNITY DEVELOPMENT	2			
7008	NOTIFICATION - SEWER DEPT.	7			
7014	PUBLIC SERVICE - OTHERS (OFFICER ASSIST)	2			
7090	PUBLIC SERVICES - REPORTS	2			
7502	ASSIST OTHER AGENCIES - FIRE DEPT.	1			
7504	ASSIST OTHER AGENCIES - OTHER POLICE	3			
8001	BURG/HOLDUP/PANIC ALARM - NO CITATION	105			
8003	FIRE/MEDICAL ALARM - NO CITATION	37			
9001	ANIMALS-RABID/SICK	5			
9002	ANIMALS - ALL OTHER	7			
9005	ANIMALS - ALL INVOLVING DEER	10			
9038	K-9 ASSIST	7	3	1	
9039	K-9 ASSIST OTHER LAW ENFORCEMENT	2			
9040	ASSIST LOWER MERION PD	1			
9041	ASSIST HAVERFORD PD	1			
9043	ASSIST NEWTOWN PD	1			
9047	ASSIST PSP	1			
9050	ASSIST SICK/INJURED	84	2		
9051	ASSIST AMBULANCE	37	1		
9052	ASSIST OTHER POLICE DEPARTMENT	1			
9055	ASSIST SICK/INJURED ALCOHOL/DRUG RELATED	10			
9966	SELECTIVE ENFORCEMENT-CITATION ISSUED	102	3		
9968	SELECTIVE ENFORCEMENT-WARNING ISSUED	15	2		
9970	SELECTIVE ENFORCEMENT-NO ISSUANCE	51			
9972	MOTOR OFFICER ACTIVITY	0	12	4	
CITN	NON-TRAFFIC CITATION	63			
CITT	TRAFFIC CITATION	421			
<b>Total Calls</b>		<b>1,693</b>			

## Radnor Township Police Department

### 2014 Deer Summary

		2014 Total Deer Incidents		28	6	11	11	2	
Date	Time	Location	M / F	Killed Auto	Inj Auto	Killed Other	Inj Other	Others	Incident Narrative
		Sub-Totals							
1/1/2014	12:41	41 Greenwell Lane	F			1			Deer Impaled On Fence
1/4/2014	18:04	Sproul Rd & Chandler Lane	F	1					Game Commission Notified
1/5/2014	13:50	611 Cornerstone Lane	U			1			Private Removal
1/5/2014	20:30	Bryn Mawr & Cornerstone	F	1					PennDOT Notified
1/9/2014	5:30	719 Southwinds Drive	F		1				Game Commission Notified
1/12/2014	11:16	Bryn Mawr & Glenwyd	M	1					PennDOT Notified
1/12/2014	15:20	Newtown Rd - Ardrossan	U			1			Private Removal
1/17/2014	17:30	451 Bryn Mawr Avenue	M	1					PennDOT Notified
1/17/2014	21:42	451 Bryn Mawr Avenue	U			1			Private Removal
1/19/2014	8:40	650 Saw Mill Road	U			1			Game Commission Notified
1/19/2014	18:23	852 Milmar Road	U				1		Injured-Gone Upon Arrival
1/25/2014	23:03	591 County Line Road	U	1					Game Commission Notified
1/27/2014	19:40	524 Bryn Mawr Avenue	F		1				PennDOT Notified
2/10/2014	9:53	298 S. Aberdeen Avenue	U	1					Game Commission Notified
2/15/2014	11:30	191 S. Spring Mill Road	U				1		Injured-Gone Upon Arrival
2/19/2014	18:48	480 Bryn Mawr Avenue	U	1					PennDOT Notified
2/21/2014	9:10	470 Huston Road	U			1			Private Removal
2/25/2014	22:25	678 King of Prussia Road	U				1		Injured-Gone Upon Arrival
2/26/2014	19:15	1300 Eagle Road	U				1		Injured-Gone Upon Arrival
2/27/2014	19:05	Bryn Mawr & Glenwyd	M	1					PennDOT Notified
3/10/2014	13:35	767 S. Ithan Avenue	F			1			Game Commission Notified
3/21/2014	16:46	810 Maple Glen Lane	F				1		Private Removal
4/1/2014	7:30	Walnut Ave & Paul Rd	U				1		Deer impaled on fence
4/14/2014	10:45	202 Gulph Creek Rd.	U		1				Injured-Gone Upon Arrival
4/29/2014	22:06	Sproul & Bryn Mawr	U	1					PennDOT Notified
5/14/2014	19:50	E. Lancaster & Meadowbrook	U				1		Injured-Gone Upon Arrival
5/24/2014	10:50	705 Larchwood Lane	U			1			Game Commission Notified
5/24/2014	10:44	409 S. Ithan Avenue	U					1	Alive Baby Deer
5/24/2014	15:26	3 Duncan Lane	U					1	Alive Baby Deer
6/1/2014	5:55	E. Lancaster & N. Radnor Ches.	M	1					PennDOT Notified
6/10/2014	9:33	Blue Route Bridge	U	1					Game Commission Notified
6/10/2014	9:33	Quaker Lane	U	1					PennDOT Notified
6/10/2014	15:49	Sproul & E. Lancaster	F	1					Game Commission Notified
6/10/2014	17:12	Clyde & S. Ithan	F	1					Game Commission Notified
6/12/2014	17:45	Upper Gulph & Arden	U	1					Game Commission Notified
6/15/2014	8:23	800 Newtown Road	U	1					PennDOT Notified
6/21/2014	9:42	Bryn Mawr & S. Ithan	U	1					PennDOT Notified
6/23/2014	10:45	King of Prussia & Gulph Creek	U	1					Game Commission Notified



# **RADNOR TOWNSHIP POLICE DEPARTMENT**

## **MONTHLY REPORT**



**DECEMBER 2014**

**William A. Colarulo**  
**Police Superintendent**



# **RADNOR TOWNSHIP POLICE DEPARTMENT**

**301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297  
OFFICE: (610) 688-0503  
FAX: (610) 688-1238**

**WILLIAM A. COLARULO  
POLICE SUPERINTENDENT**

## **Executive Summary**

**December 2014**

The Radnor Police Department responded to 1,410 calls for service for the month of December 2014. Radnor Officers issued 195 traffic citations for motor vehicle violations. 65 non-traffic citations were issued for various summary offenses such as Disorderly Conduct, Underage Drinking and Public Drunkenness. A total of 1,407 parking tickets were issued for expired meter violations. Radnor Police Officers made 17 misdemeanor/felony arrests during December 2014.

**Radnor Township Police Department**  
**December 2014 Accidents / Violations / Investigations / Juvenile Report**

<b>Accidents</b>	<b>Jan-14</b>	<b>YTD 2014</b>	<b>Dec-13</b>	<b>YTD 2013</b>	<b>YTD from 14 to 13</b>
Accidents - Fatal	0	0	0	1	-1
Accidents - Reportable- With Injuries	0	82	9	90	-8
Accidents - Reportable - No Injuries	0	171	16	220	-49
Accidents - Non Reportable	65	720	57	693	27
Accidents - Hit & Run	13	134	17	127	7
Accidents - No Report	3	83	9	104	-21
Pedestrian Accidents - With Injuries	0	0	0	0	0
Pedestrian Accidents - Fatal	0	0	0	0	0
<b>Total Accidents</b>	<b>81</b>	<b>1190</b>	<b>108</b>	<b>1235</b>	<b>-45</b>
<b>Violations</b>					
Arrests - Felony & Misdemeanor	17	193	11	184	9
Traffic Violations	195	5332	84	5088	244
Non-Traffic Violations	65	785	74	851	-66
Parking Meter Violations	1407	26094	1520	18473	7621
Abandoned Vehicles	0	10	0	8	2
<b>Total Violations</b>	<b>1684</b>	<b>32414</b>	<b>1689</b>	<b>24604</b>	<b>7810</b>
<b>Complaints</b>					
Complaints	1150	15298	1111	15537	-239
Unlocked Businesses	8	89	2	89	0
Alarms	145	1729	119	1730	-1
Animal Complaints	19	259	18	518	-259
<b>Total Complaints</b>	<b>1322</b>	<b>17375</b>	<b>1250</b>	<b>17874</b>	<b>-499</b>

# PATROL HIGHLIGHTS



**1<sup>st</sup> Platoon: Sergeant George H. Smith**  
**3<sup>rd</sup> Platoon: Sergeant Shawn C. Dietrich**

**2<sup>nd</sup> Platoon: Sergeant Joseph W. Pinto**  
**4<sup>th</sup> Platoon: Sergeant Joseph R. Maguire III**

**December 2014**

## **Highlights**

On December 2<sup>nd</sup>, Officer responded to Home Properties of Bryn Mawr for a report of criminal mischief. Officers reported an employee advised that storage units on David Drive were damaged. The storage units run parallel to the R-100 train tracks. The maintenance worker informed him the units were damaged sometime between 11/22/2014 and 11/24/2014. It appeared that someone had attempted to gain entry into the storage units. It did not appear access was not gained into these units.

On December 2<sup>nd</sup>, a resident of Boxwood Road reported seeing an unknown person in the wooded area near the street at the front of her house. She further reported a vehicle with its lights off on the street that pulled near a neighbor's driveway. Officers made contact with the resident who checked the area. The exterior of the house was checked and did not appear to have been disturbed. The surrounding area was checked with nothing suspicious located.

On December 3<sup>rd</sup>, an Officer attempted to make contact with a male in regards to an unpaid parking ticket, yielding negative results. The Officer left a voice mail, advising that he should contact the Officer regarding the unpaid parking ticket.

On December 3<sup>rd</sup>, an Officer attempted to make contact with a female in regards to an unpaid parking ticket. The female wrote a check on 11/15/14 in the amount of \$90.00, which bounced. The Officer left a voice mail, advising that she should contact the Officer regarding the unpaid parking ticket.

On December 4<sup>th</sup>, a resident who resides on Oak Terrace reported a suspicious male walking around the street with a flashlight. Officer reported speaking with the male had been out on his nightly walk. No problem was reported at that time.

December 6<sup>th</sup>, a resident from Devonwood Road came to the Police Station to report his wife was the victim of an attempted fraud. Officer reported he completed a written statement in which he stated his wife received two separate USPS priority mail packages containing cashier's checks, each in the amount of \$3850.00, along with a request to be a secret shopper. She was to deposit the checks in her bank account and use the funds for the shopping task, then wire the remaining money back to the sender. Officer took possession of the checks and placed them into temporary evidence for further investigation.

On December 6<sup>th</sup>, a resident from County Line Road reported that a mouse has bitten her at her home. Officer reported upon arrival, the resident had found a small mouse stuck to a sticky trap. When she went to release the mouse, it bit her right thumb. The mouse was placed into a bag and then in a small brown box for transport to the

Veterinarian Hospital. The mouse was transported to the Police Station and placed in the freezer to await testing. She would call to get a rabies shot.

On December 10<sup>th</sup>, Officer reported the Constable advised he was on an active warrant on Conestoga Road for probation violation and was requesting RTPD assistance. RTPD reported the person was in custody and the Constable transported him to Lima.

On December 11<sup>th</sup>, Delcom reported RFC and BMFC responded to a fire at Villanova University, Katherine Hall. Officer reported making contact with VUPS and determined the building had been evacuated and the fire was in room 338. RFC extinguished the fire and determined it was caused by a desk lamp which fell onto the bed and ignited the bedding. The scene was released to Fire Marshall and Community Development.

On December 13<sup>th</sup>, Marple Township Police Department requested an Officer respond to West Chester Pike for a shooting that occurred. Officers responded and Marple PD had several subjects in custody and the gun recovered. While assisting, Delcom advised a caller observed three/four subjects hiding in the bushes in the rear of the apartment complex, who were possibly involved in the shooting. The subjects then fled across West Chester Pike. Two of the fleeing subjects were observed by the Officer and other assisting officers and placed into custody. Officers advised the two other subjects fled through a fenced in area towards Media Line Road. K-9 Rocky started a track from where the subjects were last seen. K-9 Rocky tracked along the fence line where the subjects possibly jumped over, but then lost the scent. K-9 Rocky was able to pick up a scent in the rear of the houses where the subjects initially jumped the fence. K-9 Rocky kept tracking to the fences separating each property and it appeared the subjects fled by jumping all of the fences in the rear yards. K-9 Rocky was stopped from tracking, due to the fencing and the fact Marple had the subjects identified.

On December 14<sup>th</sup>, Officers reported a subject laying in the middle of the road on County Line Road at Glenbrook Avenue. Officer reported making contact with the male laying in the middle of the road. The male could not stand on his own and needed to be assisted to a safer location on the side of the road. He had a strong smell of alcohol on his breath and was slurring his speech and had multiple lacerations to his nose. RFC-A arrived on location and took the male to BMH. Officer reported he received a non-traffic citation for Public Drunkenness.

On December 15<sup>th</sup>, a taxi driver reported a customer dispute over taxi services on Willow Avenue. Officer reported a customer dispute over taxi services. After speaking with the driver, he stated he transported a subject from the Amtrak Station in Philadelphia to Willow Avenue. The subject advised he attempted to get payment from his parents with negative results. The taxi driver advised he did want to file charges against the male. He completed a written statement confirming his wished not to file charges.

On December 15<sup>th</sup>, a VU student reported a theft from her vehicle. She stated on Friday 12/12/14 an Amazon Kindle Fire HDX was removed from her vehicle, which was parked in the West Main Lot. She stated her vehicle was most likely left unsecured and there were no signs of forced entry. The Kindle was valued at \$200.

On December 17<sup>th</sup>, a manager from the TJ Maxx store located at 550 East Lancaster Avenue reported a w/f in custody for retail theft. Upon arrival, Officer reported a female was caught stealing and concealed the items in her purse. The female made a verbal admission to the retail theft and provided a written statement. She was placed into custody and transported to Police headquarters where she was processed. She was issued citation for retail theft and was provided a courtesy transport to her vehicle located at 550 East Lancaster Avenue.

On December 19<sup>th</sup>, Detectives reported making contact with an employee of the PNC Bank at 550 East Lancaster Avenue. Detective reported he was contacted by an employee regarding a theft which occurred at PNC Bank, by an employee. Detective reported that he received a copy of the investigation report which indicated that an employee made a fraudulent deposit into her savings account. The employee admitted this during an interview and was terminated by PNC for this action.

On December 20<sup>th</sup>, Officers responded to Maplewood Avenue for a report of criminal mischief. Upon arrival, Officer made contact with the resident who stated on 12/19/14, he noticed the lawn just out front of his fence had been driven over numerous times. He wanted the incident documented.



*On December 22<sup>nd</sup>, a resident came to the Police Station to report a theft on Bloomingdale Avenue. Officer spoke with the resident who stated on Saturday, 12/20/14 she returned to her residence and observed a package with her name on it in the apartment building. She stated she did not pick up the package at that time as she was carrying other items. On return, she discovered that the package was gone. She completed a written statement.*

*On December 22<sup>nd</sup>, a female came to the Police Station to report a theft from her vehicle. Officer spoke with the female who stated two plastic bags were taken from the front seat of her unlocked vehicle at an unknown time/location on Lancaster Avenue. She believed the theft may have occurred in the parking lot of the Pet Supplies Plus store. She stated inside of the bag was a prescription bottle containing Oxycodone which she had picked up for a friend. She completed a written statement.*

*On December 23<sup>rd</sup>, a resident from 500 East Lancaster Avenue called the Police Station to report of a theft. The male called from out of town to report that a box which had been delivered to his condo yesterday was discovered to have been removed from the lobby. He reported that the box should have contained a jacket worth \$50 which he purchased on line.*

*On December 27<sup>th</sup>, a resident on Stone Creek Lane reported a dark colored SUV with the alarm going off traveling at a high speed towards Bryn Mawr Avenue. Officer reported the area was checked for the SUV, the vehicle was one on arrival.*

**Radnor Township Police Department**  
**December 2014 Burglary Report**

<i>Time of Day</i>	Res-Forced	Res-No Force	Res-Attempt	Non Res-Forced	Non Res-No Force	Non Res-Attempt
Day (6 AM to 6 PM)	0	0	0	0	0	0
Night (6 PM to 6 AM)	0	0	0	0	0	0
Time Unknown	0	0	0	0	0	0
<b>Total Burgs - 12/14</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>
<b>Total Burgs - YTD</b>	<b>16</b>	<b>5</b>	<b>4</b>	<b>13</b>	<b>1</b>	<b>1</b>
<b>Burglaries by Area</b>						
<b>Patrol Area</b>	<b>District</b>	<b>Burgs 12/14</b>	<b>Burgs YTD 14</b>			
Northeast Beat	1	0	17			
Northwest Beat	2	0	9			
Southwest Beat	3	0	5			
Southeast Beat	4	0	8			
Villanova University	7	0	1			
<b>Total Burglaries</b>		<b>3</b>	<b>40</b>			

**Radnor Township Police Department**  
**December 2014 Crime Report**

<b>CLASS 1 Offenses</b>							
<b>Offense</b>	<b>Inc 12/14</b>	<b>Inc YTD 14</b>	<b>Clr'd 12/14</b>	<b>Clr'd YTD 14</b>	<b>Inc YTD 13</b>	<b>Clr'd YTD 13</b>	<b>Inc YTD 14 to 13</b>
Criminal Homicide	0	1	0	0	0	0	1
Forcible Rape	0	1	0	0	1	0	0
Robbery	0	4	0	0	4	0	0
Assault	1	23	3	16	52	45	-29
Burglary	0	40	0	2	34	4	6
Larceny	27	251	0	8	265	23	-14
Auto Theft	0	11	0	1	6	0	5
Arson	0	0	0	0	0	0	0
<b>Total Class 1 Off.</b>	<b>28</b>	<b>331</b>	<b>3</b>	<b>27</b>	<b>362</b>	<b>72</b>	<b>-31</b>
<b>CLASS 2 Offenses</b>							
Vandalism	3	89	0	3	135	4	-46
Illegal Drugs	4	51	7	33	56	49	-5
DUI	5	73	3	57	64	52	9
Disorderly Conduct	6	89	3	17	56	41	33
Fraud Related	9	127	1	1	74	0	53
Underage Drinking	2	59	4	43	68	59	-9
All Other Class 2	4	125	4	55	166	145	-41
<b>Total Class 2 Off.</b>	<b>33</b>	<b>613</b>	<b>22</b>	<b>209</b>	<b>619</b>	<b>350</b>	<b>-6</b>
<b>Grand Total</b>	<b>61</b>	<b>944</b>	<b>25</b>	<b>236</b>	<b>981</b>	<b>422</b>	<b>-37</b>

**Radnor Township Police Department**  
**December 2014 Property Stolen Recovered Report**

Type of Property	Dec-14 Stolen	2014 YTD Stolen	Dec-14 Recovered	2014 Y-T-D Recovered
Currency, Notes, Stocks Etc.	\$7,158.00	\$73,828.00	\$0.00	\$2.00
Clothing & Furs	\$7,020.00	\$11,689.00	\$20.00	\$591.00
Locally Stolen Motor Vehicles	\$0.00	\$338,572.00	\$0.00	\$268,043.00
Office Equipment	\$3,247.00	\$39,514.00	\$0.00	\$649.00
Televisions, Radios, Cameras	\$795.00	\$6,170.00	\$0.00	\$0.00
Firearms	\$0.00	\$0.00	\$0.00	\$0.00
Household Goods	\$1,613.00	\$7,516.00	\$660.00	\$1,070.00
Consumable Goods	\$300.00	\$689.00	\$0.00	\$0.00
Jewelery & Precious Metals	\$12,310.00	\$200,563.00	\$0.00	\$0.00
Livestock	\$0.00	\$0.00	\$0.00	\$0.00
Miscellaneous	\$320.00	\$57,406.00	\$0.00	\$1,341.00
<b>Total Property Value</b>	<b>\$32,763.00</b>	<b>\$605,514.00</b>	<b>\$680.00</b>	<b>\$271,696.00</b>

# Calls for Service - by UCR Code

Incidents Reported Between 12/01/2014 and 12/31/2014



## RADNOR TOWNSHIP

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
0440	ASSAULT - ATROCIOUS- HANDS,FISTS,FEET	1			
0613	THEFT-\$200 & OVER-RETAIL THEFT	3			
0614	THEFT-\$200 & OVER-FROM AUTO (EXCPT 0615)	3			
0617	THEFT-\$200 & OVER-FROM BUILDINGS	7			
0619	THEFT-\$200 & OVER-ALL OTHER	1			
0623	THEFT-\$50 TO \$200-RETAIL THEFT	3			
0629	THEFT-\$50 TO \$200-ALL OTHER	3			
0633	THEFT-UNDER \$50-RETAIL THEFT	1			
0637	THEFT - UNDER \$50 - FROM BUILDINGS	1	1		
0639	THEFT-UNDER \$50-ALL OTHER	3			
0643	THEFT-ATTEMPTED-RETAIL THEFT	2			
1100	FRAUD	3	1		
1130	FRAUD - ALL OTHERS (FLIM-FLAM, ETC.)	1	1		
1150	FRAUD - CREDIT CARDS	3		1	
1191	FRAUD - REPORTS	2			
1410	CRIMINAL MISCHIEF TO AUTOMOBILES	1			
1440	CRIMINAL MISCHIEF - ALL OTHER	1			
1490	CRIMINAL MISCHIEF - REPORTS	1			
1810	DRUG VIOLATIONS	0	1		
1832	NARCOTICS-POSSESSION-MARIJUANA,ETC.	4	1		
2111	DRIVING UNDER THE INFLUENCE - ALCOHOL	4	1		
2121	DRIVE UNDER INFLUENCE - DRUGS	1			
2211	LIQUOR LAW-UNDERAGE-PURCH,CONSMP,POSSES	2	1		1
2300	PUBLIC DRUNKENESS	5			
2400	DISORDERLY CONDUCT	1	1	1	
2410	HARASSMENT BY COMMUNICATION	1			
2420	DISORDERLY CONDUCT-PUBLIC PLACES	1			
2450	HARASSMENT	3	1		
2460	DISORDERLY CONDUCT-OBSCENE LANGUAGE	0		1	
2480	DISORDERLY CONDUCT-ALL OTHERS	0		1	
2600	ALL OTHER CRIMES CODE VIOLATIONS	0	1		
2640	ALL OTHER ORDINANCE VIOLATIONS	3	1		
2660	TRESPASSING OF REAL PROPERTY	1			
2900	JUVENILE RUNAWAYS	6			
2910	LOST/MISSING PROPERTY	1			
2990	RUNAWAYS - (JUVENILE) - REPORTS	1			
3000	LOST/RECOVERED PROPERTY	2			
3200	CHECK ON WELFARE	4			
3300	CIVIL DISPUTES	9	1		
3500	DISTURBANCE - DISORDERLY PERSONS	4	1		
3501	DISTURBANCE-COMPLAINT OF NOISE,MUSIC,ETC	3			
3520	DOMESTIC PROBLEM (NO ARREST)	15			
3600	ESCORT DUTY (FINANCIAL)	1			
3620	DISTURBANCES-OTHER (FIGHTS,DISPUTES,ETC)	3			
3650	ELECTRIC COMPANY-POWER OUTAGES,ETC	3			
3700	FIRE - RESIDENTIAL	2			
3703	FIRE-ALL OTHERS	5			
3706	FIRE - LEAVES, BRUSH, ETC.	1			

# Calls for Service - by UCR Code

Incidents Reported Between 12/01/2014 and 12/31/2014



## RADNOR TOWNSHIP

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
3830	SERVICE CALL-ASSIST OTHER AGENCY	1			
3840	FIRES (INCLUDING ALARMS-FOUNDED/UNFOUND)	1			
3850	HAZARDOUS CONDITIONS	11			
3871	MEDICAL EMERGENCY - AED USED BY PD	0	1		
3880	OPEN DOORS/WINDOWS - DISCOVERED	1			
3900	GAS LEAKS (NATURAL GAS)	5			
4000	JUVENILE PROBLEMS (NO ARREST)	3			
4016	NON-CRIMINAL - PEDESTRIAN CONTACTS	1			
4018	NON-CRIMINAL-ST. LIGHT OUT, ST. REPAIRS.	2			
4200	MISSING PERSONS(EXCEPT JUVENILES)	0	1		
4300	MENTAL HEALTH-EMERG.302/SUICIDE ATTEMPTS	1			
4301	MENTAL HEALTH-ALL OTHERS	6	1		
4400	OFFICER INJURED ON DUTY	1			
4500	OPEN DOORS/WINDOWS	8	1		
4510	DEATHS - UNATTENDED	1			
4600	ORDINANCE VIOL.-EXCEPT BURNING/SOLICIT	3			
4650	POLICE INFORMATION	57			
4660	911 HANG UP CALL	29			
4700	ADDED PATROL-REQUEST FOR	23	1		
4701	ADDED PATROL - BUSINESS CHECKS	93			
4702	ADDED PATROL - SCHOOL CHECKS	18			
4800	SOLICITING-WITHOUT PERMIT	0	1		
4801	SOLICITING-COMPLAINTS	2			
4900	SUSPICIOUS PERSON	19			
4901	SUSPICIOUS CIRCUMSTANCE	33			
4902	SUSPICIOUS VEHICLES	10			
5000	TELEPHONE CALLS-HARASSING/SUSPICIOUS	11			
5002	LOST & FOUND - FOUND ANIMAL	2			
5004	LOST & FOUND - FOUND ARTICLES	3			
5008	LOST & FOUND - LOST ARTICLES	1			
5012	LOST & FOUND - MISSING JUVENILE MALE	1			
5100	TRAFFIC SIGNALS-DAMAGED/NEED REPAIR	2			
5200	TRAFFIC HAZARD-POTHoles/OBSTRUCTIONS/ICE	1			
5400	VEHICLES-ABANDONED	1			
5401	VEHICLES-ASSIST MOTORIST(INCL LOCKOUTS)	18			
5402	VEHICLES-DISABLED	18	1		
5403	VEHICLES-MV VIOLATIONS & MVV COMPLAINTS	20	1		
5404	VEHICLES-PARKING COMPLAINTS	9			
5405	VEHICLES-TOWED	0	1		
5501	WIRES DOWN - NO HAZARD	2			
5502	ANIMAL COMPLAINTS - BARKING DOGS	2			
5506	ANIMAL COMPLAINTS - STRAY ANIMALS	6			
5508	ANIMAL COMPLAINTS - OTHER ANIMAL BITES	1			
5510	ANIMAL COMPLAINTS - OTHER	13			
5590	ANIMAL COMPLAINTS - REPORTS	2			
5600	WARRANT-ARREST (ISSUED OUTSIDE RADNOR)	1			
6001	ACCIDENT - WITH INJURIES	8			
6002	ACCIDENT - NO INJURIES (REPORTABLE)	15	1		

# Calls for Service - by UCR Code

Incidents Reported Between 12/01/2014 and 12/31/2014



## RADNOR TOWNSHIP

Code	Description	Primary Count	Secondary UCR Count		
			Code 2	Code 3	Code 4
6003	ACCIDENT - NON REPORTABLE	65			
6004	ACCIDENT - HIT & RUN	13			
6005	ACCIDENT - NO REPORT DONE	3			
6612	TRAFFIC RELATED - SIGNALS-SIGNS OUT	1			
7006	NOTIFICATION - HIGHWAY DEPT.	2			
7008	NOTIFICATION - SEWER DEPT.	6			
7014	PUBLIC SERVICE - OTHERS (OFFICER ASSIST)	3			
7090	PUBLIC SERVICES - REPORTS	1			
7506	ASSISTING OTHER AGENCIES - ALL OTHERS	1			
8000	BURG/HOLDUP/PANIC ALARM - CIT ISSUED	2			
8001	BURG/HOLDUP/PANIC ALARM - NO CITATION	115			
8003	FIRE/MEDICAL ALARM - NO CITATION	28			
8010	WARRANTS - LOCAL - CRIMINAL	6			
8014	WARRANTS - LOCAL - OTHER WARRANTS	1			
9000	ANIMALS - DOG COMPLAINTS	5			
9001	ANIMALS-RABID/SICK	2			
9002	ANIMALS - ALL OTHER	3			
9005	ANIMALS - ALL INVOLVING DEER	8			
9007	ANIMALS-CAT COMPLAINTS	1			
9038	K-9 ASSIST	6	1		
9039	K-9 ASSIST OTHER LAW ENFORCEMENT	0	1		
9040	ASSIST LOWER MERION PD	3			
9041	ASSIST HAVERFORD PD	5			
9042	ASSIST MARPLE PD	1			
9045	ASSIST TREDYFFRIN PD	1			
9050	ASSIST SICK/INJURED	103			
9051	ASSIST AMBULANCE	23	1		
9052	ASSIST OTHER POLICE DEPARTMENT	1			
9055	ASSIST SICK/INJURED ALCOHOL/DRUG RELATED	2			
9966	SELECTIVE ENFORCEMENT-CITATION ISSUED	77		1	
9968	SELECTIVE ENFORCEMENT-WARNING ISSUED	13			
9970	SELECTIVE ENFORCEMENT-NO ISSUANCE	57			
9972	MOTOR OFFICER ACTIVITY	0	14		
CITN	NON-TRAFFIC CITATION	65			
CITT	TRAFFIC CITATION	195			
<b>Total Calls</b>		<b>1,410</b>			

# Radnor Township Police Department

## 2014 Deer Summary

		2014 Total Deer Incidents			28	11	14	11	2	
Date	Time	Location	M / F	Killed Auto	Inj Auto	Killed Other	Inj Other	Others	Incident Narrative	
<b>Sub-Totals</b>										
1/1/2014	12:41	41 Greenwell Lane	F			1			Deer Impaled On Fence	
1/4/2014	18:04	Sproul Rd & Chandler Lane	F	1					Game Commission Notified	
1/5/2014	13:50	611 Cornerstone Lane	U			1			Private Removal	
1/5/2014	20:30	Bryn Mawr & Cornerstone	F	1					PennDOT Notified	
1/9/2014	5:30	719 Southwinds Drive	F		1				Game Commission Notified	
1/12/2014	11:16	Bryn Mawr & Glenwyd	M	1					PennDOT Notified	
1/12/2014	15:20	Newtown Rd - Ardrossan	U			1			Private Removal	
1/17/2014	17:30	451 Bryn Mawr Avenue	M	1					PennDOT Notified	
1/17/2014	21:42	451 Bryn Mawr Avenue	U			1			Private Removal	
1/19/2014	8:40	650 Saw Mill Road	U			1			Game Commission Notified	
1/19/2014	18:23	852 Milmar Road	U				1		Injured-Gone Upon Arrival	
1/25/2014	23:03	591 County Line Road	U	1					Game Commission Notified	
1/27/2014	19:40	524 Bryn Mawr Avenue	F		1				PennDOT Notified	
2/10/2014	9:53	298 S. Aberdeen Avenue	U	1					Game Commission Notified	
2/15/2014	11:30	191 S. Spring Mill Road	U				1		Injured-Gone Upon Arrival	
2/19/2014	18:48	480 Bryn Mawr Avenue	U	1					PennDOT Notified	
2/21/2014	9:10	470 Huston Road	U			1			Private Removal	
2/25/2014	22:25	678 King of Prussia Road	U				1		Injured-Gone Upon Arrival	
2/26/2014	19:15	1300 Eagle Road	U				1		Injured-Gone Upon Arrival	
2/27/2014	19:05	Bryn Mawr & Glenwyd	M	1					PennDOT Notified	
3/10/2014	13:35	767 S. Ithan Avenue	F			1			Game Commission Notified	
3/21/2014	16:46	810 Maple Glen Lane	F				1		Private Removal	
4/1/2014	7:30	Walnut Ave & Paul Rd	U				1		Deer impaled on fence	
4/14/2014	10:45	202 Gulph Creek Rd.	U		1				Injured-Gone Upon Arrival	
4/29/2014	22:06	Sproul & Bryn Mawr	U	1					PennDOT Notified	
5/14/2014	19:50	E. Lancaster & Meadowbrook	U				1		Injured-Gone Upon Arrival	
5/24/2014	10:50	705 Larchwood Lane	U			1			Game Commission Notified	
5/24/2014	10:44	409 S. Ithan Avenue	U					1	Alive Baby Deer	
5/24/2014	15:26	3 Duncan Lane	U					1	Alive Baby Deer	
6/1/2014	5:55	E. Lancaster & N. Radnor Ches.	M	1					PennDOT Notified	
6/10/2014	9:33	Blue Route Bridge	U	1					Game Commission Notified	
6/10/2014	9:33	Quaker Lane	U	1					PennDOT Notified	
6/10/2014	15:49	Sproul & E. Lancaster	F	1					Game Commission Notified	
6/10/2014	17:12	Clyde & S. Ithan	F	1					Game Commission Notified	
6/12/2014	17:45	Upper Gulph & Arden	U	1					Game Commission Notified	
6/15/2014	8:23	800 Newtown Road	U	1					PennDOT Notified	
6/21/2014	9:42	Bryn Mawr & S. Ithan	U	1					PennDOT Notified	
6/23/2014	10:45	King of Prussia & Gulph Creek	U	1					Game Commission Notified	





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**INTEROFFICE MEMORANDUM**

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**TO:** BOARD OF COMMISSIONERS  
**FROM:** KEVIN KOCHANSKI, DIRECTOR  
DEPARTMENT OF COMMUNITY DEVELOPMENT  
**SUBJECT:** DECEMBER MONTHLY REPORT  
**DATE:** JANUARY 7, 2015  
**CC:** ROBERT A. ZIENKOWSKI, TOWNSHIP MANAGER



Community  
Development

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Attached for your review is the Community Development Monthly Report for the month of December 2014. Please note the following highlights:

- Building Permit Fee Revenue totaled \$95,069.00 with 74 permits issued
  - Electric Permit Fee Revenue totaled \$9,808.00 with 58 permits issued
  - Mechanical Permit Fee Revenue totaled \$4,444.00 with 34 permits issued
  - Plumbing Permit Fee Revenue totaled \$5,878.00 with 38 permits issued
  - Zoning Permit Fee Revenue totaled \$225.00 with 3 permits issued
  - Banner Permit Fee Revenue totaled \$50.00 with 1 permit issued
  - Design Review Board Revenue totaled \$600.00 with 4 applications received
  - HARB Review Fee Revenue totaled \$100.00 with 2 applications received
  - Zoning Hearing Board Fee Revenue totaled \$2,350.00 with 3 applications received
- 
- Permit and application revenue for December:           \$ 118,524.00
  - Permit and application revenue year to date:           \$1,473,408.00
- 
- Permits issued for December 2014:           207
  - Permits issued year to date:           2,623



**TOWNSHIP OF RADNOR**  
**Minutes of the Reorganization Meeting of January 5, 2015**

*The Radnor Township Board of Commissioners met at approximately 7:30 PM in the Radnorshire Room in the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087*

**Commissioners Present**

*Elaine Schaefer  
John Fisher  
John Nagle  
William Spingler*

*James C. Higgins  
Richard F. Booker  
Donald Curley*

**Also Present:** *Robert A. Zienkowski, Township Manager; John Osborne, Treasurer; John Rice, Township Solicitor; William White, Finance Director; William Colarulo, Superintendent of Police; Steve Norcini, Director of Public Works; Tammy Cohen, Director of Community Programming & Recreation; Kevin Kochanski, Director of Community Development; Roger Phillips, P.E., Township Engineer; Amy Kaminski, Traffic Engineer and Jennifer DeStefano, Executive Assistant to the Township Manager.*

*President Schaefer called the meeting to order and led the assembly in the Pledge of Allegiance*

Public Participation

Christina Perrone, Ward 1 – She requested for the new President or Vice President to speak to the issue of public comment and how it will be handled going forward.

Dan Sherry, Wayne – He commented in regards to public participation not appearing on the agenda as well as commenting in regards to the selection of the incoming President and Vice President.

Election of President

Commissioner J. Higgins moved to nominate Commissioner Spingler as President of the Board of Commissioners, seconded by Commissioner Nagle.

Public Comment

Christina Perrone – She commented in regards to the Board keeping in mind the open investigation pending involving Mr. Spingler.

There were comments by Commissioners Curley, Booker and Fisher that they are not in support of the above motion. Commissioner Schaeffer called the vote, motion passes 4-3 with Commissioner Booker, Curley and Fisher opposed.

Election of Vice President

Commissioner Spingler moved to nominate Commissioner Higgins as Vice President of the Board of Commissioners, seconded by Commissioner Nagle.

Commissioner Booker made a motion to nominate Commissioner Fisher, seconded by Commissioner Fisher.

There was a brief discussion amongst the Board.

Public Comment

Dan Sherry, Wayne – He commented in regards to the current nomination and the current vote for President of the Board.

Commissioner Schaefer called the vote on the nomination of Commissioner Fisher as Vice President, motion failed 2-5 with Commissioners Curley, Spingler, Schaefer, Higgins and Nagle opposed.

Commissioner Schaefer called the vote on the nomination of Commissioner Higgins as Vice President, motion passes 4-3 with Commissioners Booker, Curley and Fisher opposed.

Oath of Office to President

The Honorable Judge Ann A. Osborne administered the Oath of Office to Commissioner William Spingler as President, Radnor Township Board of Commissioners.

Oath of Office to Vice President

The Honorable Judge Ann A. Osborne administered the Oath of Office to Commissioner James Higgins as Vice President, Radnor Township Board of Commissioners.

Commissioner Curley thanked Commissioner Schaefer for her 2 years as President of the Board of Commissioners.

Reappointments to Advisory Boards and Commissions

Commissioner Fisher made a motion to reappoint the following to various Advisory Boards and Commissions, seconded by Commissioner Nagle.

**Board of Health**

Andrew Forman

**Planning Commission**

Kathy Bogosian  
Elizabeth Springer

**Rental Housing Appeals Board**

Joseph Voegle

**Stormwater Advisory Committee**

Joseph Schanne  
Maya Van Rossum

Commissioner Spingler called the vote; motion passed 7-0.

Announcements of Vacancies on Various Boards & Commissions

<b><i>Board &amp; Commission Vacancies - Effective Immediately</i></b>	
<i>Civil Service Commission - 1 Alternate Vacancy</i>	<i>Planning Commission - 1 Vacancy</i>
<i>Parks &amp; Recreation Board - 1 Vacancy</i>	<i>Rental Housing Appeal Board - 1 Vacancy (Alternate)</i>
<i>CARFAC - 2 Vacancies</i>	

Please forward your letters of interest to Robert Zienkowski, Township Manager, Radnor Township, 301 Iven Avenue, Wayne PA 19087.

Commissioner Spingler commented that the standing committees will remain the same except Commissioner Schaefer will be Chair of the Public Safety Committee; she will also be on the Public Works Committee.

Ordinance #2014-16 – (Adoption) - Amending Article VIII, Personnel Policies, Section 5-70, Civil Service Provisions, Of The Administrative Code Of Radnor Township

Commissioner Schaefer made a motion to adopt ordinance #2014-16, seconded by Commissioner Fisher. Mr. Zienkowski thanked the Civil Service Commission on their work. There was a brief discussion in regards to the rankings listed in the ordinance. Commissioner Higgins commented that he would like to make one non-substantial change in Section 1: section 3.6 A2 to read: *An applicant for the position of Sergeant shall have at least four (4) years of experience as a Patrol Officer or higher rank in the Police Department of the Township of Radnor.*

Commissioner Higgins made a motion to adopt with the following change to be made; *Section 1: Section 3.6 A2 to read: An applicant for the position of Sergeant shall have at least four (4) years of experience as a Patrol Officer or higher rank in the Police Department of the Township of Radnor.* Motion seconded by Commissioner Fisher.

Public Comment

Dan Sherry, Wayne – He commented about the Board holding Executive Session. Commissioner Spingler called the vote, motion passed 6-1 with Commissioner Booker opposed.

Notice of Executive Session preceding the Board of Commissioners meeting of January 5, 2015

All commissioners were in attendance, where land matters were discussed.

Discussion of Capital Funding Plan

Mr. Zienkowski and Mr. White discussed the 5-year Capital Funding Plan for the Township and looked for direction from the Board. There was an in depth conversation amongst Commissioners and Staff in regards to the capital funding.

Commissioner Schaefer made a motion to request CARFAC to prepare an analysis of the different options available for funding of our capital needs and particular attention to the life of assets and how we would pay for them, seconded by Commissioner Higgins.

Public Comment

Dan Sherry, Wayne – He commented in regards to items that are discussed in executive session.

Commissioner Spingler called the vote, motion passes 7-0.

Discussion on the Conditional Use Hearing and Orders Process

Mr. Rice, Township Solicitor discussed his memorandum to the Board of Commissioners in regards to Conditional Use Deliberations and the Charter Requirements dated December 30, 2014. He set forth in his

memorandum the applicable Charter and statutory requirements which governed the Board deliberations in the Villanova conditional use matter. There was an in depth discussion amongst the Commissioners on whether conditional use hearing order process should be discussed in public or executive session.

Public Comment

Dan Sherry, Wayne – He commented in regards to the executive session held when the conditions for the Villanova Conditional Use Hearing were held as well as commented on Mr. Rice’s memorandum.

Diane Edbril, Spruce Tree Rd – She spoke in regards to the process taken during executive session when the Villanova Conditional Use Order was discussed.

Christina Perrone – She spoke about the process that had been taken during the order process of Villanova’s Conditional Use.

Roberta Winters, League of Women Voters – She spoke from League position that they support openness of government proceedings, high standards of professionalism and individual accountability; and all the functions of the Township including personnel practices as stated in the Home Rule Charter.

David Wood, Bryn Mawr – He commented that the process needs to be completely open and in the public.

Maya van Rossum, Bryn Mawr – She commented in regards to public comment and on the record decisions.

