

**BOARD OF COMMISSIONERS**

**Revised AGENDA**

**Monday, May 11, 2015 - 6:30 PM**

Pledge of Allegiance

Notice of Executive Session preceding the Board of Commissioners meeting of May 11, 2015

1. Consent Agenda

- a) Disbursement Review and Approval: 2015-4C, 2015-5A
- b) Consideration of a Motion to approve the Certificate of Appropriateness:
  - HARB-2015-05 – 120 & 124 Bloomingdale Avenue – This project has been revised from the prior submission to consist of five (5) dwelling units, two (2) singles and one (1) 3 unit building on the property at 124 Bloomingdale Avenue and a non-conforming commercial building will revert back to a single family detached dwelling at 120 Bloomingdale Avenue.
  - HARB-2015-06 – 211 Orchard Way – Addition and renovation.
  - HARB-2015-07 – 298 South Aberdeen Avenue – Removal of existing attached 1-story entry structure and two 2 car garage. Proposed new attached 1-story entry structure (on existing footprint) and new attached 1 ½-story three (3) car garage. Replacement of existing sunroom windows and doors.
  - HARB-2015-08 – 411 Louella Avenue - Restore and renovate carriage house, addition to house and replace stand-alone garage with attached garage.
  - HARB-2015-09 – 427 Midland Avenue – Addition and new deck.
- c) Authorization to Receive Bids for the 2015 Superpave Resurfacing Program
- d) Resolution #2015-56 – Awarding the Contract for Pavement Markings/Long Line Striping

2. Resolution #2015-57 – Authorizing the Township to remit \$20,000 to Main Line School Night towards exterior painting of the Creutzburg Center in Harford Park
3. Resident Discussion on Villanova University Project
4. Public Participation
5. Committee Reports

**COMMUNITY DEVELOPMENT**

- A. Ordinance # 2015-03 - (**Introduction**) - Amending Chapter 170 of the Radnor Township Code, “Food Regulations”, by revising the provisions contained therein to reflect amendments to the Department of Agriculture Food Code (7 Pa. Code §§ 46.1 – 46.1201) and the adoption of the Retail Food Facility Safety Act of 2010 (3 Pa.C.S. §§ 5701 – 5714)

**PUBLIC SAFETY**

- B. Ordinance #2015-04 – (**Adoption**) - Section 270-16, Stop Intersections, Adding New Stop Intersections for Oakford Road, Arbordale Road and Creek Drive
- C. Ordinance #2015-05 – (**Adoption**) - Chapter 270, Section 270-31 - Rescinding Handicapped Parking Space on David Drive

**PUBLIC WORKS & ENGINEERING**

D. Resolution #2015-54 – **Preliminary Approval** – Preliminary Approval – Villanova University Housing Project

E. Discussion - Draft PLO Amendment- RETTEW Associates

~~F. Resolution #2015-53 – **Preliminary Approval** – Preliminary Approval – 145 King of Prussia Road (BioMed)~~

**FINANCE & AUDIT**

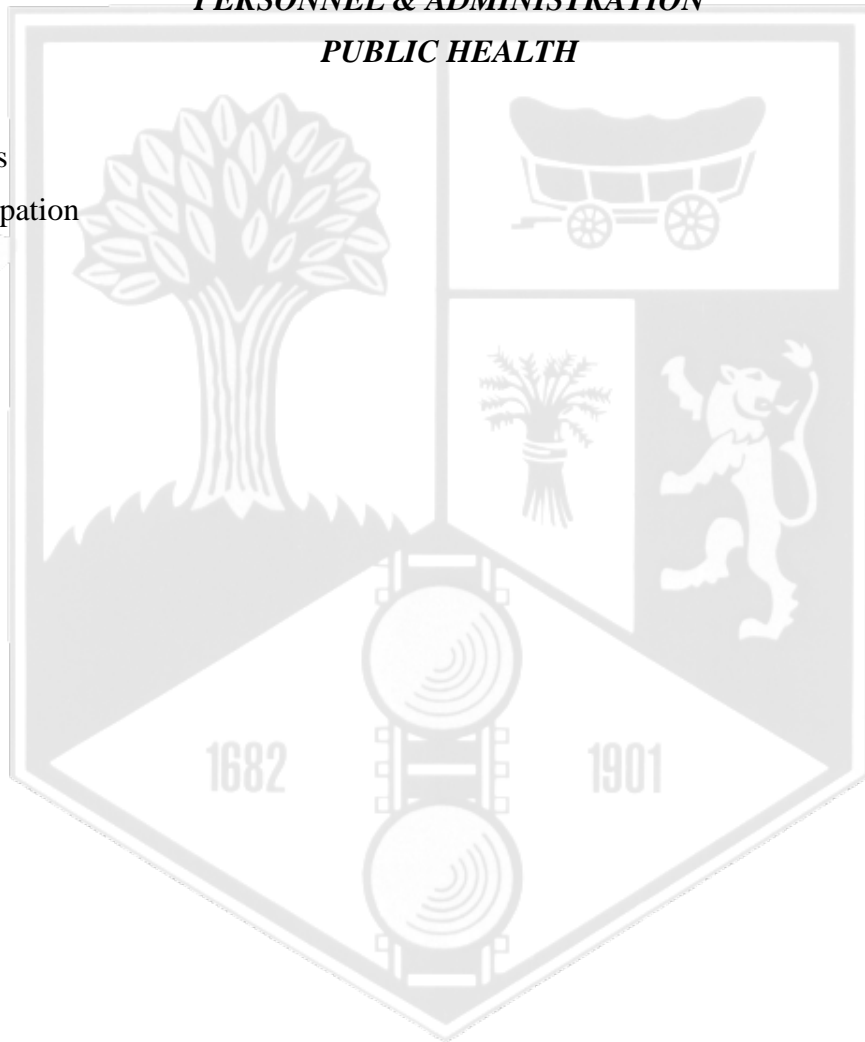
**LIBRARY**

**PARKS & RECREATION**

**PERSONNEL & ADMINISTRATION**

**PUBLIC HEALTH**

- Old Business
- New Business
- Public Participation
- Adjournment



**RADNOR TOWNSHIP**  
**DISBURSEMENTS SUMMARY**  
**May 11, 2015**

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The table below summarizes the amount of disbursements made since the last public meeting held on April 27, 2015. As approved by the Board, the Administration is now making weekly accounts payable disbursement batches and publishing those lists on the Township's web site at the following link. Please refer to those files for a detailed listing of the amounts paid by vendor by account code.

Link: <http://www.radnor.com/egov/apps/document/center.egov?path=browse&id=22>

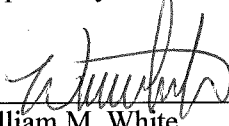
Fund (Fund Number)	2015-4C April 24, 2015	2015-5A May 1, 2015	Total
General Fund (01)	138,053.12	128,419.86	\$266,472.98
Sewer Fund (02)	2,214.26	6,412.72	8,626.98
Storm Sewer Management (04)	0.00	12,910.86	12,910.86
Capital Improvement Fund (05)	16,003.00	21,565.59	37,568.59
Police Pension Fund (07)	0.00	6,040.52	6,040.52
Civilian Pension Fund (11)	0.00	5,410.74	5,410.74
Comm. Shade Tree Fund (15)	2,636.00	0.00	2,636.00
Police K-9 Fund (17)	209.27	0.00	209.27
\$8 Million Settlement Fund (18)	0.00	6,980.10	6,980.10
The Willows Fund (23)	175.00	11,522.67	11,697.67
<b>Total Accounts Payable Disbursements</b>	<b>\$159,290.65</b>	<b>199,263.06</b>	<b>\$358,553.71</b>
<i>Electronic Disbursements</i>	n/a	n/a	417,400.00
<b>Grand Total</b>	<b>\$159,209.65</b>	<b>\$199,263.06</b>	<b>\$775,953.71</b>

In addition to the accounts payable checks, the Township also has various electronic payments including payroll, debt service, credit card purchases and fees as well as others from time to time. The attached table reflects all of the electronic payments made since the last public Board meeting as well as those anticipated prior to the next Board meeting.

The Administration has adopted various internal control and processing procedures to insure that amounts obligated are within the budgetary limits established by the Board of Commissioners. Those procedures are monitored on a daily basis by members of the Finance Department and responsible employees of the various departments. The amounts included in the table above have been scrutinized as part of the internal control and processing procedures and have obtained the required approvals prior to disbursement.

If you should have any questions, please contact the Finance Department.