Commissioner Higgins commented on the process that was taken on November 24, 2014 which was a culmination of many months of public discussion. There was a brief discussion amongst a few Commissioners in regards to the process of holding executive session.

Toni Bailey – She commented in regards to the concerns on the size and scope of the project and her disappointment in the process taken.

Dan Sherry, Wayne – He commented in regards to the ethics complaint that he submitted last week which he also requested John Rice to recuse himself from.

David Wood – He commented in regards to the public feeling intimidated to attend the meetings because of the behavior.

Christina Perrone – She commented in regards to attorney-client privilege.

Patti Barker, Garrett Hill – She commented in regards to the Commissioners behaviors.

*There being no further business, the meeting adjourned on a motion duly made and seconded.*

*Respectfully submitted,*

*Jennifer DeStefano*

# **RADNOR TOWNSHIP POLICE DEPARTMENT**

301 Iven Avenue  
Wayne, Pennsylvania 19087-5297  
(610) 688-0503 ■ Fax (610) 688-1238

**William A. Colarulo**  
**Police Superintendent**

**TO:** A Staff Traffic Committee Meeting was held on December 17, 2014 and was attended by Commissioner Jim Higgins, Lieutenant Andrew Block; Officers Raymond Matus and Mark Stiansen, Highway Patrol; Patrol Officers Stephen Ryan and Josh Alexander, Paul Bazik, Superintendent of Operations, Vera DiMaio, Administrative Assistant; and Radnor residents Leslie Bowes, Chuck Robinson, Karen Gaster, Kristy Olinger, Melissa Adams, and Tom Pratt

**RE: STAFF TRAFFIC COMMITTEE MEETING HELD IN THE POLICE ROLL CALL ROOM, WEDNESDAY, DECEMBER 17, 2014, 10:00 AM.**

## **NEW BUSINESS:**

1. Karen Gaster requests that stop signs be installed on Oakford at Arbordale.

The Highway Patrol Unit conducted a survey of the intersection. There were no reported crashes over the previous 36 months. The intersection does not qualify under PennDot warrants for a multi-way Stop sign. The Staff Traffic Committee recommends that "No Parking Here to Corner" signs be installed on Oakford Road at Arbordale. Staff Traffic Committee also recommends that residents confer with Commissioner Curley with respect to moving the Stop from Arbordale to Oakford Road.

2. Brian Nolan requests a handicapped parking space to be placed on Meredith Avenue.

The Staff Traffic Committee recommends drafting an Ordinance to establish a handicap parking space on the west side of Eachus beginning 40 feet from the intersection of Meredith Avenue. Staff Traffic Committee recommends this action as all elements for an established handicap parking space have been fulfilled.



3. Douglas Bruhns requests to relocate the driveway exit at Filipone Park and expand parking in the parking lot. Mr. Bruhns also requests installation of the crosswalk on South Devon Avenue at Arbordale.

Staff Traffic Committee recommends that crosswalks be installed at the intersection of South Devon Avenue and Arbordale. The Staff Traffic Committee believes that there is merit in relocating the driveway and aligning it with Arbordale Road. Approval of the Board of Commissioners is required due to significant project management costs.

4. Charles Carrington reports unsafe road conditions at Church Road and St. Davids Road.

The Highway Patrol Unit conducted a 3-year crash history. The crash history revealed a single unit crash where a bicyclist ran off the roadway. At this time, Staff Traffic Committee recommends that no action be taken at this time.

5. Commissioner Higgins requests a study for installation of a stop sign at the intersection of Chamounix Road and Fenimore Lane.

The Highway Patrol Unit conducted a 3-year crash analysis with no previous crashes at this intersection. This intersection does not meet the requirements for a multiway Stop sign. The Staff Traffic Committee recommends that the Highway Patrol Unit conduct a 7 automated traffic and speed count in the Spring of 2015.

6. Commissioner Higgins requests a change to a multi-way stop sign at the intersection of Chamounix Road and Paul Road.

The Highway Patrol Unit conducted a 3-year crash history. The crash history revealed a no crashes during the 3-year period. The intersection does not meet the requirements for a multiway Stop sign. The Staff Traffic Committee recommends that a traversable center island be considered for installation on Paul at Chamounix Road. Approval of the Board of Commissioners is required for this action for referral to the Township traffic engineer for design and implementation costs.

**RESOLUTION NO. 2015-06  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA. REVISING THE CONSOLIDATED FEE SCHEDULE**

*WHEREAS*, the Township of Radnor adopted Ordinance No. 2013-24, establishing Township fees and costs and,

*WHEREAS*, Ordinance No. 2013-24 permits the Consolidated Fee Schedule to be revised by subsequent resolution of the Board of Commissioners.

*NOW, THEREFORE*, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township hereby adopts the following revision to the Consolidated Fee Schedule:

	Current Fee	Proposed Fee
<b>POLICE DEPARTMENT</b>		
Parking Fee for Louella Park & Walk	\$216.00 year	\$190.00 - ½ year \$375.00 - 1 year

*SO RESOLVED*, this 26<sup>th</sup> day of January, A.D., 2015.

RADNOR TOWNSHIP

By: \_\_\_\_\_

Name: William A. Spingler  
Title: President

ATTEST: \_\_\_\_\_

Name: Robert A. Zienkowski  
Title: Township Manager/Secretary

## **Radnor Township**

# **PROPOSED LEGISLATION**

**DATE:** 01/26/15

**TO:** Robert A. Zienkowski, Township Manager

**FROM:** William A. Colarulo, Police Superintendent

**LEGISLATION:** Resolution #2015-06 revising the Consolidated Fee Schedule, new fees under Police Department – Parking Fees.

**LEGISLATIVE HISTORY:** Approved Ordinance #2013-24, establishing the Township fees and costs for calendar year 2015, at the December 16, 2013 Board of Commissioners Meeting.

**PURPOSE AND EXPLANATION:** To revise the Parking fees for the Louella Park and Walk. The fees will now be compatible with the Smart Card fees that are issued throughout the Wayne Business Overlay District (WBOD).

**FISCAL IMPACT:** Parking fees for the Louella Park and Walk - Current Fee is \$216.00 per year; proposed fee is \$190.00 for ½ year, \$375.00 for 1 year.

**RECOMMENDED ACTION:** The Police Department respectfully requests the Board to adopt the amendment at the regular Board of Commissioners Meeting on January 26, 2015.

**RESOLUTION NO. 2015-07**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, APPROVING THE PURCHASE OF FIVE NEW VEHICLES FOR USE BY THE RADNOR TOWNSHIP POLICE DEPARTMENT.**

*WHEREAS*, the Radnor Township Police Department is seeking to replace five (5) of its vehicles currently being utilized by its Patrol Division; and

*WHEREAS*, the new vehicles can be purchased under the Pennsylvania's COSTARS Program for \$200,908.15.

*WHEREAS*, the new vehicles consist of four (4) Ford Explorer (AWD) Patrol vehicles, and one (1) Ford Taurus Patrol (AWD) vehicle is being replaced as an insurance claim following the destruction of a 2014 Taurus (AWD).

*WHEREAS*, the new vehicles will be purchased under 2015 Police Capital Fund for \$200,908.15,

*NOW, THEREFORE*, be it *ORDAINED* and *ENACTED* that the Radnor Township Board of Commissioners does hereby approve the purchase of five (5) new vehicles for use by the Radnor Township Police Department in an amount not to exceed \$200,908.15.

*SO RESOLVED*, this 26<sup>th</sup> day of January A.D., 2015.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: William A. Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Township Manager/Secretary

**Radnor Township**  
**PROPOSED LEGISLATION**

**DATE:** 01/20/15  
**TO:** Robert A. Zienkowski, Township Manager  
**FROM:** Lieutenant Christopher Flanagan  
**LEGISLATION:** Resolution to purchase the five (5) new 2015 Ford Police Vehicles

**LEGISLATIVE HISTORY:** Request for legislation/new

**PURPOSE AND EXPLANATION:** The Radnor Township Police Department requests to purchase four (4) Ford Explorer (AWD) Patrol vehicles and one (1) Ford Taurus (AWD) Patrol vehicle that was a total loss resulting from a crash in December 2014 and will be an insurance reimbursement.

**FISCAL IMPACT:** \$200,908.15. The money will be drawn from the 2015 Pennsylvania COSTARS Program. The funds for this purchase requisition will come from the 2015 Capital Improvement Fund # 05-410.4830.

**The cost for the purchase of the vehicles is as follows:**

Ford Taurus Patrol (AWD)	\$ 34,774.12
Ford Explorer Patrol (AWD)	<u>\$166,134.03</u>
	<b>\$200,908.15</b>

**RECOMMENDED ACTION:** I respectfully recommend the Legislation be passed to purchase five (5) vehicles to be utilized by the Radnor Township Police Department.

**MOVEMENT OF LEGISLATION:** Adoption at the January 26, 2015 Board of Commissioners Meeting.

**RESOLUTION 2015-09  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA AUTHORIZING THE TOWNSHIP MANAGER TO EXECUTE A CONTRACT FOR ACT 511 AUDITING SERVICES BEGINNING JANUARY 1, 2015.**

*WHEREAS*, the Township of Radnor has contracted with Veritax, Inc. for providing Act 511 auditing services since 1992; and

*WHEREAS*, the current contract provisions and rates have been in effect and have remained unchanged since 2004; and

*WHEREAS*, the Township desires to enter into a renewal contract that provides for an incentive based compensation plan.

*NOW, THEREFORE*, it is hereby *RESOLVED* that the Board of Commissioners of Radnor Township hereby authorizes the Township Manager to execute a contract with Veritax, Inc. for Act 511 auditing services beginning January 1, 2015.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 26<sup>th</sup> day of January, A.D., 2015.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: William A. Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski,  
Township Manager / Secretary

# Radnor Township



## PROPOSED LEGISLATION

**DATE:** January 26, 2015

**TO:** Board of Commissioners

**FROM:** William M. White, Finance Director

**LEGISLATION:** A Resolution authorizing a renewal contract for Act 511 Auditing Services between the Township and Veritax, Inc. beginning January 1, 2015.

**LEGISLATIVE HISTORY:** Veritax, Inc. and its' principal, Kevin J. Barrett, CPA has been providing Act 511 audit services for Radnor Township since 1992. Mr. Barrett has been and continues to be an integral part of the Township's Act 511 program providing a variety of services in addition to auditing including technical research, taxpayer assistance, tax determination letters, dispute resolution and settlement negotiations. In addition Mr. Barrett authored the first draft and subsequent update of the Act 511 regulations.

The current contract in place with Veritax provides for an hourly rate of \$160.00 which has remained unchanged since 2004. The Administration has worked for the better part of a year negotiating a renewal contract and has worked with CARFAC on developing the desired terms. Mr. Barrett has met and was interviewed by CARFAC in this process and CARFAC has advised on how best to structure the renewal contract with an incentive based arrangement. The proposed contract provides that the hourly rate remain unchanged while offering an incentive payment based on actual audit revenues exceeding budget each year.

**PURPOSE AND EXPLANATION:** The purpose of the legislation is to authorize the Township Manager to execute a renewal contract with an incentive based compensation plan with Veritax, Inc. for Act 511 Auditing Services.

**IMPLEMENTATION SCHEDULE:** The new contract would be effective beginning January 1, 2015 and remain in force until either party desires to terminate with a 60 day notice provision.

**FISCAL IMPACT:** There will be a fiscal impact only if and when actual audit revenues exceed budgeted audit revenues in a given year. The table below summarizes how the incentive arrangement is structured:

Incentive Compensation Structure	Audit Revenues Collected	Incentive Compensation
Audit Revenue	From \$0 to \$500,000	0%
	From \$500,001 to \$1,500,000	20%
	From \$1,500,001 to \$2,500,000	15%
	More than \$2,500,000	10%

**RECOMMENDED ACTION:** The Administration respectfully requests the Board to approve this resolution at the January 26, 2015 meeting. Thank you.

**RESOLUTION 2015-10  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA. APPROVING WORKERS COMPENSATION INSURANCE  
COVERAGE BEGINNING JANUARY 1, 2015 THROUGH DECEMBER 31, 2015.**

*WHEREAS*, the Township of Radnor is required to carry Workers' Compensation Insurance; and

*WHEREAS*, the Administration met with Arthur J. Gallagher (formerly Brokerage Professionals, Inc.) to review the insurance premium renewal information and pricing, and

*WHEREAS*, in order to ensure that no interruption in coverage, the Township Manager has authorized the binder subject to the Board of Commissioner approval at the January 26, 2015 Regular Meeting.

*NOW, THEREFORE*, it is hereby *RESOLVED* that the Board of Commissioners of Radnor Township hereby authorizes the Township Manager to execute the coverage for the Workers Compensation Insurance for the period beginning January 1, 2015 through December 31, 2015 in the amount of \$488,202.

*SO RESOLVED*, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 26<sup>th</sup> day of January, A.D., 2015.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: William A. Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski,  
Township Manager / Secretary



# Radnor Township

## PROPOSED LEGISLATION



**DATE:** January 26, 2015

**TO:** Board of Commissioners

**FROM:** William M. White, Finance Director

**LEGISLATION:** A Resolution authorizing the Township Manager to bind coverage for Workers' Compensation Insurance for the period beginning January 1, 2015 through December 31, 2015.

**LEGISLATIVE HISTORY:** This is an annual renewal process whereby the administration works with Arthur J. Gallagher Risk Management Services (AJG), formerly Brokerage Professionals Incorporated who solicits renewal coverage prices from multiple insurance providers and then reviews the best alternatives with the Township. The resolution is required giving the Township Manager authorization to bind coverage and pay the appropriate premium obligation.

**PURPOSE AND EXPLANATION:** The purpose of the legislation is to authorize the Township Manager to bind coverage for workers' compensation.

**IMPLEMENTATION SCHEDULE:** The coverage period runs concurrent with the calendar year. The Administration has been working with AJG to finalize the pricing which took us into the new year.

In order to ensure that coverage doesn't lapse, the Township Manager authorized a conditional binder approval subject to the Board of Commissioners' approval at the January 26, 2015 regular meeting.

**FISCAL IMPACT:** The insurance coverage will cost the Township \$488,202 which will be paid in quarterly installments at the beginning of each quarter. Please see table below for summary of premium expense.

	2011 (Audited)	2012 (Audited)	2013 (Audited)	2014 (Audited)	2015 (2015-10)
Township Portion	330,882	436,390	405,797	400,124	442,674
Fire Company Portion	25,280	20,795	19,693	44,550	45,528
<b>Total Premium Paid</b>	<b>\$ 356,162</b>	<b>\$ 457,185</b>	<b>\$ 425,490</b>	<b>\$ 433,031</b>	<b>\$ 488,202</b>

**RECOMMENDED ACTION:** The Administration respectfully requests the Board to approve this resolution at the January 26, 2015 meeting. Thank you.

**RESOLUTION NO. 2015-08  
RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, APPROVING THE PRELIMINARY/FINAL PLAN OF  
VILLANOVA UNIVERSITY, BUTLER ANNEX FOR A PROPERTY  
LOCATED AT 800 E. LANCASTER AVENUE**

*WHEREAS*, Villanova University (“Applicant”) submitted a Preliminary/Final Land Development Plan to demolish the existing 9,000 square foot Butler Annex building and construct an addition on the east side of the existing Jake Nevin Fieldhouse located at 800 E. Lancaster Avenue within the Township’s PI Zoning District (“Property”); and

*WHEREAS*, the Radnor Township Planning Commission reviewed the Preliminary/Final Plan submissions of Villanova University on December 18, 2014; and

*WHEREAS*, the Board of Commissioners of Radnor Township now intends to approve the Preliminary/Final Plans of Villanova University, prepared by Associated Engineering Consultants, Inc.

*NOW, THEREFORE*, be it hereby *RESOLVED* that the Radnor Township Board of Commissioners does hereby approve the Preliminary Land Development Plans of Associated Engineering Consultants, Inc. consisting of thirteen (13) sheets, dated October 29, 2014, and last revised December 5, 2014, subject to the following Preliminary/Final Plan approval conditions:

1. Compliance with correspondence of Gilmore & Associates, Inc., dated December 9, 2014, a copy of which is attached hereto and incorporated herein as *Exhibit “A”*.
2. Compliance with correspondence of Gannett Fleming dated December 9, 2014, a copy of which is attached hereto and incorporated herein as *Exhibit “B”*.
3. The Applicant shall comply with all other applicable Ordinances with respect to sewage, stormwater management, zoning building code, and all county, state, federal rules and regulations and statutes except as set forth in this Resolution.
4. The Applicant shall execute Development and Financial Security Agreements in a form and manner to be approved by the Township Engineer and Township Solicitor.
5. In addition to the Preliminary/Final plan approval conditions, the following Ordinance modifications are approved:
  - a. Section 255-20.B.(5) of the SALDO waiving the requirement for a transportation impact study.

b. Sections 255-12 and 255-14 of the SALDO approving applicant's plan as a Preliminary/Final plan submission.

c. Section 245-22.A.2.C of the Township's stormwater management ordinance regarding groundwater recharge requirements due to field measured infiltration testing results by the applicant as set forth in paragraph III 1. of the Gannett Fleming review letter.

**SO RESOLVED**, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

RADNOR TOWNSHIP

By: \_\_\_\_\_  
Name: William Spingler  
Title: President

ATTEST: \_\_\_\_\_



# Gannett Fleming

*Excellence Delivered As Promised*

**Date:** December 9, 2014

**To:** Radnor Township Board of Commissioners

**From:** Roger Phillips, P.E.

**cc:** Robert Zienkowski – Township Manager  
Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq – Grim, Biehn, and Thatcher  
Amy Kaminski, PE – Gilmore and Assoc.  
Steve Gabriel - Rettew

**RE:** Villanova University – Proposed West End Zone Building  
Villanova University – Applicant

Date Accepted: November 3, 2014  
90 Day Review: February 1, 2015  
Plans Revised and Resubmitted: December 5, 2014

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Gannett Fleming, Inc. has completed a review of the Villanova University – Proposed West End Zone Building Preliminary Plans for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor. The Plan was revised based on comments from our previous letter to the Planning Commission. The comments below reflect those revisions.

The applicant is proposing to change the existing building footprint of the Butler Annex. The existing building area of 10,773 SF is to be removed and replaced with a new building area of 16,072 SF. The total impervious coverage will increase by 5,339 SF. This project is located in the PI district of the Township.

The applicant has indicated that the following waivers will be requested from the Subdivision and Land Development Code:

- §255-20.B(5)– The applicant requests that the requirement to provide a transportation impact study be waived since neither the student or staff populations will increase as a result of this project.



## ***Gannett Fleming***

It appears that the following waivers will also be required for this project:

- §255-12 and §255-14 – The applicant is requesting consideration as a Preliminary/Final submission. A waiver of must be requested for consideration of approval in a single submission.
- §245-22.A.2.C – The applicant will need to request a waiver from the following section of the stormwater management ordinance due to a field measured infiltration test result of 0.0 in/hr.

Plans Prepared By: Associated Engineering Consultants Incorporated  
Dated: 10/29/2014  
Revised: 12/5/2014

### I. Zoning

1. §280-69.D – No building or permanent structure, other than a guardhouse or facility which provides controlled access to a property, shall be located less than 120 feet from the street right-of-way line. The existing building setback is 99 feet and the proposed building setback is 99 feet. This is an existing nonconformity that the applicant intends to continue.
2. §280-103 – The applicant shall provide confirmation that sufficient parking exists to provide for the net increase of building area in conformance with this section. This has been provided on Sheet CO.1 of the revised plan set.

### II. Subdivision and Land Development

1. §255-12 and §255-14 – The applicant is requesting consideration as a Preliminary/Final submission. A waiver of must be requested for consideration of approval in a single submission.
2. §255-20.B(5) – A transportation study must be provided. The applicant is requesting that the requirement to provide a transportation impact study be waived since neither the student or staff populations will increase as a result of this project.
3. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 4,000 square feet of building area.
4. §255-43.1.E(2) – The fee for nonresidential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. Since the additional square footage of building area is 5,339 square feet, the fee is lieu of would be \$4,414.

***Gannett Fleming***

III. Stormwater

1. §245-22.A.2.C – In accordance with the groundwater recharge section of the ordinance, the applicant cannot achieve the minimum 0.50 inch infiltration requirement based on the results of the provided infiltration testing (0.0 in/hr.) The applicant must request a waiver from this section of the stormwater management ordinance due to a field measured infiltration test result of 0.0 in/hr. The applicant is providing volume storage within a proposed raingarden (204.75 CF), and within the stone bed beneath the storm tank (232.4 CF). The total storage volume provided (437.15 CF) will meet the water quality requirement volume (435.6 CF)

This Plan was before the Planning Commission at their December 1, 2014 meeting. The Planning Commission recommended granting a waiver for a Preliminary/Final Submission.

In addition to the above comments, attached and included by reference, is a letter dated December 9, 2014 from Amy Kaminski, Township Traffic Engineer, Gilmore and Associates, indicating no comments. We suggest that consideration of final approval be conditioned upon adequately addressing the comments referenced above.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

---

**Date:** December 9, 2014

**To:** Steve Norcini, P.E.

**From:** Amy Kaminski, P.E., PTOE.  
Department Manager of Transportation  
Gilmore & Associates, Inc.

**cc:** Roger Phillips, P.E., Gannett Fleming, Inc.  
Steve Gabriel, P.P, Rettew  
Damon Drummond, P.E., PTOE

**Reference:** VU Butler Annex- 800 Lancaster Avenue  
Radnor Township, Delaware County  
Preliminary/Final Land Development Plan Resubmission Review –Transportation

**Project No.:** 14-08006

---

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the above-referenced project for Preliminary/Final Land Development Plan Approval and offers the following comments for consideration:

I. SUBMISSION

Villanova University Proposed West End Zone Building, Preliminary/Final Land Development Plan, 13 sheets, dated October 29, 2014; revision date December 5, 2014; prepared for Villanova University, prepared by Associated Engineering Consultants Inc.

II. PROJECT DESCRIPTION

The applicant intends to demolish the existing 9,600 s.f. Butler Annex Building and construct an addition on the eastside of the existing Jake Nevin Fieldhouse, adjacent to the Villanova Stadium. The proposed redevelopment will be approximately 5,000 s.f. and will be utilized as a varsity athlete weight room, team locker rooms, academic support areas, and space for coaches and staff to meet with athletes.

III. WAIVERS REQUESTED

- A. §255-12/14: To review the plans as a preliminary/final submission
- B. §255-20.B(5) To waive the requirement for a transportation impact study; no additional student or staff are proposed as part of this project.

IV. REVIEW COMMENTS

We have no transportation comments regarding this project.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901  
Phone: 215-345-4330 | Fax: 215-345-8606



Associated Consultants Incorporated

485 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3980 fax 610 688 4566

December 5, 2014

Mr. Roger Phillips  
Township Engineer  
c/o Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**Re: Villanova University  
West End Zone Building Project  
Land Development Resubmission  
AEC Project No.: 0300.014**

Dear Mr. Phillips:

For the re-submission of the Land Development Submission for the Villanova University West End Zone Building project, the following responses were compiled in response to your review letter to the Radnor Township Planning Commission dated November 24, 2014.

1. It appears that the applicant is requesting consideration as a Preliminary/Final Submission. Therefore, a waiver of 255-12 and 255-14 must be requested for consideration of approval in a single submission.

*The waiver request has been added to the cover sheet.*

Zoning:

1. 280-69.D – No building or permanent structure, other than a guardhouse or facility which provides controlled access to a property, shall be located less than 120 feet from the street right-of-way line. The existing building setback is 99 feet and the proposed building setback is 99 feet. This is an existing nonconformity that the applicant intends to continue.
2. 280-103 – The applicant shall provide confirmation that sufficient parking exists to provide for the net increase of building area in conformance with this section.

*A parking summary table has been provided on Plan C0.1.*

Subdivision and Land Development:

1. 255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 4,000 square feet of building area.

*See next response.*



2. 255-43.1.E(2) – The fee for nonresidential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. Since the additional square footage of building area is 5,339 square feet, the fee in lieu of would be \$4,414.

*Villanova will pay the \$4,414 fee in lieu of dedicating land to the township.*

Stormwater:

1. The Applicant must demonstrate with calculations and/or supporting documentation that the existing stormwater management facilities (Basin 'A' and Basin 'B') are capable of managing the area of redevelopment occurring within those drainage areas with respect to the rate control and volume requirements of the current Ordinance. Only the area of redevelopment is subject to the current Ordinance and not the entire drainage area.

*Calculations are included in the updated Stormwater Management Report that this project is not increasing the runoff to the existing basins.*

2. The Drainage and Impervious Area Ratios to Infiltration Area requirements set forth from PA BMP Manual (Dec. 2006) is not met. Maximum ratio of drainage area to infiltration area is 8:1 and maximum ratio of impervious area to infiltration area is 5:1.

*The proposed managed building roof area was decreased and the proposed infiltration area was increased, reducing the ratios to 7.9:1. The Stormwater Management Report has been updated.*

3. Infiltration tests have not been completed or submitted at this time. Percolation tests must be provided to indicate that the stormwater facility will be able to drain within 96 hours. Final design and sizing of the stormwater facility should be based on the results of the percolation tests.

*Infiltration testing has been performed and the results are included in the attached Stormwater Management Report.*

4. A general note shall be added to the plans indicating that a grading plan and erosion and sediment control plans will be submitted and approved prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

*The note has been added to Plan C2.1.*

**General:**

1. The applicant is proposing to remove the existing sanitary sewer and replace it under the proposed building. Details must be provided on how the sanitary sewer will be constructed under the proposed building. A profile view of the proposed sanitary sewer must also be provided.

*After the initial submission, further investigation of the existing sanitary sewer system was performed, and a second parallel sewer line was discovered. The plans have been updated and revised. The details and profile of the proposed sanitary sewer system have been added to Sheet C3.4.*

2. The proposed sanitary sewer appears to be located 4 feet from the proposed gas line. This must be revised to provide 10 feet of horizontal separation.

*This condition no longer exists, since the proposed sanitary sewer will now cross the proposed gas line instead of run parallel to it, as shown on Plan C2.2. Where possible, the proposed gas line is shown further than 10 feet from the existing sanitary sewer.*

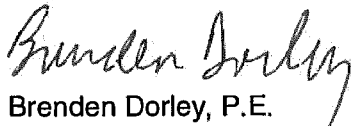
The following items were addressed as a result of the December 2, 2014 Shade Tree Commission meeting:

- Temporary tree protection fence, shown on Plan C1.3, has been extended along both sides of the existing driveway between Lancaster Avenue and the existing concrete wall, as well as behind the concrete wall near the existing storage sheds.
- Existing tree species have been identified on Plan C1.1. Along the front of the existing wall are Ginkgo trees and between the driveway and Lancaster Avenue are White Ash trees.
- A note indicating that no trees greater than 6" caliper are to be removed as part of this project is included on Plan C1.1.

If you have any questions or need more information, please do not hesitate to call.

Sincerely,

**Associated Engineering Consultants, Inc.**



Brenden Dorley, P.E.  
Project Engineer

Enclosures



**DELAWARE COUNTY PLANNING COMMISSION**

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

**COUNCIL**  
**THOMAS J. McGARRIGLE**  
CHAIRMAN  
**MARIO J. CIVERA, JR.**  
VICE CHAIRMAN  
**COLLEEN P. MORRONE**  
**JOHN P. McBLAIN**  
**DAVID J. WHITE**

**Office Location:** Toal Building, 2nd & Orange Sts., Media, PA 19063  
**Phone:** (610) 891-5200 **FAX:** (610) 891-5203  
**E-mail:** [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

**PLANNING COMMISSION**  
**THOMAS J. O'BRIEN, AIA**  
CHAIRMAN  
**THOMAS J. JUDGE**  
VICE CHAIRMAN  
**KENNETH J. ZITARELLI**  
SECRETARY  
**LINDA F. HILL**  
DIRECTOR

November 20, 2014

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**RE:** Name of Dev't: Villanova West End Zone Building  
DCPD File No.: 34-1522-77-06-14  
Developer: Villanova University  
Location: Southeast corner of Ithan Avenue North  
and Lancaster Avenue  
Recv'd in DCPD: November 5, 2014

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held December 18, 2014, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

Linda F. Hill  
Director

LFH/pmg  
cc: Villanova University  
Associated Engineering Consultants



# DCPD

## DELAWARE COUNTY PLANNING DEPARTMENT

Court House/ Government Center , 201 W. Front St., Media, PA 19063  
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

Date: December 18, 2014  
File No.: 34-1522-77-06-14

PLAN TITLE: Villanova West End Zone Building

DATE OF PLAN: October 29, 2014

OWNER OR AGENT: Villanova University

LOCATION: Southeast corner of Ithan Avenue  
North and Lancaster Avenue

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Final Land Development

ZONING DISTRICT: PI Planned Institutional

SUBDIVISION ORDINANCE: Local

PROPOSAL: Further develop 225 acres with a  
47,000 sq. ft. two- and three-  
story athletic building

UTILITIES: All Public

RECOMMENDATIONS: Approval, contingent upon obtain-  
ing the requested waiver

STAFF REVIEW BY: Sam Haber

REMARKS:

### PROPOSAL

The University proposes to demolish the existing Butler Annex Building in its entirety and replace it with a new, larger Annex building. The plan shows a proposed two and three story building



Date: December 18, 2014  
File No.: 34-1522-77-06-14

REMARKS (continued):

annexed to the Jake Nevin Fieldhouse and natatorium, which are both existing. The plan shows a .70 acre construction disturbance area.

**EXISTING NONCONFORMING**

The site contains an existing nonconforming front setback; 56.2' is shown, where 120' is required.

**COMPLIANCE**

The proposed setback appears to be consistent with the setback of the existing building to be replaced. The existing nonconforming setback will not be increased as a result of proposed building.

The plan appears to comply with the Township zoning ordinance.

The plan notes indicate the applicant is requesting a waiver from Section 255-20.B(5) of the Township SALDO regarding the need to submit a transportation impact study, due to the fact that neither student or staff populations will be increased as a result of the project.

Aside from the requested waiver, the plan appears to comply with the Township SALDO.

**SEWAGE FACILITIES**

Proposed sewage facilities may require revision of the municipality's Act 537 Sewage Facilities Plan. The Township Engineer and/or Sewage Enforcement Officer should confirm any necessary Pennsylvania Department of Environmental Protection Planning Module approval prior to the issuance of any building permits.

Date: December 18, 2014  
File No.: 34-1522-77-06-14

REMARKS (continued):

annexed to the Jake Nevin Fieldhouse and natatorium, which are both existing. The plan shows a .70 acre construction disturbance area.

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The plan notes indicate the applicant is requesting a waiver from Section 255-20.B(5) of the Township SALDO regarding the need to submit a transportation impact study, due to the fact that neither student or staff populations will be increased as a result of the project.

Aside from the requested waiver, the plan appears to comply with the Township SALDO.

**SEWAGE FACILITIES**

Proposed sewage facilities may require revision of the municipality's Act 537 Sewage Facilities Plan. The Township Engineer and/or Sewage Enforcement Officer should confirm any necessary Pennsylvania Department of Environmental Protection Planning Module approval prior to the issuance of any building permits.

Date: December 18, 2014  
File No.: 34-1522-77-06-14

REMARKS (continued):

#### **HISTORICAL AND ARCHEOLOGICAL SIGNIFICANCE**

The proposed development is in a zone that has a high potential for underground archaeological resources. The County Archaeological Inventory and Management Plan considers that there could be 19<sup>th</sup> c. deposits that survived later expansion. However, the project is in an area that has already been disturbed with the construction of the current building, which will be demolished.

The plan proposes to demolish an existing building, which is not of historic significance. There are many historically significant buildings on campus but none appear to be effected by this proposed project.

#### **STORMWATER MANAGEMENT FACILITIES**

To control stormwater runoff, the plan shows proposed inlets ("C" and "M" types), underground detention/subsurface infiltration basins, outlet structures, and rain gardens. The Township Engineer should verify the adequacy of all existing, as well as all proposed stormwater management facilities. The Township Engineer should ensure compliance with Section 255-31 of the Township SALDO regarding grading and drainage requirements.

#### **TREE AND SHRUB REMOVAL**

The plan notes indicate:

*Two 4" holly trees located along the Ithan Avenue side of the building are proposed to be removed and replanted. Ten shrubs along the Ithan Avenue side of the building, and an evergreen hedge along the track are proposed to be removed. No trees greater than 6" caliper are proposed to be removed for this project.*

Date: December 18, 2014  
File No.: 34-1522-77-06-14

REMARKS (continued):

The Township Engineer should ensure compliance with Section 255-38 of the Township SALDO regarding shade tree requirements.

**RECORDING**

In accordance with Section 513(a) of the Pennsylvania Municipalities Planning Code (MPC), final plans must be recorded within ninety (90) days of municipal approval.





**DELAWARE COUNTY PLANNING DEPARTMENT**

**COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063**

**COUNCIL**

**THOMAS J. MCGARRIGLE  
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E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)**

**LINDA F. HILL  
DIRECTOR**

December 2, 2014

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

**RE: Title:** Villanova West End Zone Building  
**Applicant(s):** Villanova University  
**File Number:** 34-1522-77-06-14  
**Meeting Date:** 12/18/2014  
**Municipality:** Radnor Township  
**Location:** Southeast corner of Ithan Avenue North and  
Lancaster Avenue  
**Received:** 11/05/2014

Dear Mr. Zienkowski,

This is to acknowledge receipt of the above referenced application for review and report. The Commission has tentatively scheduled consideration of the application for its public meeting on the date shown above at 4:00 p.m. in the Government Center Building, (Room 100), Court House Complex, Media, PA. Attendance is not required but is welcomed. If you have any questions concerning this matter, please contact Dennis DeRosa at (610) 891-5222.

NOTE: In order to avoid processing delays, the DCPD file number shown above MUST be provided in any transactions with the county regarding this or future applications related to this location.

Very truly yours,

*Linda F. Hill*  
Linda F. Hill  
Director

LFH/DDR

cc: Villanova University  
Associated Engineering Consultants





# Gannett Fleming

*Excellence Delivered As Promised*

**Date:** November 20, 2014

**To:** Radnor Township Planning Commission

**From:** Roger Phillips, PE

**cc:** Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Suzan Jones – Radnor Township Engineering Department  
William Miller – Radnor Township Codes Official  
Ray Daly – Radnor Township Codes Official  
Steve Gabriel - Rettew

**RE:** Villanova University – Proposed West End Zone Building  
Villanova University – Applicant

Date Accepted: November 3, 2014

90 Day Review: February 1, 2015

---

Gannett Fleming, Inc. has completed a review of the Villanova University – Proposed West End Zone Building Preliminary Plans for compliance with the Radnor Township Code. This Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor.

The applicant is proposing to change the existing building footprint of the Butler Annex. The existing building area of 10,773 SF is to be removed and replaced with a new building area of 16,072 SF. The total impervious coverage will increase by 5,339 SF. This project is located in the PI district of the Township.

The applicant has indicated that the following waivers will be requested from the Subdivision and Land Development Code:

- §255-20.B(5)– The applicant requests that the requirement to provide a transportation impact study be waived since neither the student or staff populations will increase as a result of this project.

It appears that the applicant is requesting consideration as a Preliminary/Final submission. Therefore, a waiver of §255-12 and §255-14 must be requested for consideration of approval in a single submission.



Plans Prepared By: Associated Engineering Consultants Incorporated  
Dated: 10/29/2014

I. Zoning

1. §280-69.D – No building or permanent structure, other than a guardhouse or facility which provides controlled access to a property, shall be located less than 120 feet from the street right-of-way line. The existing building setback is 99 feet and the proposed building setback is 99 feet. This is an existing nonconformity that the applicant intends to continue.
2. §280-103 – The applicant shall provide confirmation that sufficient parking exists to provide for the net increase of building area in conformance with this section.

II. Subdivision and Land Development

1. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreation area shall be 2,500 square feet per 4,000 square feet of building area.
2. §255-43.1.E(2) – The fee for nonresidential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. Since the additional square footage of building area is 5,339 square feet, the fee is lieu of would be \$4,414.

III. Stormwater

1. The Applicant must demonstrate with calculations and/or supporting documentation that the existing stormwater management facilities (Basin “A” and Basin “B”) are capable of managing the area of redevelopment occurring within those drainage areas with respect to the rate control and volume requirements of the current Ordinance. Only the area of redevelopment is subject to the current Ordinance and not the entire drainage area.
2. The Drainage and Impervious Area Ratios to Infiltration Area requirements set forth from PA BMP Manual (Dec. 2006) is not met. Maximum ratio of drainage area to infiltration area is 8:1 and maximum ratio of impervious area to infiltration area is 5:1.
3. Infiltration tests have not been completed or submitted at this time. Percolation tests must be provided to indicate that the stormwater facility will be able to drain within 96 hours. Final design and sizing of the stormwater facility should be based on the results of the percolation tests.

***Gannett Fleming***

4. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

IV. General

1. The applicant is proposing to remove the existing sanitary sewer and replace it under the proposed building. Details must be provided on how the sanitary sewer will be constructed under the proposed building. A profile view of the proposed sanitary sewer must also be provided.
2. The proposed sanitary sewer appears to be located 4 feet from the proposed gas line. This must be revised to provide 10 feet of horizontal separation.

Should the Planning Commission consider recommending approval of this project, we suggest that the recommendation be conditioned on requiring the applicant to satisfactorily address the above comments.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

**Date:** November 12, 2014

**To:** Steve Norcini, P.E.

**From:** Amy Kaminski, P.E., PTOE.  
Department Manager of Transportation  
Gilmore & Associates, Inc.

**cc:** Roger Phillips, P.E., Gannett Fleming, Inc.  
Steve Gabriel, P.P, Rettew  
Damon Drummond, P.E., PTOE

**Reference:** VU Butler Annex- 800 Lancaster Avenue  
Radnor Township, Delaware County  
Preliminary/Final Land Development Plan Review –Transportation

**Project No.:** 14-08006

Pursuant to your request, Gilmore & Associates, Inc. has reviewed the above-referenced project for Preliminary/Final Land Development Plan Approval and offers the following comments for consideration:

I. SUBMISSION

- A. Villanova University Proposed West End Zone Building, Preliminary/Final Land Development Plan, 13 sheets, dated October 29, 2014; prepared for Villanova University, prepared by Associated Engineering Consultants Inc.
- B. Villanova University West End Zone Building Stormwater Management Report, dated October 29, 2014, prepared by Associated Engineering Consultants Inc., prepared for Villanova University

II. PROJECT DESCRIPTION

The applicant intends to demolish the existing 9,600 s.f. Butler Annex Building and construct an addition on the eastside of the existing Jake Nevin Fieldhouse, adjacent to the Villanova Stadium. The proposed redevelopment will be approximately 5,000 s.f. and will be utilized as a varsity athlete weight room, team locker rooms, academic support areas, and space for coaches and staff to meet with athletes.

III. WAIVERS REQUESTED

§255.20.B(5)(c)[1][e]: The applicant is requesting a waiver from providing a transportation impact study required of all institutional developments; there is no net increase in student or

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901  
Phone: 215-345-4330 | Fax: 215-345-8606

staff population as a result of this project.

IV. REVIEW COMMENTS

We have no comments regarding this project.



# pennsylvania

DEPARTMENT OF ENVIRONMENTAL PROTECTION

SOUTHEAST REGIONAL OFFICE

October 23, 2014

Villanova University  
800 Lancaster Avenue  
Villanova, PA 19085

Re: Planning Waiver  
West End Zone Building Addition  
DEP Code No. 1-09917-619-X  
Buckingham Township  
Delaware County

Ladies and Gentlemen:

This letter is in reference to your application for Sewage Facilities Planning Modules for the expansion of the locker room and training facility at the West End Zone athletic building. The project is located on the northeast corner of the intersection of Lancaster and North Ithan Avenues in Radnor Township, Delaware County.

This project does not meet the definition of a subdivision under the Pennsylvania Sewage Facilities Act. Therefore, no planning modules are required to be submitted to the Department of Environmental Protection (DEP).

If you have any questions or concerns, please contact Ms. Stefanie Rittenhouse at 484.250.5186.

Sincerely,

Keith Dudley, P.E.  
Environmental Engineer Manager  
Municipal Planning and Finance Section  
Clean Water

cc: Delaware County Planning Department  
Delaware County Conservation District  
Mr. Zienkowski - Radnor Township  
RHM  
Mr. Fulton - Springfield Township  
Upper Darby Township  
DCJA  
DELCORA  
Mr. Ponert - City of Philadelphia Water Department  
Planning Section  
Re 30 (GJE14CLW)296-5

**ELAINE P. SCHAEFER**  
*President*

**JAMES C. HIGGINS**  
*Vice-President*

**WILLIAM A. SPINGLER**

**DONALD E. CURLEY**

**JOHN FISHER**

**JOHN NAGLE**

**RICHARD F. BOOKER**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
www.radnor.com

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

November 4, 2014

Steven Hildebrand  
Villanova University  
800 Lancaster Avenue  
Villanova, PA 19085

**RE: Land Development Application #2014-D-09 Preliminary/Final Plan  
Submission  
West End Zone Building – Villanova University**

Dear Mr. Hildebrand:

In accordance with Section 255-18 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your preliminary/final plan application to application to demolish and construct the West End Zone Building at the abovementioned location, and have found it complete. Therefore, I have accepted the application for preliminary plan for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. These plans will be reviewed by the Planning Commission at their meeting on **Monday, December 1, 2014**. Subsequent to the Planning Commission meeting, your plan will be reviewed by the Board of Commissioners. You or your representative should plan to attend all scheduled meetings.

If the Planning Commission takes action, your plan will then be reviewed by the Board of Commissioners at a future meeting. These dates will be provided to you once it is placed on the agenda.

Sincerely,

**Roger Phillips, P.E.**  
Township Engineer

Cc: Associated Engineering Consultants, Inc.





Associated Consultants Incorporated

485 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3980 fax 610 688 4566

# TRANSMITTAL

<b>To:</b>	Sue Jones	<b>From:</b>	Brenden Dorley
<b>Company:</b>	Radnor Township	<b>Date:</b>	10/30/14
<b>Address:</b>	301 Iven Avenue	<b>Project Name:</b>	VU – West End Zone Bldg
<b>City, State, Zip:</b>	Wayne, PA 19087	<b>Project Number:</b>	0300.014
<b>Phone:</b>	610-688-5600	<b>Re:</b>	Prelim./Final Plan Submission

- |  |  |
|--|--|
| <input type="checkbox"/> For Your Review & Comment | <input type="checkbox"/> For Your Information & Record |
| <input type="checkbox"/> For Your Use              | <input type="checkbox"/> As Requested                  |

If enclosures are not as noted, please notify us at once.

Quantity	Date	Description
25	10/29/14	Complete Sets of Site Plans (C0.0, C0.1, C0.2, C1.1, C1.2, C1.3, C2.1, C2.2, C3.0, C3.1, C3.2, C3.3, C3.4)
15	10/29/14	Complete Sets of Site Plans (11x17)
1		Prelim./Final Plan Application
1		\$1,550 Application Fee
1		\$10,000 Escrow Fee
1		DCPC Application
1		\$1,375 DCPC Application Fee
2	10/29/14	Stormwater Management Calculations
1		CD with PDF's of all submission items

**Comments:**

cc: Jim Matthews - VU

RADNOR TOWNSHIP  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

SUBDIVISION LAND DEVELOPMENT

Location of Property 800 Lancaster Avenue, Villanova

Zoning District PI Application No. \_\_\_\_\_  
(Twp. Use)

Fee \$1,550 Ward No. 7-1 Is property in HARB District No

Applicant: (Choose one) Owner \_\_\_\_\_ Equitable Owner X

Name Villanova University

Address 800 Lancaster Avenue, Villanova, PA 19085

Telephone (610) 519-4589 Fax (610) 519-6903 Cell (610) 348-5349

Email steven.hildebrand@villanova.edu

Designer: (Choose one) Engineer X Surveyor \_\_\_\_\_

Name Associated Engineering Consultants, Inc.

Address 485 Devon Park Drive, Suite 113, Wayne, PA 19087

Telephone (610) 688-3980 Fax (610) 688-4566

Email kmcmanuels@aeceng.net

Area of property 225 acres Area of disturbance 0.7 acres

Number of proposed buildings 1 Proposed use of property Institutional

Number of proposed lots 0

Plan Status: Sketch Plan \_\_\_\_\_ Preliminary X Final X Revised \_\_\_\_\_  
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

No.

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Are there any infringements of Chapter 280 (Zoning), and if so what and why?

No.

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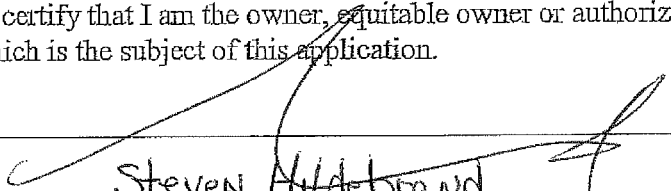
Individual/Corporation/Partnership Name  
Villanova University

---

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature

Print Name

  
Steven Aildebrand  
Director of Engineering Construction

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE: All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

**DELAWARE COUNTY PLANNING COMMISSION**

**APPLICATION FOR ACT 247 REVIEW**

**Incomplete applications will be returned and will not be considered "received" until all required information is provided.**

Please type or print legibly

**DEVELOPER/APPLICANT**

Name Villanova University E-mail steven.hildebrand@villanova.edu

Address 800 Lancaster Avenue, Villanova, PA 19085 Phone (610) 519-4589

Name of Development West End Zone Building

Municipality Radnor Township

**ARCHITECT, ENGINEER, OR SURVEYOR**

Name of Firm Associated Engineering Consultants, Inc. Phone (610) 688-3980

Address 485 Devon Park Drive, Suite 113, Wayne, PA 19087

Contact Karen McManuels E-mail kmcmanuels@aeceng.net

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input checked="" type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input checked="" type="checkbox"/> Final	<input checked="" type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI - Planned Institutional

Tax Map # 36 / 24 / 033

Tax Folio # 36 / 04 / 02400 / 10

**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

Existing and/or Proposed Use of Site/Buildings:

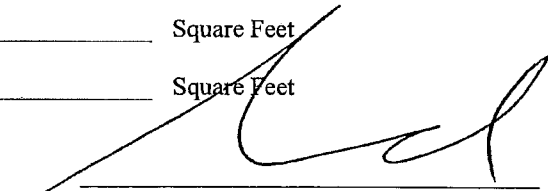
The proposed West End Zone Building will expand the facilities for Villanova University's athletics programs.

Neither the student nor staff populations will increase as a result of this project.

Total Site Area	225	Acres
Size of All Existing Buildings	1,274,565	Square Feet
Size of All Proposed Buildings	16,072	Square Feet
Size of Buildings to be Demolished	10,733	Square Feet

Steven Hildebrand

Print Developer's Name

  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission Regular Meeting 12/1/14

Local Governing Body Regular Meeting

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

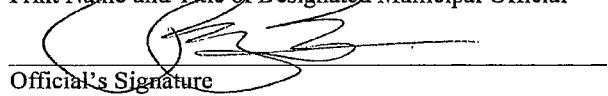
Actual Date Needed

IMPORTANT: If previously submitted, show assigned DCPD File # 34-1522-77-83-90-92-93-94-96-97-98-99-00-01-02-06

Township Engineer Roger Phillips

Print Name and Title of Designated Municipal Official

Phone Number

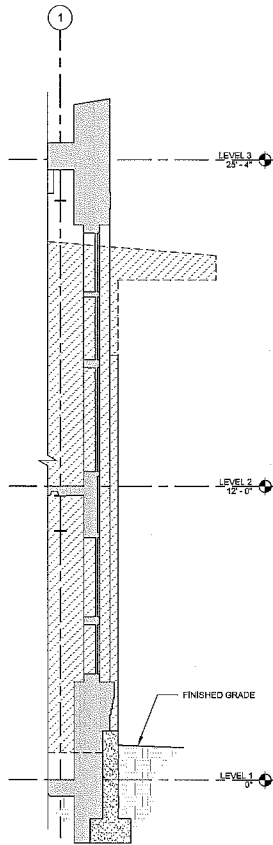
  
Official's Signature

11-4-14  
Date

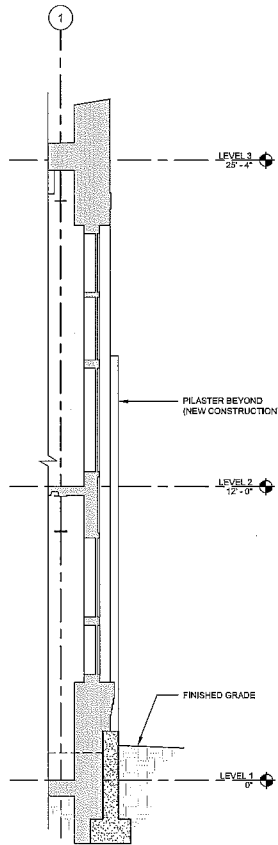
**FOR DCPD USE ONLY**

Review Fee: Check # Amount \$ Date Received

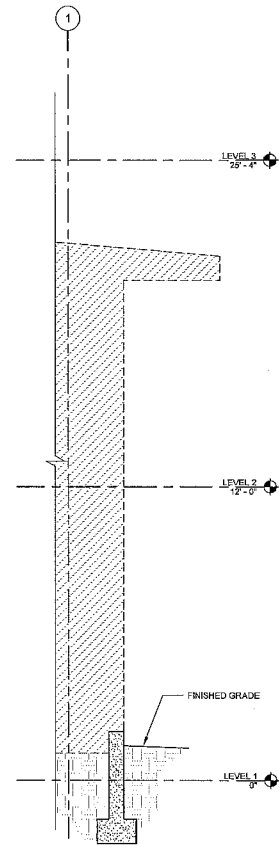
Applications with original signatures must be submitted to DCPD.






OVERLAY  
3/8" = 1'-0"



NEW CONSTRUCTION  
3/8" = 1'-0"



DEMOLITION  
3/8" = 1'-0"

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE REMOVED
-  NEW CONSTRUCTION

**SCHEMATIC WALL SECTION DIAGRAM**

VILLANOVA WEZB

prepared for  
VILLANOVA UNIVERSITY

JANUARY 16, 2015



# VILLANOVA UNIVERSITY

## PROPOSED WEST END ZONE BUILDING

### PRELIM./FINAL LAND DEVELOPMENT RESUBMISSION

800 LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

**aec**  
 Associated Engineering Consultants Incorporated  
 485 Devon Park Drive Suite 113 Wayne Pennsylvania 19387 Tel: 610 668 3880 Fax: 610 668 4566  
 www.aeceng.com

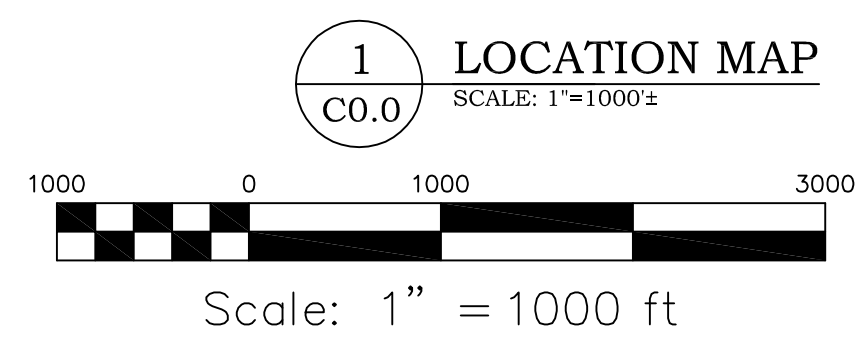
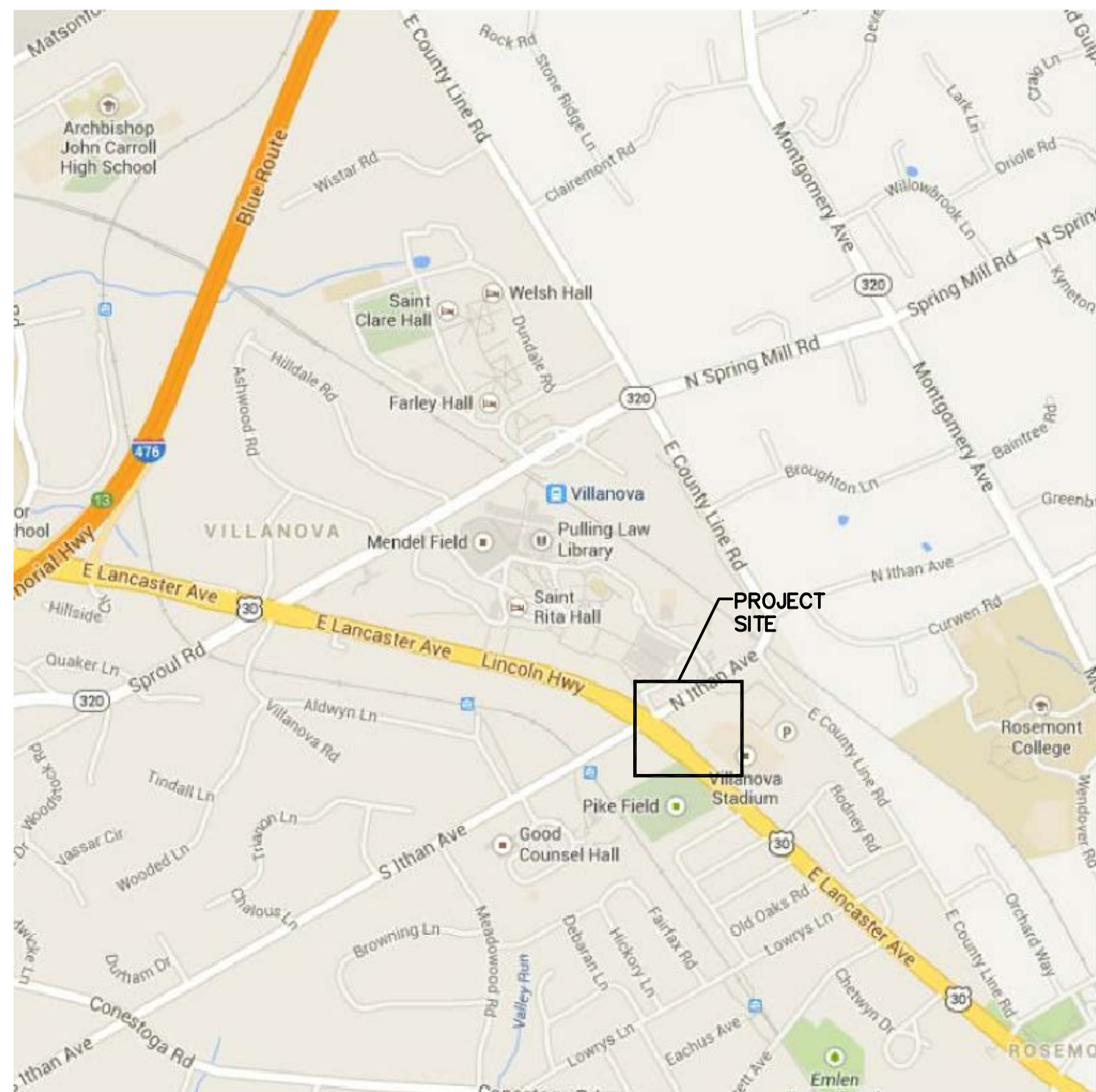
Civil | Structural | HVAC | Plumbing | Electrical | Fire Protection



PROJECT

VILLANOVA UNIVERSITY  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM./FINAL APPROVAL
12/05/14	RESUBMISSION



DRAWING NUMBER	DRAWING TITLE	DATE		ISSUE	
		10/29/14	12/05/14	PRELIM./FINAL APPROVAL	PER SHADE TREE COMMENTS RESUBMISSION
C0.0	COVER SHEET				
C0.1	OVERALL CAMPUS PLAN				
C0.2	ATHLETICS CAMPUS PLAN				
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN				
C1.2	EXISTING UTILITIES DEMOLITION PLAN				
C1.3	SOIL EROSION CONTROL PLAN				
C2.1	SITE DEVELOPMENT PLAN				
C2.2	SITE UTILITIES PLAN				
C3.0	SOIL EROSION CONTROL NOTES AND GENERAL NOTES				
C3.1	SOIL EROSION CONTROL SECTIONS AND DETAILS				
C3.2	SITE SECTIONS AND DETAILS				
C3.3	STORMWATER SECTIONS AND DETAILS				
C3.4	SANITARY SECTIONS AND DETAILS				
C3.5	SITE UTILITIES SECTIONS AND DETAILS				

**WAIVER REQUESTED:**  
 THE FOLLOWING WAIVERS ARE BEING REQUESTED BY THE APPLICANT:  
 1. FROM SECTIONS 255-12 AND 255-14 OF THE SALDO CODE REGARDING PRELIMINARY PLAN APPROVAL. THE APPLICANT REQUESTS THAT THE PLANS BE REVIEWED AS A PRELIMINARY/FINAL SUBMISSION.  
 2. FROM SECTION 255-20.B(5) OF THE SALDO CODE REGARDING TRANSPORTATION IMPACT STUDIES. THE APPLICANT REQUESTS THAT THE REQUIREMENT TO PROVIDE A TRANSPORTATION IMPACT STUDY BE WAIVED SINCE NEITHER THE STUDENT NOR STAFF POPULATIONS WILL INCREASE AS A RESULT OF THIS PROJECT.

**PROPERTY NOTES:**  
 1. SITE OWNER:  
 VILLANOVA UNIVERSITY  
 2. SITE ADDRESS:  
 800 LANCASTER AVENUE  
 VILLANOVA, PA 19085  
 3. CONTACT INFORMATION:  
 JIM MATTHEWS, PROJECT MANAGER  
 (610) 519-4425  
 4. SITE TAX MAP INFORMATION:  
 PORTION OF TAX MAP #36-24-033  
 PORTION OF PARCEL #36-04-02400-10

Commonwealth of Pennsylvania SS  
 County of \_\_\_\_\_  
 On this, the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, the undersigned officer, personally appeared \_\_\_\_\_ who being duly sworn according to law, deposes and says that he is the owner or equitable owner of the property shown on this plan, that the land development plan thereof was made at his direction and that he acknowledges the same to be his act and plan and desires the same to be recorded as such according to law.  
 Witness my hand and seal the day and date above written.  
 \_\_\_\_\_  
 (Signature of Individual)  
 \_\_\_\_\_  
 Notary Public or other Officer  
 My Commission expires \_\_\_\_\_

SHEET TITLE

COVER SHEET

DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.

C0.0

SHEET NO. 1 OF 14

PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

PARKING REQUIREMENTS			
BUILDING/USE:	CODE REQUIREMENT:	COUNT:	SPACES REQUIRED:
<b>EXISTING:</b>			
DORMITORY	1 SPACE/3 RESIDENTS	4,322 BEDS	1,441
OFFICE	1 SPACE/200 SF FOR FIRST 50,000 SF + 1 SPACE/300 SF OVER 50,000 SF	365,851 SF	1,303
RETAIL	1 SPACE/200 SF + 1 SPACE/2 EMPLOYEES	6,250 SF; 24 EMPLOYEES	44
LARGEST ASSEMBLY AREA	1 SPACE/4 FIXED SEATS	3,778 FIXED SEATS	945
GYMNASIUM/LIBRARY	1 SPACE/150 SF	42,432 SF	283
LARGEST ASSEMBLY AREA	1 SPACE/40 SF	13,722 SF	344
OTHER THAN SPECIFIED IN CODE	1 SPACE/300 SF	30,929 SF	104
<b>TOTAL EXISTING REQUIRED PARKING SPACES</b>			<b>4,464</b>
<b>PROPOSED:</b>			
OTHER THAN SPECIFIED IN CODE	1 SPACE/300 SF	5,339 SF	18
<b>TOTAL PROPOSED REQUIRED PARKING SPACES</b>			<b>18</b>
<b>TOTAL EXISTING + PROPOSED REQUIRED PARKING SPACES</b>			<b>4,482</b>
<b>TOTAL EXISTING PARKING SPACES AVAILABLE ON CAMPUS</b>			<b>5,130</b>

ZONING SCHEDULE			
ZONING DISTRICT:		PI PLANNED INSTITUTIONAL	
ZONING ITEM:	REQUIRED:	EXISTING:	PROPOSED:
LOT AREA	10.0 ACRES	225 AC	NO CHANGE
LOT WIDTH	300 FEET	2,200 FT	NO CHANGE
BUILDING AREA	30% MAX.	13.0% (29.26 ACRES)	13.06% (29.38 ACRES) [1]
TOTAL IMPERVIOUS COVERAGE	45% MAX.	37.60% (84.60 ACRES)	37.64% (84.69 ACRES) [3]
BUILDING HEIGHT	3 STORIES OR 38 FEET	4 STORIES / 56.5 FEET	3 STORIES / 38 FEET MAX.
DISTANCE BETWEEN BUILDINGS	45 FEET MIN.	103.1 FEET	NO CHANGE
BUILDING LENGTH	160 FEET MAX.	137.9 FEET	100 FEET MAX.
BUILDING SETBACKS: STREETS	120 FT FROM STREET RIGHT-OF-WAY	99.0 FT * (LANCASTER AVE)	NO CHANGE

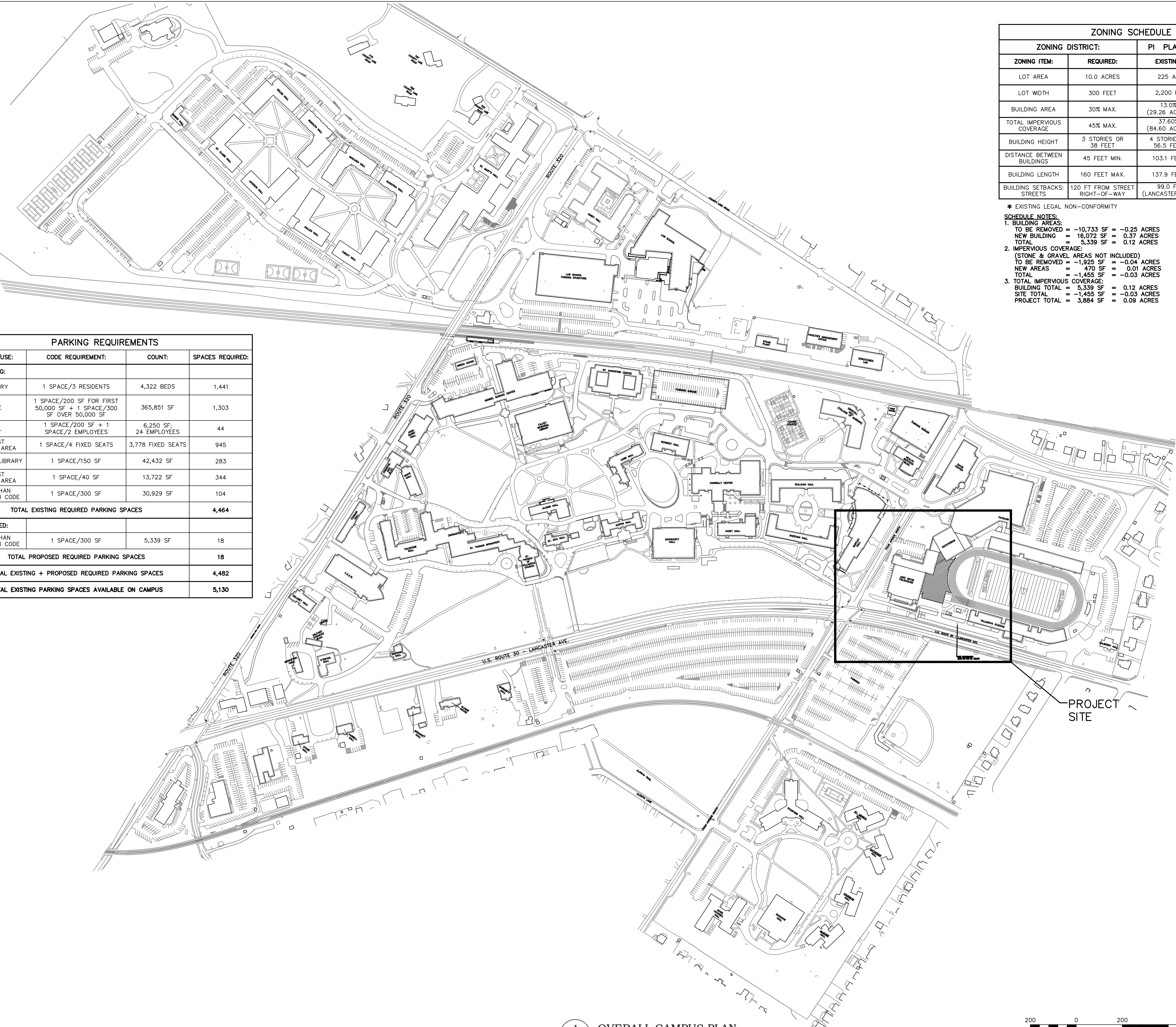
\* EXISTING LEGAL NON-CONFORMITY

**SCHEDULE NOTES:**

1. BUILDING AREAS:  
 TO BE REMOVED = -10,733 SF = -0.25 ACRES  
 NEW BUILDING = 16,072 SF = 0.37 ACRES  
 TOTAL = 5,339 SF = 0.12 ACRES

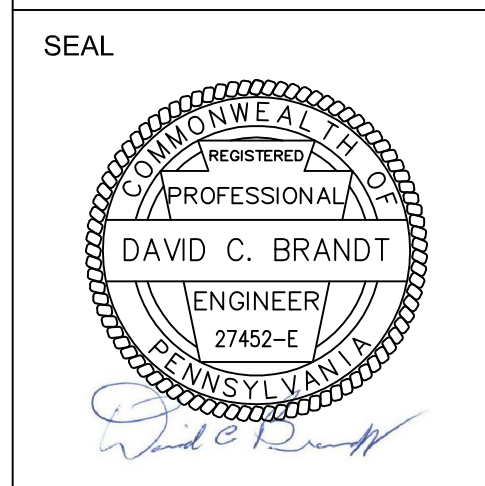
2. IMPERVIOUS COVERAGE:  
 (STONE & GRAVEL AREAS NOT INCLUDED)  
 TO BE REMOVED = -1,925 SF = -0.04 ACRES  
 NEW AREAS = 470 SF = 0.01 ACRES  
 TOTAL = -1,455 SF = -0.03 ACRES

3. TOTAL IMPERVIOUS COVERAGE:  
 BUILDING TOTAL = 5,339 SF = 0.12 ACRES  
 SITE TOTAL = -1,455 SF = -0.03 ACRES  
 PROJECT TOTAL = 3,884 SF = 0.09 ACRES



**AEC**  
 Associated Engineering Consultants Incorporated  
 488 Devon Park Drive Suite 113 Wayne Pennsylvania 19387 Tel: 610 688 3880 Fax: 610 688 4568  
 www.aecengr.net

Civil | Structural | HVAC | Plumbing | Electrical | Fire Protection



PROJECT

**VILLANOVA UNIVERSITY**  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE

**OVERALL CAMPUS PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM

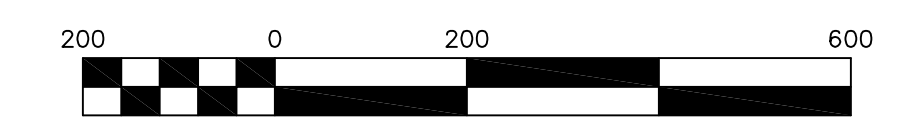
SHEET NO.

**C0.1**

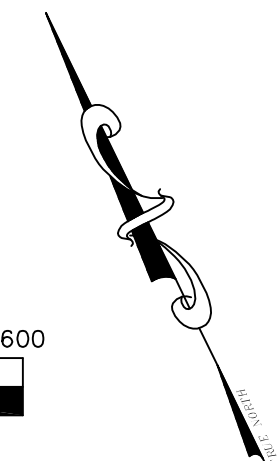
SHEET NO. 2 OF 14

PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

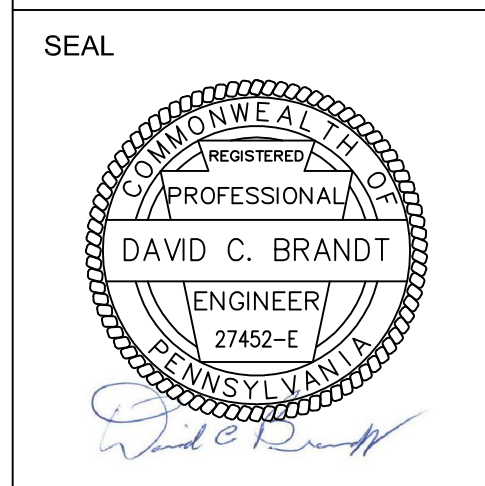
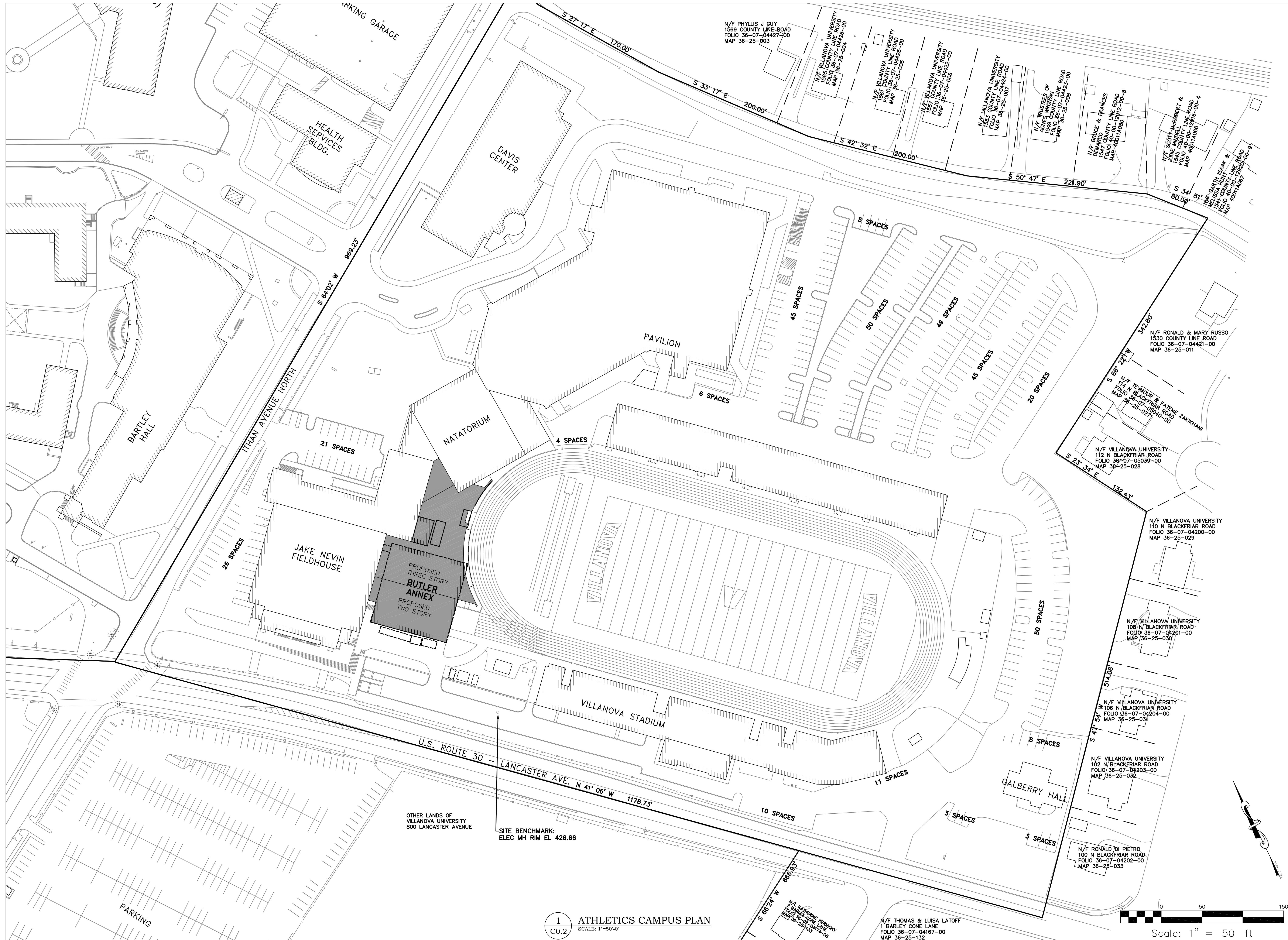
**1 OVERALL CAMPUS PLAN**  
 SCALE: 1"=200'-0"



Scale: 1" = 200 ft







PROJECT

**VILLANOVA UNIVERSITY**  
**PROPOSED WEST END ZONE BUILDING**  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE

**ATHLETICS CAMPUS PLAN**

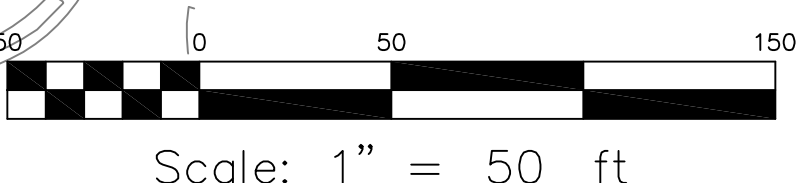
DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.

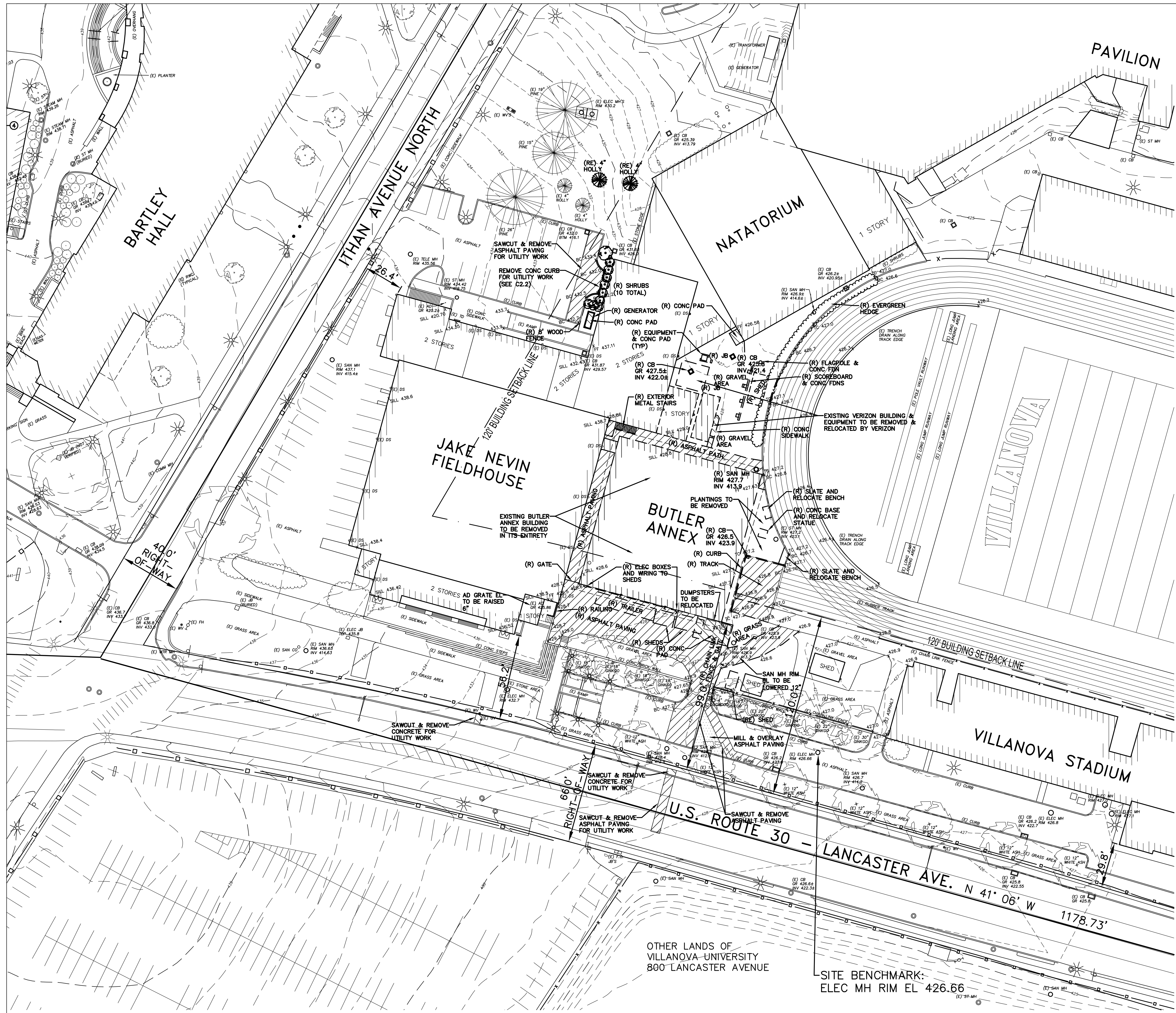
**C0.2**

SHEET NO. 3 OF 14  
 PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

**1** ATHLETICS CAMPUS PLAN  
 SCALE: 1"=50'-0"



F:\AEC\_Projects\0300\01400\Draw\01\_VU\_Site\_Plan.dwg, 12/5/2014 9:55:42 AM



**LEGEND**

EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
GRADE LINE	-142-
SPOT ELEVATION	x 142.0
CATCH BASIN & INLET MANHOLE	○
CLEAN OUT OR VALVE	○
UTILITY POLE	○
LIGHT POLES: -GOTHIC	⊛
-SHOEBOX	⊛
FIRE HYDRANT	⊛
SIGNAGE	⊛
BUILDING FOOTPRINT	▨
ASPHALT PAVING & CURBING	▨
CONCRETE	▨
SCARIFY	▨
TREES AND SHRUBS	⊛

**ABBREVIATIONS**

(E)	EXISTING TO REMAIN
(R)	EXISTING TO BE RELOCATED
(R)	REMOVE EXISTING
(R)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION OF EXISTING

**TREE AND SHRUB REMOVAL NOTES:**

- TWO 4" HOLLY TREES LOCATED ALONG THE ITHACA AVENUE SIDE OF THE BUILDING ARE PROPOSED TO BE REMOVED AND REPLANTED.
- TEN SHRUBS ALONG THE ITHACA AVENUE SIDE OF THE BUILDING AND AN EVERGREEN HEDGE ALONG THE TRACK ARE PROPOSED TO BE REMOVED.
- NO TREES GREATER THAN 6" CALIPER ARE PROPOSED TO BE REMOVED FOR THIS PROJECT.

**SEAL**

Associated Engineering Consultants Incorporated  
488 Devon Park Drive, Suite 113, Wayne, Pennsylvania 19087, Tel: 610 668 3880, Fax: 610 668 4566

Civil Structural HVAC Plumbing Electrical Fire Protection

www.aecinc.net

**VILLANOVA UNIVERSITY**

**PROPOSED WEST END ZONE BUILDING**

800 EAST LANCASTER AVENUE  
VILLANOVA, PENNSYLVANIA 19085  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE: 10/29/14 REVISION: PRELIM/FINAL APPROVAL  
12/05/14 PER SHADE TREE COMMENTS  
12/05/14 RESUBMISSION

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	PER SHADE TREE COMMENTS
12/05/14	RESUBMISSION

**SHEET TITLE**

**EXISTING CONDITIONS & DEMOLITION PLAN**

DRAWN BY: BJD  
CHECKED BY: KRM

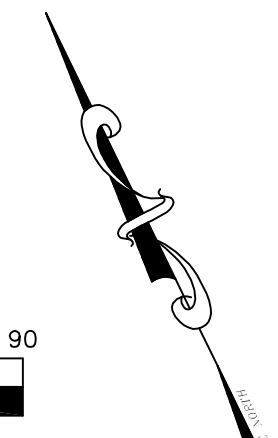
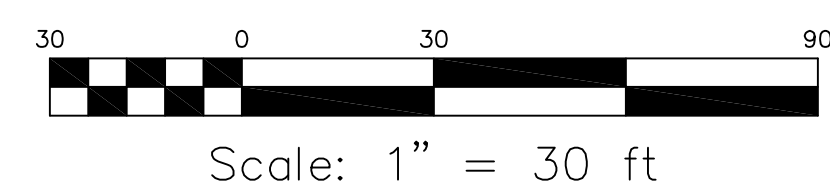
SHEET NO.