Respectfully Submitted,

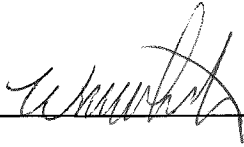
  
 \_\_\_\_\_  
 William M. White  
 Finance Director

**ELECTRONICALLY PAID DISBURSEMENT LISTING**

Estimated Through May 18, 2015

Description	Account No.	Date	Purpose	Amount
Credit Card Revenue Fees - Estimated	Various Funds	5/1/2015	4/15 Credit Card Revenue Processing Fees	\$2,000.00 *
Payroll [Bi-Weekly] Transaction - Estimated	01-various	5/7/2015	Salaries and Payroll Taxes - General Fund	\$400,000.00
Payroll [Bi-Weekly] Transaction - Estimated	02-various	5/7/2015	Salaries and Payroll Taxes - Sewer Fund	\$15,000.00
Payroll [Bi-Weekly] Transaction - Estimated	17-various	5/7/2015	Salaries and Payroll Taxes - K-9 Fund	\$400.00
<b>Period Total</b>				<b>\$417,400.00</b>

Submitted:




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\* Credit card fees are charged to the Township's accounts on the first of the month

<u>Original Estimate</u>			<u>Actual Amount</u>
\$400,000.00	4/23/2015	Salaries and Payroll Taxes - General Fund	\$402,780.11
\$15,000.00	4/23/2015	Salaries and Payroll Taxes - Sewer Fund	\$14,315.31
\$400.00	4/23/2015	Salaries and Payroll Taxes - K-9 Fund	\$135.64
<b>\$415,400.00</b>			<b>\$417,231.06</b>



# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board  
Radnor Township, Pennsylvania



**NAME OF OWNER:** LEE-CARNEY TRACEY A & PATRICK J  
**OWNER ADDRESS:** 211 ORCHARD WAY, WAYNE, PA 19087  
**ADDRESS OF PROPERTY:** 211 ORCHARD WA , WAYNE PA 19087  
**APPLICATION NUMBER:** HARB-2015-06

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

## ADDITION & RENOVATION

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

### NOTES AND/OR CONDITIONS OF APPROVAL:

APPROVED AS SUBMITTED

**ISSUED:** Monday, May 11, 2015

**TOWNSHIP OFFICIAL**

**ACCEPTED BY APPLICANT**

\_\_\_\_\_  
William A. Spingler, President

# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board  
Radnor Township, Pennsylvania



**NAME OF OWNER:** BEERS JAMES A & CAROL S  
**OWNER ADDRESS:** 298 S ABERDEEN AVE, WAYNE, PA 19087  
**ADDRESS OF PROPERTY:** 298 S ABERDEEN AV , WAYNE PA 19087  
**APPLICATION NUMBER:** HARB-2015-07

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

**Remove existing attached 1-story entry structure and two (2) car garage. Proposed new attached 1-story entry structure and new attached 1 1/2-story 3 car garage. Replace existing sunroom windows and doors.**

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

## NOTES AND/OR CONDITIONS OF APPROVAL:

APPROVED AS SUBMITTED

**ISSUED:** Wednesday, May 11, 2016

**TOWNSHIP OFFICIAL**

**ACCEPTED BY APPLICANT**

\_\_\_\_\_  
William A. Spingler, President

# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board  
Radnor Township, Pennsylvania



**NAME OF OWNER:** BARRINGER KENNETH G & WEBER ELIZABET  
**OWNER ADDRESS:** 411 LOUELLA AVE, WAYNE, PA 19087  
**ADDRESS OF PROPERTY:** 411 LOUELLA AV , WAYNE PA 19087  
**APPLICATION NUMBER:** HARB-2015-08

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

**Restore and renovate carriage house, addition to house and replace stand alone garage with attached garage**

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

## NOTES AND/OR CONDITIONS OF APPROVAL:

APPROVED AS SUBMITTED

**ISSUED:** Monday, May 11, 2015

**TOWNSHIP OFFICIAL**

**ACCEPTED BY APPLICANT**

\_\_\_\_\_  
William A. Spingler, President

# CERTIFICATE OF APPROPRIATENESS

Radnor Township Historical and Architectural Review Board  
Radnor Township, Pennsylvania



**NAME OF OWNER:** PATEL MAYUR & REEMA P  
**OWNER ADDRESS:** 427 MIDLAND AVE, ST DAVIDS, PA 19087  
**ADDRESS OF PROPERTY:** 427 MIDLAND AV , WAYNE PA 19087  
**APPLICATION NUMBER:** HARB-2015-09

Subject to the conditions below the above owner, having complied with the Radnor Township Historical and Architectural Review Board (HARB) process, is hereby granted this permit for the

## ADDITION AND NEW DECK

at the address specified and may proceed with the building permit process. If not completed within one year of the date hereof, this permit is void and new application must be made. Owner specifically gives the building inspector or designated official the right to inspect the work during progress and at completion.

### NOTES AND/OR CONDITIONS OF APPROVAL:

APPROVED AS SUBMITTED

**ISSUED:** Monday, May 11, 2015

**TOWNSHIP OFFICIAL**

**ACCEPTED BY APPLICANT**


\_\_\_\_\_  
William A. Spingler, President

# Radnor Township

## PROPOSED LEGISLATION

**DATE:** May 6<sup>th</sup>, 2015

**TO:** Radnor Township Board of Commissioners

**FROM:** Stephen F. Norcini, P.E., Director of Public Works 

**CC:** Robert A. Zienkowski, Township Manager

**LEGISLATION:** Request Authorization to Receive Bids for the 2015 Superpave Street Resurfacing Program

**LEGISLATIVE HISTORY:** This project is the Township's annual resurfacing program. The 2015 project has not previously been before the Board of Commissioners.

**PURPOSE AND EXPLANATION:** The project entails milling the existing surface of the road to maintain curb reveal and remove oxidized asphalt, repairing any areas that are deteriorated (if needed), installing leveling course to maintain proper grade (if needed), and install 1.5" of compacted 9.5 mm Superpave wearing course. The project is bid by unit prices: milling per square yard, base repair per square yard, leveling course per ton, wearing course per ton. Any striping existing on the street has to be repainted. All work is to be done in accordance with the Pennsylvania Department of Transportation standards. The following list is that proposed for 2015, based on estimated pricing. Should the actual lowest qualified bid be favorable to the Township, a street or streets from the fallout list will be paved. Subsequently, if the bid is less favorable, a road may be removed from the primary list. The project will be bid with a completion date of August 31<sup>st</sup>, with liquid damages of \$870 per day for every calendar beyond that date that the project is not completed.

The streets being proposed for resurfacing ( +/- 2.66 miles) are as follows:

Castlefinn Lane – All  
\*Matlock – All  
\*Saw Mill – All

\*Inveray (including Heather & Lindsday Circles) – All  
Brook – from Conestoga to Church  
\*Donna Lane – All

\*These streets have been previously been on the fall out list.

The fall out list is as follows:

Pembroke – various segments  
Windermere – Louella to S. Aberdeen  
Orchard – Brookside to St. Davids  
Wooded – All  
West Wayne – Crestview to Maplewood  
Wooded - All

Brookside – iven to Conestoga  
Louella – Windermere to Pembroke  
St. Davids – Orchard to Midland  
Chamounix – Paul to St. Davids  
Crestview – All

**IMPLEMENTATION SCHEDULE:** 1.) Bids advertised in accordance with Township requirements 2.) Award bids in June 3.) Complete Project by August 31st

**FISCAL IMPACT:** Funding for this project is provided in the Liquid Fuels account: #03-439-4880, with \$721,194 (\$684,474 from SLFF and \$36,720 County Aid) allocated for resurfacing.

**RECOMMENDED ACTION:** I respectfully request the Board of Commissioners authorize the Public Works and Engineering Departments to receive bids for the 2015 Superpave Street Resurfacing Program.

**MOVEMENT OF LEGISLATION:** It is being requested that the Board approve the legislation for this project to provide for the safety of vehicular and pedestrian traffic on the noted streets.

**RESOLUTION NO. 2015-56**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE  
COUNTY, PENNSYLVANIA, AWARDING THE  
CONTRACT FOR LINE STRIPING OF TOWNSHIP  
ROADS**

*WHEREAS*, Radnor Township received a valid quotation for the striping of Township roads

*WHEREAS*, the firm, DBI Incorporated, submitted a proposal in the amount of \$11,217.

*NOW, THEREFORE*, be it *RESOLVED* by the Board of Commissioners of Radnor Township does hereby approve the award of the proposal, Street Line Striping, to DBI Incorporated in the amount of \$11,217.

*SO RESOLVED* this 18<sup>th</sup> day of May, A.D., 2015

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: William A. Spingler

Title: President

ATTEST:

\_\_\_\_\_  
Robert A. Zienkowski  
Manager/Secretary

**Radnor Township**  
**PROPOSED LEGISLATION**

**DATE:** May 6th, 2015

**TO:** Radnor Township Board of Commissioners

**CC:** Robert A. Zienkowski, Township Manager

**FROM:** Stephen F. Norcini, P.E., Director of Public Works *SN*

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**Legislation:** Resolution #2015-56: Award of the Contract for Pavement Markings/Long Line Striping

**LEGISLATIVE HISTORY:** The Public Works Department annually obtains quotations for line striping on Township streets

**PURPOSE AND EXPLANATION:** The Public Works received a valid price proposal from DBI Incorporated, in the amount of \$11,217, to paint approximately 168,974 linear feet of yellow and white pavement markings on Township streets. This work will be done in accordance with the Pennsylvania Department of Transportation requirements. DBI will also supply performance, payment, and maintenance bonds for the work.

**IMPLEMENTATION SCHEDULE:** the work is to be completed by August 31, 2015.

**FISCAL IMPACT:** Funding for this project is provided in the Liquid Fuels account: #03-439-4880.

**RECOMMENDED ACTION:** *I respectfully request the Board of Commissioners approve Resolution 2015-56: Clearance of Surplus Township Vehicles and Equipment*

**MOVEMENT OF LEGISLATION:** It is being requested that the Board of Commissioners approve the legislation for this project.