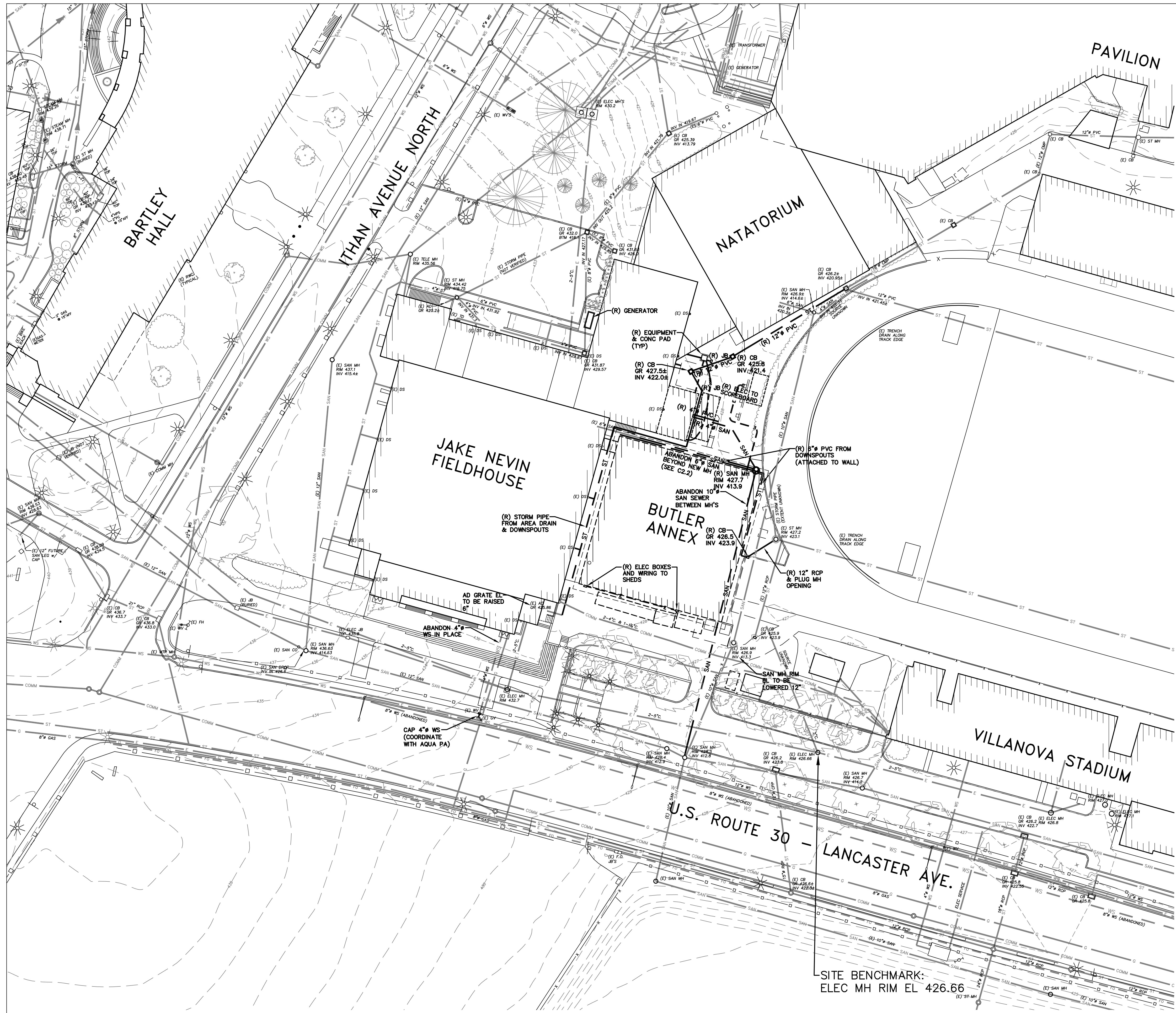
**C1.1**

SHEET NO. 4 OF 14

PROJECT NO. 0300.014  
DATE: OCTOBER 29, 2014

**1** EXISTING CONDITIONS & DEMOLITION PLAN  
SCALE: 1"=30'-0"





**LEGEND**

	EXISTING TO REMAIN	EXISTING TO BE DEMOLISHED
STORM SEWER	ST	ST
SANITARY SEWER	SAN	SAN
WATER SERVICE	WS	WS
STEAM	S	S
COMMUNICATIONS	COMM	COMM
ELECTRIC SERVICE	E	E
GAS SERVICE	G	G
CHILLED WATER SUPPLY	CHWS	CHWS
CHILLED WATER RETURN	CHWR	CHWR
CATCH BASIN & INLET	□	□
MANHOLE	○	○
CLEAN OUT OR VALVE	○	○
UTILITY POLE	○	○
LIGHT POLE	⊗	⊗
FIRE HYDRANT	⊗	⊗

**ABBREVIATIONS**

(E)	EXISTING TO REMAIN
(ER)	EXISTING TO BE RELOCATED
(R)	REMOVE EXISTING
(RE)	RELOCATE EXISTING
(N)	NEW
(NL)	NEW LOCATION OF EXISTING

**Associated Engineering Consultants Incorporated**  
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Civil | Structural | HVAC | Plumbing | Electrical | Fire Protection

SEAL

PROJECT

**VILLANOVA UNIVERSITY**  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE

**EXISTING UTILITIES DEMOLITION PLAN**

DRAWN BY: BJD  
 CHECKED BY: KRM  
 SHEET NO.

**C1.2**

SHEET NO. 5 OF 14

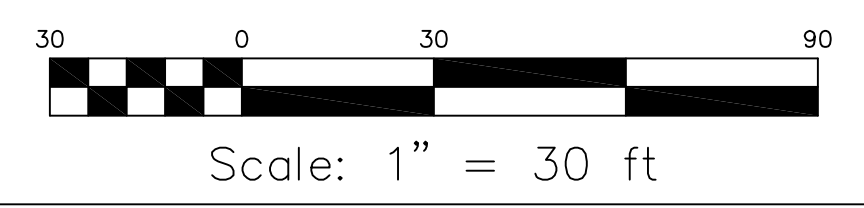
PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

**NOTE:**  
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVES. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATIONS OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

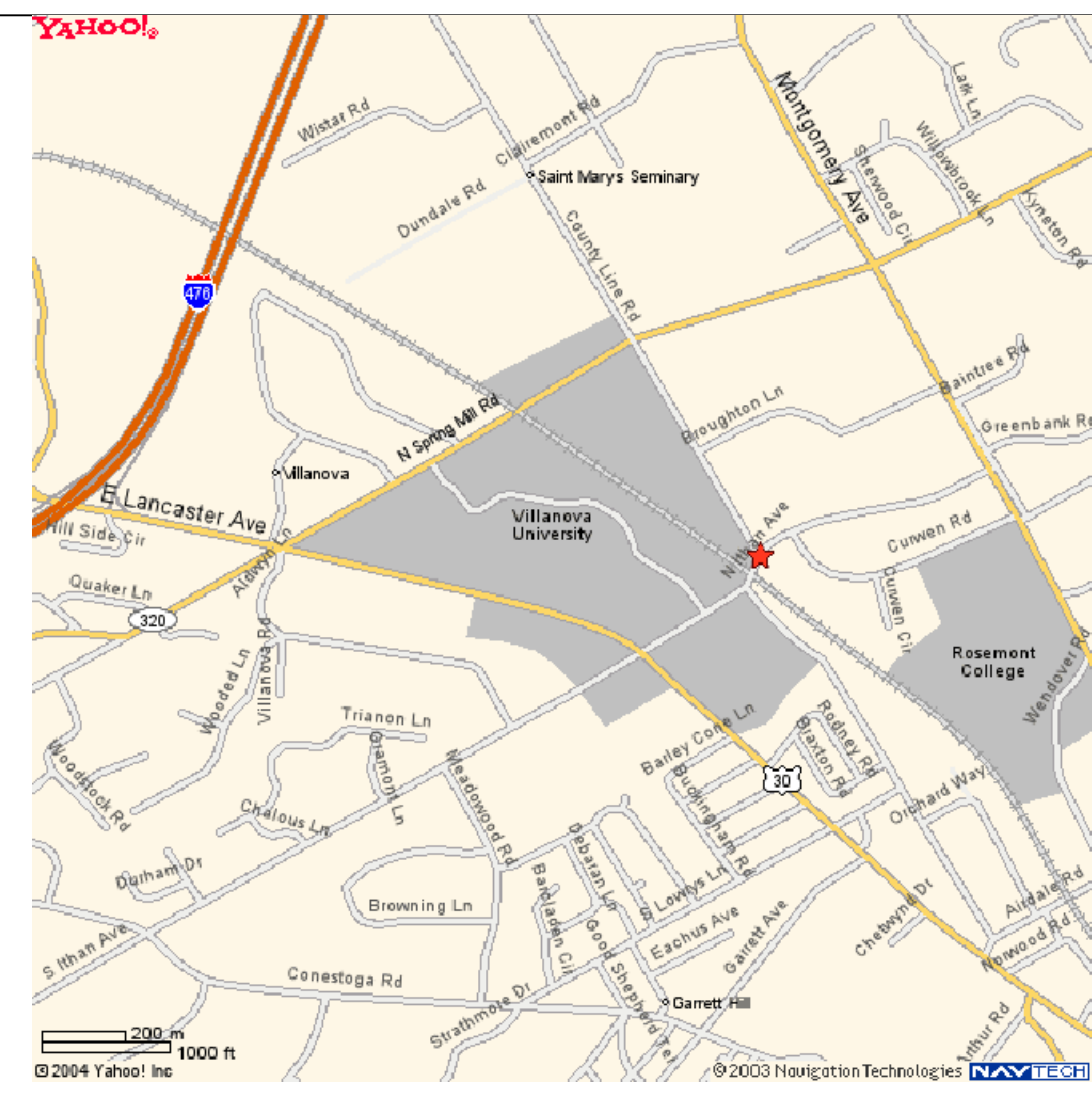
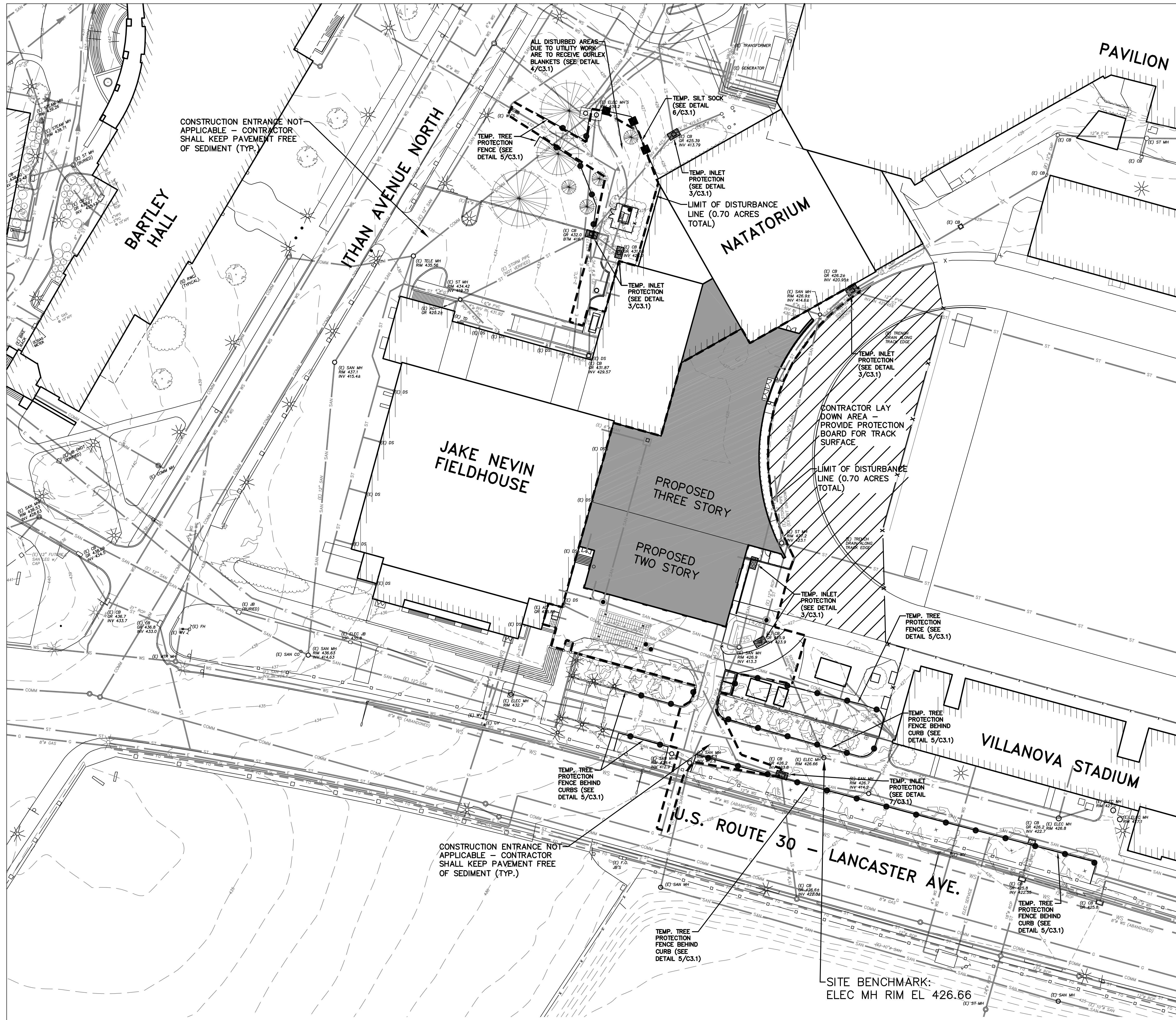
Serial Number: 20141320513

**CALL BEFORE YOU DIG!**  
 PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE--STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

**NOTE:**  
 AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITY, ALL CONTRACTORS INVOLVED SHALL NOTIFY THE PA ONE CALL SYSTEM INC. AT 1-800-242-1776 FOR BURIED UTILITIES LOCATIONS.



**1 EXISTING UTILITIES DEMOLITION PLAN**  
 SCALE: 1"=30'-0"



**A**  
C1.3 **LOCATION MAP**  
SCALE: 1" = 1500'

**SOIL DATA:**  
**Mo - MADE LAND, SCHIST AND GNEISS MATERIALS:**  
 SLOPE RANGE: 0 TO 8%  
 DEPTH TO BEDROCK: 40" - 72"  
 DEPTH TO SEASONAL WATER TABLE: 60"  
 PERMEABILITY: MODERATE  
 HYDROLOGIC SOIL GROUP: C

**SOIL LIMITATIONS:**  
**MADE LAND:**  
 SOMEWHAT LIMITED FOR COMMERCIAL BUILDINGS  
 REASONS: SHRINK-SWELL

SOMEWHAT LIMITED FOR SHALLOW EXCAVATIONS  
 REASONS: DEPTH TO SATURATED ZONE

**SOIL LIMITATION RESOLUTIONS:**  
**RESOLUTIONS:**  
 SHRINK-SWELL - THE PROPOSED BUILDING ADDITION WILL BE CONSTRUCTED WITHIN AN AREA OF THE PROPERTY THAT HAS PREVIOUSLY BEEN DEVELOPED. NEW EXCAVATIONS WILL NOT BE ANY DEEPER THAN EXCAVATIONS THAT HAVE ALREADY BEEN DONE IN THIS PART OF THE PROPERTY.

DEPTH TO SATURATION ZONE - PUMPS ARE TO BE UTILIZED AS NEEDED TO REMOVE EXCESS WATER FROM EXCAVATION AREAS. PUMPS ARE TO DISCHARGE TO EXISTING VEGETATED AREAS. SEE DETAIL ON C3.1.

Serial Number: 20141320513

**CALL BEFORE YOU DIG!**

PENNSYLVANIA LAW REQUIRES 3 WORKING DAYS NOTICE FOR CONSTRUCTION PHASE AND 10 WORKING DAYS IN DESIGN STAGE-STOP CALL Pennsylvania One Call System, Inc. 1-800-242-1776

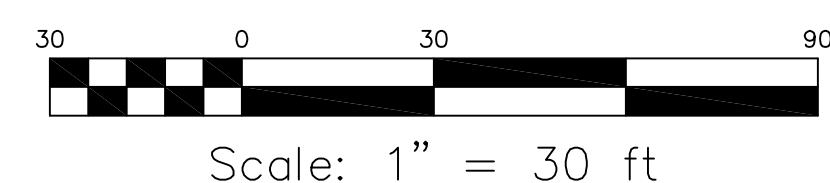
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**WATERSHED NOTE:**  
 THE PROJECT IS LOCATED IN THE ITHACA CREEK WATERSHED, WHICH HAS A CHAPTER 93 RECEIVING WATER CLASSIFICATION OF CWF/MF.

**TEMP. CONSTRUCTION LEGEND**

	LIMIT OF DISTURBANCE BOUNDARY LINE (0.70 ACRES TOTAL)
	AREAS TO RECEIVE CURLEX BLANKETS (SEE DETAIL 4/C3.1)
	TEMPORARY SILT SOCK (SEE DETAIL 6/C3.1)
	TEMPORARY TREE PROTECTION FENCE (SEE DETAIL 5/C3.1)
	TEMPORARY CONSTRUCTION FENCE TO BE 6'-0" HIGH CHAIN LINK FENCE (MOUNTED ON REMOVABLE PRECAST CONCRETE BASE - UNLESS NOTED OTHERWISE)
	TEMPORARY INLET PROTECTION (SEE DETAILS 3&7/C3.1)

**NOTE:**  
 ANY OFF-SITE WASTE AREA MUST HAVE AN E&S PLAN REVIEWED AND APPROVED BY THE LOCAL COUNTY CONSERVATION DISTRICT PRIOR TO BEING ACTIVATED.



**1**  
C1.3 **SOIL EROSION CONTROL PLAN**  
SCALE: 1"=30'-0"

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 www.aecinc.net

Civil Structural HVAC Plumbing Electrical File Protection

SEAL

DAVID C. BRANDT  
 ENGINEER  
 27452-E  
 PENNSYLVANIA

PROJECT

**VILLANOVA UNIVERSITY**  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	PER SHADE TREE COMMENTS
12/05/14	RESUBMISSION

SHEET TITLE

**SOIL EROSION CONTROL PLAN**

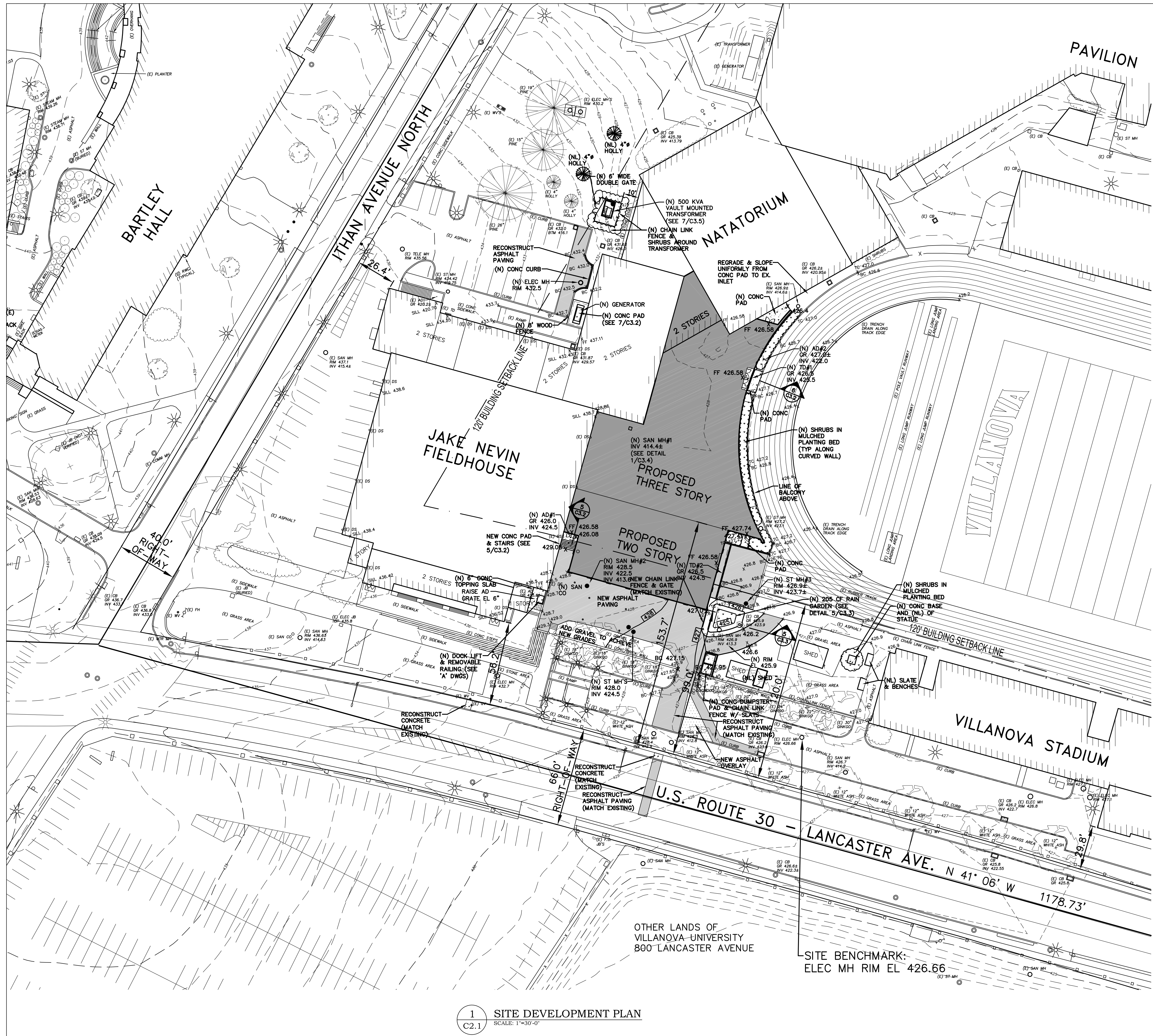
DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.

**C1.3**

SHEET NO. 6 OF 14

PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014



**LEGEND**

	EXISTING TO REMAIN	PROPOSED
GRADE LINE	-142-	142
SPOT ELEVATION	x 142.0	x 142.0
CATCH BASIN & INLET	□	■
MANHOLE	○	●
CLEAN OUT OR VALVE	○	●
UTILITY POLE	○	●
LIGHT POLES:		
-GOTHIC	⊛	⊛
-SHOEBOX	⊛	⊛
-GLOBE	⊛	⊛
FIRE HYDRANT	⊛	⊛
SIGNAGE	⊛	⊛
BUILDING FOOTPRINT	▨	▨
ASPHALT PAVING	▨	▨
ASPHALT OVERLAY	▨	▨
CONCRETE	▨	▨
TREES AND SHRUBS	⊙	⊙

**ABBREVIATIONS**

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Civil Structural HVAC Plumbing Electrical Fire Protection

**SEAL**

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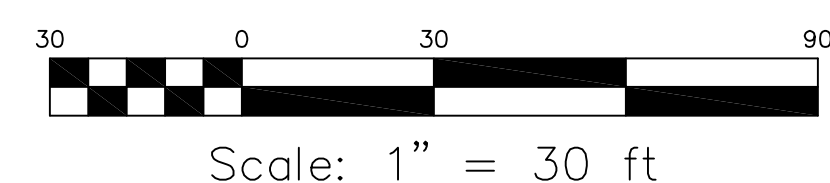
DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

**SHEET TITLE**  
 SITE DEVELOPMENT PLAN

**DRAWN BY:** BJD  
**CHECKED BY:** KRM

**SHEET NO.**  
**C2.1**  
 SHEET NO. 7 OF 14  
 PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

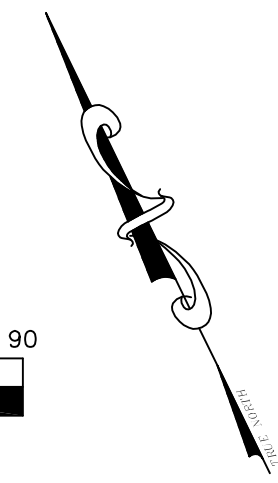
**NOTE:**  
 A GRADING PLAN AND EROSION AND SEDIMENT CONTROL PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO ISSUANCE OF THE BUILDING PERMIT.

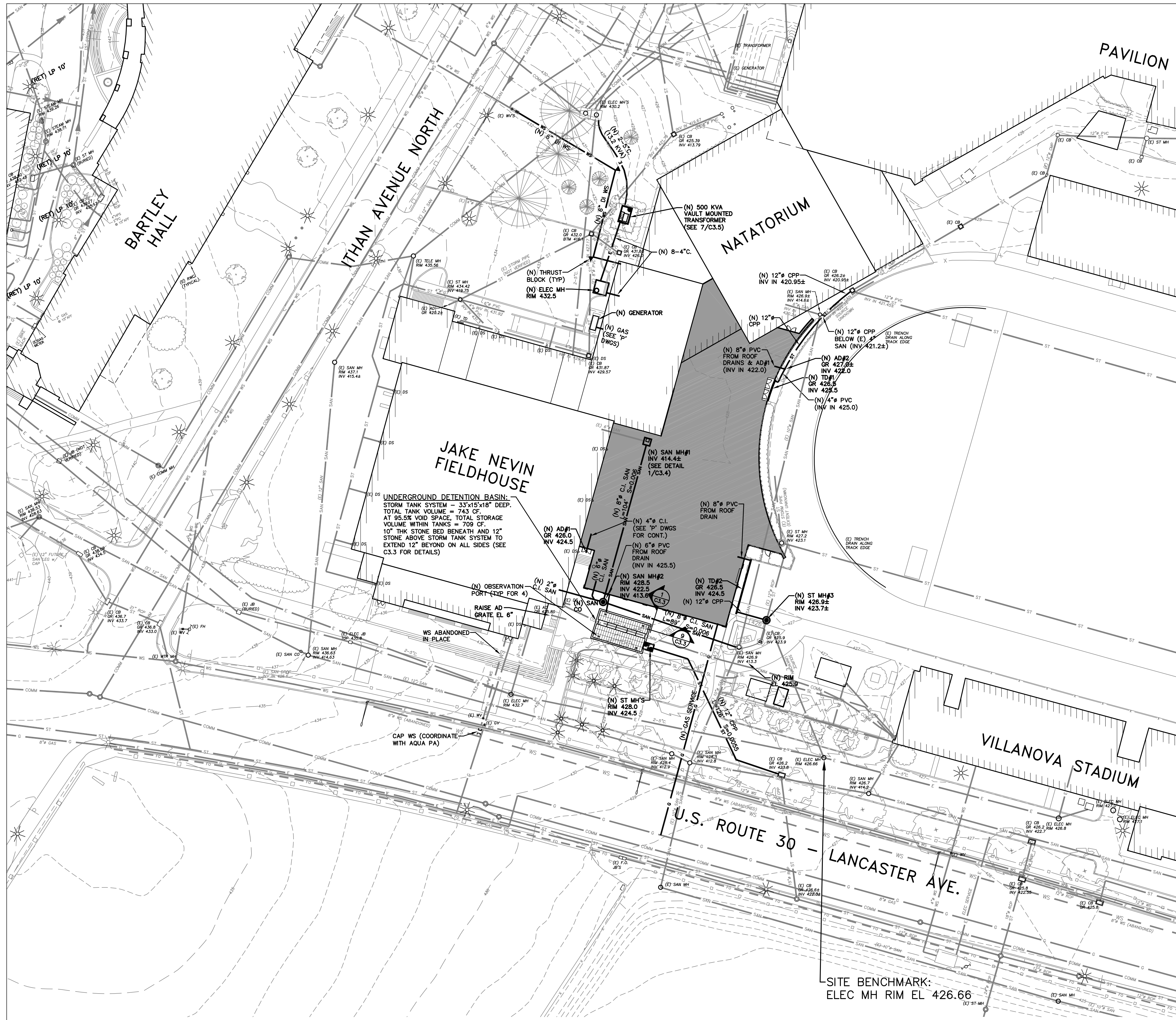


**1 SITE DEVELOPMENT PLAN**  
 SCALE: 1"=30'-0"

OTHER LANDS OF VILLANOVA-UNIVERSITY  
 800 LANCASTER AVENUE

**SITE BENCHMARK:**  
 ELEC MH RIM EL 426.66





**LEGEND**

	EXISTING TO REMAIN	PROPOSED
STORM SEWER	ST	ST
SANITARY SEWER	SAN	SAN
WATER SERVICE	WS	WS
STEAM	S	S
COMMUNICATIONS	COMM	COMM
ELECTRIC SERVICE	E	E
GAS SERVICE	G	G
CHILLED WATER SUPPLY	CHWS	CHWS
CHILLED WATER RETURN	CHWR	CHWR
CATCH BASIN & INLET	□	■
MANHOLE	○	●
CLEAN OUT OR VALVE	○	●
UTILITY POLE	○	●
LIGHT POLE	⊗	⊗
FIRE HYDRANT	⊗	⊗

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Seal: DAVID C. BRANDT ENGINEER 27452-E PENNSYLVANIA

PROJECT  
 VILLANOVA UNIVERSITY  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

**TOWNSHIP ACCESS NOTE:**

The Property Owner allows Radnor Township access to the stormwater management facilities for inspection purposes.

**NOTES:**

- A. No person shall modify, remove, fill, landscape, or alter any existing stormwater control or BMP, unless it is part of an approved maintenance program, without the written approval of the municipality.
- B. No person shall place any structure, fill, landscaping, or vegetation into a stormwater control or BMP or within a drainage easement which would limit or alter the functioning of the stormwater control or BMP without the written approval of the municipality.

**STORMWATER MANAGEMENT FACILITIES - MAINTENANCE REQUIREMENTS:**

The Property Owner is responsible for ownership and maintenance of the stormwater facilities. The maintenance responsibilities for the stormwater management facilities shall include, but not be limited to: mowing all lawn areas; cutting all weeds and overgrown vegetation; maintaining stable side slopes; maintaining the berm and outlet structure; inspecting the basin once a year and after each storm event greater than 100 years to ensure none of the orifices are clogged; flushing the basin every two years to prevent the build up of debris and sediment; clearing and disposing of all debris, utilizing a vacuum truck as necessary; repairing any problems associated with erosion; maintaining all stormwater pipes, swales, catch basins, manholes and orifices; maintaining an unobstructed flow of stormwater through the outlet structure; and maintaining the design capacity of the stormwater management facility.

I acknowledge that the stormwater controls and the BMP's are fixtures that can be altered or removed only after approval by the municipality.

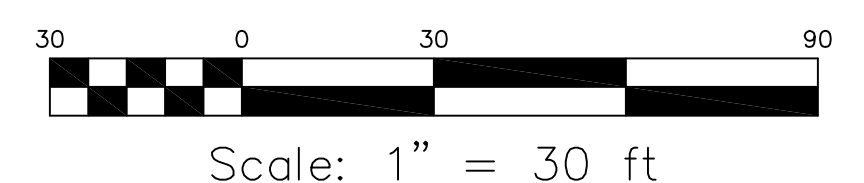
Landowner \_\_\_\_\_

I hereby acknowledge that any revision to the approved drainage plan must be approved by the municipality, and that a revised erosion and sediment control plan must be submitted to the Conservation District for a determination of adequacy.

Applicant \_\_\_\_\_

I hereby certify that the drainage plan meets all design standards and criteria of the Radnor Township Stormwater Management Ordinance.

David C. Brandt, PE



1 SITE UTILITIES PLAN  
 C2.2 SCALE: 1"=30'-0"

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE

SITE UTILITIES PLAN

DRAWN BY: BJD  
 CHECKED BY: KRM

SHEET NO.

C2.2

SHEET NO. 8 OF 14

PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014

**EROSION AND SEDIMENT CONTROL  
GENERAL NOTES:**

- Stockpile heights must not exceed 35 feet. Stockpile slopes must be 2:1 or flatter. Stockpiled topsoil mounds shall be stabilized by applying temporary seed and a perimeter silt fence shall be installed as shown on the plan. Temporary seeding shall be per PENNDOT form 408, Section 804(B).
- The operator shall assure that the approved erosion and sediment control plan is properly and completely implemented.
- Until the site achieves final stabilization, the operator shall assure that the best management practices are implemented, operated and maintained properly and completely. Maintenance shall include inspections of all best management practice facilities. The operator shall maintain and make available to the Conservation District complete, written inspection logs of all those inspections. All maintenance work, including cleaning, repair, replacement, regrading and restabilization shall be performed immediately.
- Immediately upon discovering unforeseen circumstances posing the potential for accelerated erosion and/or sediment pollution, the operator shall implement appropriate best management practices to eliminate potential for accelerated erosion and/or sediment pollution.
- Before initiating any revisions to the approved erosion and sediment control plan or revisions to other plans which may affect the effectiveness of the approved E&S control plan, the operator must receive approval of the revisions from the local Conservation District.
- The operator shall assure that an erosion and sediment control plan has been prepared, approved by the local Conservation District and is being implemented and maintained for all soil and/or rock spoil and borrow areas, regardless of their locations.
- All pumping of sediment-laden water shall be through a sediment control BMP, such as a pumped water filter bag discharging over non-disturbed areas.
- The operator is advised to become thoroughly familiar with the provisions of the Appendix 64, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection, Subpart C, Protection of Natural Resources, Article III, Wetlands, Chapter 102, Erosion Control.
- A copy of the approved erosion and sediment control plan must be available at the project site at all times.
- The E&S control plan mapping must display a PA ONE CALL SYSTEM INCORPORATED symbol indicating the site identification number.
- Erosion and sediment BMP's must be constructed, stabilized and functional before site disturbance begins within the tributary areas of those BMP's.
- After final site stabilization has been achieved, temporary erosion and sediment BMP controls must be removed. Areas disturbed during removal of the BMP's must be stabilized immediately.
- At least 7 days before starting any earth disturbance activities, the operator shall invite all contractors involved in those activities, the landowner, all appropriate municipal officials, the erosion and sediment control plan preparer, and a representative of the local Conservation District to an on-site meeting. Also, at least 3 days before starting any earth disturbance activities, all contractors involved in those activities shall notify the Pennsylvania One Call System, incorporated at 1-800-242-1776 for buried utilities locations.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE OF CONSTRUCTION. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.**
- Immediately after earth disturbance activities cease, the operator shall stabilize any areas disturbed by the activities. During non-germinating periods, mulch must be applied at the specified rates. Disturbed areas which are not at finished grade and which will be redisturbed within 1 year must be stabilized in accordance with the permanent vegetative stabilization specifications.
- An area shall be considered to have achieved final stabilization when it has a minimum uniform 70% perennial vegetative cover or other permanent non-vegetative cover with a density sufficient to resist accelerated surface erosion and subsurface characteristics sufficient to resist sliding and other movements.
- Other BMP's:
- Sediment must be removed from storm water inlet protection after each runoff event.

- TEMPORARY STABILIZATION & PERMANENT STABILIZATION:
- Hay or straw mulch must be applied at 3.0 tons per acre.
  - Provide "Curlex Blankets" as manufactured by American Excelsior Co., or approved equal, on all slopes 3:1 and steeper.
  - Straw mulch shall be applied in long strands, not chopped or finely broken.
  - Until the site is stabilized, all erosion and sediment control BMP's must be maintained properly. Maintenance must include inspections of all erosion and sediment control BMP's after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, remulching and renetting must be performed immediately. If erosion and sediment control BMP's fail to perform as expected, replacement BMP's, or modifications of those installed will be required.
  - Sediment removed from BMP's shall be disposed of in landscaped areas outside of steep slopes, wetlands, floodplains or drainage swales and immediately stabilized, or placed in topsoil stockpiles.
  - The operator shall remove from the site, recycle or dispose of all building materials and waste in accordance with PADEP's Solid Waste Management Regulations at 25 Pa. Code 260.1 et seq., 271.1 et seq., and 287.1 et seq. The contractor shall not illegally bury, dump or discharge any building material or wastes at the site.
  - The NPDES Boundary is equal to the outer perimeter boundary of the site, and any off-site areas within the limit of disturbance that are the responsibility of the developer to install. (Off-site facilities, such as: utilities and roadway improvements.)

**UTILITY LINE TRENCH EXCAVATION**

- Limit advanced clearing and grubbing operations to a distance equal to two times the length of the pipe installation that can be completed in one day.
- Work crews and equipment for trenching, pipe installation and backfilling shall be self-contained and separate from clearing, grubbing, site restoration and stabilization operations.
- All soil excavated from the trench shall be placed on the uphill side of the trench.
- Limit daily trench excavation to the length of pipe placement and backfilling that can be completed that same day.
- Water which accumulates in the open trench shall be completely removed by pumping before pipe placement and/or backfilling begins. Water removed from the trench shall be pumped through a filtration device.
- On the day following pipe placement and backfilling, the disturbed area shall be graded to final contours and appropriate temporary erosion and sediment pollution control measures/facilities shall be installed. Stabilization shall be done immediately after the backfilling is complete.

**EROSION AND SEDIMENTATION CONTROL  
CONSTRUCTION NOTES:**

- SILT FENCE:** Silt fences shall be installed downslope of all areas to be disturbed before any work begins. Silt fences shall be installed as near as possible to the locations shown on the plan. Installation shall be as follows:
  - Silt fencing must be installed parallel to existing contours or constructed level alignments. Both ends of each fence section must be extended at least 8 feet upslope at 45 degrees to the main fence alignment.
  - Dig a 6" deep trench along the upslope side of the fence line.
  - Install fence posts 18" below the ground surface at 8' maximum intervals on a slight angle toward the anticipated runoff source.
  - Stretch and fasten filter fabric to the upslope side of the support stakes. Wherever reinforced fabric fence is installed, the reinforcement mesh shall be fastened to the stakes prior to the fabric.
  - At fabric ends, both ends should be wrapped around the support stake and stapled. If the fabric comes already attached to the stakes, the end stakes shall be held together while the fabric is wrapped around the stakes at least one revolution prior to driving the stakes.
  - The bottom of the fence shall be anchored by placing the fabric in the bottom of the trench, and backfilling and compacting the fill material in the trench.
  - Guy wires shall be attached to reinforced silt fence. An acceptable alternative is to stake straw bales on the downslope side of the fence. Silt fence shall be inspected weekly and after each runoff event. Needed repairs shall be performed immediately after the inspection.
  - Damaged fences shall be immediately replaced. Rock filter outlets shall be installed where fences have become overstrained due to sediment build up.
  - Stormwater inlets must be protected until the tributary areas are stabilized.
  - Diversions, channels, sedimentation basins, sediment traps, and stockpiles must be mulched immediately.
- STRUCTURAL AND CONSTRUCTION FILL:** In all areas where structural or construction fill is to be placed, "grubbing" shall be carried out prior to placing any fill. All trees, brush and other vegetation within the construction fill areas shall be removed from the site.
- DUST CONTROL:** To control dust generation on-site, the contractor shall use construction traffic routes and staging areas.
- TEMPORARY VEGETATION BY SITE CONTRACTOR:** Upon completion of an earth disturbance activity or any stage or phase of an activity, the site shall be immediately seeded, mulched or otherwise protected from accelerated erosion and sedimentation. Temporary seeding shall be as follows:
  - Lime shall be evenly broadcast @ 190 lbs/1,000 sq. ft. (or as per soil test).
  - 10-25-25 Basic Fertilizer shall be evenly broadcast at the rate of 25 bs/1,000 sq. ft.
  - Seed with annual ryegrass at a rate of 1 lb/1,000 sq. ft.
 If the season prevents the establishment of a temporary vegetative cover, the disturbed areas will be mulched with straw, or equivalent material, at a rate of 140 pounds per 1000 square feet. Mulch should be applied regardless of the time of year.
- EXISTING ROADWAY CLEANING:** Contractor shall maintain a clean approach to the site. If the dirt and/or debris builds up on existing asphalt surfaces, the site cont become or become oactor shall professionally clean that surface to the satisfaction of the authority having jurisdiction.
- Inlet protection shall be installed, as detailed on the plan, to every inlet which has been constructed to the roadway subbase elevation.
- All stabilized construction entrances shall be installed as near as possible to the location shown on the plan. Prior to final roadway construction, the aggregate shall be removed, and the roadway prepared and installed according to specifications.
- Pollutants such as fuels, lubricants, bitumens, raw sewage and other harmful materials shall not be discharged into or near rivers, streams and impoundments or into natural or manmade channels laterally.

**FILL MATERIAL NOTES:**

If the site will need to import or export material from the site, the responsibility for performing environmental due diligence and determination of clean fill will rest with the General Contractor.

**DEFINITIONS:**

**Clean Fill** is defined as: Uncontaminated, non-water soluble, non-decomposable, inert, solid material. The term includes soil, rock, stone, dredged material, used asphalt, and brick, block or concrete from construction and demolition activities that is separate from other waste and is recognizable as such. The term does not include materials placed in or on the waters of the Commonwealth unless otherwise authorized. (The term "used asphalt" does not include milled asphalt or asphalt that has been processed for re-use).

**Clean Fill affected by a spill or release of a regulated substance:** Fill materials affected by a spill or release of a regulated substance still qualifies as clean fill provided the testing reveals that the fill material contains concentrations of regulated substances that are below the residential limits in Tables FP-1a and FP-1b found in the Department's policy "Management of Fill".

Any person placing clean fill that has been affected by a spill or release of a regulated substance must use form FP-001 to certify the origin of the fill material and the results of the analytical testing to qualify the material as clean fill. Form FP-001 must be retained by the owner of the property receiving the fill. A copy of Form FP-001 can be found at the end of these instructions.

**Environmental due diligence:** The applicant must perform environmental due diligence to determine if the fill materials associated with the project qualify as clean fill. Environmental due diligence is defined as: Investigative techniques, including, but not limited to, visual property inspections, electronic data base searches, review of property ownership, review of property use history, Sanborn maps, environmental questionnaires, transaction screens, analytical testing, environmental assessments or audits. **Analytical testing is not a required part of due diligence unless visual inspection and/or review of the past land use of the property indicates that the fill may have been subjected to a spill or release of regulated substance.** If the fill may have been affected by a spill or release of a regulated substance, it must be tested to determine if it qualifies as clean fill. Testing should be performed in accordance with Appendix A of the Department's policy "Management of Fill".

**NOTE:**

Fill material that does not qualify as clean fill is regulated fill. Regulated fill is waste and must be managed in accordance with the Department's municipal or residual waste regulations based on 25 Pa. Code Chapters 287 Residual Waste Management or 271 Municipal Waste Management, whichever is applicable. These regulations are available on-line at [www.pawcogde.com](http://www.pawcogde.com).

**PERMANENT VEGETATION BY CONTRACTOR:**

**GRADING AND SUB-SOIL PREPARATION**

All areas that will receive permanent vegetation, such as, but not limited to, turf and planting beds, shall be prepared in the following manner:

- Sub soils shall be native material free from any construction debris, stones larger than 3", organic material such as wood or dead plants larger than 2" in diameter. Any additional fill soil material brought onto site must be inspected by owner for suitability.
- Where Sub soils are backfilled or constructed in depths greater than 2 feet, each 2 foot lift shall be compacted to minimize subsidence.
- Sub grade to be graded to within 6" of contours called for on plan, to provide proper drainage and be free of standing water.
- Sub soils to be scarified and loosened to relieve surface compaction prior to placement of topsoil.
- After approval of subsoil grading, no additional equipment or vehicles may be driven on the area approved, except for equipment used in landscape operations. Any compaction or depressions must be corrected to reestablish proper sub grade as previously approved, prior to installation of topsoil and plant material.

**TOPSOIL APPLICATION AND TREATMENT:**

- After topsoil (6" minimum thickness) is graded to the proper elevations, the following materials shall be applied and tilled (mixed) into the top 4" of the surface:
  - Lime shall be evenly broadcast @ 190 lbs/1,000 sq. ft. (or as per soil test).
  - Soil Conditioner shall be evenly broadcast @ 50 lbs/1,000 sq. ft.
  - 10-25-25 Basic Fertilizer shall be evenly broadcast at the rate of 25 lbs/1,000 sq. ft.
  - Soil Amendment (Axis or Isolite) is evenly mixed into the top 4" of the field surface.
- After incorporation of the above materials, the topsoil shall be re-firmed by dry-rolling (topsoil moisture content must be near zero percent) with a five (5) ton roller on a dual flotation tired agricultural tractor.
- The surface grades shall be surveyed and any undulations or irregularities resulting from applications and soil structuring shall be corrected.
- Any stones larger than 2 inches in any dimension, shall be removed from the top 3" utilizing a mechanical rock picker.
- Final grading shall be accomplished utilizing an automatic draft sensing hydraulic land plane attached to a flotation tired agricultural tractor.
- Cultivate and restructure the topsoil to a depth of 3-4". Grade tolerance shall be held to 1/4" per foot.
- Cultivate and till the soil to a depth of 4-6" (depth may be limited by subsurface conditions).
- Re-grade, re-firm and rake the soil surface. This is a smoothing and leveling operation to establish the final crown contours and elevations.
- Final stone pick the surface of any stones larger than 1" in any dimension.

**SEEDING AND MULCHING:**

- Only Flotation Tire Equipment will be permitted after final grade approval.
- Drill seeding shall be accomplished by utilizing a 4' wide seeder constructed with 16 rows of steel slicers spaced 3" or less on center and capable of placing seed 1/4" into the surface at a rate of 8 lbs. per 1000 square feet.
- Seed shall be Villanova Mixture Lot No. L20M-4-FSVSM-2, as supplied by Fisher and Son Co., Inc: 237 King Street, Malvern, PA 19355
- Mulching - The Contractor shall mulch all newly seeded areas with salt hay, at the rate of 140 pounds per 1,000 square feet in accordance with DEP specifications.
- Provide manufacturer's fabric and straw combination to all seeded areas on banks 3 to 1 or steeper and where potential erosion may take place.

**MAINTENANCE:**

- Seeded lawn maintenance shall be for not less than 60 days after substantial completion.
  - If seeded in fall and not given full 60 days of maintenance, or if not considered acceptable at that time, continue maintenance the following spring until acceptable lawn is established.
- Maintain lawns by watering, fertilizing, weeding, mowing, trimming and other operations such as rolling, regrading and replanting, as required, to establish a smooth, acceptable lawn; free of eroded or bare areas.
- When seeding is completed, including maintenance, Owner will make an inspection to determine acceptability.
- When it becomes necessary, the Owner shall inform the Contractor of unsatisfactory conditions of erosion and sediment devices, at such time the Contractor shall improve the conditions of said devices to meet with the approval of the Owner.
- Should unforeseen erosive conditions develop during construction the Contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment placement.
- Seeded areas that have been washed away shall be filled and graded as necessary and then reseeded. This procedure shall be repeated after each storm or until no more signs of erosion are evident.

**GENERAL NOTES**

**GENERAL ITEMS:**

- The CAD documents produced for this project are not to be used for survey datum.
- Horizontal and vertical controls shall be taken from the dimensional plans.
- Any dimensions not shown on the drawings can be scaled.

**EXISTING CONDITIONS AND DEMOLITION:**

- All dimensions and existing conditions are to be field-verified before the commencement of any work. Any discrepancies shall be reported to the Engineer immediately, prior to proceeding.
- The Contractor shall take all necessary precautions to insure the safety of all excavations. The Contractor shall construct and maintain all shoring, bracing and supports as required to preserve stability and prevent movement, settlement or collapse of construction to remain, and to prevent the unexpected or uncontrolled movement or collapse of construction being demolished.
- The Contractor shall assume all responsibility at the site, concerning safety of the workmen and the personnel of the Owner. At no time shall any non-construction worker be allowed free access to the site.
- All demolition work shall be performed in strict accordance with the Project Specifications. All items to be reused or salvaged, shall be handled with care so as not to be damaged during the operation.
- If items are handed over by The Owner to the Contractor for reinstallation, then those items should be thoroughly inspected and not accepted by the Contractor unless they are in usable condition. Damaged items should be pointed out to the Representative of the Owner and documented in writing.
- All project specifications should be read and adhered to, concerning manufacturers and their requirements for installation on the project.
- Temporary construction requirements for the County Soil Conservation District are extremely important to follow closely. A Representative from the Soil Conservation District may visit the project without warning and stop the progression of the project, until items are corrected.
- The locations of existing underground utilities are shown in an approximate way only and have not been independently verified by the Owner or its Representative. The Contractor shall determine the exact locations of all existing utilities before commencing work and agrees to be fully responsible for any and all damages, which might be occasioned by the Contractor's failure to exactly locate and preserve any and all underground utilities.
- The Contractor is responsible for the repair or replacement of any existing improvements damaged by him or his subcontractors during the construction of the project.
- Obtain proper authorization from the Owner in writing 48 hours prior to any and all shutdowns of existing utilities.
- Remove waste material, including unsatisfactory soil, trash and debris, and legally dispose of it off Owner's property as per local authorities having jurisdiction.

**CUT AND FILL:**

- The contractor must visit the site and verify all existing conditions, prior to commencing any construction operation. Any discrepancies between the conditions and the documents must be reported to the Engineer for resolution, prior to the commencement of construction.
- Topsoil is to be stripped from all areas requiring a cut and fill operation. The topsoil will be stockpiled by the Site Contractor and reused for areas under the landscape requirements. Additional topsoil shall be imported as per Specifications for Phase 2.
- All trees, roots, large rocks and construction debris must be removed from all fill material.
- All fill is to be compacted in eight to twelve inch (8" to 12") lifts, to ninety-five percent (95%) at optimum moisture content under paving areas and ninety percent (90%) at optimum moisture content under grass surfaces.
- All fill operations shall be in accordance with the specifications and under strict guidance of the geotechnical-testing agent.
- All disturbed surfaces not receiving impervious cover shall be prepared and seeded according to the specifications.

**GENERAL NOTES (CONTINUED)**

**FOUNDATIONS, CONCRETE AND REINFORCING STEEL:**

- All concrete shall be four thousand (4,000) psi at twenty-eight (28) days with an air content of five percent (5%) ± one percent (1%).
- All reinforcing steel shall meet the requirements of ASTM A-615, Grade 60, epoxy coated.
- All concrete shall be reinforced and placed in accordance with the building requirements for reinforced concrete, as adapted by ACI 318 and Local Codes.
- All concrete work shall conform to ACI 301 Standard Specification for Reinforced Concrete.
- All concrete reinforcing steel shall be detailed and placed in strict accordance with the latest ACI Building Code.
- All details, reinforcement and accessories shall be fabricated and provided in accordance with the manual of Standard Practice for Detailing Reinforced Concrete.
- All bars shall be lapped with a minimum of thirty-six (36) bar diameter at splices, unless noted otherwise on the Drawings. Welded-wire fabric sheets shall be lapped eight-inch (8") minimum, unless noted otherwise on the Drawings.
- Welded-wire fabric shall meet the requirements of ASTM A-618.
- Before placing concrete, the Mechanical and Electrical Subcontractors shall provide location and sizes of all openings, sleeves, anchors and any other requirements by their trades.
- All precast concrete shall be constructed from a minimum of five thousand (5,000) psi air-entrained concrete.
- All precast concrete catch basin inlets, manholes, hand holes and walls shall be submitted for approval and shall meet all PENNDOT Specifications for HS20 loading.
- All exposed horizontal concrete walking surfaces shall receive broom finish as per Specifications.

**PIPING REQUIREMENTS:**

- All corrugated polyethylene tube to be as manufactured by Advanced Drainage Systems, Inc., or approved equal.
- All corrugated polyethylene tubing and fittings shall meet ASTM F405.
- All 12" and 15" corrugated polyethylene tubing to be ASTM F667.
- All corrugated polyethylene drainage tubing to be AASHTO M252.
- All eight-inch (8") diameter and larger CPP gravity pipe, shall be smooth interior and fittings shall meet ASTM Standard D 3350 and AASHTO M 294 Type S Requirements.
- All six-inch (6") diameter and smaller CPP gravity pipe shall be corrugated interior and shall be supplied and installed in strict accordance with the manufacturer's recommendations. All joints shall be made of watertight, non-corrosive materials as recommended by the manufacturer.
- All ductile iron pipes shall meet the classification of AWWA C151, Thickness Class 56. The lining for the ductile iron pipe shall meet the classification of AWWA C 104, Cement Mortar, Seal-Coated.
- All PVC piping shall schedule 40. All fittings shall meet the classification of ASTM F 679; Type 1, Bell and Sprigot, for elastomeric gasket joints.
- All asphalt coated corrugated metal pipe shall be galvanized and shall have a minimum gage of 14.
- All galvanized sheets used for pipe fabrication shall meet ASTM A444-81.
- All corrugated metal pipe and pipe arches shall be galvanized and are to be a minimum of 12 gage (2 2/3" x 1/2" corrugations).
- All pipe to be backfilled a minimum of 6" all around with sand or screenings unless noted otherwise.

**ASPHALT PAVING:**

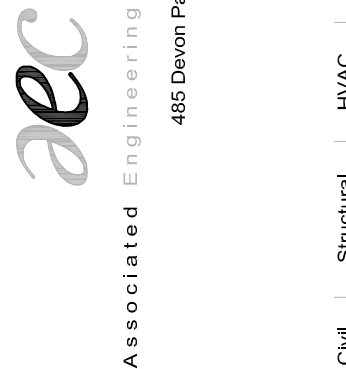
- All asphalt paving shall be plant mixed and hot-laid, in accordance with ASTM D 3515, in strict accordance with all PENNDOT requirements.
- All installation requirements shall be in accordance with the Project Specification.
- All lane markings shall be in accordance with AASHTO M 248, Type N or F.
- All parking areas are to have a 3" wide, PADOT approved, painted white parking stripe.
- At all high points and low points in asphalt paving and concrete curbing, provide gradual, rounded transition between opposing grades.
- All proposed concrete curb radii shall be 5 feet minimum.

**UNDERGROUND DETENTION BASIN/SUBSURFACE  
INFILTRATION CONSTRUCTION NOTES:**

- Due to the nature of construction sites, subsurface infiltration should be installed toward the end of the construction period, if possible.
- Install and maintain adequate erosion and sediment control measures during construction.
- The existing subgrade under the bed should NOT be compacted or subject to excessive construction equipment traffic prior to geotextile and stone bed placement.
- Where erosion of subgrade has caused accumulation of fine materials and/or surface ponding, this material should be removed with light equipment and the underlying soils scarified to a minimum depth of 6 inches with a York rake (or equivalent) and light tractor. All fine grading should be done by hand. All bed bottoms should be at level grade.
- Install upstream and downstream control structures, cleanouts, perforated piping, and all other necessary stormwater structures.
- Geotextile and bed aggregate should be placed immediately after approval of subgrade preparation and installation of structures. Geotextile should be placed in accordance with manufacturer's standards and recommendations. Adjacent strips of geotextile should overlap a minimum of 16 inches. It should also be secured at least 4 feet outside of bed in order to prevent any runoff or sediment from entering the storage bed. This edge strip should remain in place until all bare soils contiguous to beds are stabilized and vegetated. As the site is fully stabilized, excess geotextile along bed edges can be cut back to the edge of the bed.
- Clean-washed, uniformly graded aggregate should be placed in maximum 8 inch lifts. Prior to installation, the stone shall be checked by the design or site engineer. Each layer should be lightly compacted, with construction equipment kept off the bed bottom as much as possible.
- In the event that sediment has entered the detention basin, the sediment shall be cleaned from the fabric, stone, bed, etc. if the amount of sediment has entered the infiltration bed prohibits the in place cleaning of the fabric, stone or bed, then the fabric and stone shall be replaced.
- If unfavorable conditions (such as, but not limited to, groundwater and/or bedrock, etc.) are encountered during the excavation for the pipes, then the engineer is to be contacted immediately prior to proceeding with the excavation.
- Approved soil media should be placed over infiltration bed in maximum 6 inch lifts.
- Seed and stabilize topsoil.
- Do not remove inlet protection or other erosion and sediment control measures until site is fully stabilized.

Critical Stages of Underground Detention Basin Construction:  
 - When basin bottom is excavated to proper depth  
 - When stone and modules are being placed into basin  
 - When geotextile is being folded and secured over the basin

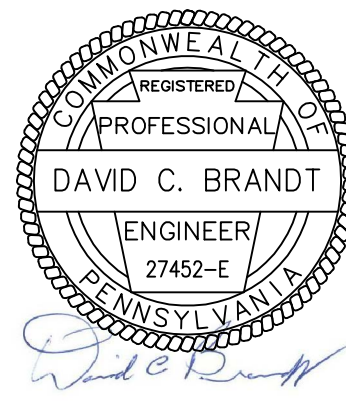
**NOTE:**  
 SEE C3.1 FOR EROSION &  
 SEDIMENTATION CONTROL DETAILS.



Associated Engineering Consultants Incorporated  
 488 Devon Park Drive, Suite 113, Wayne, Pennsylvania 19387  
 Tel: 610.688.3880 Fax: 610.688.4566  
 www.aecinc.net

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SEAL



DAVID C. BRANDT  
 REGISTERED PROFESSIONAL ENGINEER  
 27452-E  
 PENNSYLVANIA

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PROJECT

**VILLANOVA UNIVERSITY**  
**PROPOSED WEST END ZONE BUILDING**  
**800 EAST LANCASTER AVENUE**  
**VILLANOVA, PENNSYLVANIA 19085**  
**RADNOR TOWNSHIP, DELAWARE COUNTY**

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE

**SOIL EROSION  
CONTROL  
NOTES AND  
GENERAL NOTES**

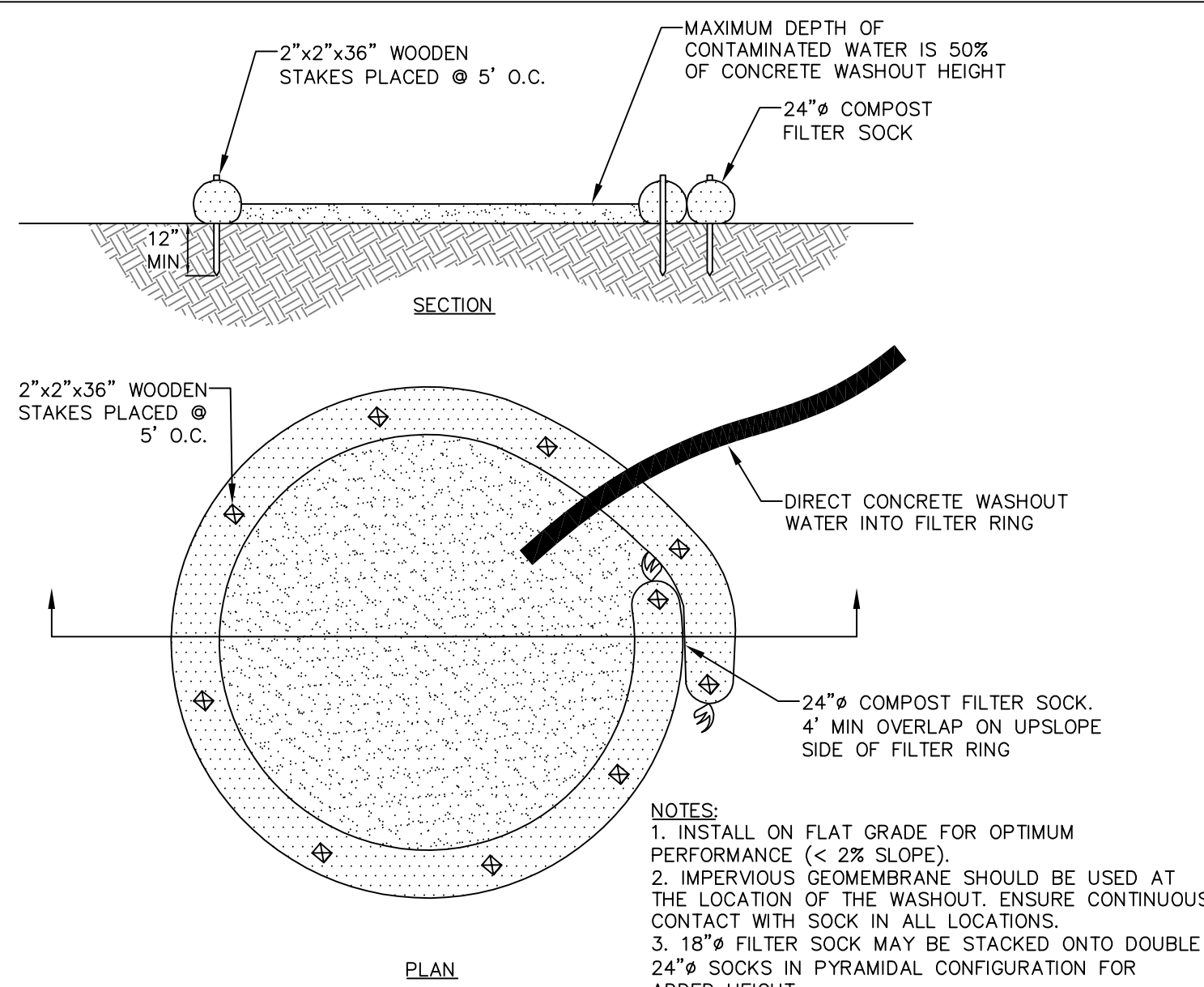
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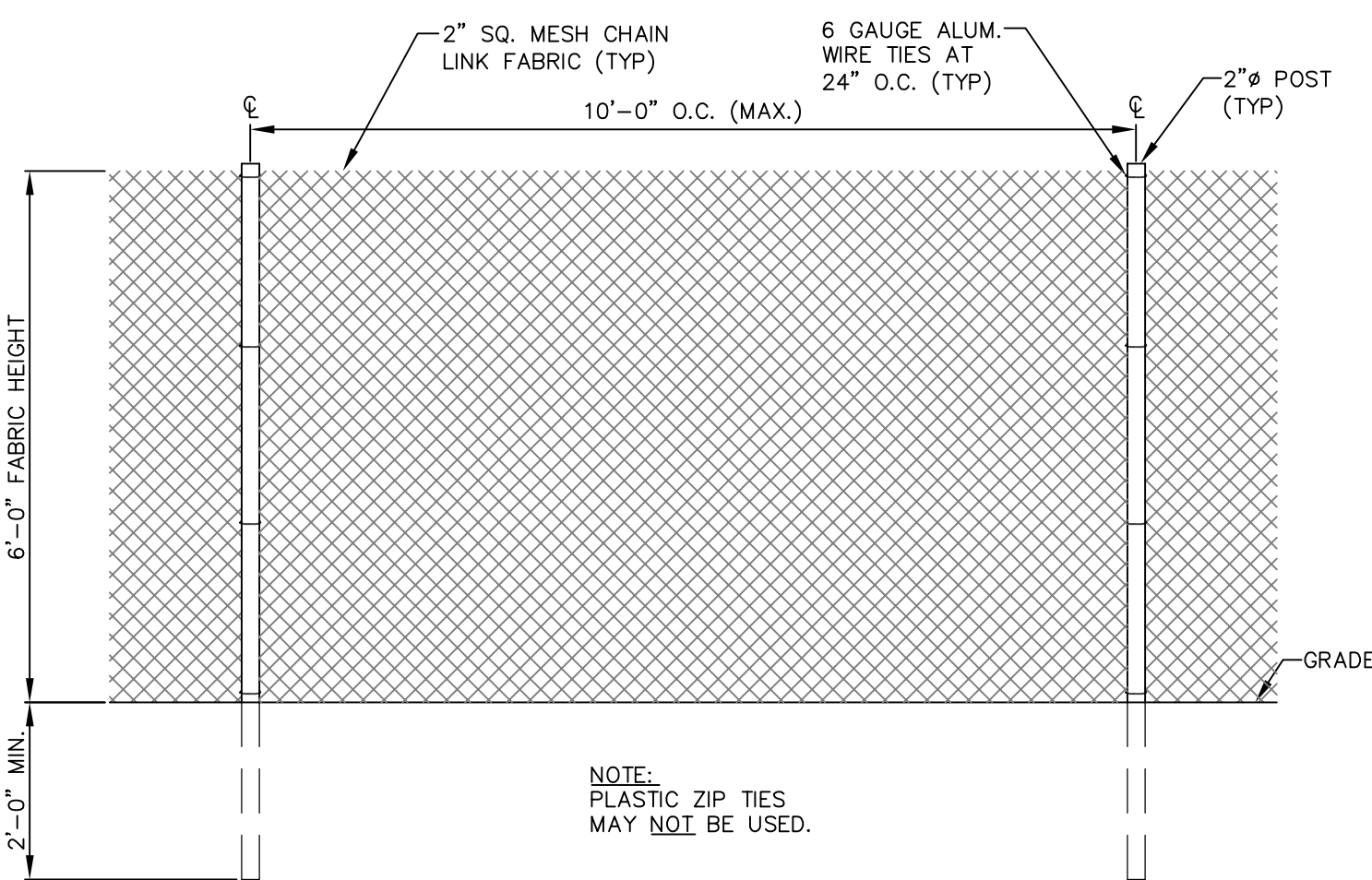
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SHEET NO. 9 OF 14

PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014



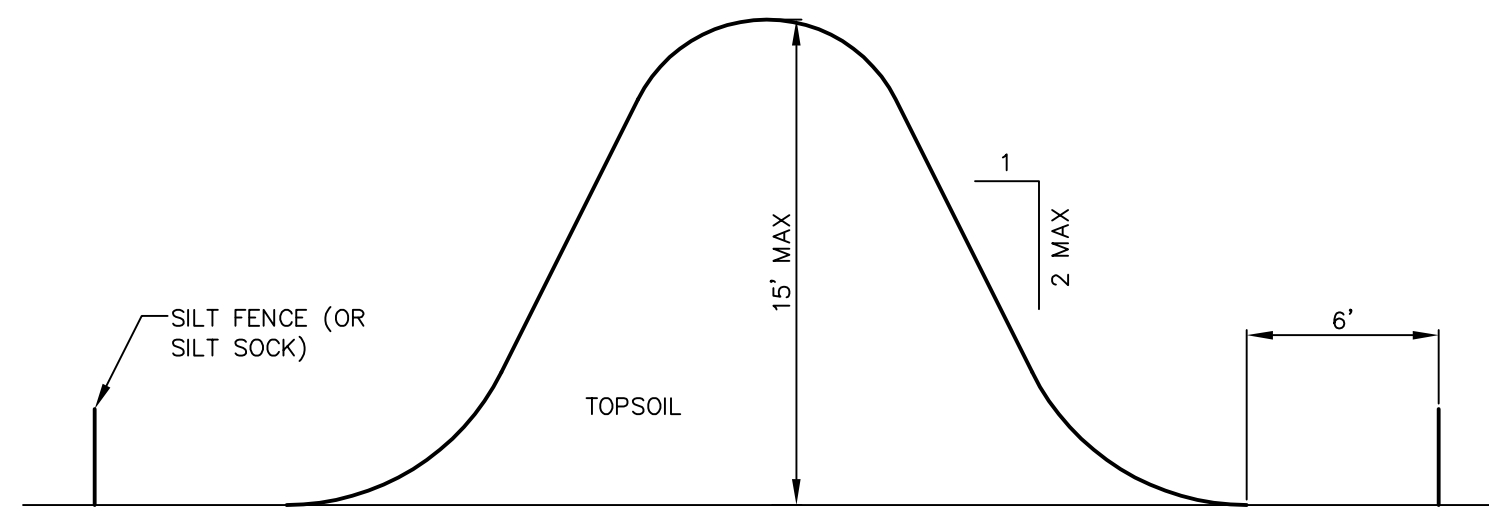
**1 CONCRETE WASHOUT DETAIL**  
SCALE: NOT TO SCALE



**5 TREE PROTECTION BARRIER FENCING DETAIL**  
SCALE: 1/2" = 1'-0"

(LOCATION SHOWN THUS ON PLAN)

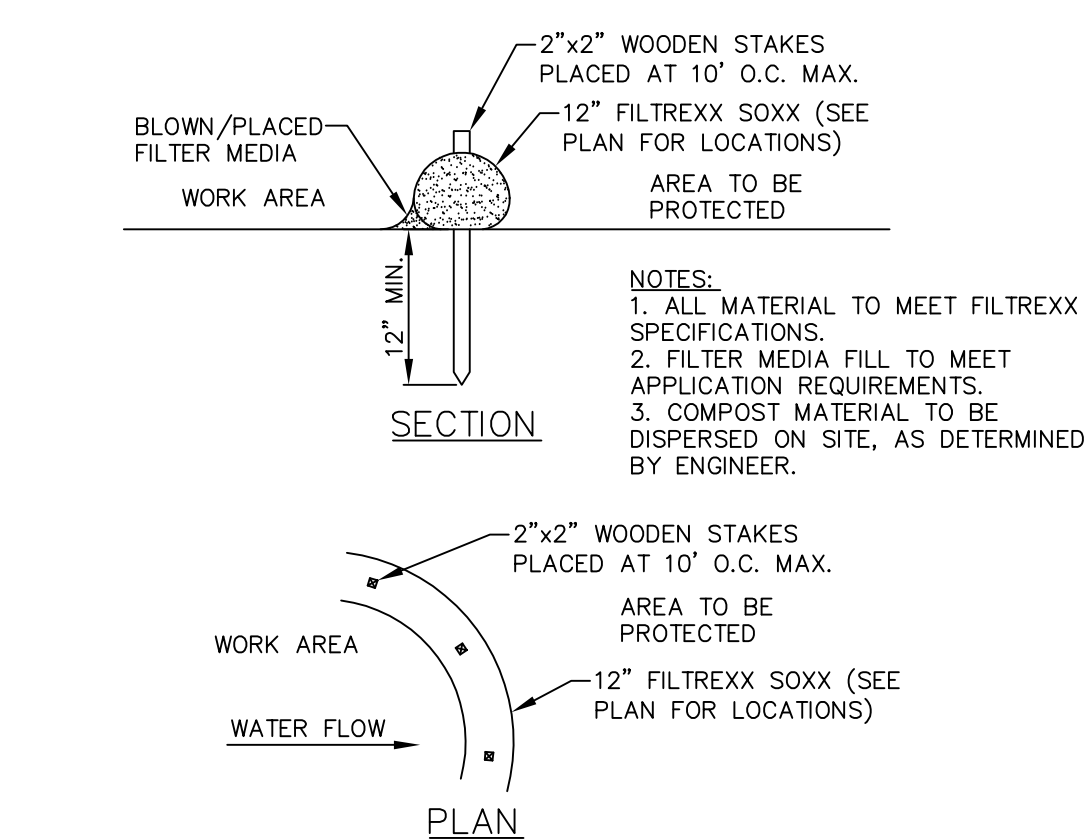
- NOTES:**
- PROTECTION BARRIERS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE WORK AT THE SITE.
  - ADDITIONAL WARNING SIGNS SHOULD ALSO BE PLACED ON THE FENCING AND IN APPROPRIATE AREAS NEAR THE WORK ZONE.
  - TREE PROTECTION FENCE SHALL BE INSPECTED BY THE OWNER OR CONTRACTOR AT THE END OF EVERY DAY FOR THE DURATION OF THE PROJECT. THE FENCE SHALL BE REPAIRED WHERE NECESSARY.



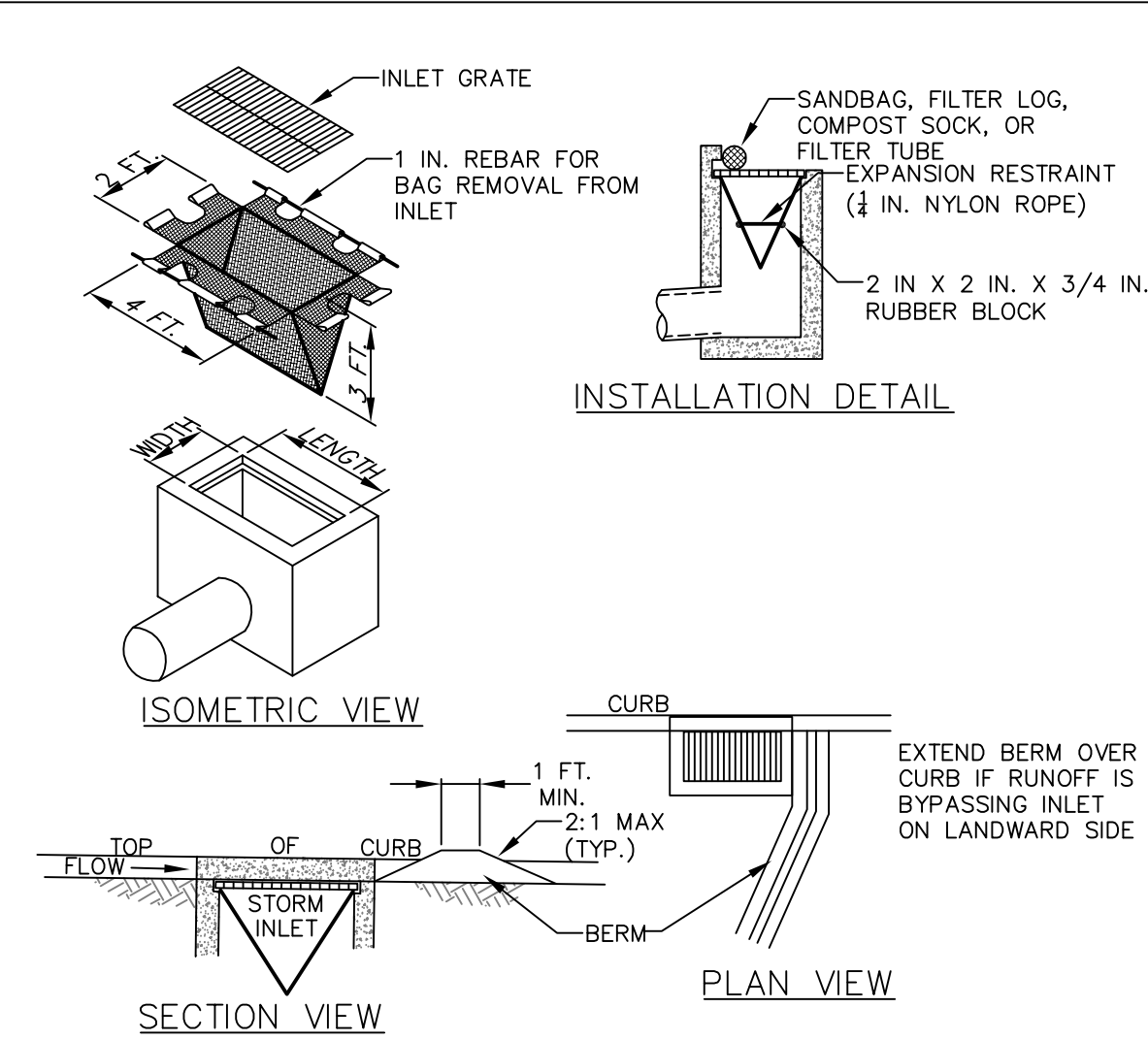
**2 TYPICAL SOIL STOCKPILE CROSS SECTION**  
SCALE: NOT TO SCALE

- NOTES:**
- SILT FENCE OR SILT SOCK MUST COMPLETELY ENCLOSE STOCKPILES.
  - TOPSOIL SHALL NOT BE REMOVED FROM THE DEVELOPMENT SITE OR USED AS FILL.
  - TOPSOIL SHALL BE REMOVED FROM THE AREAS OF CONSTRUCTION AND STORED SEPARATELY.
  - THE TOPSOIL SHALL BE STABILIZED TO MINIMIZE EROSION DURING STORAGE.
  - UPON COMPLETION OF CONSTRUCTION, THE TOPSOIL SHALL BE UNIFORMLY REDISTRIBUTED ON THE SITE.

**6 SILT SOCK DETAIL**  
SCALE: NOT TO SCALE

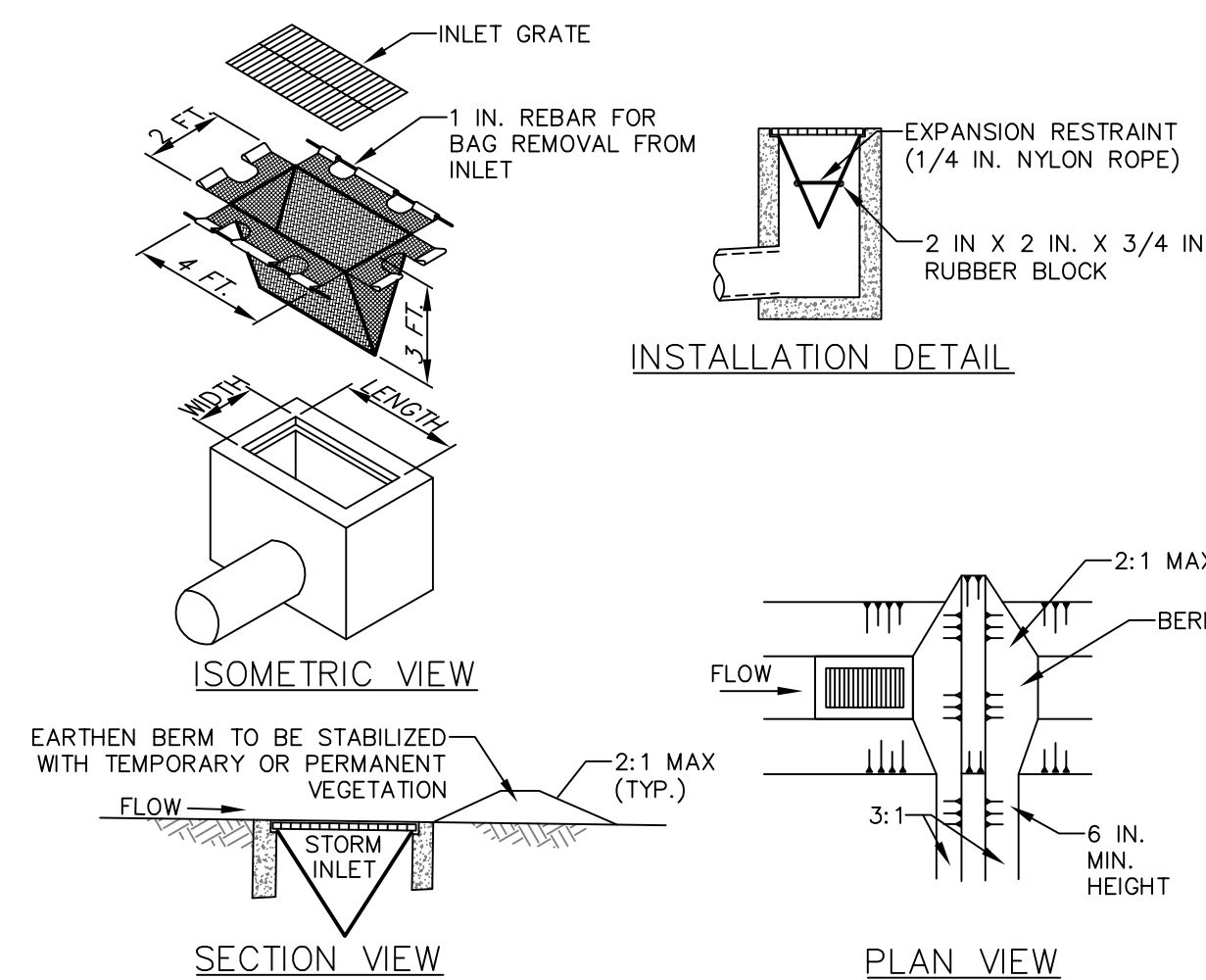


- SILT SOCK NOTES:**
- The Silt Sock is to be laid on top of the ground along the down-slope areas and along side-slope areas as required to prevent or reduce erosion.
  - The Silt Sock can either be lapped or butted at the ends to create a continuous line of defense.
  - Socks placed on earthen slopes should be anchored with stakes driven through the center of the sock at intervals recommended by the manufacturer. Where socks are placed on paved surfaces, heavy concrete blocks should be used immediately down slope of the socks to help hold the sock in place.
  - Traffic shall not be permitted to cross Silt Sock. If the Silt Sock is deformed due to being driven over or dragged, then it is to be re-contoured by hand if applicable. If not, the silt sock shall be repaired (see repair notes below).
  - If the Silt Sock rolls due to hydraulic force, then it is to be repositioned and staked.
  - If the Silt Sock loses ground contact, then fill in the depressions and back-grout with chips from damaged section.
  - If sediment accumulates to half of the sock height, then remove the sediment by hand. It may be necessary to install a second row of sock positioned on top of or up slope of the original sock.
  - If holes, rips or tears develop in the sock, then small holes or narrow rips shorter than 12 inches may be stitched closed using plastic zip ties. Tears longer than 12 inches require the sock to be replaced. Repairs or replacement shall occur within 24 hours of inspection.
  - If a pinch or localized diameter reduction of more than half of the original diameter develops in the sock, then a new section of sock is to be installed upslope of the damaged section.
  - Silt Socks shall be inspected weekly and after each runoff event.
  - Biodegradable filter socks shall be replaced after 6 months; photodegradable socks after 1 year. Polypropylene socks shall be replaced according to the manufacturer's recommendations.
  - Silt Socks shall be removed upon stabilization of the area tributary to the sock.
  - LOCATION SHOWN THUS ON PLAN C1.3.



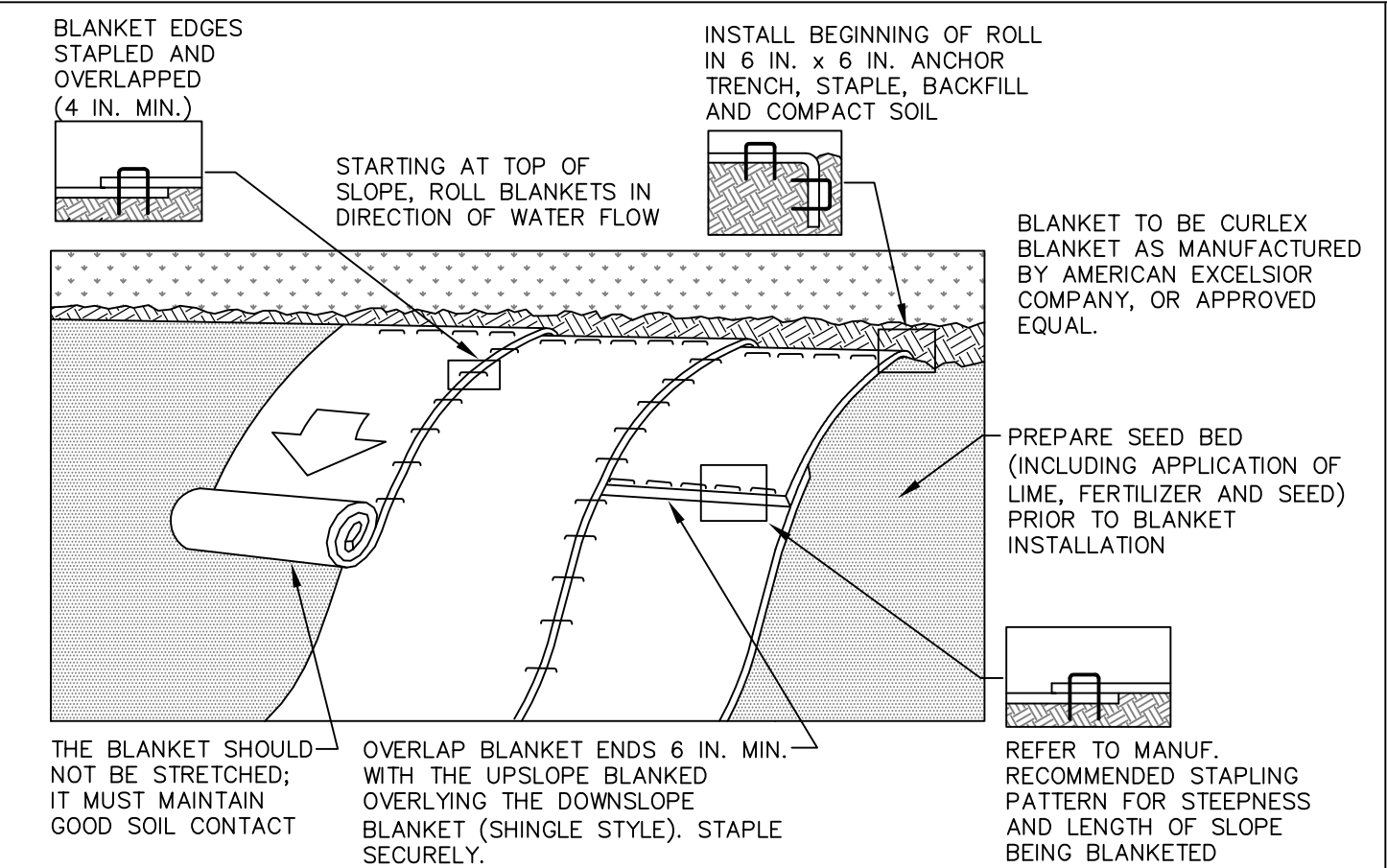
**3 TYPE 'C' INLET - FILTER BAG PROTECTION DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



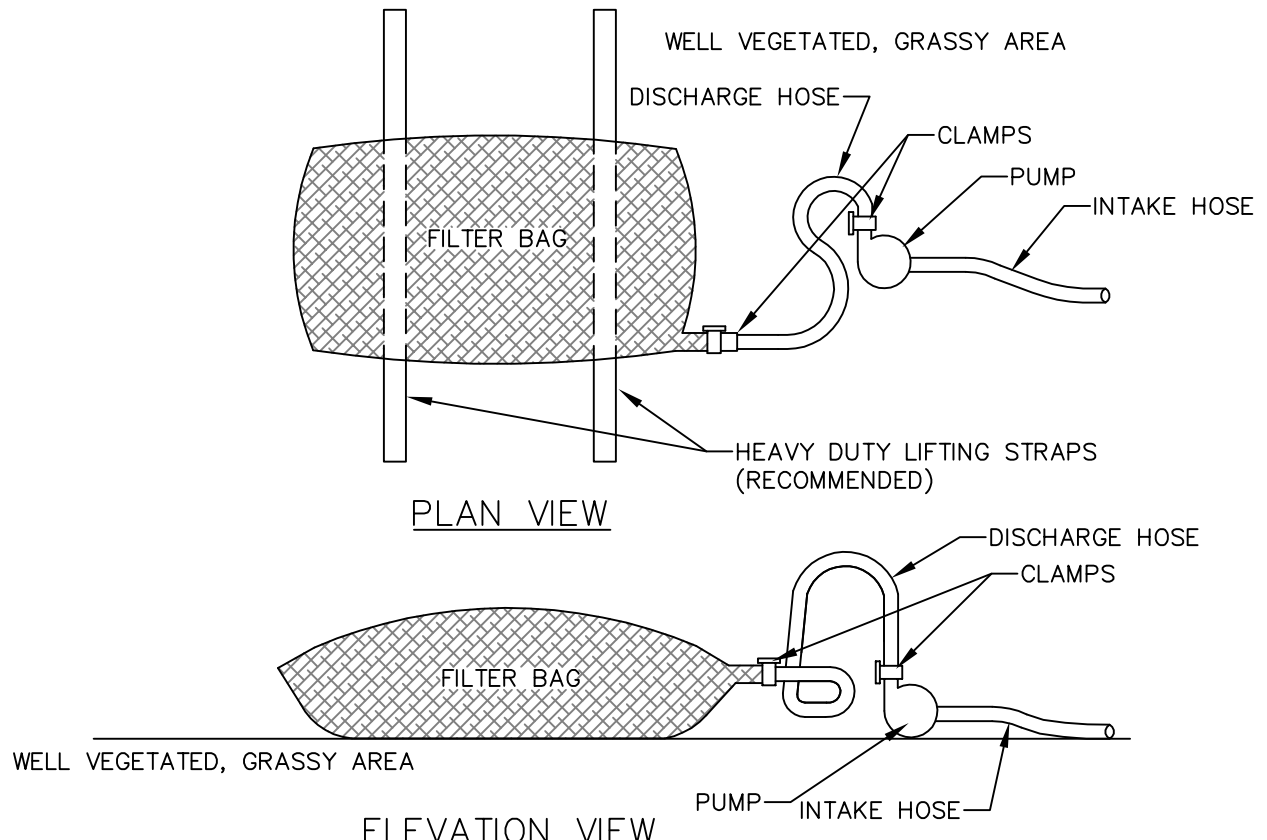
**7 TYPE 'M' INLET - FILTER BAG PROTECTION DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- MAXIMUM DRAINAGE AREA = 1/2 ACRE.
- INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.
- ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.
- AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.
- INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.
- DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



**4 EROSION CONTROL BLANKET INSTALLATION DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET.
- PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE.
- SLOPE SURFACE SHALL BE FREE OF ROCKS, CLOUDS, STICKS, AND GRASS.
- BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET.
- THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.
- BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.
- LOCATION SHOWN THUS ON PLAN C1.3.