**RESOLUTION NO. 2015-57**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AUTHORIZING THE TOWNSHIP TO REMIT \$ 20,000.00 TO MAIN LINE SCHOOL NIGHT TOWARDS THE EXTERIOR PAINTING OF THE CRUETZBURG CENTER IN HARFORD PARK.**

*WHEREAS*, Radnor Township owns the property which is leased to Main Line School Night and desires to contribute to the exterior painting of the Creutzburg Center in Harford Park; and

*WHEREAS*, Main Line School Night has received an estimate in the amount of \$46,800.0 from Nolan Painting to paint the exterior areas of the building.

*NOW, THEREFORE*, be it *RESOLVED* that the Radnor Township Board of Commissioners does hereby authorize the Township to remit \$20,000.00 to Main Line School Night towards the exterior painting of the Creutzburg Center in Harford Park.

*SO RESOLVED* this 11<sup>th</sup> day of May, A.D., 2015.

**RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS**

By: \_\_\_\_\_  
Name: William Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Secretary





May 1, 2015

Radnor Township Management  
301 Iven Avenue  
Wayne, PA 19087

Dear Mr. Zienkowski,

Thank you for meeting with me in April.

Main Line School Night respectfully requests a financial contribution of \$20,000 from Radnor Township toward exterior painting of the Creutzburg Center in Harford Park, 260 Gulph Creek Road, Radnor.

As I mentioned during our meeting, painting of the MLSN's Creutzburg Center has become a priority, as the wood is becoming increasingly exposed and we are concerned that very costly and/or irreparable damage will take place. And, as you know, this beautiful building has become quite unsightly, having last been painted in 2003.

With the support of the McLean Contributionship and the MLSN Board, over \$20,000 has been raised toward this project. Radnor's contribution would enable us to complete this increasingly urgent project this summer.

Attached please find an estimate of \$46,800 from Nolan Painting.

I would be happy to discuss any details of this project with you or members of Radnor Township's Board of Commissioners.

Best regards,

Claudia McBride  
Executive Director  
Main Line School Night  
Phone: 610.687.2145  
Email: [cmcbride@mainlineschoolnight.org](mailto:cmcbride@mainlineschoolnight.org)



181 West Hillcrest Ave  
Havertown, PA 19083

Estimator: Kevin Nolan  
Phone: (610) 642-1415

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April 24, 2015

Main Line School Night  
260 Gulph Creek Rd  
Wayne Pennsylvania 19087  
[610.687.0460](tel:6106870460)  
[cmcbride@mainlineschoolnight.org](mailto:cmcbride@mainlineschoolnight.org)

Thank you for the opportunity to quote the following prices:

**I. Job Description**

- **Exterior Areas of Building:** To properly prepare and Paint Windows, Clapboard Siding, Cedar Shingles, Wood Shutters (both sides), Doors, Dormers, Window Sash, Soffits and Fascia Trim, Porch Ceiling, Railings, Interior Porch, and all other Wood Trim.
- Includes and Misc Carpentry Repairs and Power Washing
- Includes Color Consultations to achieve a simpler color scheme

**Total \$46,800.00**

**Please take special note of job description. Nolan Painting Inc. is not required to perform any projects or tasks not specifically**

**1. Getting Started**

Upon your acceptance of this proposal an amendment will be sent to you with approximate start and completion dates.

An invoice for your deposit (1/3 of total cost) will be emailed to you. Deposit (credit card preferred) must be received within (7) days of schedule confirmation to secure your date.

You may accept this proposal by email. It is not necessary to print it out and send it back to us.

**2. Interior Preparation (If Applicable)**

Nolan Painting Inc. will cover and protect all furnishings and floors. Hardware will be removed and re-installed. This includes curtain rods, window latches, switch plates and cover plates. Door knobs, thermostats and alarm system hardware will not be removed.

We will scrape, patch and sand walls. Before applying final coats, we will re-inspect and patch walls as necessary. Wall and ceiling cracks will be filled with spackling compound. When the compound is dry, we will sand it smooth. More advanced cracks will receive an application of fiberglass joint tape, and will be spackled and sanded smooth. We also will scrape and sand rough areas created by previous paint failure.

Glossy surfaces and trim will be sanded and cleaned to assure proper paint adhesion. We will apply a stain sealer to water and tannin wood stains.

Nolan Painting Inc. will caulk cracks in wood trim and along wall/trim interfaces.

Nolan Painting Inc. will clean up and vacuum work areas at the end of each day. Debris will be taken away.

When the job is completed, unused paint will be labeled and left at the job site.

Due to the concealed conditions of existing wall coverings, it may be impossible to estimate the labor of removal and preparation necessary to achieve a properly painted or wall papered surface. Under normal conditions wall covering can be removed properly without damage to the surface; however, sometimes the substrate has not been sealed properly or other hidden conditions may exist. Due to these factors, added labor and material cost may become necessary.

**3. Exterior Preparation (If Applicable)**

Nolan Painting Inc. will protect all necessary areas with drop cloths.

Surfaces will be scraped of peeling paint and sanded. Glossy surfaces will be sanded to assure proper adhesion.

Deteriorated glazing compound around windows will be replaced, and window sashes will be razored clean and washed. (If applicable.)

All cracks in wood will be filled with latex caulk to lock out moisture. If wood repairs are needed, customer will be notified. Customer may contract with Nolan Painting Inc. to do repairs. (See Section 10.)

Areas of bare wood will be primed.

When the job is completed, paint residue and debris will be cleaned up and taken away. Unused paint will be labeled and left at job site.

Because of conditions unseen, additional repairs/costs may become necessary. Customer will be notified if any such conditions exist at

time of discovery and will be required to sign an Additional Work Order for said repairs.

#### **4. Paint**

Colors **must** be chosen 1 week prior to the start date. An additional cost will be charged for color changes made after work begins.

**Please Note :** Some accent colors are inherently less opaque and may require more than two coats to achieve a satisfactory and uniform appearance. Therefore, using these colors may result in additional costs. If these colors are selected, customers will be notified before work begins in that area.

All surfaces will receive two (2) coats of finish paint and primed where necessary.

#### **5. Marketing Agreement**

Nolan Painting Inc. would like to display a yard sign on your lawn.

Please return a signed report card about Nolan Painting Inc.'s work within 10 days of completion of your project.

#### **6. PA Home Improvement Consumer Protection Act**

By law, as of July 1, 2009, all home improvement contractors must comply, be registered and be in good standing with the state of Pennsylvania. It is unlawful for any home improvement contractor to perform work in your home unless properly registered. This act is for the protection of the homeowner, and allows you specific legal rights. PA Home Improvement contact number: 1-888-520-6680.

To check the list of properly registered contractors, visit [www.attorneygeneral.gov/hic.aspx](http://www.attorneygeneral.gov/hic.aspx) and click on "List of Registered Contractors." Nolan Painting Inc. PAHIC Registration Number is 020814.

#### **7. Work Standard**

Nolan Painting Inc. is a member of the Painting and Decorating Contractors of America.

All work is to be completed in a workman-like manner according to standard practices. Worker/s will remain on job until completion of project. Work site will be cleaned daily and upon project completion. All agreements are contingent upon the absence of strikes, accidents or delays beyond our control.

Our work procedures follow the standards of the PDCA (Painting and Decorating Contractors of America, [www.pdca.org](http://www.pdca.org)).

The painting contractor will produce a "properly painted surface." A "**properly painted surface**" is one that is uniform in color and sheen. It is one that is free of foreign material, lumps, skins, sags, holidays, misses, strike-through or insufficient coverage. It is a surface that is free of drips, spatters, spills or over-spray caused by the contractors' workforce performance. Compliance to meeting the criteria of a "properly painted surface" shall be determined when viewed without magnification at a distance of one meter or more under normal lighting conditions and from a normal viewing position.

#### **8. Customer Responsibility**

For your safety, no one other than employees of Nolan Painting Inc. is permitted in work areas. **As with all home improvement projects, children and pets should be kept away from work areas and from Nolan Painting Inc. supplies and equipment.**

It is essential that work areas be available exclusively to us, free from other tradespeople, installers, cleaners, etc. If our working space is interfered with, Nolan Painting Inc. may leave the job and additional charges may be incurred.

Alarms must be turned off while work is in progress.

The customer must be available to meet with Nolan Painting Inc. crew leader on the last day of job.

#### **9. Special Considerations for Homes Built Prior to 1978**

Nolan Painting Inc. will give you a very informative pamphlet, "Renovate Right." Send your acknowledgement of receipt to knolan@pipelinedeals.com or 181 West Hillcrest Ave, Havertown, PA 19083.

Nolan Painting Inc. is a certified contractor in accordance with the EPA Repair, Renovation, and Painting Rule. (Certification # NAT-26976-1, expiring April 28, 2015.)

#### **10. Unforeseen Conditions**

Because of unforeseen conditions, additional repairs/costs may become necessary. The customer will be notified if any such conditions exist at time of discovery and will be required to sign an Additional Work Order for said repairs.

#### **11. Cost**

We propose to furnish material and labor -- complete and in accordance with the above specifications -- for the sum of all as stated in the beginning of this document. If you only want some of the tasks completed from the full job description, additional pricing may be required. The quoted price is valid for 30 days, unless otherwise noted.

This is only a proposal and your acceptance is subject to our approval in order to make this contract binding.

If after you agree to this work, you desire any changes or additional work, please contact us; the cost of all revisions must be agreed upon in writing. Workers are instructed not to undertake additional work without authorization.

#### **12. Insurance**

Nolan Painting Inc.'s liability insurance and workman's compensation insurance are carried by Zurich Insurance Company, The Addis Group 610-279-8550. Please feel free to contact our insurance carrier for a copy of a Certificate of Insurance.

#### **13. Limited Warranty**

**Nolan Painting Inc.'s warranty covers labor and material for a period of 2 years. If paint failure appears, we will supply labor and materials to correct the**

**condition without cost. This warranty is in lieu of all other warranties, expressed or implied. Our responsibility is limited to correcting the condition as indicated above.**

**This warranty excludes -- and in no event will Nolan Painting Inc. be responsible for -- consequential or incidental damages caused by accident or abuse, normal wear and tear, temperature changes, settlement or moisture; i.e., nail pops or cracks caused by expansion and/or contraction. Cracks will be properly prepared as indicated at time of job, but will not be covered under this warranty.**

**The exclusion also includes: Painted or stained horizontal walking surfaces (i.e. decks, floors and steps), dirt and mildew accumulation; paint failure due to rotted wood, structural defects, moisture intrusion, failure of previous paint coatings and insect infestation.**

**Nolan Painting Inc. is not responsible for differences in paint color when performing warranty work.**

**This warranty is transferable.**

#### **14. Right of Rescission**

An individual signing a home improvement contract, except as provided in the emergency provisions of section 7 of the December 17, 1968 (P.L. 1224, No. 387), known as the Unfair Trade Practices and Consumer Protection Law, shall be permitted to rescind the contract without penalty regardless of where the contract was signed, within three business days of the date of signing.

#### **15. Start and Completion Date and Payment Schedule**

Upon your acceptance of this proposal an amendment will be sent to you with approximate start and completion dates, and dollar amount of deposit required prior to start date (1/3 of total cost). The balance is to be paid in full to the crew leader on the last day of

the job. Progress payments will be required throughout the course of the job on projects more than \$10,000.00.

Thank you for choosing Nolan Painting. As a small business we appreciate your business. Credit card companies charge us a fee for every credit card transaction. If possible, we prefer a check for your payment.

**16. Acceptance of proposal**

**Please indicate your acceptance of this proposal by signing this copy and returning to our office or reply by email with your acceptance.**

By accepting this contract, I acknowledge that I have read and understand the terms of this proposal.

\_\_\_\_\_ **Date** \_\_\_\_\_  
**Estimators Signature**

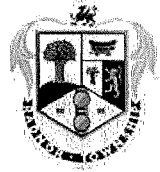
\_\_\_\_\_ **Date** \_\_\_\_\_  
**Customer Signature**

Resident Discussion on  
Villanova University  
Project

# Public Participation



**Radnor Township**  
**PROPOSED LEGISLATION**  
**INTRODUCTION**



**FROM:** Kevin W. Kochanski, Community Development Director  
**SUBJECT:** 2013 Food Code Regulations  
**DATE:** April 22, 2015

---

**LEGISLATION:**

Ordinance #2015-03 amends Chapter 170 of the Radnor Township Code, "Food Regulations", by revising the provisions contained therein to reflect amendments to the Department of Agriculture Food Code (7 Pa. Code §§ 46.1 – 46.1201) and the adoption of the Retail Food Facility Safety Act of 2010 (3 Pa.C.S. §§ 5701 – 5714).

**LEGISLATIVE HISTORY:**

The existing Chapter 170 regulations are based on the 2003 Department of Agriculture Food Code. In mid-2014, the State of Pennsylvania passed the 2013 Department of Agriculture update to these regulations. The proposed ordinance will make Radnor Township's regulations consistent with the updated State's regulation and the Retail Food Facility Safety Act of 2010.

**FISCAL IMPACT:**

This ordinance is not expected to have any impact on the Budget.

**RECOMMENDED ACTION:**

I would respectfully request that the Ordinance be Introduced on May 11, 2015 and a hearing date of June 15, 2015 be set.

Thank you for your consideration.

**ORDINANCE NO. 2015-03**

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING CHAPTER 170 OF THE RADNOR TOWNSHIP CODE, "FOOD REGULATIONS", BY REVISING THE PROVISIONS CONTAINED THEREIN TO REFLECT AMENDMENTS TO THE DEPARTMENT OF AGRICULTURE FOOD CODE (7 Pa. Code §§ 46.1 – 46.1201) AND THE ADOPTION OF THE RETAIL FOOD FACILITY SAFETY ACT OF 2010 (3 Pa.C.S. §§ 5701 – 5714).**

*The Radnor Township Board of Commissioners does hereby ENACT and ORDAIN, as follows:*

**ARTICLE I.**

§ 170-1 of the Radnor Township Code, entitled "Adoption of code by reference", is hereby renamed "State act and regulations adopted by reference", and the contents of § 170-1 is hereby amended to read as follows:

**§ 170-1. State act and regulations adopted by reference**

Certain documents on file in the office of the Secretary of the Township of Radnor, being marked and designated as the "Department of Agriculture Food Code" (7 Pa. Code §§ 46.1 – 46.1201) ("PA Food Code") and the "Retail Food Facility Safety Act of 2010" (3 Pa.C.S. §§ 5701 – 5714) ("PA Food Safety Act") (under which statutory provisions the Code regulations were issued) are hereby adopted as the Food Code of Radnor Township, Delaware County, Pennsylvania, in the Commonwealth of Pennsylvania, for the control and regulation of food facilities as herein provided; and all the provisions, penalties, conditions and terms of the Department of Agriculture Food Code and the Retail Food Facility Safety Act of 2010, are hereby referred to, adopted and made a part hereof as if fully set forth in this chapter, with certain additions, deletions and amendments as set forth in this chapter.

**ARTICLE II.**

The contents of § 170-2 of the Radnor Township Code, entitled "Modifications", are hereby deleted in its entirety and the following new language is substituted, so that § 170-2 reads:

**§ 170-2. Modifications**

A. The following sections and subsections of the PA Food Code are hereby added, deleted, or amended as set forth below:

1. 7 Pa. Code § 46.3. Definitions.

(a) Department - Delete the reference to "Department of Agriculture" and insert the "Department of Community Development of Radnor Township" in its place, so that the definition of "Department" reads as follows:

*Department* – The Department of Community Development of Radnor Township. The term is synonymous with the term "regulatory authority" in Subpart 1-201 of the Model Food Code, regarding applicability and terms defined.

(b) Insert the term, and definition, of "Director" to read as follows:

*Director* – The Director of Community Development charged with the administration and enforcement of this code, or his duly authorized representative.

(c) License - Delete the current definition and insert new language to read as follows:

*License* – An annual license issued by the Department of Community Development to operate a public eating and drinking place, a food establishment, a retail food establishment, food facility or a mobile food facility. License fees shall be charged in accordance with Chapter **162** (Fees) of the Township Code.

(d) Licensor - Delete the current definition and insert new language to read as follows:

*Licensor* – The "Department of Community Development of Radnor Township".

(e) Delete the term, and definition, of "Secretary."

(f) Retail food facility – Revise the definition to read as follows:

*Retail food facility* – A public eating or drinking place or a retail food establishment located within the Township of Radnor. The term is synonymous with the term "food establishment" in Subpart 1-201 of the Model Food Code.

(g) Insert the term, and definition of, "Township" to read as follows:

*Township* – The Township of Radnor, Delaware County, in the Commonwealth of Pennsylvania.

2. Subchapter H of the PA Food Code, ADMINISTRATIVE

PROCEDURES (7 Pa. Code § 46.1101 – 46.1144)

(a) Delete the reference to, and address of, the “Department of Agriculture” in § 46.1102(b) and insert the term, and address, of the “Department of Community Development of Radnor Township” in its place, so that § 46.1102(b) reads as follows:

(b) *Written request.* A person seeking an approval from the Department or a licensor under this chapter shall submit a written request for approval to the entity from which approval is sought. If approval is sought from the Department, the written request shall be mailed or delivered to the following address:

Department of Community Development of Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

(b) Add the following sentence to § 46.1141(a): “Such license shall be conspicuously displayed on the premises as specified in § 46.1144(1).” § 46.1141(a) should read as follows:

(a) *General requirement.* A person may not operate a retail food facility without a valid license issued by the Department or licensor, unless otherwise provided in subsection (b). Such license shall be conspicuously displayed on the premises as specified in § 46.1144(1).

(c) Revise, delete, and renumber the current contents of § 46.1141(c), “License interval”, so that § 46.1141(c) reads as follows:

(c) *License interval.*

(1) Except as set forth in Paragraph (c)(2), a license certificate issued by the Department shall be granted for a period of one year, on a calendar-year basis. Licenses issued during the year will expire at the end of the calendar year, at which time a new license fee shall be paid. Fees charged shall be in accordance with Chapter 162 (Fees) of the Code of the Township of Radnor.

(2) *6 month license interval*

(i) The license interval is 6 months with respect to a retail food facility that serves a highly susceptible population or that conducts specialized processes such as smoking, curing or reduced oxygen packaging to extend shelf life.