**8 PUMPED WATER FILTER BAG DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

- A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

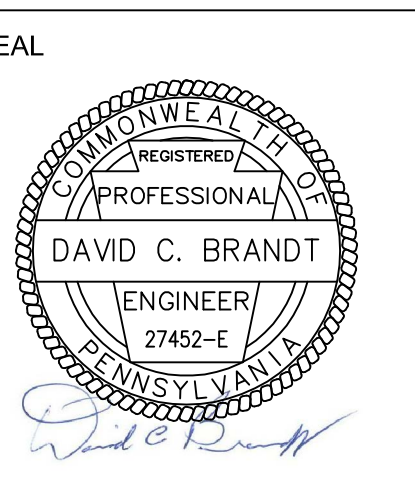
- BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

- NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

- THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

- THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

- FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.



PROJECT  
**VILLANOVA UNIVERSITY**  
PROPOSED WEST END ZONE BUILDING  
800 EAST LANCASTER AVENUE  
VILLANOVA, PENNSYLVANIA 19085  
RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

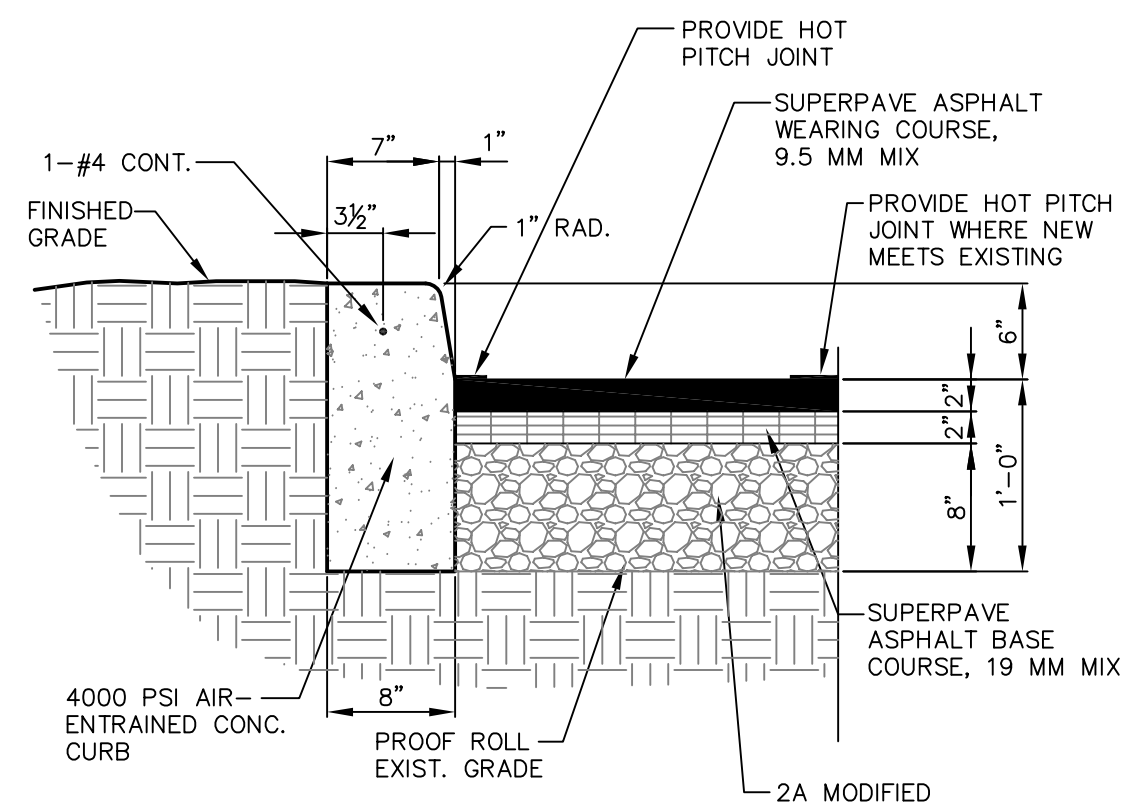
SHEET TITLE  
**SOIL EROSION CONTROL SECTIONS AND DETAILS**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.  
**C3.1**  
SHEET NO. 10 OF 14  
PROJECT NO. 0300.014  
DATE: OCTOBER 29, 2014

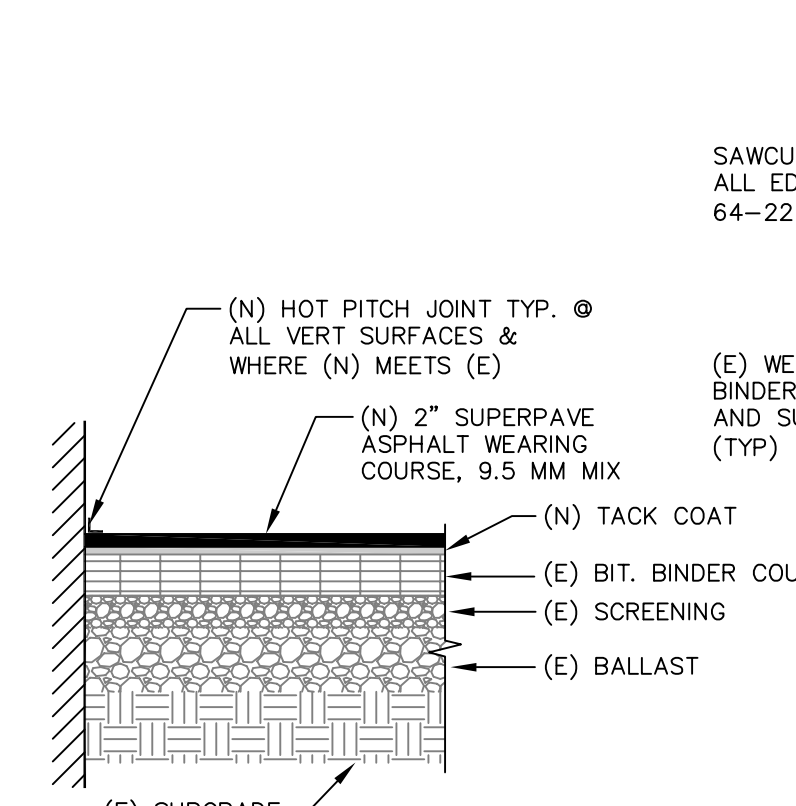
**NOTE:**  
SEE C3.0 FOR EROSION & SEDIMENTATION CONTROL NOTES, CONSTRUCTION SEQUENCE AND PROJECT GENERAL NOTES.





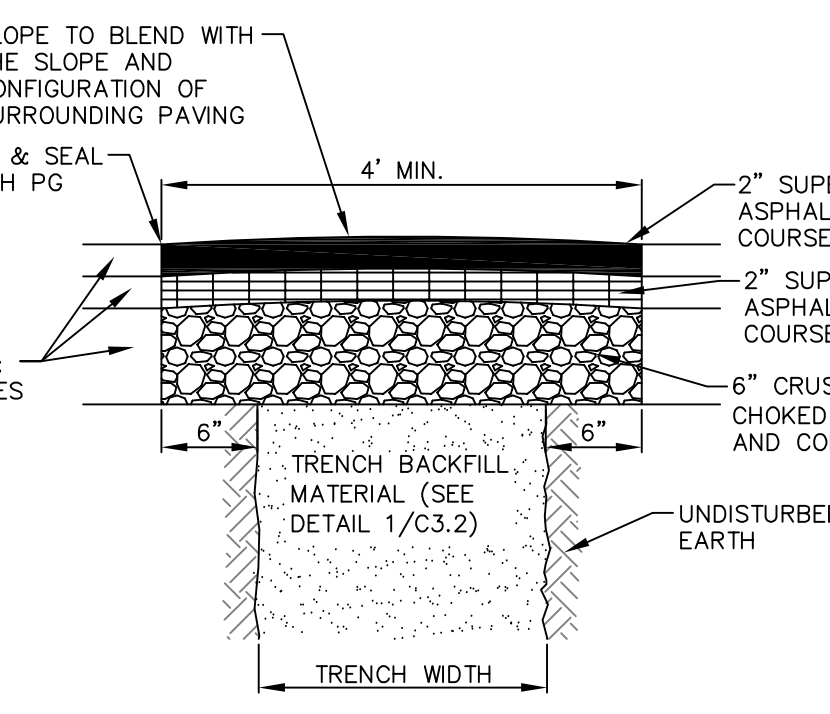
**1 TYPICAL ROADWAY CONSTRUCTION DETAIL**  
SCALE: 1" = 1'-0"

NOTES:  
 1. PROVIDE 1/2" EXPANSION JOINT THRU CURB @ 20'-0" O.C. w/ 1/2" PREM. FILLER IN JOINT. STOP REINF. ON EACH SIDE OF JOINT.  
 2. WEARING COURSE TO BE 2" MIN. SUPERPAVE ASPHALT MIXTURE DESIGN, HMA WEARING COURSE, PG 64-22, 3.0 TO 10.0 MILLION ESALS, 9.5 MM MIXTURE, SRL-E  
 3. BASE COURSE TO BE 2" MIN. SUPERPAVE ASPHALT MIXTURE DESIGN, HMA BINDER COURSE, PG 64-22, 3.0 TO 10.0 MILLION ESALS, 19 MM MIXTURE.  
 4. ASPHALT TO BE DELIVERED & INSTALLED AS PER PENNDOT REQUIREMENTS.  
 5. LOCATION SHOWN THUS ON PLANS.



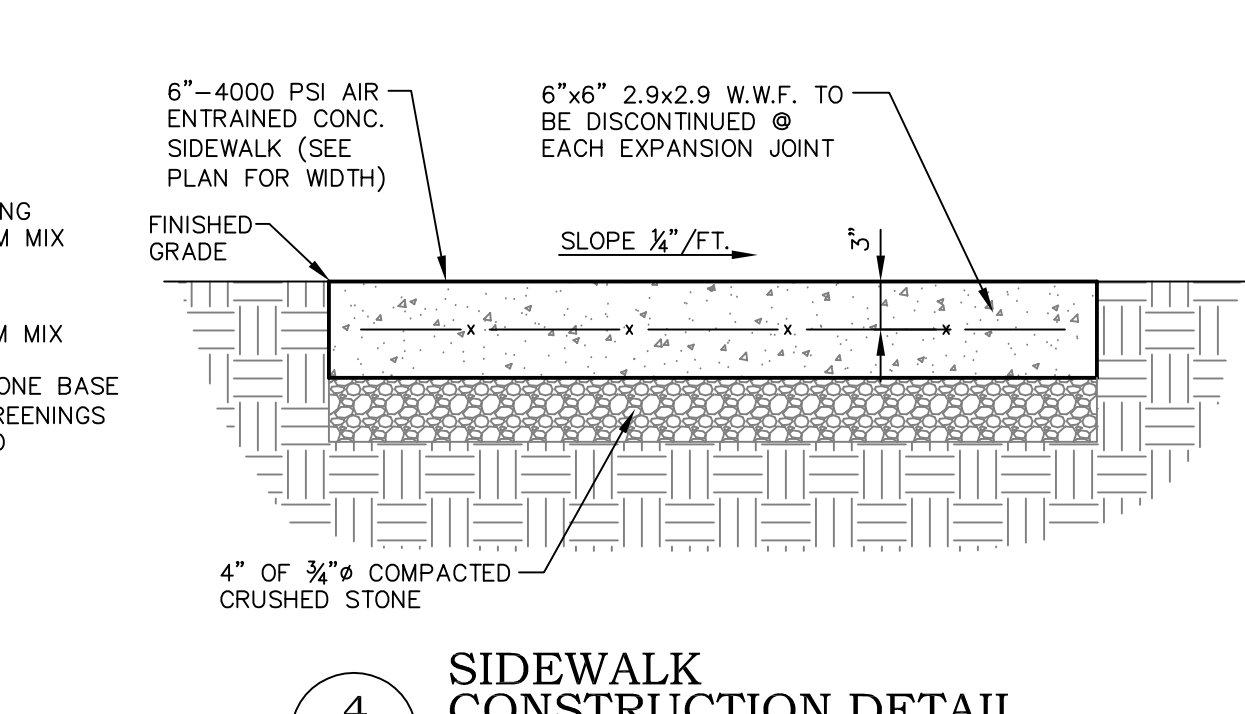
**2 TYPICAL ASPHALT OVERLAY DETAIL**  
SCALE: 1/2" = 1'-0"

NOTES:  
 1. SCARIFY 1/2" MIN. OFF EXISTING PAVEMENT.  
 2. OLD WEARING SURFACE TO NEW WEARING SURFACE MUST BE SEALED 100% WITH HOT ASPHALT.  
 3. LOCATION SHOWN THUS ON PLANS.



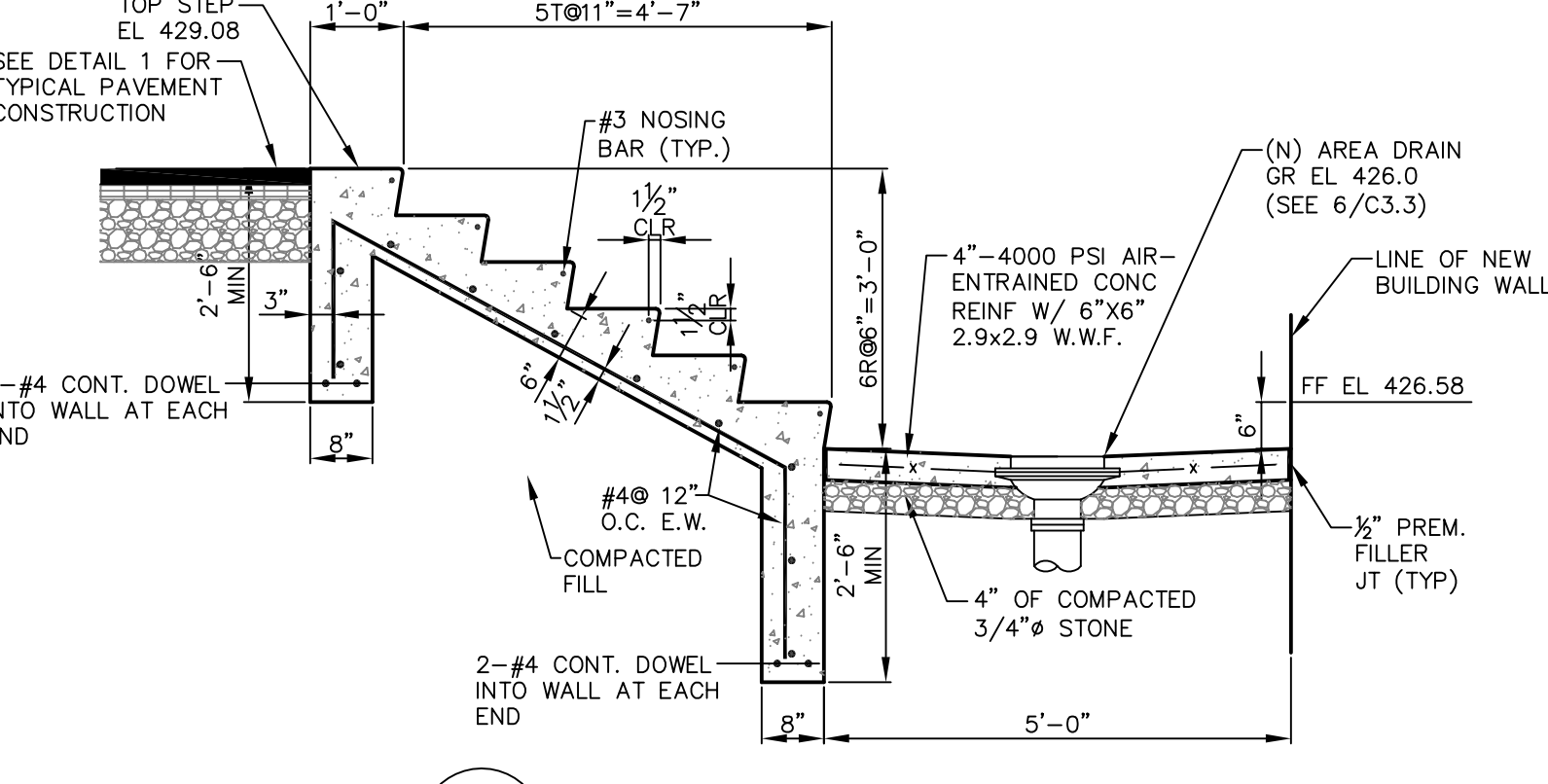
**3 TYPICAL PAVEMENT RECONSTRUCTION DETAIL**  
SCALE: NOT TO SCALE

NOTE:  
 NEW PAVEMENT THICKNESSES TO MATCH EXISTING.



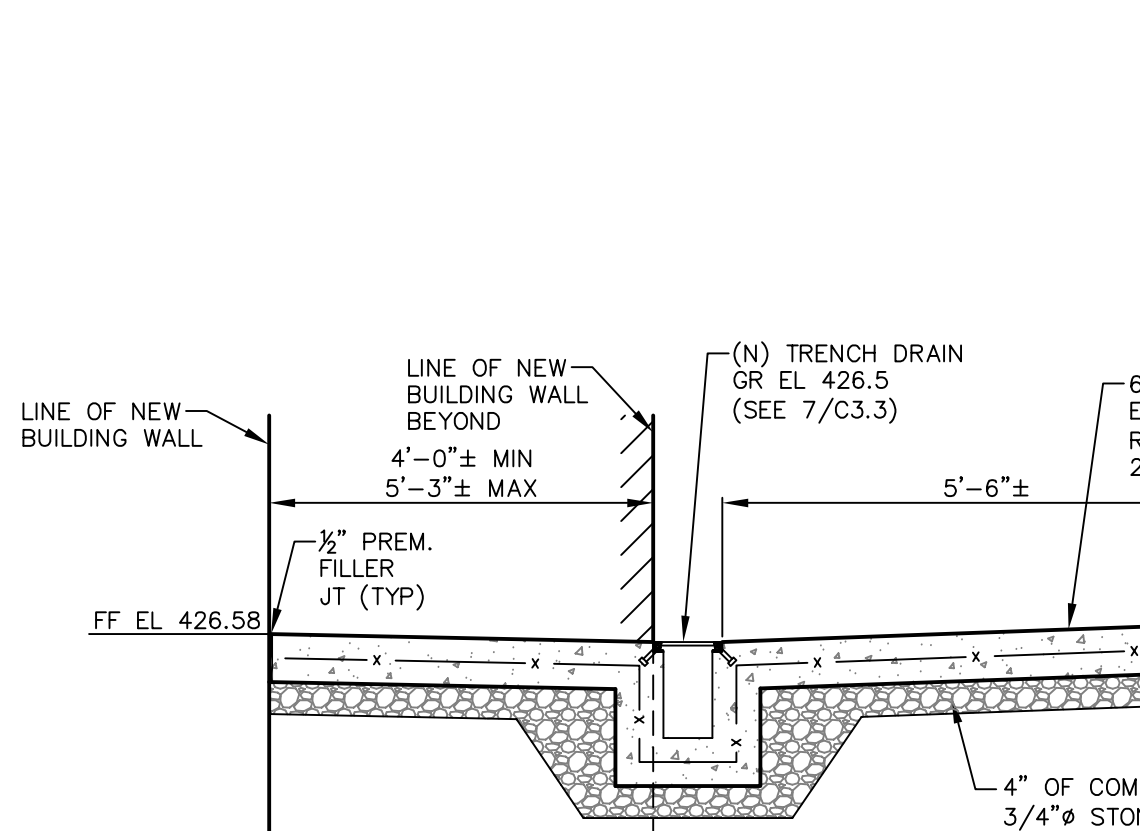
**4 SIDEWALK CONSTRUCTION DETAIL**  
SCALE: 1" = 1'-0"

NOTES:  
 1. ALL SIDEWALKS TO BE SCORED EVERY 5'-0" & 1/2" PREM. FILLER EXPANSION JOINTS TO OCCUR @ 20'-0" O.C.



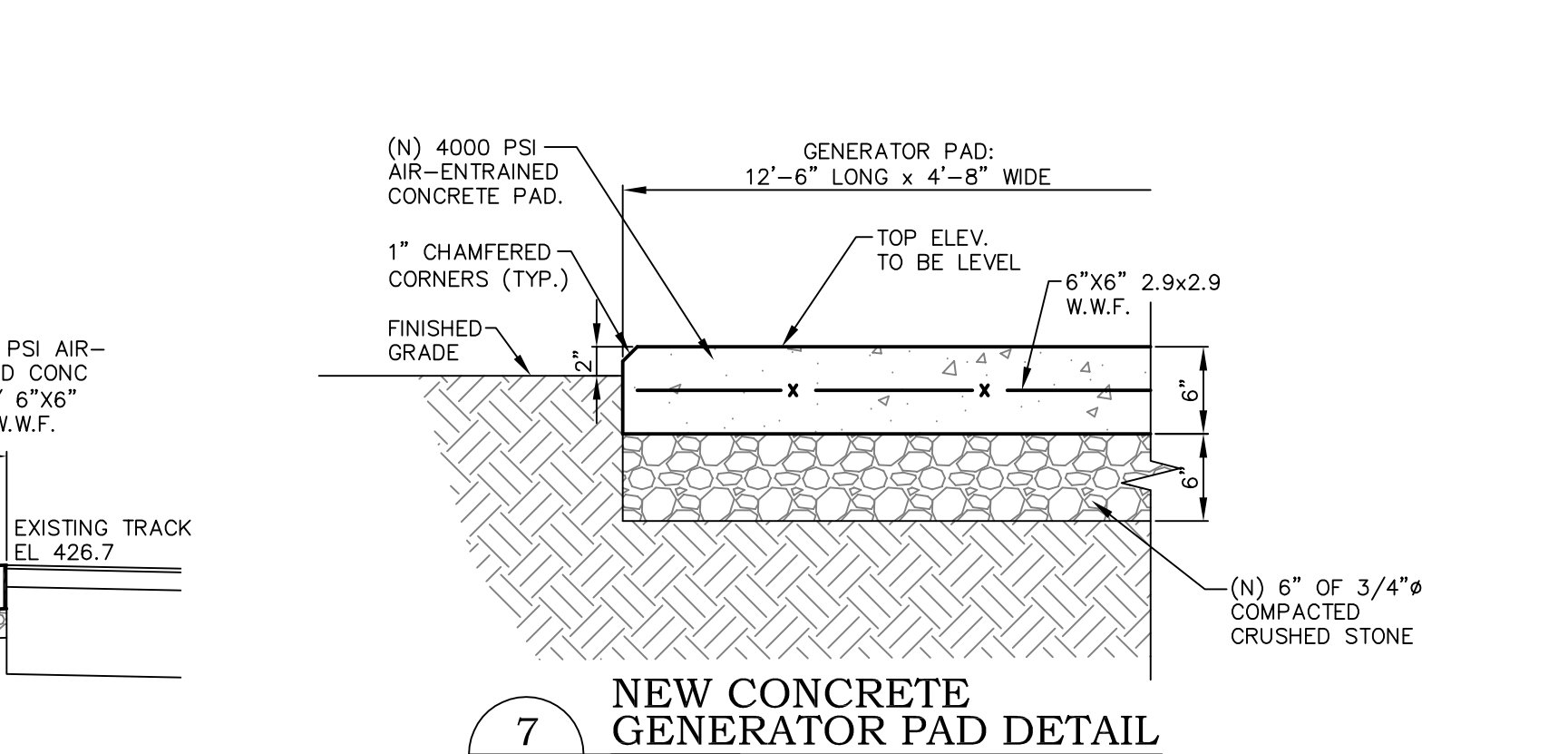
**5 STAIR SECTION**  
SCALE: 1/2" = 1'-0"

NOTES:  
 1. ALL CONCRETE IS TO BE 4500 PSI @ 28 DAYS.  
 2. ALL REINF. STEEL IS TO BE ASTM A65 GRADE 60 EPOXY COATED.  
 3. ALL EXPOSED CONCRETE SHALL HAVE A BROOM FINISH.



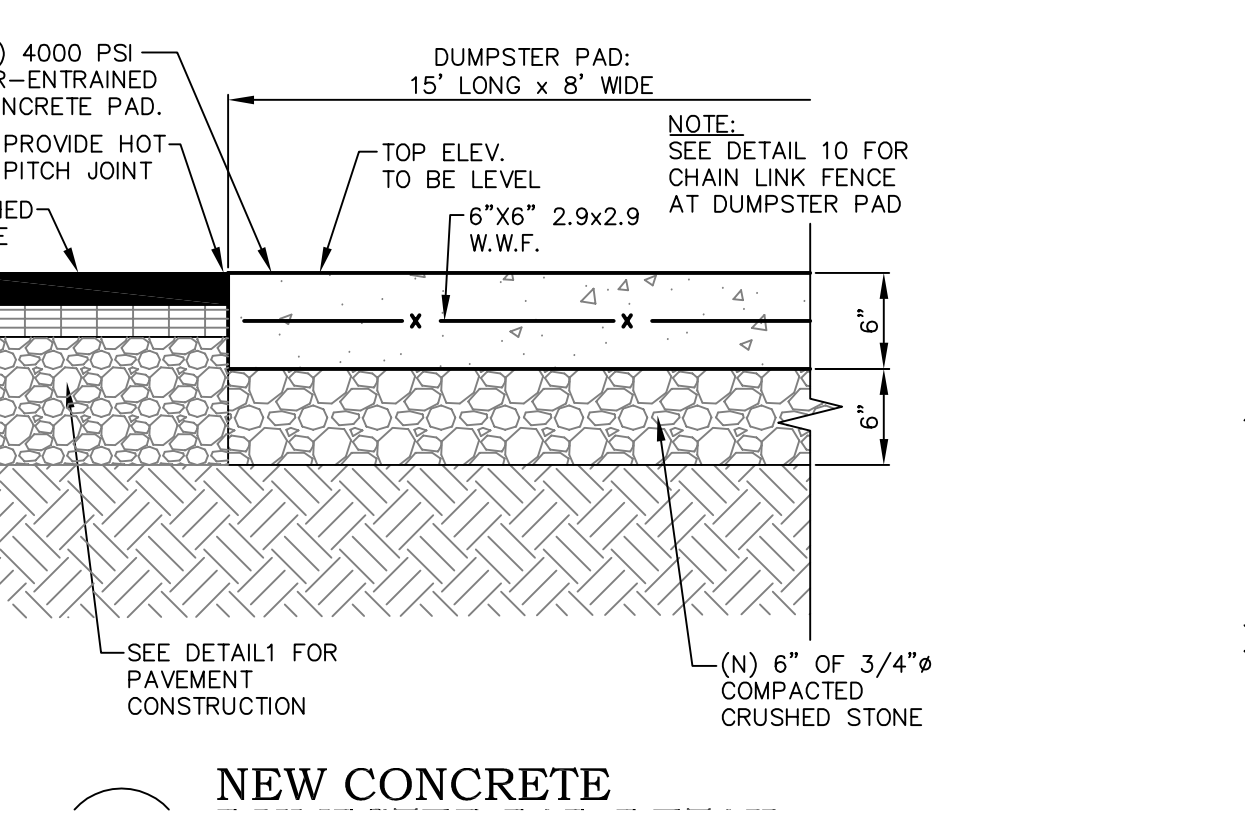
**6 SECTION**  
SCALE: 1/2" = 1'-0"

NOTES:  
 1. ALL CONCRETE IS TO BE 4500 PSI @ 28 DAYS.  
 2. ALL REINF. STEEL IS TO BE ASTM A65 GRADE 60 EPOXY COATED.  
 3. ALL EXPOSED CONCRETE SHALL HAVE A BROOM FINISH.

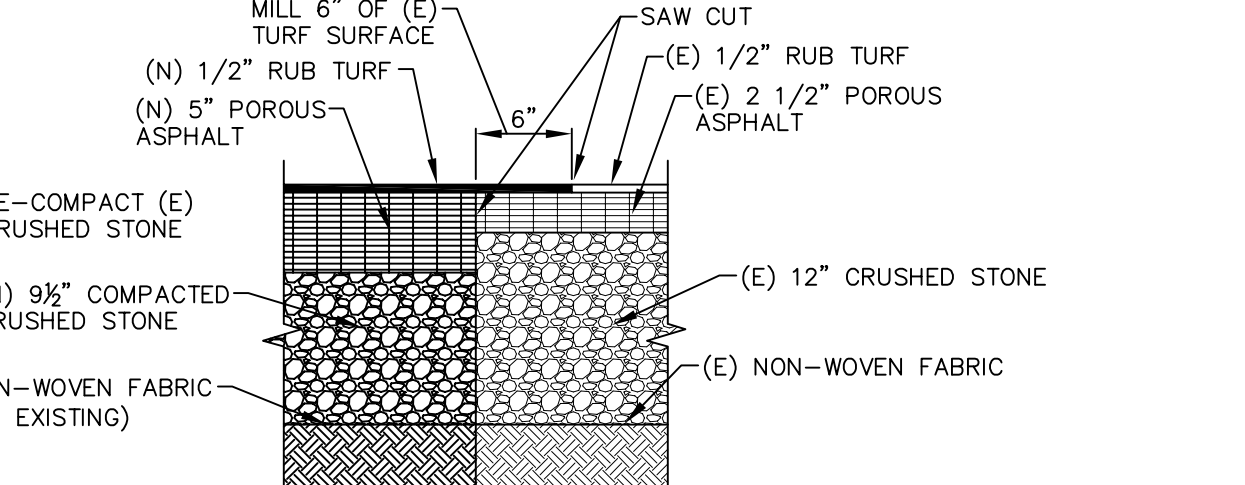


**7 NEW CONCRETE GENERATOR PAD DETAIL**  
SCALE: 1" = 1'-0"

NOTES:  
 1. PROVIDE SLEEVES IN CONCRETE PAD FOR SERVICES (SEE UTILITY PLAN FOR SIZES AND QUANTITIES).  
 2. FOR GENERATOR PAD ONLY, SITE ELEC. CONTR. SHALL COORDINATE WITH BLDG ELEC. CONTR. FOR REQ'D STUB UP LOCATIONS.

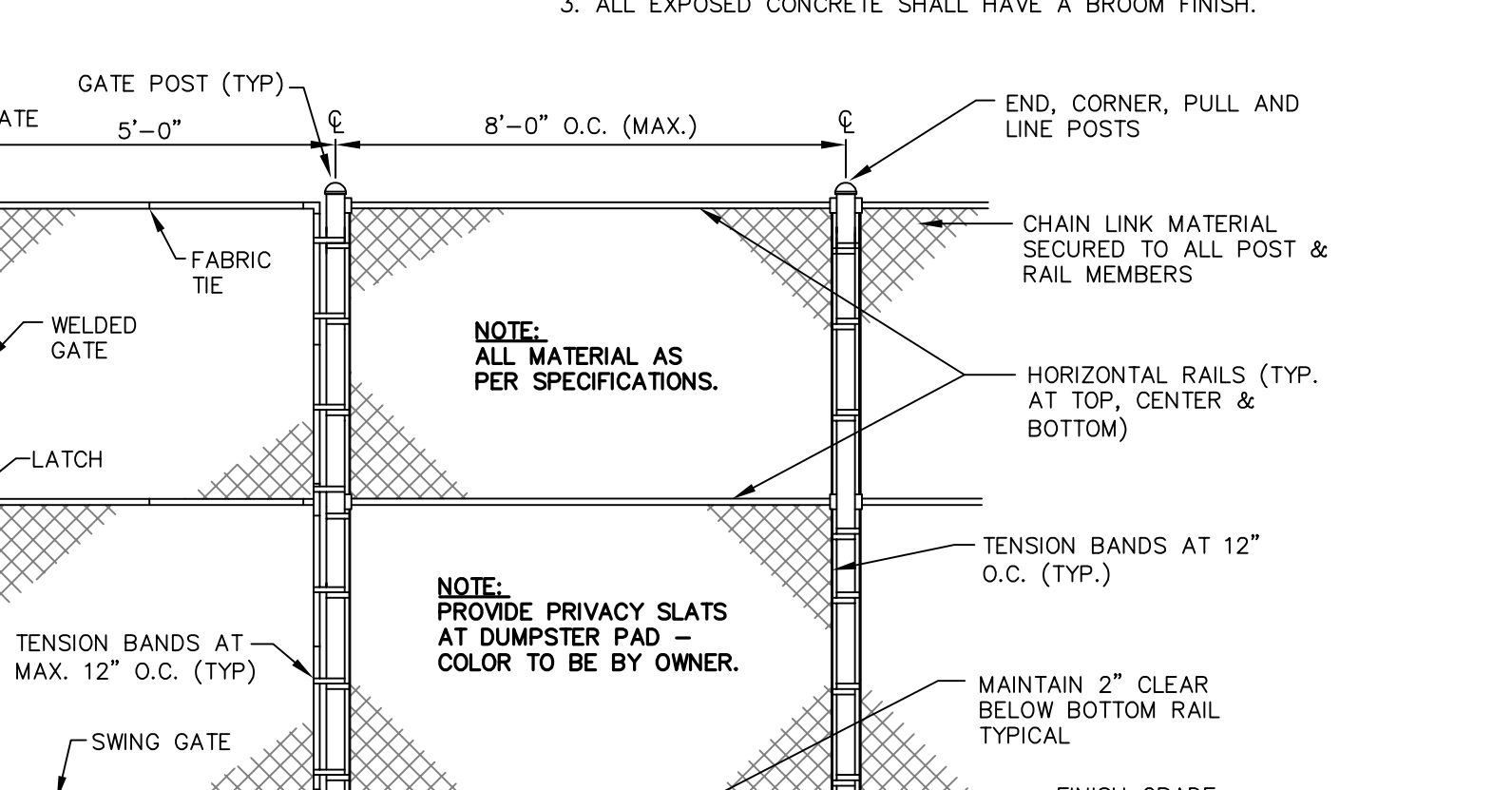


**NEW CONCRETE**

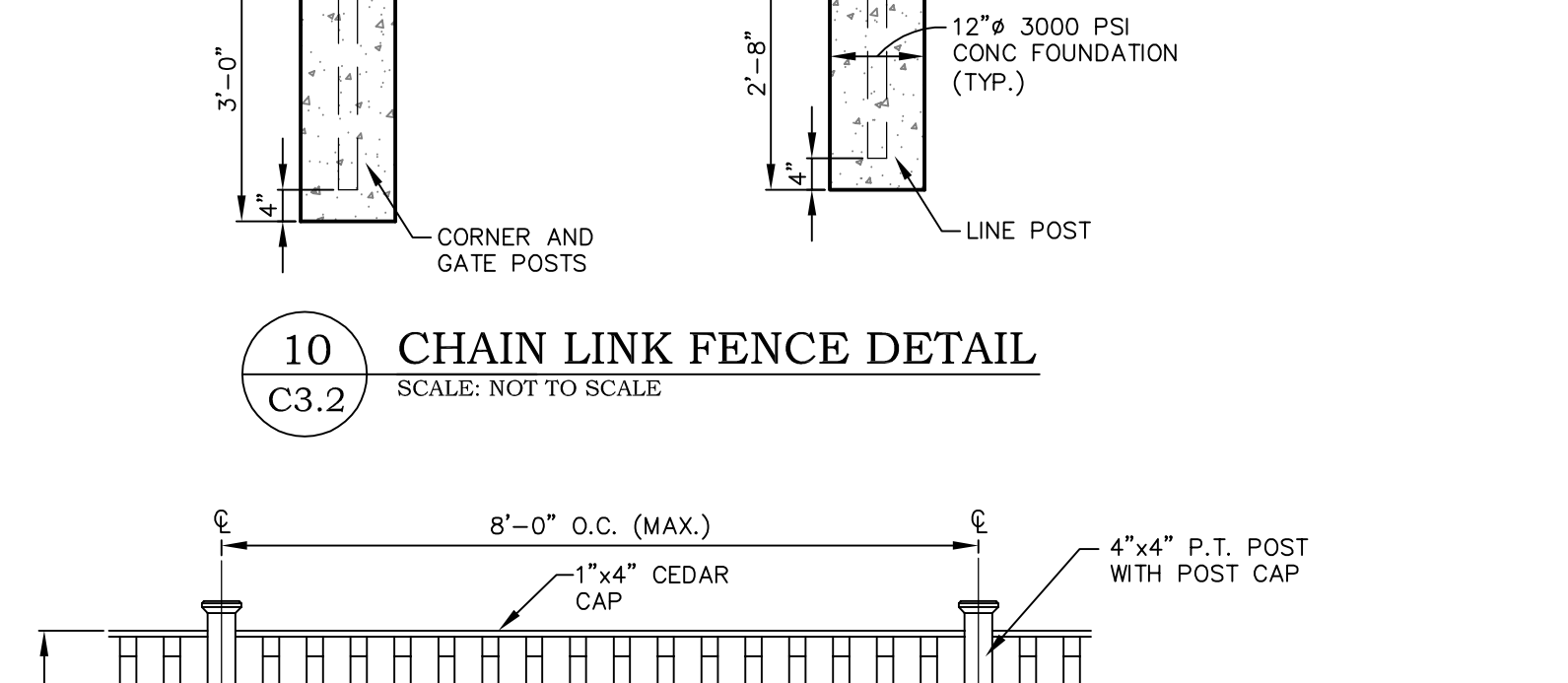


**9 TYPICAL TRACK REPAIR DETAIL**  
SCALE: 1" = 1'-0"

NOTES:  
 1. PROVIDE SLEEVES IN CONCRETE PAD FOR SERVICES (SEE UTILITY PLAN FOR SIZES AND QUANTITIES).  
 2. FOR GENERATOR PAD ONLY, SITE ELEC. CONTR. SHALL COORDINATE WITH BLDG ELEC. CONTR. FOR REQ'D STUB UP LOCATIONS.