(ii) Examples of the type of retail food facility that would typically be subject to the 6-month license interval in subparagraph (i) are preschools, hospitals, nursing homes and establishments conducting processing at retail.

(iii) The license interval for a retail food facility is 6 months if the retail food facility...is newly-licensed or has not yet demonstrated to the Department, through historical documentation, that it has achieved and documented active managerial control of the foodborne illness risk factors in paragraph (1). Active managerial control is achieved and documented when the conditions in subsection (d) are achieved by the licensee.

(d) The following language should be added to both §§ 46.1143(a)(4) and 46.1143(b): “Fees charged shall be in accordance with Chapter 162 (Fees) of the Code of the Township of Radnor.”

§ 46.1143(a)(4) should read as follows:

(4) The required fee is submitted. Fees charged shall be in accordance with Chapter 162 (Fees) of the Code of Radnor Township.

§ 46.1143(b) should read as follows:

(b) *License renewal.* The retail food facility operator of an existing retail food facility shall submit an application, the required fee and be in compliance with this chapter prior to issuance of a renewed license by the Department or a licenser. Fees charged shall be in accordance with Chapter 162 (Fees) of the Code of Radnor Township.

(e) Insert a new § 46.1145, entitled “Violations and Penalties”, to the Food Code to read as follows:

§ 46.1145. Violations and penalties. Any person, firm, or corporation who shall violate any provision of this code shall, upon conviction thereof, be subject to a fine of not more than \$1,000. Each day that a violation continues shall constitute a separate offense.

B. The following sections and subsections of the PA Food Safety Act (3 Pa.C.S. §§ 5701 – 5714) are hereby added, deleted, or amended as set forth below:

1. § 5702. Definitions.

- (a) Department - Insert the term, and definition of, "Department" to read as follows:

*Department* – The Department of Community Development of Radnor Township. The term is synonymous with the term "regulatory authority" in Subpart 1-201 of the Model Food Code, regarding applicability and terms defined.

- (b) Licensor - Delete the current definition and insert new language to read as follows:

*Licensor* – The "Department of Community Development of Radnor Township.

- (c) Retail food facility – Revise the definition to read as follows:

*Retail food facility* – A public eating or drinking place or a retail food establishment located within the Township of Radnor. The term is synonymous with the term "food establishment" in Subpart 1-201 of the Model Food Code

2. § 5703. License required.

- (a) § 5703(b). Exempt retail food facilities – The provision contained therein which reads: "If the licensor is the department, the exemption shall be accomplished by order of the secretary and published in the Pennsylvania Bulletin. If the licensor is an entity other than the department, the exemption shall be accomplished by order of the local government unit or units having jurisdiction over the licensor. A retail food facility that is exempted from the license requirements under this section shall remain subject to inspection and all other provisions of this subchapter."

Shall be revised to read as follows:

If the licensor is the department, the exemption shall be accomplished by order of the local government unit or units having jurisdiction over the licensor. A retail food facility that is exempted from the license requirements under this section shall remain subject to inspection and all other provisions of this subchapter.

- (b) § 5703(d) – Revise to read as follows:

*Application requirement.* Any person owning or operating or desiring to operate a retail food facility within this Township shall make

application for a license to the department on forms furnished by the department. The forms shall, at a minimum, set forth such information as the department may require. Application forms shall include the name and address of the applicant, together with all the other information deemed necessary to identify the applicant, provide contact information for the applicant, identify the location of the retail food facility that is the subject to the application and facilitate the department's processing of the application.

(c) § 5703(e)(2) – Delete in its entirety.

(d) § 5703(f) – Delete in its entirety.

(e) § 5703(i)(2)(i) – Revise to read as follows:

If a retail food facility licensed by the department is in violation of a provision of this subchapter, or of a regulation promulgated under authority of this subchapter, or of any other act related to public health and being applicable to retail food facilities, the department may suspend or revoke the license. The suspension of a license shall be terminated when the violation for which it was imposed has been found, upon inspection by the licensor, to have been corrected. Whenever a license is suspended or revoked, no part of the fee paid therefore shall be returned to the proprietor.

(e) § 5703(j) – Delete the current contents and insert new language to read as follows:

(j) *Fees.* “Fees charged shall be in accordance with Chapter 162 (Fees) of the Code of the Township of Radnor.”

3. § 5707. Powers of department.

Revise §§ 5707(b) and 5707 (c) to read as follows:

**(b) Food service at schools and organized camps.—**

(1) The Department shall provide for the inspection of a food service at a school and shall require that school food service personnel receive the necessary training in accordance with the standards applied to retail food facilities for schools located in areas in which the Department itself is the licensor.

(2) The Department shall provide for the inspection of a food service at organized camps and shall require that food service personnel at organized camps receive the necessary training in

accordance with the standards applied to retail food facilities for organized camps located in areas in which the Township department is itself the licensor.

**(c) Inspection.**--If a licensor fails to inspect a retail food facility as required under section 5703(e)(relating to license required), the Department of Agriculture of the Commonwealth shall have the authority to license and inspect all retail food facilities under that licensor's jurisdiction, and the licensor that failed to comply with the inspection requirement shall not charge or collect any fee for licensing subject retail food facilities. If the Department of Agriculture of the Commonwealth conducts an inspection, it shall, within 30 days, provide the licensor a copy of the inspection report.

4. § 5711. Toilets, sinks and drains

The following language should be added to § 5711: "A plumbing system shall be designed, constructed and installed in accordance with Chapter **218** (Plumbing Standards) of the Code of the Township of Radnor. All plumbing systems and hoses conveying water shall be constructed and repaired with approved materials in accordance with Chapter **218** (Plumbing Standards) of the Code of the Township of Radnor. At least one toilet and not fewer than the toilets (and urinals, if used), shall be provided in accordance with Chapter 218 (Plumbing Standards) of the Code of the Township of Radnor."

§ 5711 should read as follows:

All toilets, hand-wash sinks, tubs, sinks and drains used in or in connection with any retail food facility shall at all times be kept in a clean and sanitary condition. A plumbing system shall be designed, constructed and installed in accordance with Chapter **218** (Plumbing Standards) of the Code of the Township of Radnor. All plumbing systems and hoses conveying water shall be constructed and repaired with approved materials in accordance with Chapter **218** (Plumbing Standards) of the Code of the Township of Radnor. At least one toilet and not fewer than the toilets (and urinals, if used), shall be provided in accordance with Chapter 218 (Plumbing Standards) of the Code of the Township of Radnor.

5. 3 Pa.C.S. § 5714. Penalties

Delete the current contents and insert new language to read as follows:



Any person, firm, or corporation who shall violate any provision of this act shall, upon conviction thereof, be subject to a fine of not more than \$1,000. Each day that a violation continues shall constitute a separate offense.

**ARTICLE III.** Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

**ARTICLE IV.** Severability. If any clause, sentence, paragraph, section, subsection, part, or provision of this Ordinance is, for any reason, found to be unconstitutional, illegal, or invalid by a court of competent jurisdiction, such unconstitutionality, illegality, or invalidity shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid. It is hereby declared as the intent of the Board of Commissioners of Radnor Township, that this Ordinance would have been adopted had such unconstitutional, illegal, or invalid clause, sentence, paragraph, section, subsection, part, provision, or part thereof not been included therein.

**ARTICLE V.** Effective Date. This Ordinance shall become effective in accordance with the Radnor Township Home Rule Charter.

**ENACTED** and **ORDAINED** by the Board of Commissioners this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

**RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS**

By: \_\_\_\_\_  
Name: William Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert Zienkowski, Secretary

**ORDINANCE 2015-04**

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, AMENDING THE CODE OF THE TOWNSHIP OF RADNOR, SECTION 270-16, STOP INTERSECTIONS, ADDING NEW STOP INTERSECTIONS FOR OAKFORD ROAD, ARBORDALE ROAD AND CREEK DRIVE**

**The Board of Commissioners of the Township of Radnor does hereby ENACT and ORDAIN the following amendments to Section 270-16 as follows:**

Section 1. Section 270-16 Stop Intersections, of the Code of the Township of Radnor is hereby amended as follows:

<b>Stop Sign On:</b>	<b>Direction of Travel:</b>	<b>Intersection With:</b>
<b>Oakford Road</b>	<b>South</b>	<b>Arbordale Road</b>
<b>Oakford Road</b>	<b>North</b>	<b>Arbordale Road</b>
<b>Creek Drive</b>	<b>West</b>	<b>Township Building Driveway- Iven Avenue</b>

Section 2: Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

Section 3: Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

Section 4: Effective Date. This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

**ENACTED** and **ORDAINED** this \_\_\_\_\_ day of \_\_\_\_\_, 2015.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_  
Name: William A. Spingler  
Title: President

ATTEST: \_\_\_\_\_  
Robert A. Zienkowski, Secretary

## LEGAL NOTICE

Notice is hereby given that the Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, will consider for possible enactment an ordinance, of which this Notice is a summary, amending the code of the Township of Radnor, Section 270-16, Stop Intersections, by adding new Stop Intersections for Oakford Road, Arbordale Road and Creek Drive.

The Board of Commissioners will hold a public hearing on May 11, 2015, at 6:30 p.m., at the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087 to consider the ordinance. Copies of the full text of the proposed ordinance are available at the Township offices, the Delaware County Law Library, and the offices of this newspaper during normal business hours.

RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS  
301 Iven Avenue  
Wayne, PA 19087-5297

J. LAWRENCE GRIM, JR.  
JEFFREY G. TRAUGER  
MARY C. EBERLE  
JOHN B. RICE  
DIANNE C. MAGEE \*  
DALE EDWARD CAYA  
DAVID P. CARO \*  
DANIEL J. PACI \* †  
JONATHAN J. REISS  
GREGORY E. GRIM †  
PETER NELSON \*  
PATRICK M. ARMSTRONG  
SEAN M. GRESH  
COLBY S. GRIM  
DIANE M. SODANO \*  
JOEL STEINMAN  
KELLY L. EBERLE \*  
MATTHEW J. MCHUGH  
ALISON PAIGE WASSERMAN\*  
MATTHEW E. HOOVER

\* ALSO ADMITTED IN NEW JERSEY  
\* ALSO ADMITTED IN NEW YORK  
† MASTERS IN TAXATION  
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ESTABLISHED 1895 AND 1956,  
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120TH ANNIVERSARY 1895-2015

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PLEASE REPLY TO:  
PERKASIE

John B. Rice  
e-mail: [jrice@grimlaw.com](mailto:jrice@grimlaw.com)

JOHN FREDERIC GRIM, OF COUNSEL

104 S. SIXTH STREET  
P.O. BOX 215  
PERKASIE, PA. 18944-0215  
(215) 257-6811  
FAX (215) 257-5374

P.O. Box 380  
QUAKERTOWN, PA, 18951-0380  
(215) 536-1200  
FAX (215) 538-9588

P.O. Box 1369  
DOYLESTOWN, PA, 18901  
(215) 348-2199  
FAX (215) 348-2520

April 29, 2015

**VIA ELECTRONIC CORRESPONDENCE**

Delaware County Daily Times  
Attn: Legal Department  
500 Mildred Avenue  
Primos, PA 19018

Re: Traffic Ordinance Amendment - Radnor Township  
Section 270-16

Dear Legal Department:

Enclosed please find for advertisement one (1) time in the May 1<sup>st</sup> edition of your newspaper, a Legal Notice for the possible enactment of the above ordinance by the Board of Commissioners of Radnor Township at their meeting on May 11, 2015. Kindly provide proof of publication and your invoice for the advertisement directly to Radnor Township, c/o Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087. A full copy of the text of the ordinance is enclosed for public inspection. If you have any questions regarding the enclosed, please do not hesitate to contact my office.

Sincerely,

GRIM, BIEHN & THATCHER



By: \_\_\_\_\_  
John B. Rice

JBR/hlp  
Enclosure

cc: Jennifer Destefano (w/encl.) – via email  
Robert A. Zienkowski (w/encl.) – via email

**ORDINANCE NO. 2015-05**

**AN ORDINANCE OF RADNOR TOWNSHIP, DELAWARE COUNTY,  
PENNSYLVANIA, AMENDING THE CODE OF THE TOWNSHIP OF  
RADNOR, CHAPTER 270, SECTION 270-31 SPECIAL PURPOSE  
PARKING ZONES.**

The Board of Commissioners of the Township of Radnor does hereby ENACT and ORDAIN the following amendments to Section 270-31 as follows:

**Section 1.** Section 270-31, Special Purpose Parking Zones, is hereby amended establishing a new handicapped parking zone as follows:

Name of Street	Side	Location
David Drive	South	Commencing 211 feet from Roberts Road in the easterly direction on the south side of David Drive]

**Section 2.** Repealer. All ordinances or parts of ordinances which are inconsistent herewith are hereby repealed.

**Section 3.** Severability. If any section, paragraph, subsection, clause or provision of this Ordinance shall be declared invalid or unconstitutional by a court of competent jurisdiction, such decision shall not affect the validity of this Ordinance as a whole or any part thereof other than that portion specifically declared invalid.

**Section 4.** Effective Date. This Ordinance shall become effective in accordance with the Home Rule Charter of Radnor Township.

ENACTED and ORDAINED this        day of        , 2015.

RADNOR TOWNSHIP

By:

Name: William A. Spingler  
Title: President

ATTEST:

Robert A. Zienkowski, Secretary

## LEGAL NOTICE

Notice is hereby given that the Board of Commissioners of the Township of Radnor, Delaware County, Pennsylvania, will consider for possible enactment an ordinance, of which this Notice is a summary, amending the code of the Township of Radnor, Chapter 270, Section 270-31, Special Purpose Parking Zones to establish a new handicapped parking zone on David Drive.

The Board of Commissioners will hold a public hearing on May 11, 2015, at 6:30 p.m., at the Radnor Township Municipal Building, 301 Iven Avenue, Wayne, PA 19087 to consider the ordinance. Copies of the full text of the proposed ordinance are available at the Township offices, the Delaware County Law Library, and the offices of this newspaper during normal business hours.

RADNOR TOWNSHIP  
BOARD OF COMMISSIONERS  
301 Iven Avenue  
Wayne, PA 19087-5297

J. LAWRENCE GRIM, JR.  
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PLEASE REPLY TO:  
PERKASIE

John B. Rice  
e-mail: [jrice@grimlaw.com](mailto:jrice@grimlaw.com)

JOHN FREDERIC GRIM, OF COUNSEL

104 S. SIXTH STREET  
P.O. BOX 215  
PERKASIE, PA. 18944-0215  
(215) 257-6811  
FAX (215) 257-5374  
P.O. BOX 380  
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(215) 536-1200  
FAX (215) 538-9588  
P.O. BOX 1369  
DOYLESTOWN, PA, 18901  
(215) 348-2199  
FAX (215) 348-2520

April 29, 2015

VIA ELECTRONIC CORRESPONDENCE

Delaware County Daily Times  
Attn: Legal Department  
500 Mildred Avenue  
Primos, PA 19018

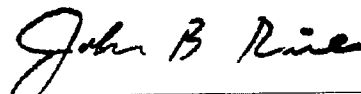
Re: Traffic Ordinance Amendment - Radnor Township  
Section 270-31

Dear Legal Department:

Enclosed please find for advertisement one (1) time in the May 1<sup>st</sup> edition of your newspaper, a Legal Notice for the possible enactment of the above ordinance by the Board of Commissioners of Radnor Township at their meeting on May 11, 2015. Kindly provide proof of publication and your invoice for the advertisement directly to Radnor Township, c/o Robert Zienkowski, 301 Iven Avenue, Wayne, PA 19087. A full copy of the text of the ordinance is enclosed for public inspection. If you have any questions regarding the enclosed, please do not hesitate to contact my office.

Sincerely,

**GRIM, BIEHN & THATCHER**

By:   
John B. Rice

JBR/hlp  
Enclosure

cc: Jennifer Destefano (w/encl.) – via email  
Robert A. Zienkowski (w/encl.) – via email

**RESOLUTION NO. 2015-54**

**RADNOR TOWNSHIP**

**A RESOLUTION OF RADNOR TOWNSHIP, DELAWARE COUNTY, PENNSYLVANIA, APPROVING THE PRELIMINARY PLAN APPLICATION OF VILLANOVA UNIVERSITY FOR A PROPERTY LOCATED ON LANCASTER AVENUE AND ITHAN AVENUE PURSUANT TO PLANS PREPARED BY NAVE NEWELL, INC. ESTABLISHING A COMPREHENSIVE INTEGRATED COLLEGE DEVELOPMENT.**

*WHEREAS*, Villanova University (“Applicant”) submitted a Preliminary Land Development Application (“Application”) for properties located on the southeast and southwest corners of Lancaster Avenue and Ithan Avenue within the Township’s PI - Planned Institutional Zoning District (“Property”) to establish a Comprehensive Integrated College Development (“CICD”) upon the Campus in accordance with Section 280-68.1 of the Township Zoning Ordinance; and

*WHEREAS*, this Application includes the following engineered plan sets (jointly referred to as the “Plan”):

- Preliminary Land Development Submission for Lancaster Avenue Housing, consisting of 35 sheets prepared for Villanova University, prepared by Nave Newell, Inc., dated December 5, 2014 and revised March 6, 2015.
- Preliminary Land Development Submission for West Lancaster Parking, consisting of 28 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
- Preliminary Land Development Submission for Church Walk and Bridge, consisting of 20 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 13, 2015.
- Preliminary Land Development Submission for Pike Field Garage, consisting of 34 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
- Preliminary Land Development Submission for Performing Arts Center, consisting of 18 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.

*WHEREAS*, the Application proposes the construction of student housing, retail shops, a parking garage, a performing arts center, and surface parking spaces as set forth on the Plan.



**WHEREAS**, the Application has been reviewed by both the Radnor Township Planning Commission and the Delaware County Planning Commission.

**WHEREAS**, the Applicant received conditional use approval for the CICD by Decision and Order of the Radnor Township Board of Commissioners dated November 24, 2014 (“CU Decision”); and

**NOW, THEREFORE**, it is hereby **RESOLVED** that the Board of Commissioners of Radnor Township does hereby approve the Preliminary Plan of land development for Villanova University subject to the following conditions:

1. The Applicant shall comply with the May 4, 2015 correspondence of the Township Engineer, Gannett Fleming, a copy of which is attached hereto and incorporated herein as **“Exhibit “A”**.
2. The Applicant shall comply with the May 4, 2015 correspondence of Gilmore & Associates, Inc., a copy of which is attached hereto and incorporated herein as **“Exhibit “B”**.
3. The Applicant shall comply with the May 4, 2015 correspondence of RETTEW, copies of which are attached hereto and incorporated herein collectively as **“Exhibit “C”**.
4. The Applicant shall comply with the terms and conditions of the Conditional Use Order of the Board of Commissioners dated November 24, 2014, a copy of which is attached hereto and incorporated herein as **Exhibit “D”**.
5. The Applicant shall install the enhanced stormwater system shown on the Plan. Additionally, the Applicant shall connect the existing PennDOT stormwater pipe from State Route 30 to Pike Field to the proposed stormwater system for the overall project.
6. The Applicant shall install the proposed right-hand turn lane along Lancaster Pike in front of the performing arts center and into the entrance drive for the Pike Field Garage.
7. The Applicant shall pay \$411,170.88 in park and recreation fees based on a total square footage of 497,334 in lieu of dedication of park land. All fees are due and payable upon execution of development and financial security agreements.
8. The Applicant shall construct all public improvements shown on the Plan.
9. The Applicant shall submit to the Township Engineer for review and approval all necessary legal descriptions and construction cost estimates of the site improvements.

10. The Applicant shall execute Development and Financial Security Agreements in a form and manner to be approved by the Township Solicitor. Prior to any construction, the Applicant shall provide a detailed staging plan acceptable to the Public Works Director addressing off site erosion, street sweeping, the impact of special events, construction worker parking, and any required road closures of Township or State streets during construction.
11. The Applicant shall comply with all other Township, County, State and Federal ordinances, statutes, rules and regulations.
12. The Applicant shall comply with current IBC and NFPA guidelines for all new construction. The Applicant shall provide sufficient vehicle access to all buildings as recommended by the Township Fire Marshall. Additionally, the Applicant shall provide to the Township information and/or training guidelines for firefighting issues which may arise upon construction and operation of the proposed parking structure.
13. The Applicant shall provide a supplemental landscape plan for the buffer area along the Barley Cone Lane neighboring residents' property lines which shall be reviewed and approved by the Township.

In addition to the foregoing conditions of preliminary plan approval, the Board's determination with respect to the following waivers is as follows:

1. SLDO 255-29 A(2) to permit 22' entry/exit drives as shown on the Plan.

\_\_\_\_\_ Approved

\_\_\_\_\_ Denied

2. SLDO 255-27 H. to permit a reduced 30 foot curb radius at the southwest corner of the Ithan/Lancaster Avenue intersection

\_\_\_\_\_ Approved

\_\_\_\_\_ Denied

**SO RESOLVED**, at a duly convened meeting of the Board of Commissioners of Radnor Township conducted on this 11<sup>th</sup> day of May, 2015.

**RADNOR TOWNSHIP**

By: \_\_\_\_\_

Name: William A. Spingler  
 Title: President

ATTEST: \_\_\_\_\_



**Gannett Fleming**

*100 Years*

*of Excellence Delivered As Promised*

**Date:** May 4, 2015

**To:** Radnor Township Board of Commissioners

**From:** Roger Phillips, PE

**cc:** Robert Zienkowski – Township Manager  
Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq – Grim, Biehn, and Thatcher  
Amy Kaminski, PE – Gilmore and Assoc.  
Steve Gabriel - Rettew

**RE:** Villanova University – Lancaster Avenue Housing  
Villanova University – Applicant

Date Accepted: January 6, 2015

90 Day Review: April 6, 2015 extended to May 11, 2015

---

Gannett Fleming, Inc. has completed a review of the Villanova University Lancaster Avenue Housing Preliminary Plan for compliance with the Radnor Township Code. This Preliminary Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor. A preliminary review was also completed for the West Lancaster Parking Lot, Pike Field Garage, the Performing Arts Center, and the Church Walk Bridge. We note that detailed plans have not been submitted for the SAC Parking Garage.

Conditional use approval was granted on November 24, 2014 to permit the development under CICD (decision attached). The applicant is proposing to construct a 1,138 bed student housing facility in six buildings with associated retail space.

The applicant appeared before the Planning Commission on April 6, 2015. The Planning Commission recommended approval of the plans based on the following conditions:

- Denial of the waiver request for Section 255-27.H, to permit a 25' radius curb on the southwest corner of Ithan Avenue and Route 30.
- The applicant meet all outstanding staff comments and review letters, or request waivers from comments.
- The applicant install an enhanced stormwater management plan as detailed to the staff, the public, and the Planning Commission at the March 26<sup>th</sup> meeting. This enhanced stormwater management system is to include infiltration and improved water quality as outlined at the March 26 meeting

**Gannett Fleming, Inc.**

P.O. Box 80794 • Valley Forge, PA 19484-0794 | 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com



- The applicant seek any and all easements necessary for the construction, maintenance and access to the pedestrian bridge.

The applicant has indicated that the following waivers will be requested from the Subdivision and Land Development Code:

- §255-27.H – To permit a 25 ft radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.
- §255-29.A.(12) – To permit 22' entry/exit drives between the parking areas in the West Lancaster parking lot, the Visitors and SEPTA parking lot, and Lancaster Avenue parking lot.

Lancaster Avenue Housing

Plans Prepared By: Nave Newell

Dated: 12/05/2015 and revised 03/06/2015

I Zoning

1. §280-68.1.D(2)(g)1 – Not more than 30% of CICD shall be occupied by buildings. The total building coverage may be increased to no greater than 45%, subject to the land preservation standards of this section, provided that in no event may the total building coverage of the applicant's entire campus within the PI zoning district exceed 30%. For purposes of calculating the total building coverage in the CICD, parking structures shall be included in the building area. A breakdown of the proposed 35.5% building coverage shown on the plans must be provided, including information from the other phases. The applicant has indicated that the total building area is 4.9 acres. The building area for each individual building must be provided.
2. §280-68.1.D(2)(g)2 – No individual building nor group of buildings not separated from each other by the minimum required separation distance noted below shall occupy more than 10% of the CICD site. Parking structures are not required to be included in the calculations of individual building coverage. The plan indicates building coverages of 7.6% for Residence Hall 2, 8.5% for Residence Hall 1 and the Performing Arts Center is 5.6%. A detailed breakdown of this calculation has been provided. It appears that the proposed % shown on the zoning tables are reversed for the residence halls. This must be revised.
3. §280-68.1.D(2)(h) – Not more than 45% of the CICD site may be covered by impervious surfaces; provided, however, if the CICD is redeveloping existing improved lands, then the maximum allowed impervious surface ratio shall be 45% or 10% less than the existing impervious surface ratio on the proposed CICD site, whichever is greater. In no event may the maximum allowed impervious surfaces on the applicants entire campus

within the PI Zoning District exceed 45%. The plan indicates that the entire campus proposes 36.4%. The existing impervious surface calculation for the CICD indicates it is 92% impervious therefore 82% is the maximum permitted. A detailed breakdown of how the 92% impervious was calculated must be provided. The impervious should be broken down by each separate area.

4. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
5. §280-105.E. – All outside lighting including sign lighting shall be directed in such a way as not to create a nuisance in any agricultural, institutional, or residential districts, and in every district all such lighting shall be arranged so as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet. It appears that the detail for the luminary has been removed from the detail sheet. A clearly legible detail must be provided that indicates the proposed height.
6. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has indicated that there will be disturbance in the steep slope area along Ithan Avenue. This disturbance is allowed under §280.112.D.(6) as it is required for construction of a roadway with no alternative routing along Ithan Avenue.

## II Subdivision and Land Development

1. §255-20.B.(1)(d) – All applicable zoning districts for this land development must be provided on the plans. This must be shown on the overall plan sheet.
2. §255-27.H(6) - Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. The applicant has requested a waiver to allow a 25 foot radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.
3. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance exit drive shown on the plan into the proposed parking area

behind the student housing from Ithan Avenue is 22 feet. The applicant has requested a waiver to allow for a 22' entrance and exit drive.

4. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreational area shall be 2,500 square feet per 4,000 square feet of building area. The applicant must conform to this section.
5. §255-43.1.E(2) – Where, upon agreement with the applicant or developer, it is determined that the dedication of all or any portion of the land area required for park and recreation purposes is not feasible, the applicant or developer shall pay a fee in lieu of dedication of any such land to the Township. The fee for non-residential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. The applicant must conform to this section.
6. §255-54.B. – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

### III Stormwater Management

1. The applicant must provide an explanation or reconcile the inconsistency for the impervious area value for RG-10. Page 31 of the Stormwater Report lists the impervious area to be 9,216 SF, page 40 lists the impervious area to be 6,216 SF, page 149 lists the impervious area to be 6,216 SF and the table on the plan, and “Drainage Plan (Volume Management) lists the impervious area to be 9,216 SF.

### IV General Comments

1. The applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increase wastewater disposal generated by the project.
2. A detail of the proposed fence/gate enclosure must be provided on the plans.

West Lancaster Parking

Plans Prepared By: Nave Newell

Dated: 03/06/2015

I Zoning

1. §280-43.D – No building shall be located less than 65 feet from a street right-of-way line, less than 20 feet from a side property line nor less than 25 feet from a rear property line. The applicant is proposing a 57.9 front yard setback and a 11.9 foot side yard setback. Both are non-conformities that the applicant intends to continue.