**10 CHAIN LINK FENCE DETAIL**  
SCALE: NOT TO SCALE

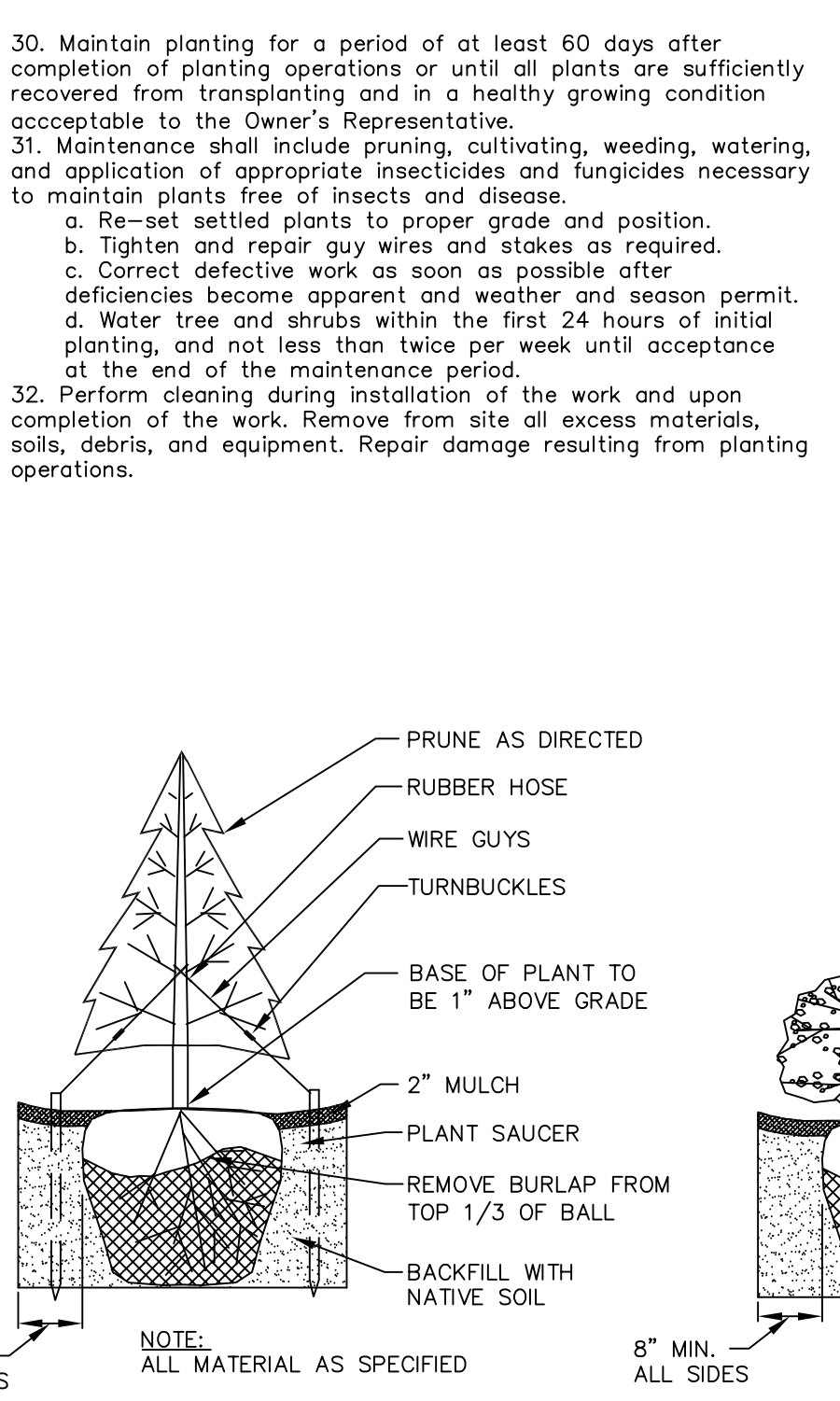


**11 BOARD ON BOARD FENCE DETAIL**  
SCALE: 1/2" = 1'-0"

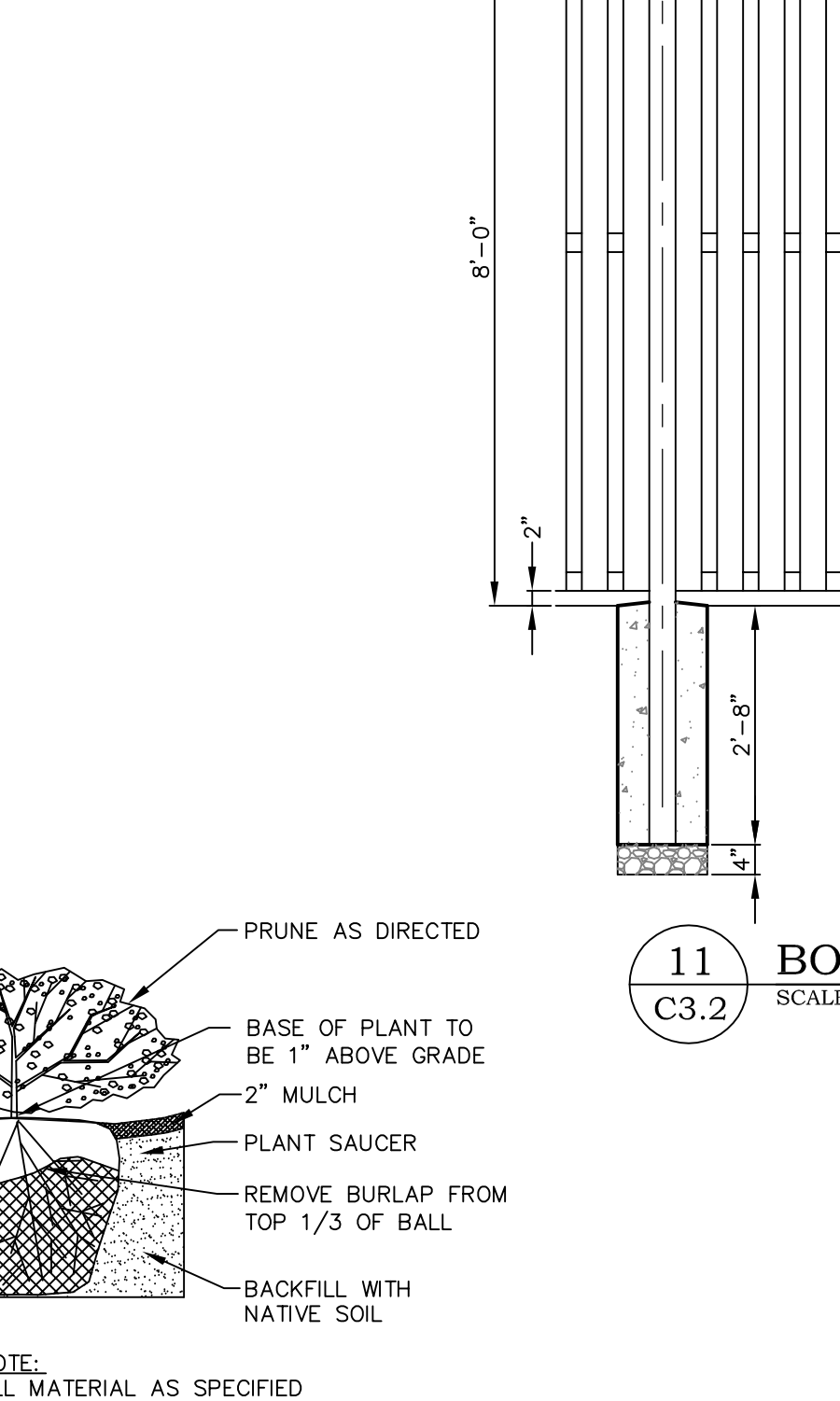
**GENERAL NOTES:**  
 1. Provide trees and shrubs as shown and specified. The work includes:  
 a. Soil preparation.  
 b. Trees and shrubs.  
 c. Mulch and planting accessories.  
 2. Comply with sizing and grading standards of the latest edition of "American Standard for Nursery Stock." A plant shall be dimensioned as it stands in its natural position.  
 3. Stock furnished shall be at least the minimum size indicated. Larger stock is acceptable at an additional cost, and providing that the larger plants will not be cut back to size indicated. Provide plants indicated by two measurements so that only a maximum of 25% are of the minimum size indicated and 75% are of the maximum size indicated.  
 4. Do not prune trees and shrubs before delivery. Protect bark, branches, and root systems from sun scald, drying, sweating, whipping, and other handling and tying damage. Do not bend or bind-tie trees or shrubs in such a manner as to destroy their natural shape. Provide protective covering of exterior plants during delivery. Do not drop exterior plants during delivery.  
 5. Deliver exterior plants after preparations for planting have been completed and install immediately. If planting is delayed more than six hours after delivery, set exterior plants trees in shade, protect from weather and mechanical damage, and keep roots moist.  
 6. Warrant plant material (except annuals) to remain alive and be in healthy, vigorous condition for a period of 1 year after completion and acceptance of entire project.  
 7. Replace, in accordance with the drawings and specifications, all plants that are dead or, as determined by the Owner's Representative, are in an unhealthy or unsightly condition, and have lost their natural shape due to dead branches, or other causes due to the Contractor's negligence. The cost of such replacement(s) is at Contractor's expense. Warrant all replacement plants for 1 year after installation.  
 8. Plants: Provide plants typical of their species or variety, with normal, densely-developed branches and vigorous, fibrous root systems. Provide only sound, healthy, vigorous plants free from defects, distorting knots, sun scald injuries, frost cracks, abrasions of the bark, plant diseases, insect eggs, borers, and all forms of infestations. All plants shall have a fully developed form without voids and open spaces. Plants held in storage will be rejected if they show signs of growth during storage.  
 9. Dig balled and burlapped plants with firm, natural balls of earth of sufficient diameter and depth to encompass the fibrous and feeding root system necessary for full recovery of the plant. Provide ball sizes complying with the latest edition of the "American Standard for Nursery Stock." Cracked or mushroomed balls are not acceptable.  
 10. The height of the trees, measured from the crown of the roots to the top of the top branch, shall not be less than the minimum size designated in the plant list. The caliper of the trees, measured 12" from the root ball for trees 4" Caliper and up, and 6" from the base for those up to 4" Caliper, shall not be less than the minimum size designated in the plant list.  
 11. Shrubs shall meet the requirements for spread and height indicated in the plant list.  
 a. The measurements for height shall be taken from the ground level to the height of the top of the plant and not the longest branch.  
 b. Single stemmed or thin plants will not be accepted.  
 c. Side branches shall be generous, well-twigged, and the plant as a whole well-bushy to the ground.  
 d. Plants shall be in a moist, vigorous condition, free from dead wood, bruises, or other root or branch injuries.  
 12. Do not cut the leader of evergreen tree species.  
 13. Planting mix for shrub beds shall be sandy loam with added material to create a light and airy well-drained growing medium. Acceptable additives include Canadian peat moss, sphagnum moss, vermiculite, perlite, coarse sand, porous aggregates such as expanded slate, topsoil or decomposed bark humus, and composted leaf mold. Recommended composition: 10% fine sand; 10% coarse sand (.05 millimeter to .1 millimeter builder's sand); 30% topsoil; 25% clay; 25% organic matter (peat moss, bark humus, and/or leaf mold). The pH shall be between 5.5 and 6.8. If necessary, the Contractor may adjust pH by adding aluminum sulfate or agricultural ground limestone.  
 a. Planting mixture is to be mixed off-site, analyzed and approved prior to delivery.  
 14. Topsoil: Fertile, friable, natural topsoil of loamy character, without admixture of subsoil material, obtained from a well-drained arable site, reasonably free from clay lumps, coarse sands, stones, plants, roots, sticks, and other foreign materials, with acidity range of between pH 6.0 and 6.5.  
 a. Provide topsoil free of substances harmful to the plants that will be grown in the soil.  
 b. If necessary, the Contractor may adjust pH by adding aluminum sulfate or agricultural ground limestone. After the addition of the additive, a sample of the mixture shall again be analyzed to determine that its incorporation has corrected the pH to meet the specification. The contractor shall furnish one one cubic foot sample of the corrected topsoil to the Landscape Architect at least two weeks prior to the anticipated use of the topsoil.  
 15. Wood Mulch: 6 month old well rotted double shredded native hardwood bark mulch not larger than 4" in length and 1/2" in width, free of woodchips and sawdust.  
 16. Fertilizer:  
 a. Plant Fertilizer Type "A": Commercial type, containing 5% nitrogen, 10% phosphoric acid, and 5% potash by weight, 1/4 of nitrogen in the form of nitrates, 1/4 in the form of ammonia salt, and 1/2 in form of organic nitrogen.  
 b. Plant Fertilizer Type "B": Approved acid-base fertilizer. Granular, non-burning product composed of not less than 50% organic slow acting, guaranteed analysis professional fertilizer.  
 c. Starter fertilizer containing 20% nitrogen, 26% phosphoric acid, and 6% potash by weight, or similar approved composition.  
 17. Anti-Desiccant: Protective film emulsion providing a protective film over plant surfaces; permeable to permit transpiration, such as "Wilt-Pruf" manufactured by Nursery Products Specialties, Co., Croton Falls, New York. Mixed and applied in accordance with manufacturer's instructions.  
 18. Water: Free of substances harmful to plant and seed growth. Hoses or other methods of transportation furnished by Contractor unless agreed to by Owner.  
 19. Stakes for Staking tree: Hardwood, 2"x2"x8'-0" long.  
 20. Staking and Guying Hose: webbed flexible type, i.e. as available from CAMB GUARDS, part #92-113, from Kestick & Son, M/A Products (810)698-5353, or ARBORTRAPE from NEPTCO (John Coprio) (800)354-5445 Ext. 298.  
 21. Examine finish surfaces, grades, topsoil quality, and depth. Examine proposed planting areas and conditions of installation. Do not start planting work until unsatisfactory conditions are corrected.  
 22. Locate plants as indicated or as approved in the field after staking by the Contractor. If obstructions are encountered that are not shown on the drawings, do not proceed with planting operations until alternate plant locations have been selected.  
 23. Excavate plant pits as noted on the details, except for plants specifically indicated to be planted in planters. Provide shrub pits at least 8" greater than the diameter of the root system and 18" greater for the tree. Depth of pit shall accommodate the root system. Provide undisturbed subgrade to hold root ball at nursery grade as shown on the drawings. If excavated materials are suitable for reuse on site, place at a location as directed by the Owner's Representative. If unsuitable or not able to be used, remove excavated materials from the site.  
 24. Provide pre-mixed planting mixture for use around the balls and roots of the plants consisting of planting topsoil and 1/2 lb. plant fertilizer Type "A" for each cu. yd. of mixture.  
 a. Prune as directed.  
 b. Provide topsoil in the planting pit to proper grade and alignment. Set plants upright, plumb, and faced to give the best appearance or relationship to each other or adjacent structure. Set plant material 1"-2" above the finish grade. No filling will be permitted around trunks or stems. Backfill the pit with planting mixture. Do not use frozen or muddy mixtures for backfilling.  
 26. After balled and burlapped plants are set, muddle planting soil mixture around bases of balls and fill all voids.  
 a. Remove all burrs, ropes, and wires from the tops of balls.  
 27. Mulching: Mulch tree and shrub beds with required mulching material 2" deep immediately after planting. Thoroughly water mulched areas. After watering, rake mulch to provide a uniform finished surface.  
 28. Guying and staking:  
 a. When high winds or other conditions that may effect tree survival or appearance occur, the Owner's Representative may require immediate staking or guying.  
 b. Stake and guy the deciduous trees which are over 3" caliper.  
 29. Pruning:  
 a. Prune branches of deciduous trees, after planting, to balance the loss of roots and preserve the natural character appropriate to the particular plant requirements. In general, remove 1/4 to 1/3 of the leaf bearing buds. Remove or cut back broken, damaged, and unsymmetrical growth of new wood. Do not cut leader.  
 b. Prune evergreens only to remove broken or damaged branches.

30. Maintain planting for a period of at least 60 days after completion of planting operations or until all plants are sufficiently recovered from transplanting and in a healthy growing condition acceptable to the Owner's Representative.  
 31. Maintenance shall include pruning, cultivating, weeding, watering, and application of appropriate insecticides and fungicides necessary to maintain plants free of insects and diseases.  
 a. Re-set settled plants to proper grade and position.  
 b. Tighten and repair guy wires and stakes as required.  
 c. Correct defective work as soon as possible after deficiencies become apparent and weather and season permit.  
 d. Water tree and shrubs within the first 24 hours of initial planting, and not less than twice per week until acceptance at the end of the maintenance period.  
 32. Perform cleaning during installation of the work and upon completion of the work. Remove from site all excess materials, soils, debris, and equipment. Repair damage resulting from planting operations.

33. Pruning:  
 a. Prune branches of deciduous trees, after planting, to balance the loss of roots and preserve the natural character appropriate to the particular plant requirements. In general, remove 1/4 to 1/3 of the leaf bearing buds. Remove or cut back broken, damaged, and unsymmetrical growth of new wood. Do not cut leader.  
 b. Prune evergreens only to remove broken or damaged branches.



**12 TYPICAL EVERGREEN TREE PLANTING DETAIL**  
SCALE: NOT TO SCALE



**13 TYPICAL SHRUB PLANTING DETAIL**  
SCALE: NOT TO SCALE

Associated Engineering Consultants Incorporated  
 485 Devon Park Drive Suite 113 Wayne Pennsylvania 19087 tel 610 688 3800 fax 610 688 4566  
 www.aecnet.net  
 Electrical | Fire Protection | Plumbing | HVAC | Structural | Civil

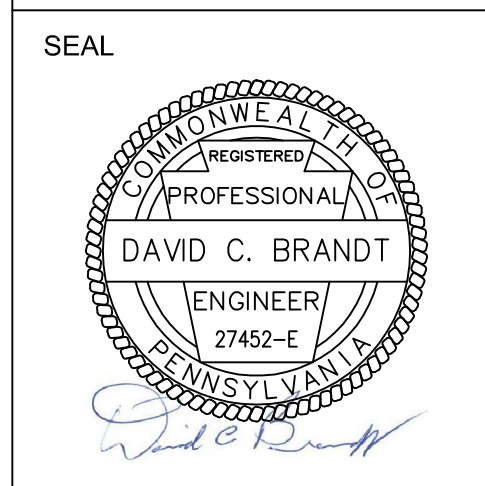
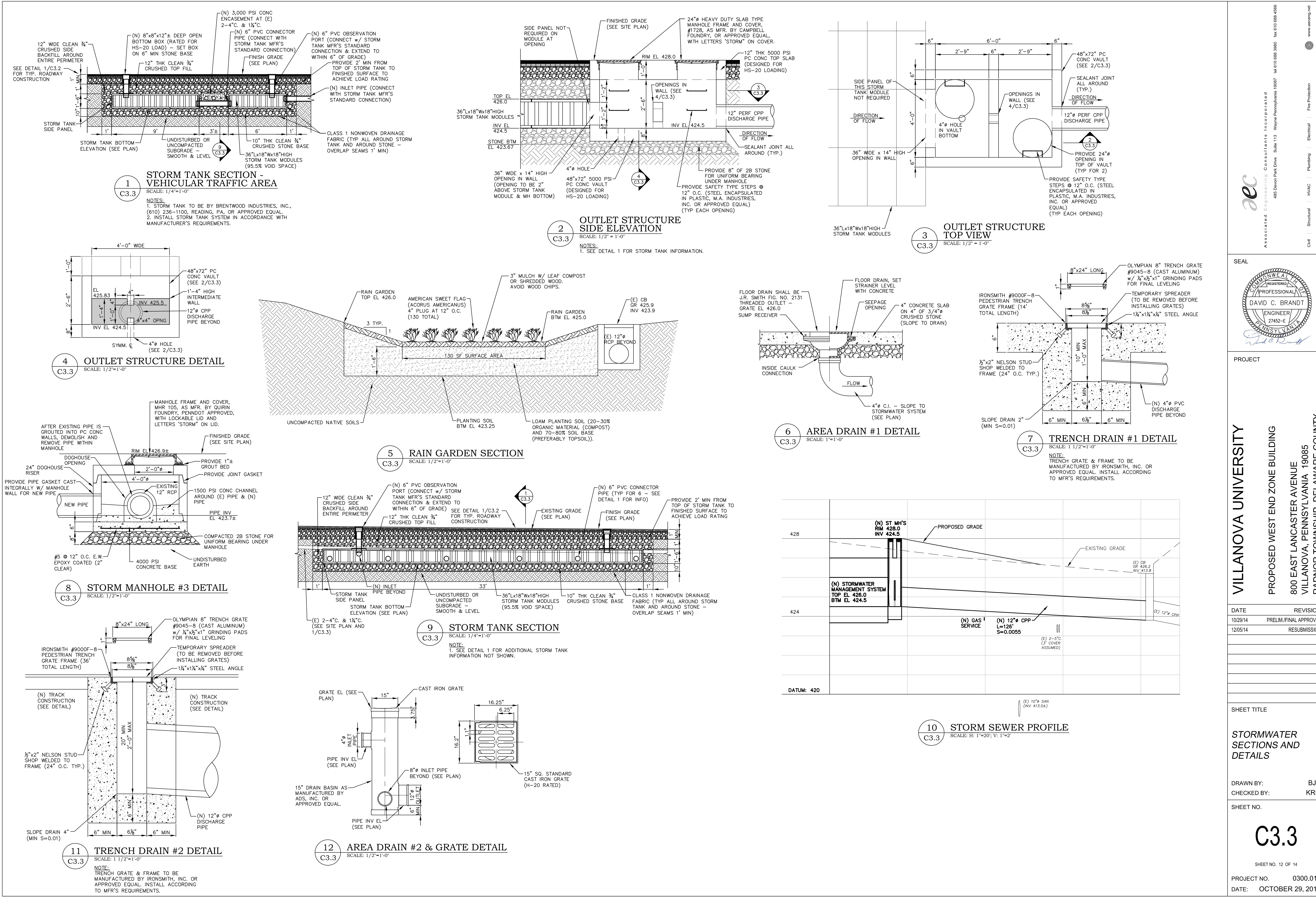
SEAL  
 DAVID C. BRANDT  
 ENGINEER  
 27452-E  
 PENNSYLVANIA

PROJECT  
**VILLANOVA UNIVERSITY**  
 PROPOSED WEST END ZONE BUILDING  
 800 EAST LANCASTER AVENUE  
 VILLANOVA, PENNSYLVANIA 19085  
 RADNOR TOWNSHIP, DELAWARE COUNTY

DATE	REVISION
10/29/14	PRELIM/FINAL APPROVAL
12/05/14	RESUBMISSION

SHEET TITLE  
**SITE SECTIONS AND DETAILS**  
 DRAWN BY: BJD  
 CHECKED BY: KRM  
 SHEET NO.

**C3.2**  
 SHEET NO. 11 OF 14  
 PROJECT NO. 0300.014  
 DATE: OCTOBER 29, 2014



PROJECT

**VILLANOVA UNIVERSITY**  
PROPOSED WEST END ZONE BUILDING  
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SHEET TITLE

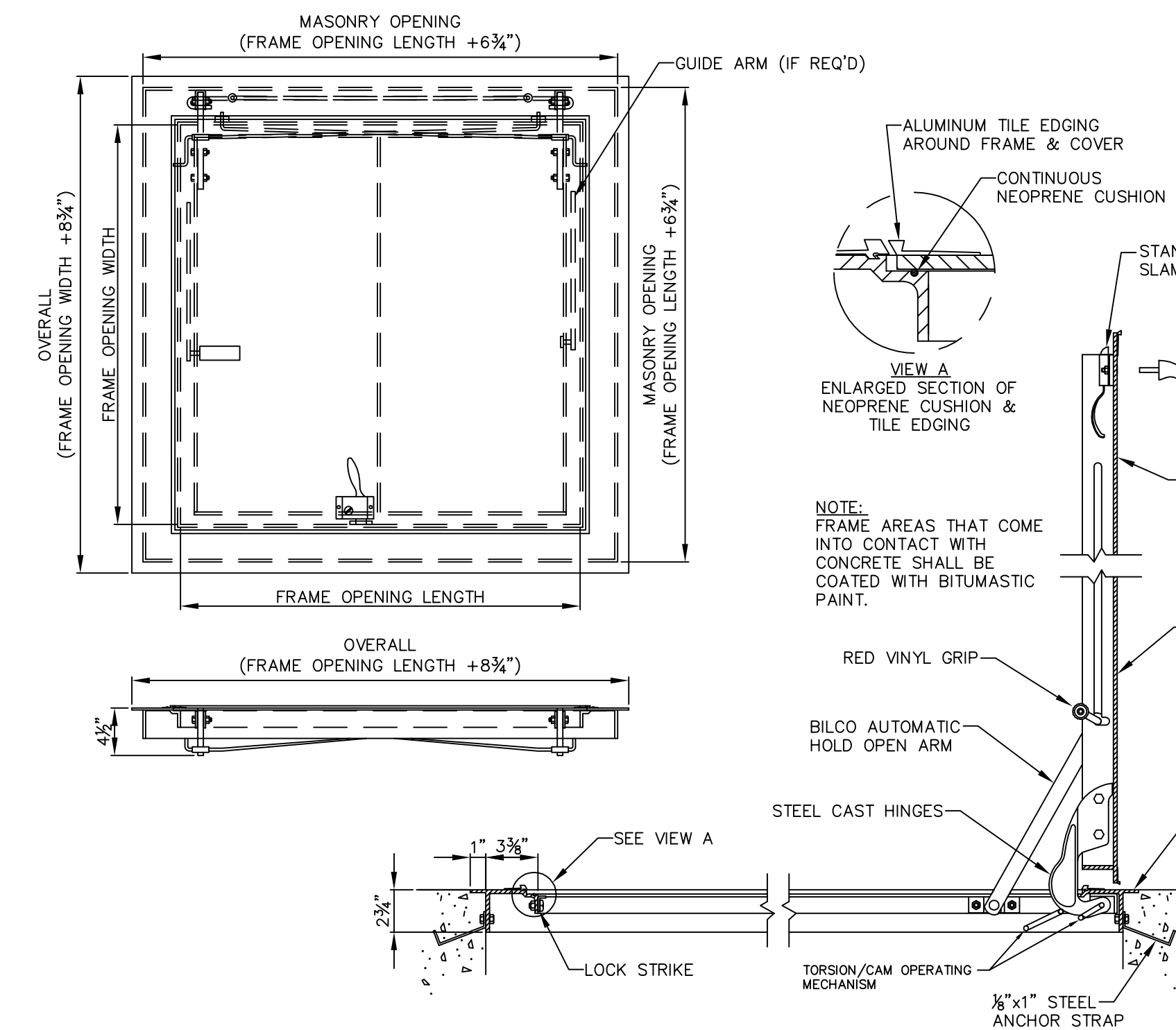
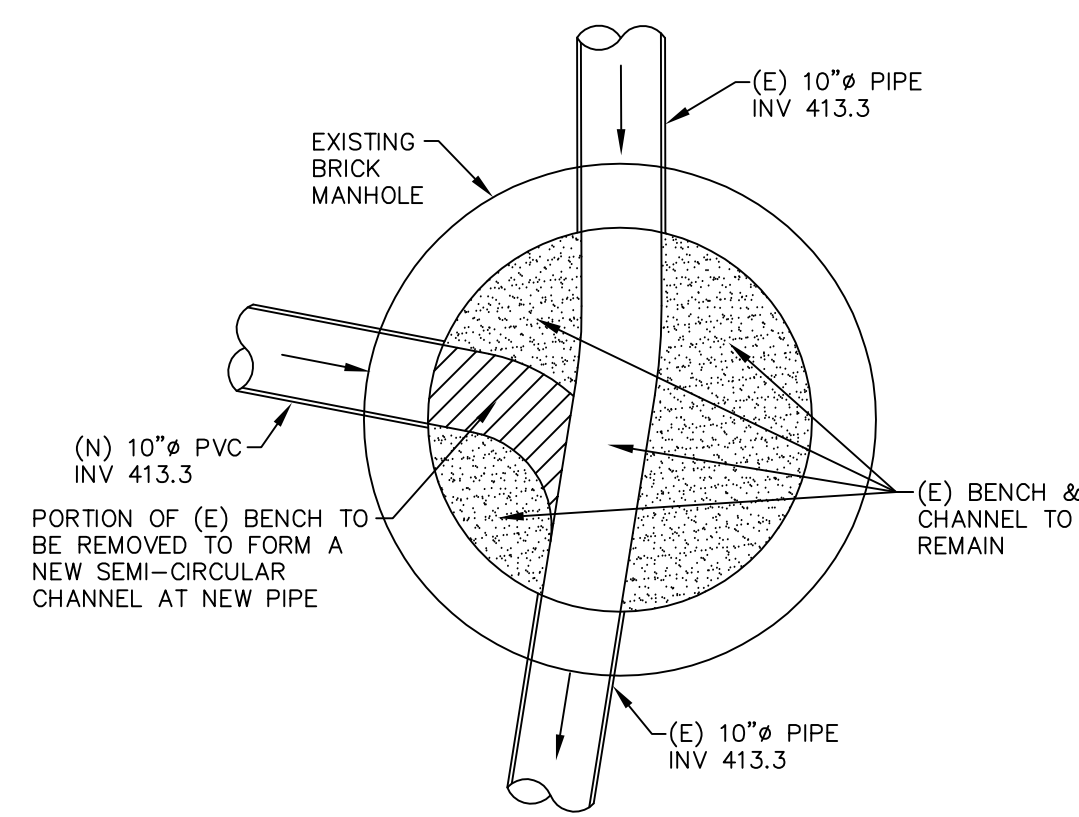
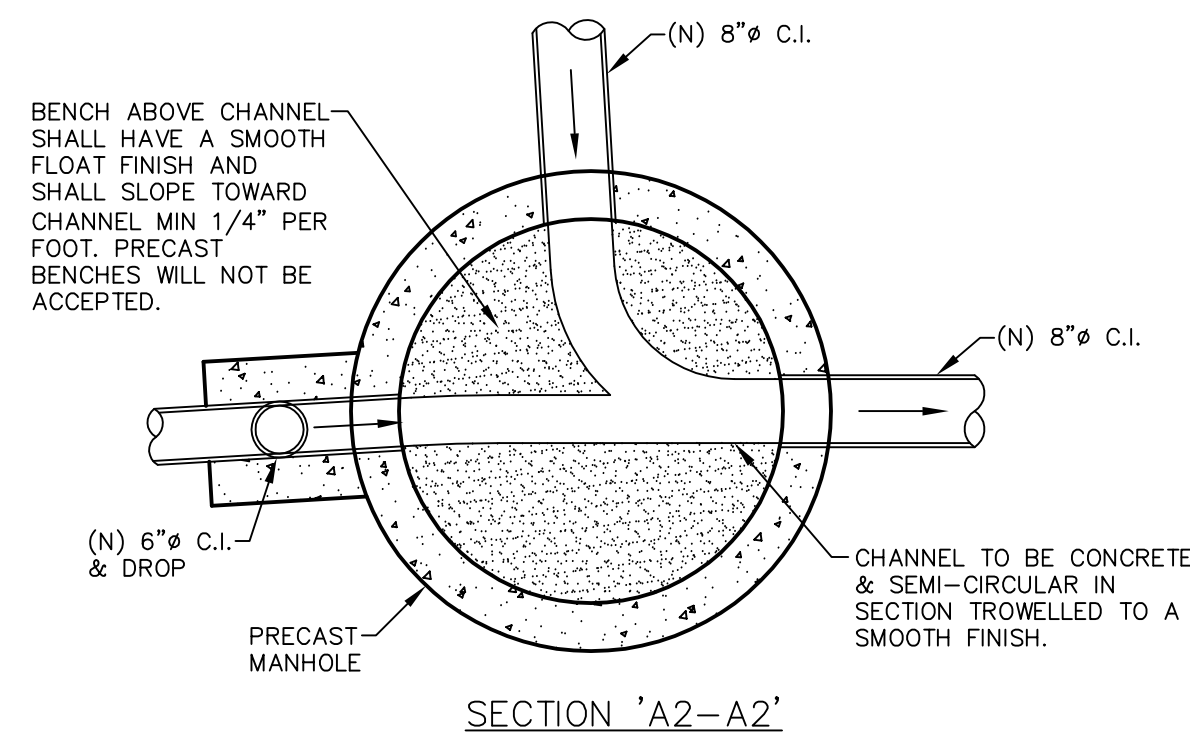
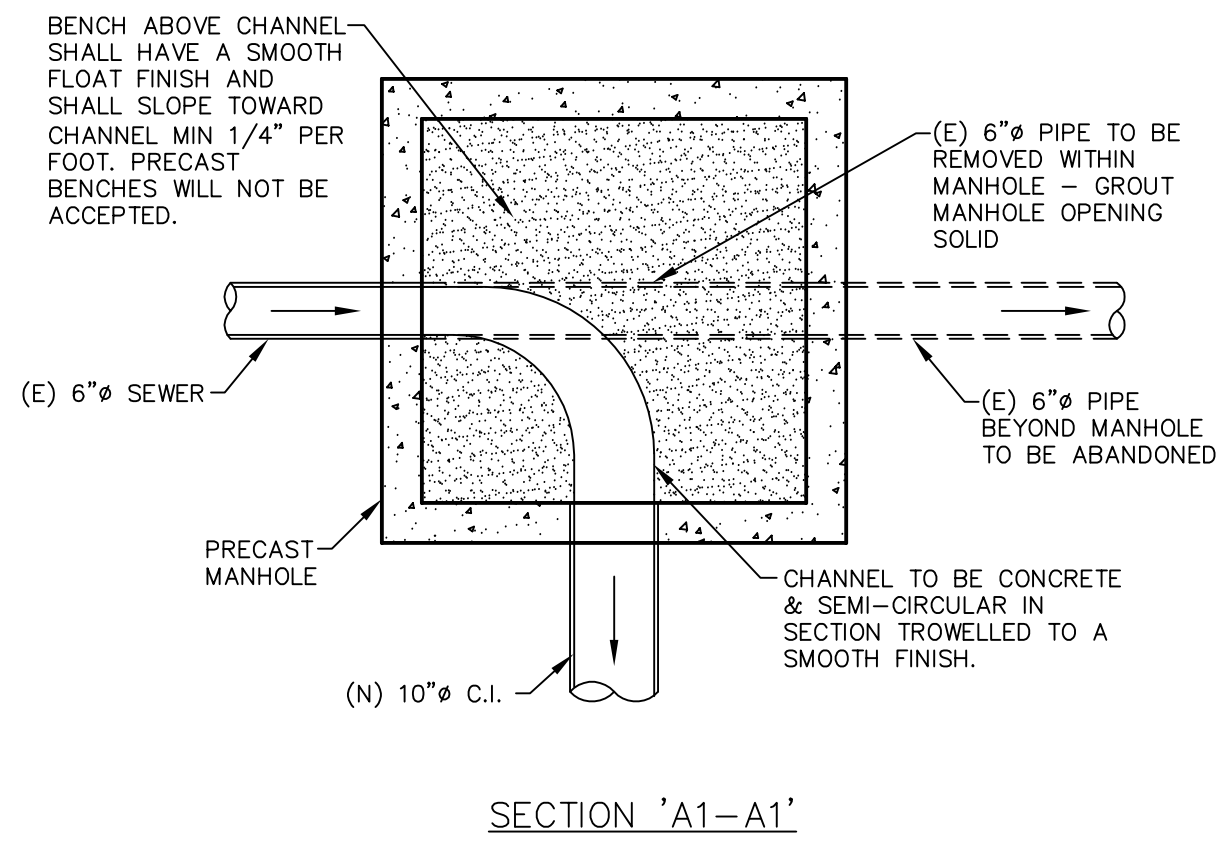
**STORMWATER SECTIONS AND DETAILS**

DRAWN BY: BJD  
CHECKED BY: KRM

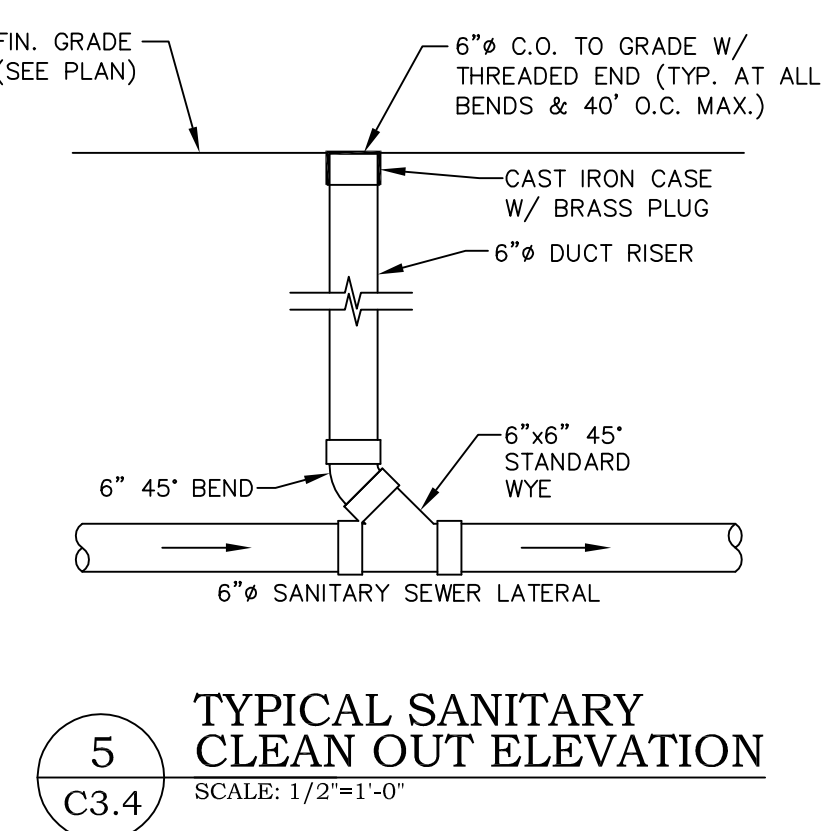
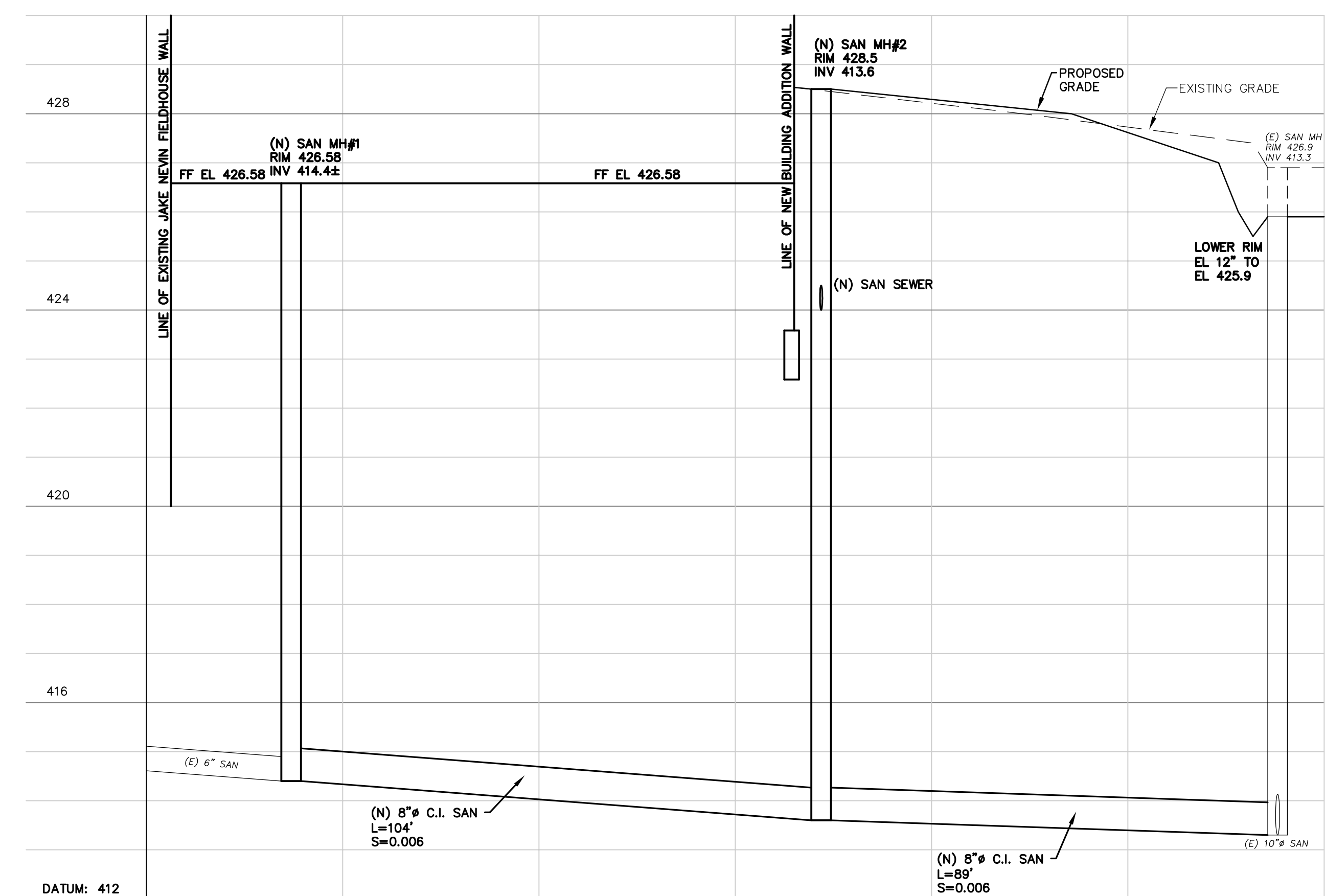
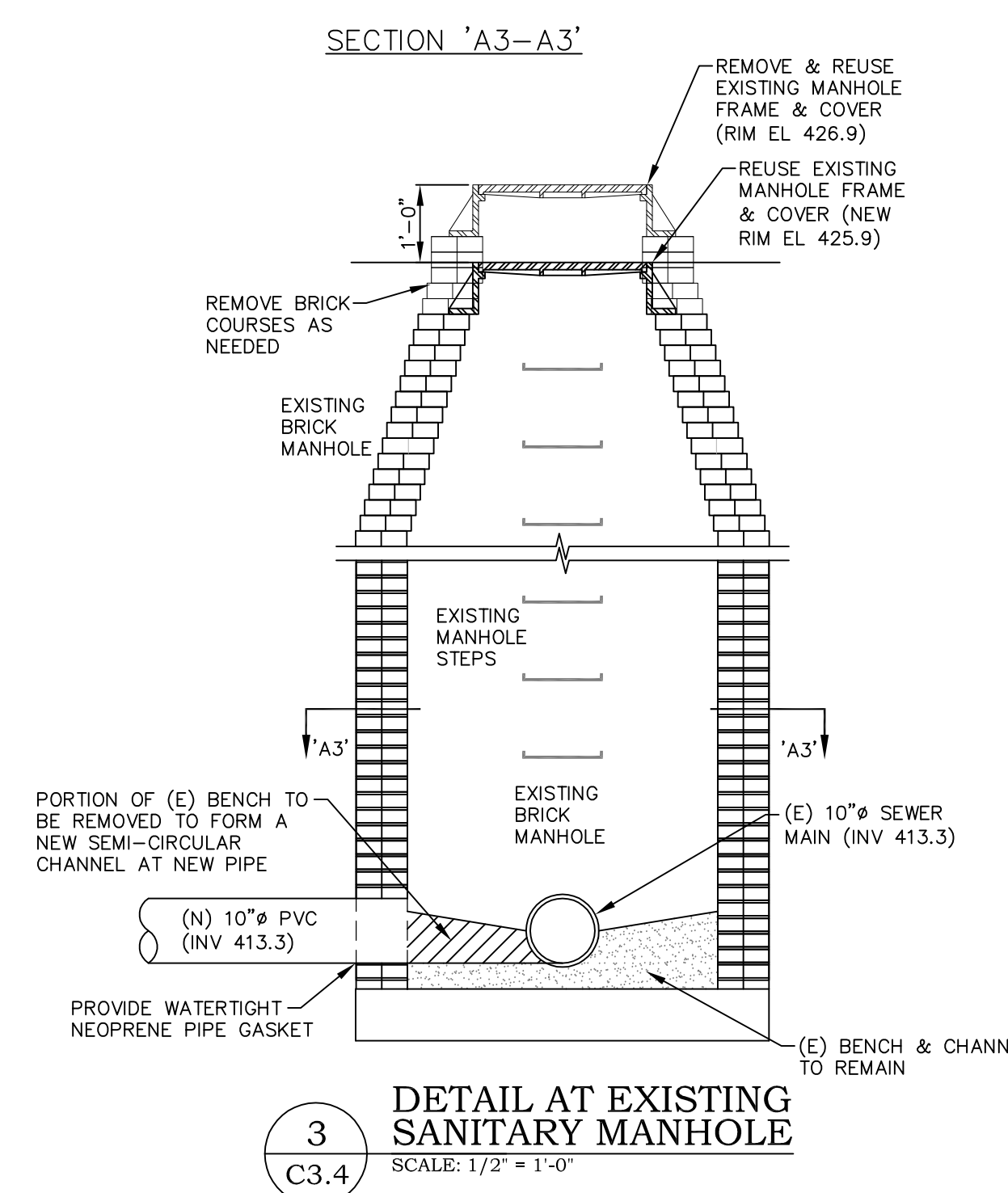
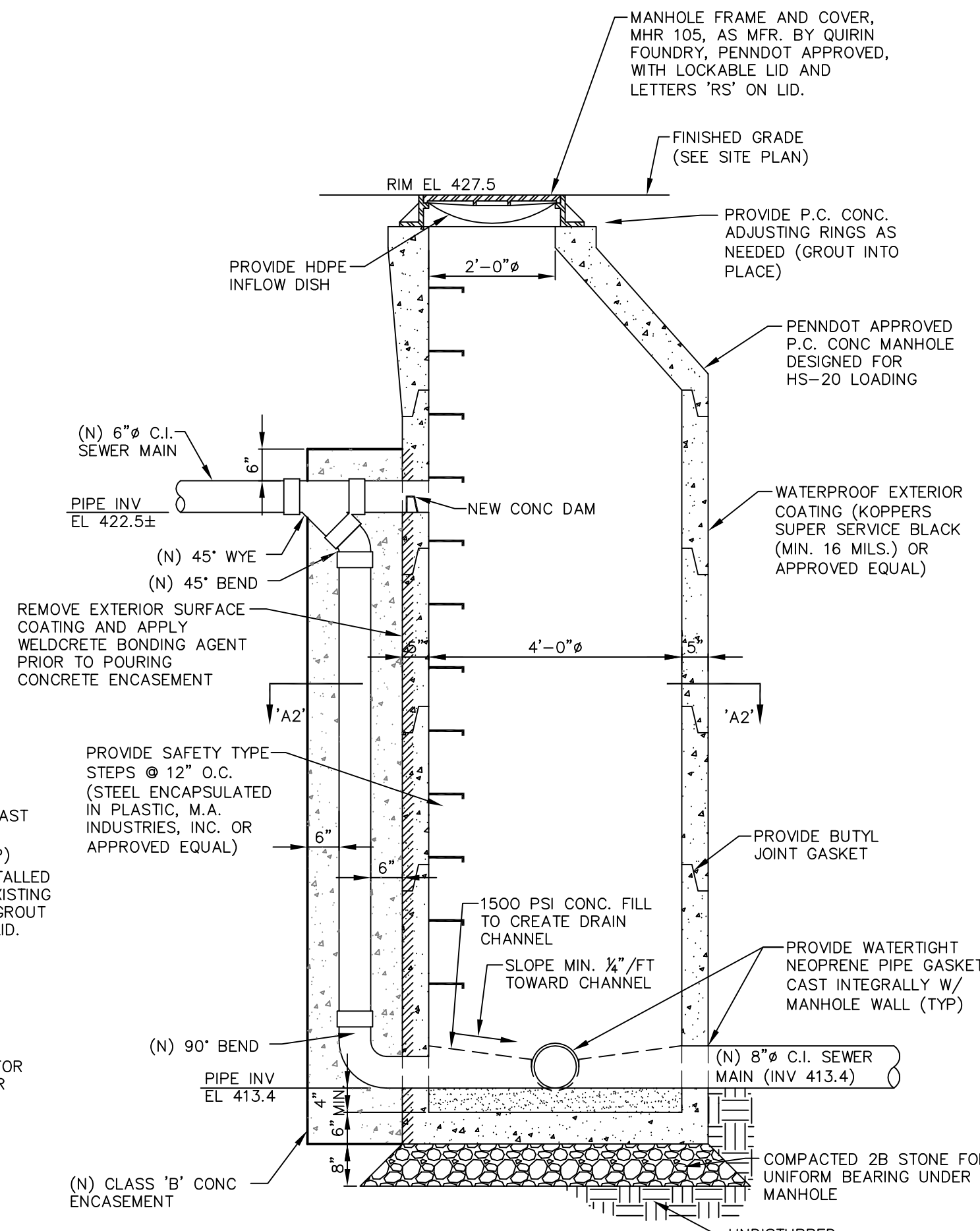
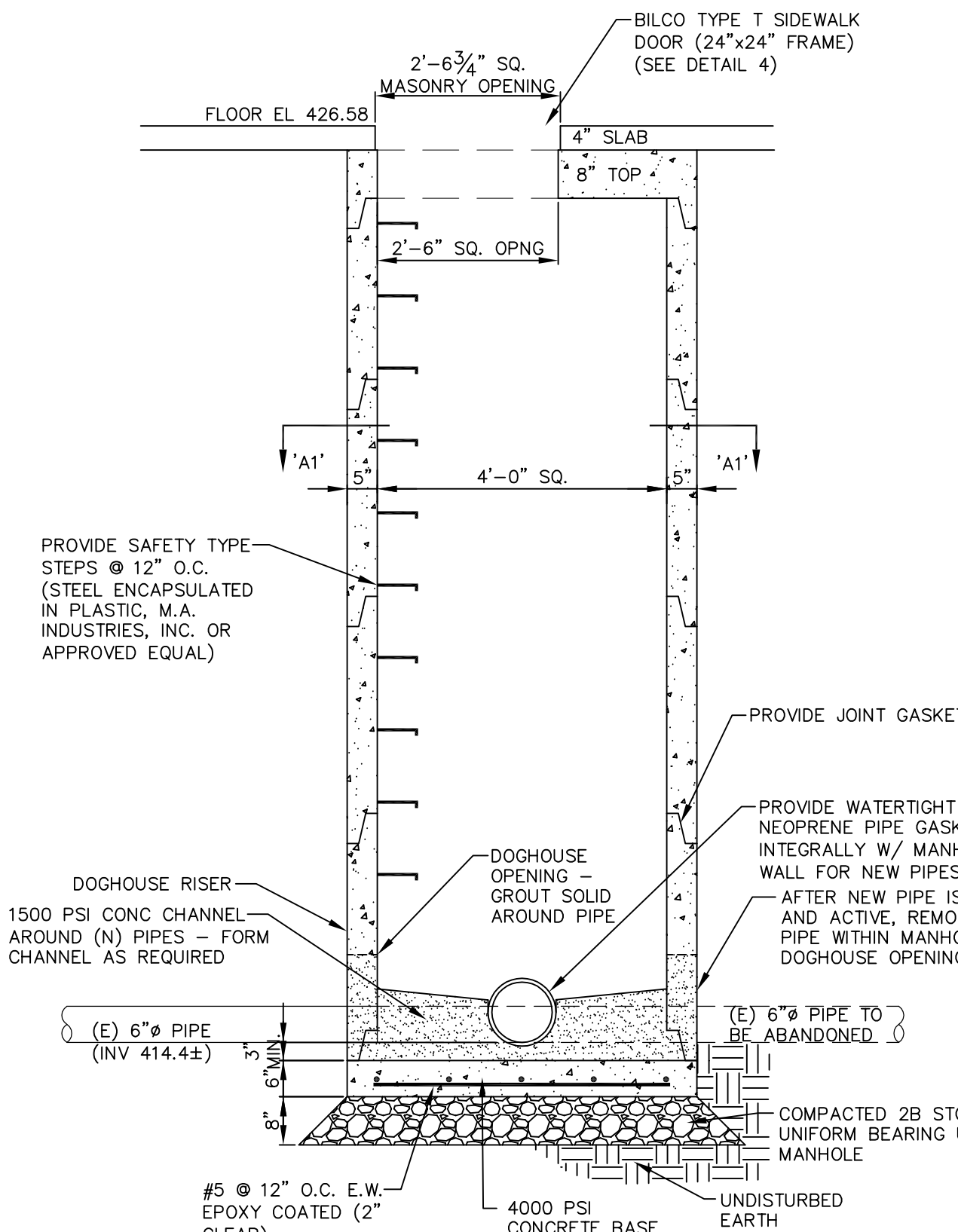
SHEET NO.

**C3.3**

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NOTES:  
1. SINGLE LEAF ACCESS DOOR TO BE TYPE T-1 (24"x24" FRAME OPENING) INTERIOR DOOR BY THE BILCO COMPANY, OR APPROVED EQUAL. INSTALL PER MANUFACTURER'S REQUIREMENTS.

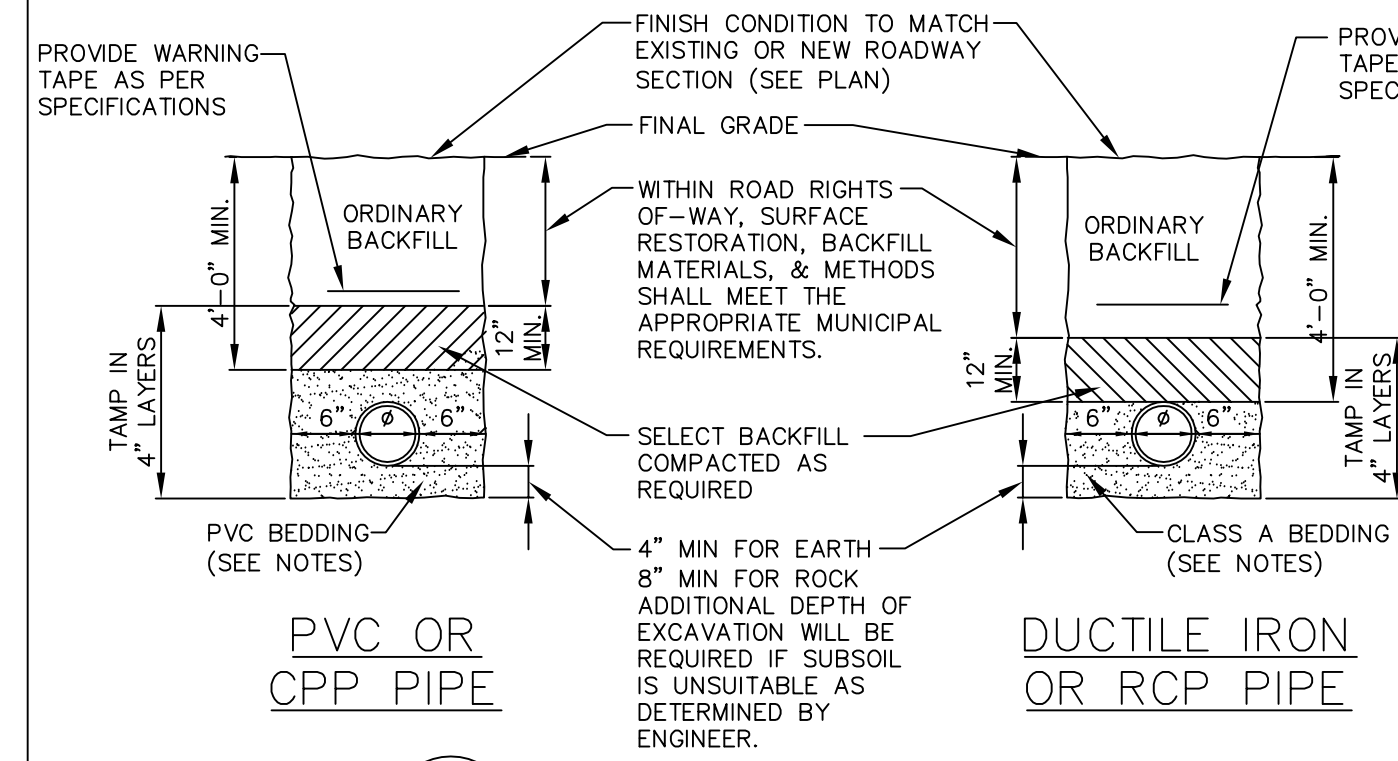


DATE	REVISION
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12/05/14	RESUBMISSION

SHEET TITLE  
**SANITARY SECTIONS AND DETAILS**

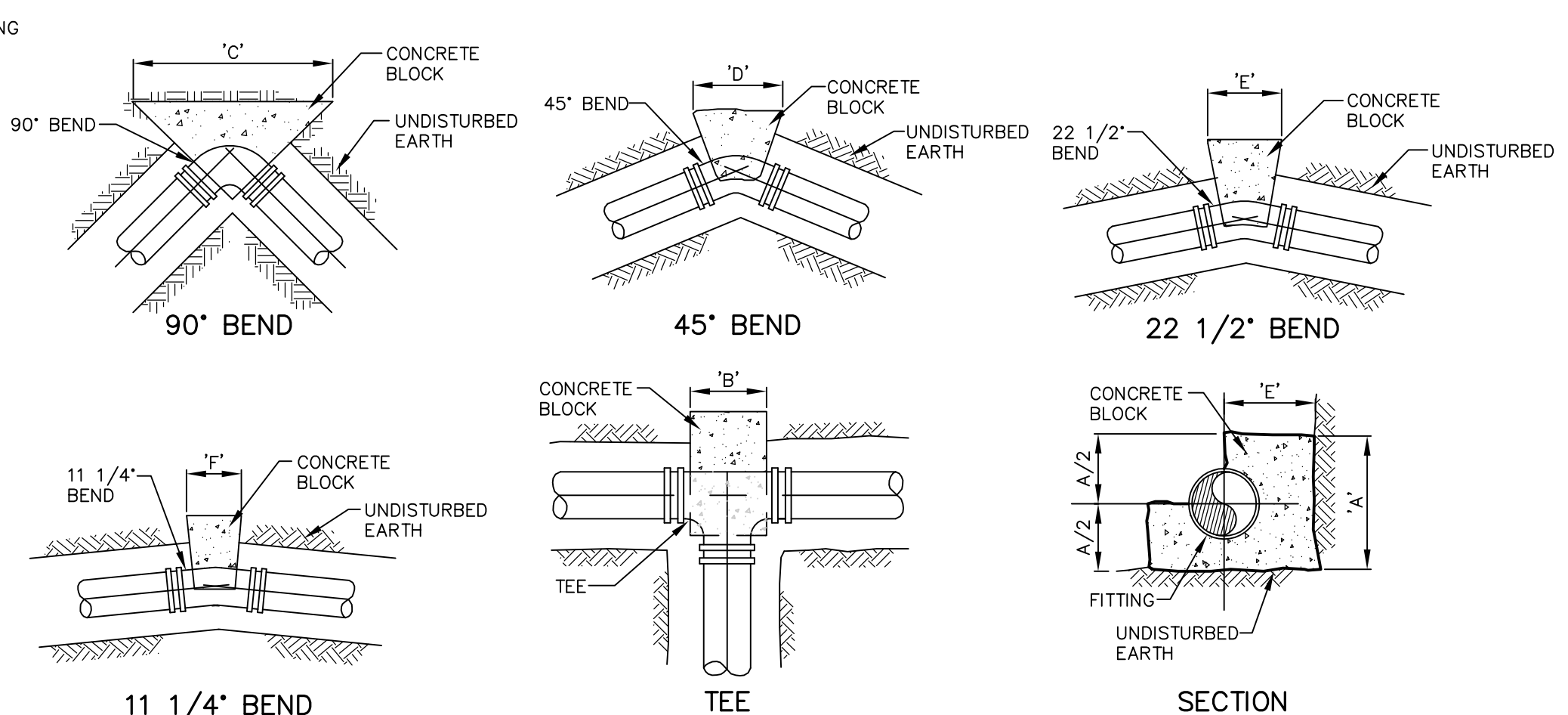
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CHECKED BY: KRM

SHEET NO.



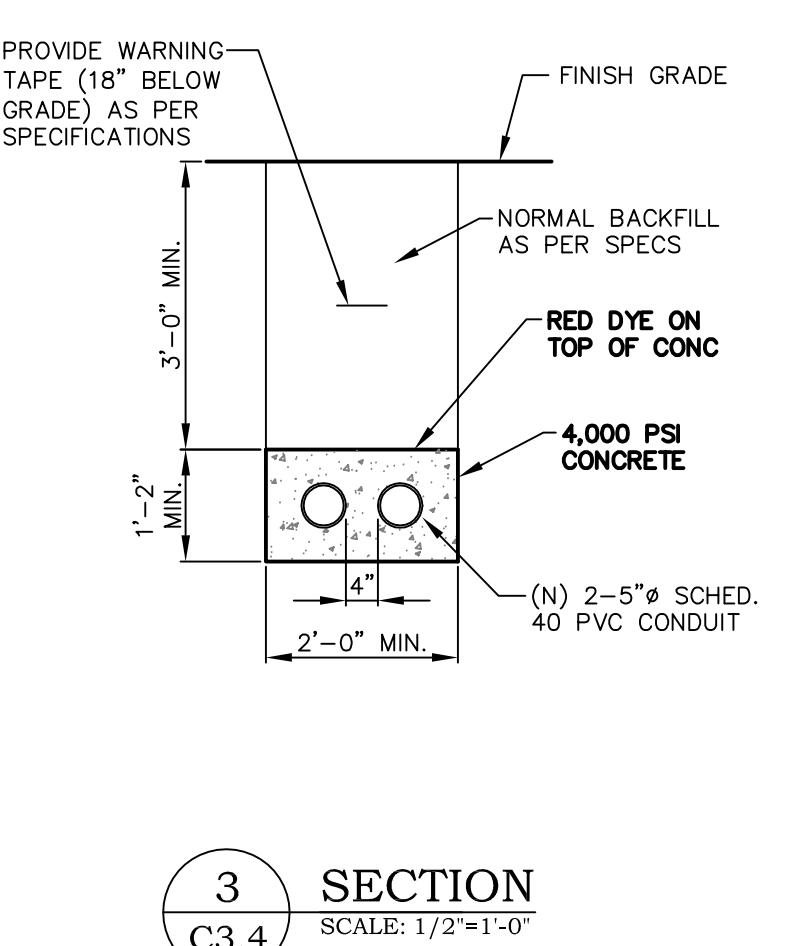
**1 TYPICAL TRENCH DETAILS**  
SCALE: NOT TO SCALE

- NOTES:
1. ALL BACKFILL MATERIAL IS SUBJECT TO AUTHORITY APPROVAL.
  2. CLASS A BEDDING: APPROVED NATIVE SOIL, COARSE SAND, GRAVEL, OR CRUSHED STONE, HAVING A MAXIMUM STONE SIZE OF 1/2 INCH.
  3. SELECT BACKFILL: CLEAN DRY EARTH WITH A MAXIMUM STONE SIZE OF 2 INCHES.
  4. ORDINARY BACKFILL: CLEAN DRY EARTH WITH A MAXIMUM STONE SIZE OF 6 INCHES.
  5. PVC BEDDING SHALL BE PENNDOT 2A MODIFIED STONE FOR TRENCHES ABOVE THE GROUNDWATER TABLE AND PENNDOT 2B STONE FOR TRENCHES BELOW THE WATER TABLE.

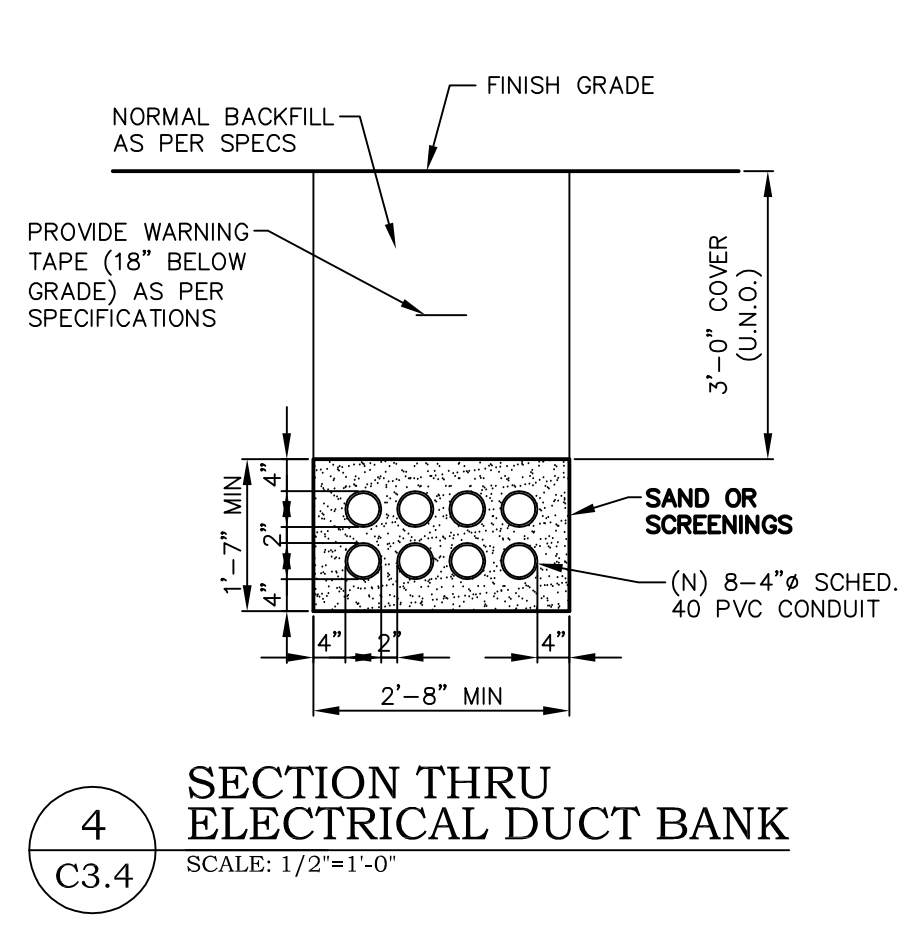


**2 THRUST BLOCKING SYSTEM**  
SCALE: NOT TO SCALE

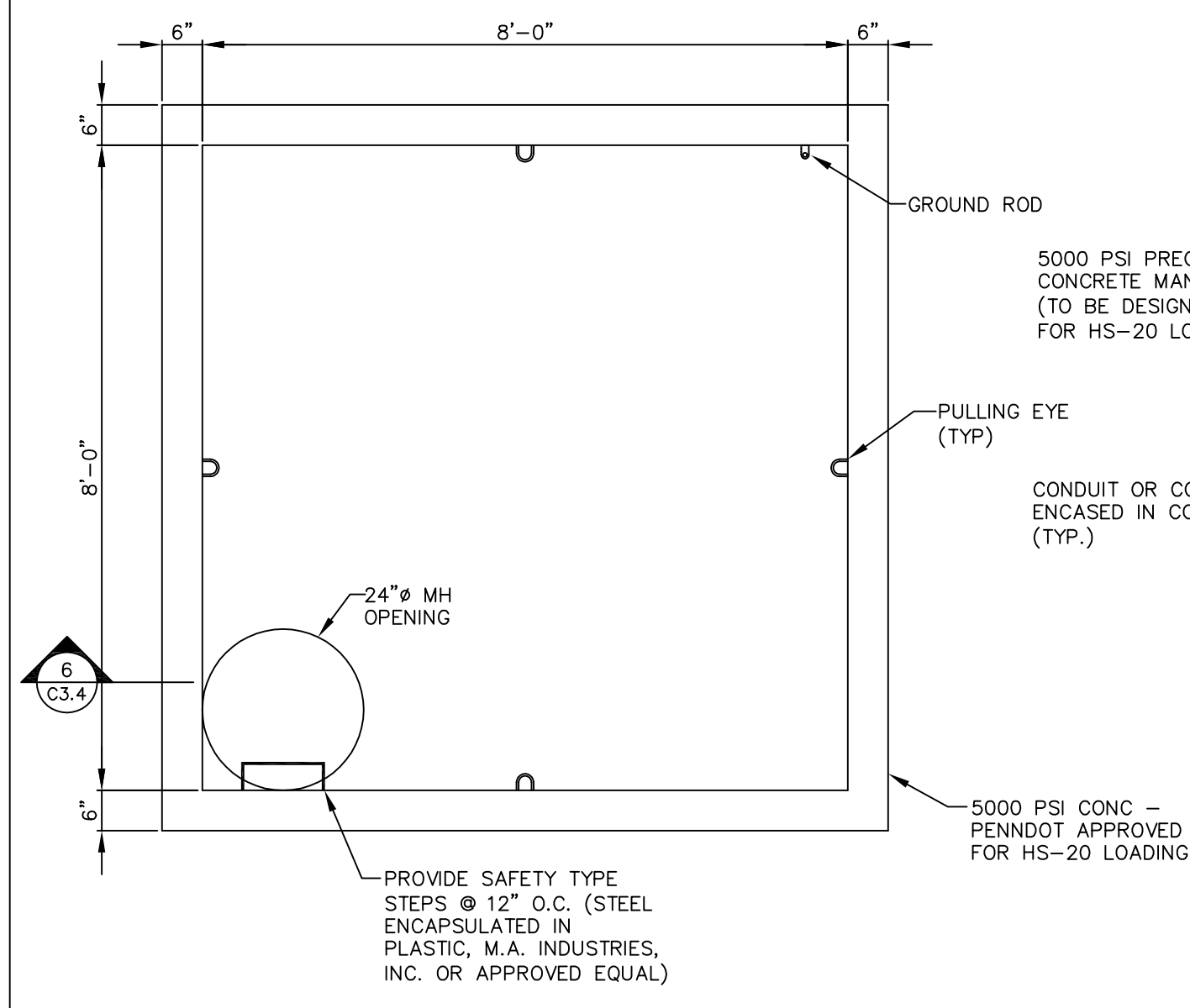
PIPE SIZE	REACTION BACKING DIMENSION					
	A	B	C	D	E	F
6"	1'-3"	2'-2"	3'-4"	1'-10"	1'-0"	1'-0"
4"	1'-0"	2'-0"	3'-2"	1'-8"	1'-0"	1'-0"
3"	1'-0"	2'-0"	3'-0"	1'-6"	1'-0"	1'-0"



**3 SECTION**  
SCALE: 1/2"=1'-0"

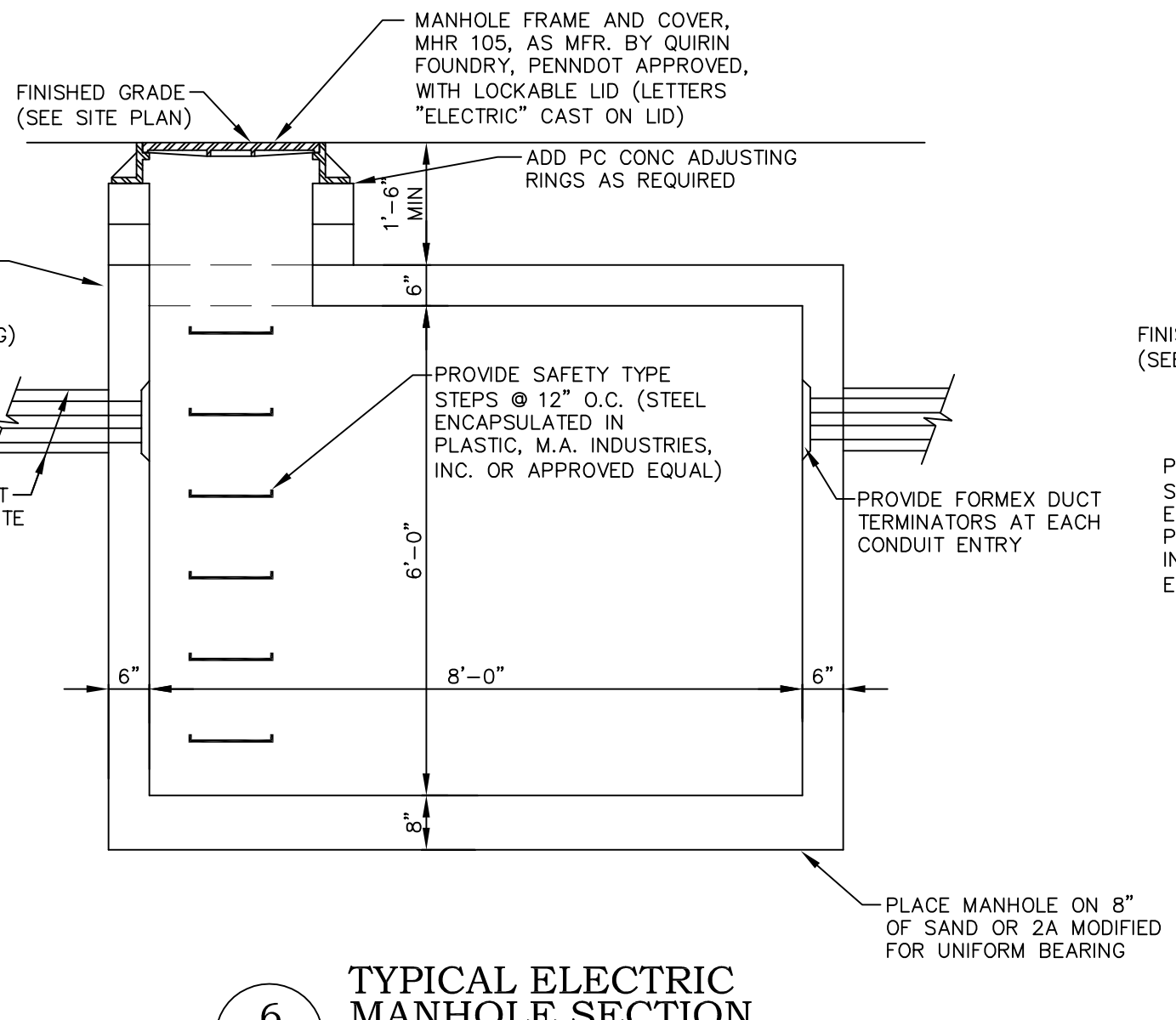


**4 SECTION THRU ELECTRICAL DUCT BANK**  
SCALE: 1/2"=1'-0"

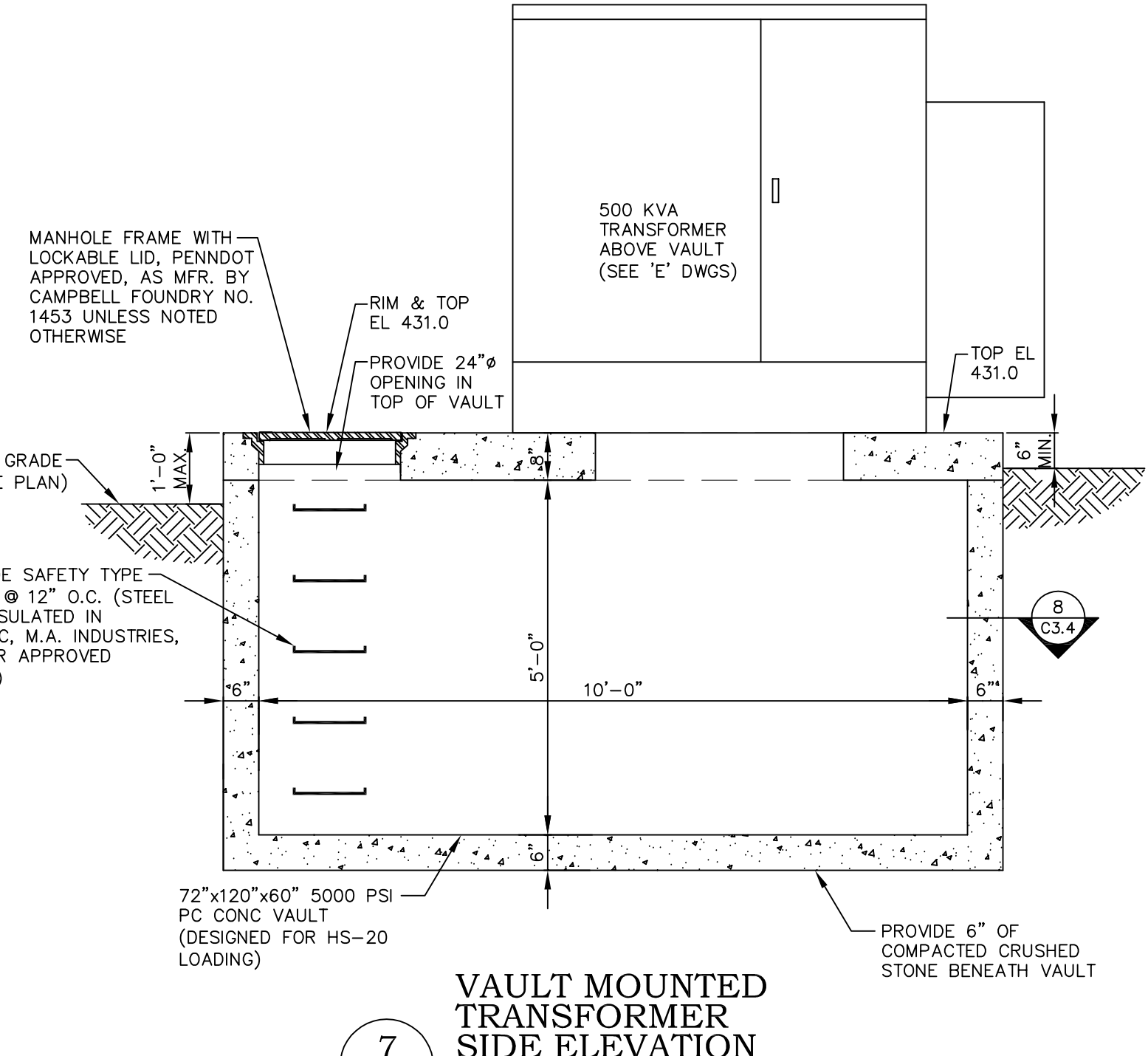


**5 TYPICAL ELECTRIC MANHOLE PLAN DETAIL**  
SCALE: 1/2" = 1'-0"

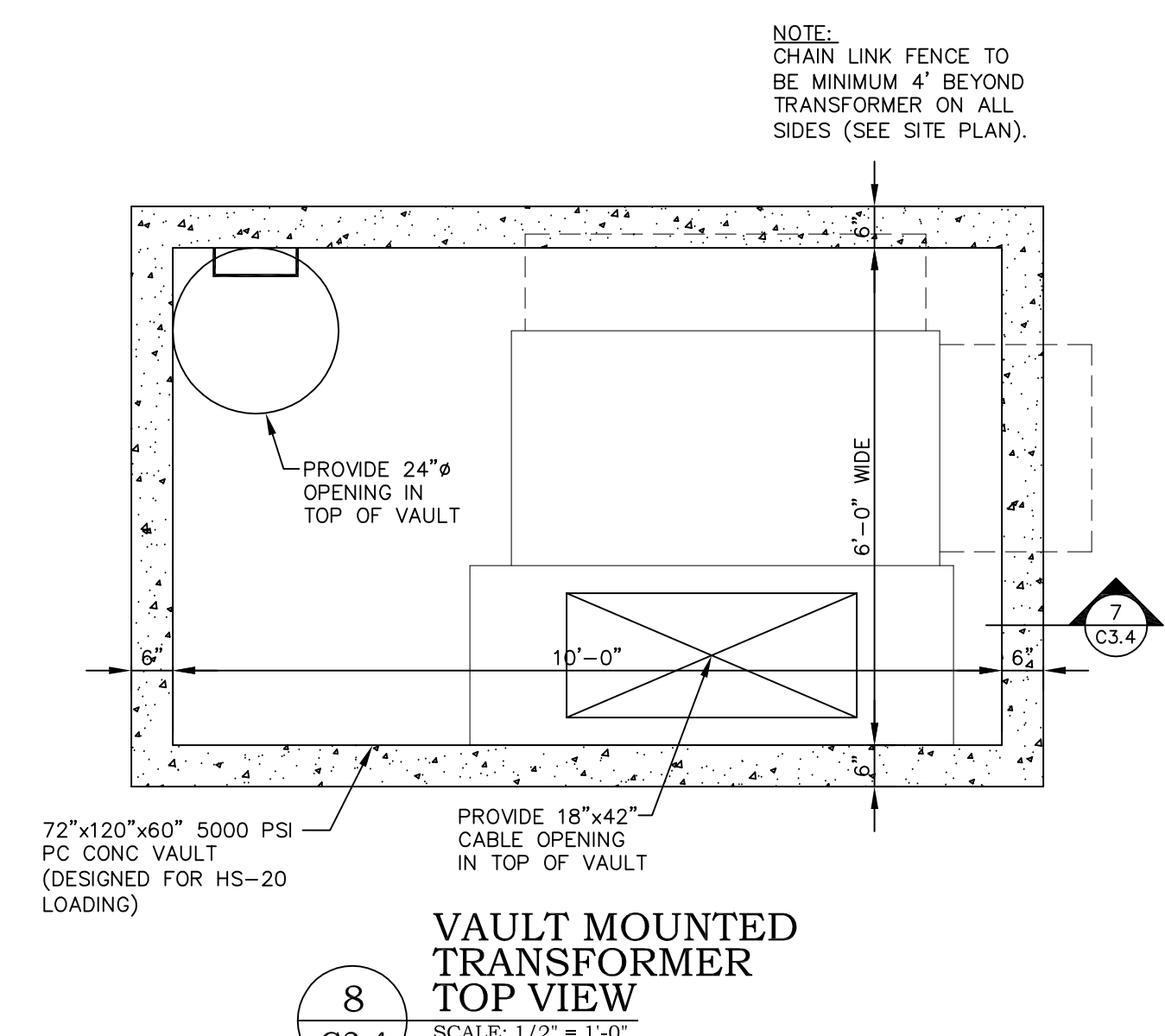
SUBMIT SHOP DRAWINGS FOR APPROVAL



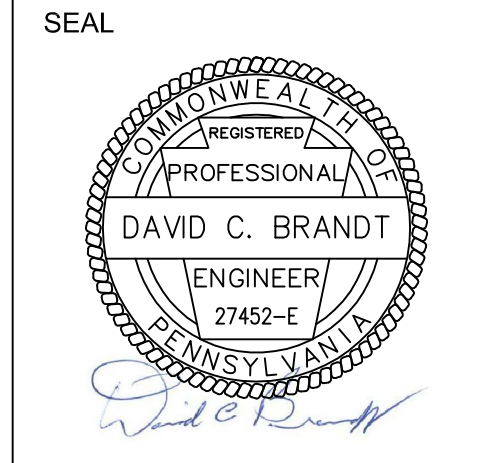
**6 TYPICAL ELECTRIC MANHOLE SECTION**  
SCALE: 1/2" = 1'-0"



**7 VAULT MOUNTED TRANSFORMER SIDE ELEVATION**  
SCALE: 1/2" = 1'-0"



**8 VAULT MOUNTED TRANSFORMER TOP VIEW**  
SCALE: 1/2" = 1'-0"



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SHEET TITLE  
**SITE UTILITIES SECTIONS AND DETAILS**

DRAWN BY: BJD  
CHECKED BY: KRM

SHEET NO.  
**C3.5**  
SHEET NO. 14 OF 14  
PROJECT NO. 0300.014  
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