II Subdivision Land Development

1. §255-29.B.(1) – All parking areas shall have at least one tree 2 ½ inches minimum in caliper for every five parking spaces in single bays and one tree 2 ½ inches minimum in caliper for every parking space in double bay. A minimum of 10% of any parking lot facility over 2,000 square feet in gross area shall be devoted to landscaping, inclusive of required trees. The landscape plans indicate that there are 232 parking spaces for this project. The overall Lancaster Avenue housing plans indicate that there are 240 proposed spaces for this lot. This must be verified and all plans revised to be consistent.
2. §255-29.A.(15) – All dead-end parking areas shall be designed to provide sufficient backup area for all the end stalls of a parking area. The dead-end parking spaces behind Farrell Hall must be revised to include a sufficient back-up area.

III Stormwater Management

1. The applicant must provide an explanation or reconcile the inconsistency for the Area values listed for RG-101. The supporting calculations for the Volume Summary on page 24 list the overall drainage area to be 29,422 SF. Plan measurements of the sheet, "Post Watershed Area Plan" appears to indicate a drainage area significantly larger (approximately 46,500 SF). It would be helpful if the applicant submitted documentation similar to page 36 of the Stormwater Report for the Lancaster Avenue Housing Phase that detailed the structure/facility's total area, impervious area and pervious area.
2. The "Volume – One Inch" calculation sheet on pages 24-25 appears to have some inconsistencies and should be rechecked and resubmitted. Specific examples include the following

- a. RG-101's volumetric storage value of 1,472 CF seems inconsistent with the calculations shown for the cumulative storage and incremental storage volume values.
  - b. RG-102 has a similar calculation inconsistency – The T/G elevation of 438.5 listed, however calculations for the area, depth, ave. area etc. stop at elevation 438.00. Additionally the volumetric storage value of 1,846 CF does not appear consistent with the volume calculations provided for both the incremental and cumulative storage volume values.
  - c. The applicant must provide supporting documentation for the cumulative volume values reported for Infiltration systems 101, 102 and 103 similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
3. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
  4. The applicant must provide a plan similar to the "Post Development Drainage Plan (Volume Management)" provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
  5. The "Inlet Area Plan" appears to be missing drainage areas for I-202A, I-202B, and some of the inlets along the Lancaster Avenue turning lane. Please update the plan so these values can be checked against what is being reported in the stormwater calculations.
  6. How and where is the runoff from the pedestrian bridge being addressed? A drainage area for this area is partially drawn on sheet "Post Watershed Area Plan", but it is not included in the drainage area chart on page 124. Please provide an explanation.
  7. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

Pike Field Garage

Plans Prepared By: Nave Newell

Dated: 03/06/2015

I Zoning



1. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
2. §280-68.1.D(3)(e)4 – Surface parking spaces shall be no less than nine feet by 19 feet. Parking spaces in any parking structure shall be no less than eight feet six inches by 19 feet. The parking spaces must be dimensioned on the plans. Detailed parking garage plans must be submitted for review.
3. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. There are storm sewers proposed within areas of greater than 20%.

## II Subdivision Land Development

1. §255-54.B – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided. The proposed fire access land is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.

## III Stormwater Management

1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
3. There appears to be missing/inconsistent information between the drainage area table on page 189 of the Stormwater Report and the “Inlet Area Plan”. The RG-1 referred to on

the table does not appear on the plan for this section of the development. There also appears to be missing drainage areas/information for YD 3-1, YD 3-2 and the Trunc Flow I-314. Please explain.

4. A drainage area for Pike Garage is shown to drain to a stormwater management system in POI 2B. The area breakdown does not appear to be included on the drainage area table on page 189 of the Stormwater Report. This is inconsistent with the other drainage areas reported for POI 2B. Please update the table accordingly.
5. The Volume Calculations for the Proposed Garage Basin – POI – 2B appears to have inconsistent information with regards to the detail shown on the Pike Field Garage Plans, Sheet 27 of 34. The bottom of the engineered soils appears to be at elevation 412.50 while the calculations report a total volume to el. 411.50 to be 1,613 CF. Further detail explaining how that volume was calculated must be provided.
6. The applicant must provide supporting documentation for the “Elevate Low Flow Orifice 6” to 411.00 volume value reported (6,073 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
7. Please provide a detail of the Existing Underground Basin in Pike Field
8. The applicant must provide supporting documentation for the “Total Volume to El. 411.65” volume value reported (1,992 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
9. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

IV General

1. The proposed fire access lane is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.
2. Detailed parking garage plans must be provided for the Pike Field Garage.



Performing Arts Center

Plans Prepared By: Nave Newell

Dated: 03/06/2015

I Zoning

1. §280-68.1.D(2)(j)2(b) - The minimum building space between buildings and a parking structure is 30 feet. The parking garage must be shown on the plans to ensure adequate distance between the performance art center and the parking garage.
2. §280-68.1.D(3)(f)2 – Mechanical/electrical equipment and trash shall be screened from view. In addition, sound attenuation shall be installed on all equipment to minimize noise pollution at any adjacent residential property line. A detail of the dumpster/recycling area must be provided. Also details of the proposed screen wall and access gates must be provided.
3. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.

II Stormwater Management

1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
3. The drainage area table on page 189 of the Stormwater Report does not appear to be accounting for the drainage areas of the PAC Detention System to POI 2B (I-225, I-226, Roof area).
4. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any



building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

Church Walk and Bridge

Plans Prepared By: Nave Newell

Dated: 03/15/2015

I Zoning

1. §280-68.1.D(2)(b) – Setbacks from the ultimate right-of way for major collector streets shall be 60 feet for surface parking lots. The visitors parking lot is less than 60 feet from the proposed right of way line. This is a non-conformity that the applicant intends to continue.
2. §280-69.E(3) – Surface parking areas are classified as a category of use 1. Category 1 uses and structures shall be set back from rear and side property lines by 75 feet. The existing parking area is set back 20 feet. This is a non-conformity that the applicant intends to continue.
3. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.

II Subdivision and Land Development

1. §255-29.A(19) – All artificial lighting used to illuminate any parking space or spaces shall be arranged so that no direct rays from such lighting shall fall upon any neighboring property or streets, nor shall any high-brightness surface of the luminaries be visible from neighboring residential properties or from a public street.
2. §255-37.C – Sidewalks and public paths shall be located within a public right-of-way, a public easement or a common open space area. The sidewalk is not located in the public right-of-way. The applicant has indicated that they will provide an easement for the sidewalk.

III Stormwater Management

1. The March 6, 2015 Stormwater Report does not include a specific discussion of the Stormwater concept for the Church Walk and Bridge. Please update the narrative accordingly.
2. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
3. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.

We recommend that the plans be revised to address the comments stated above along with comments provided in the review memo from Gilmore and Associates prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC



Roger A. Phillips, P.E.  
Senior Project Manager

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**From:** Norcini, Steve <snorcini@radnor.org>  
**Sent:** Thursday, May 07, 2015 9:04 AM  
**To:** DeStefano Jennifer  
**Subject:** FW: VU LAH WB-40 modified Truck Turning templates 12-04054  
**Attachments:** 11005\_truckturn\_5-6-15.pdf

Stephen F. Norcini, P.E.

**From:** Alex Tweedie [<mailto:ATweedie@navenewell.net>]  
**Sent:** Wednesday, May 06, 2015 5:28 PM  
**To:** Amy Kaminski  
**Cc:** Zienkowski, Robert; Steve Norcini P. E. ([snorcini@radnor.org](mailto:snorcini@radnor.org)); [rphillips@gfnet.com](mailto:rphillips@gfnet.com); John B. Rice; Peter Nelson; Marilou Smith; Nick Caniglia ([NCaniglia@aol.com](mailto:NCaniglia@aol.com)); Heather L. Petronio; Damon Drummond; Frank Tavani ([frank@ftavaniassociates.com](mailto:frank@ftavaniassociates.com))  
**Subject:** RE: VU LAH WB-40 modified Truck Turning templates 12-04054

Amy,

Per your request, please find attached an exhibit depicting the Modified WB-40 truck making a right turn from EB Lancaster Ave onto S Ithan Ave. This exhibit is based on the following modifications to address your review comments and concerns raised by the staff during public meetings:

- We have reduced the stop bar offset to 30 ft from the original 50 ft.
- We have increased the radius to 30 ft from 25 ft
- We have increased the angle point to 10 degrees to provide a wider "throat" at the intersection and to improve the right turn angle for vehicles.

With these revisions we are still requesting a waiver for the 30 ft radius so that we can maintain a 74.5 ft crosswalk which would lengthen the ped scramble phase by 3 seconds (original design was a 64 ft crosswalk,  $74.5 - 64 = 10.5$  ft longer at 3.5fps). This is consistent with the 3 second increase that the BOC seemed to be comfortable with.

Please review and let me know if you need any further information prior to the meeting Monday night.

**D. Alexander Tweedie, PE**  
Project Manager



**Please note our new address: 900 West Valley Road, Suite 1100, Wayne, PA 19087**

P: 610.265.8323 | F: 610.265.4299

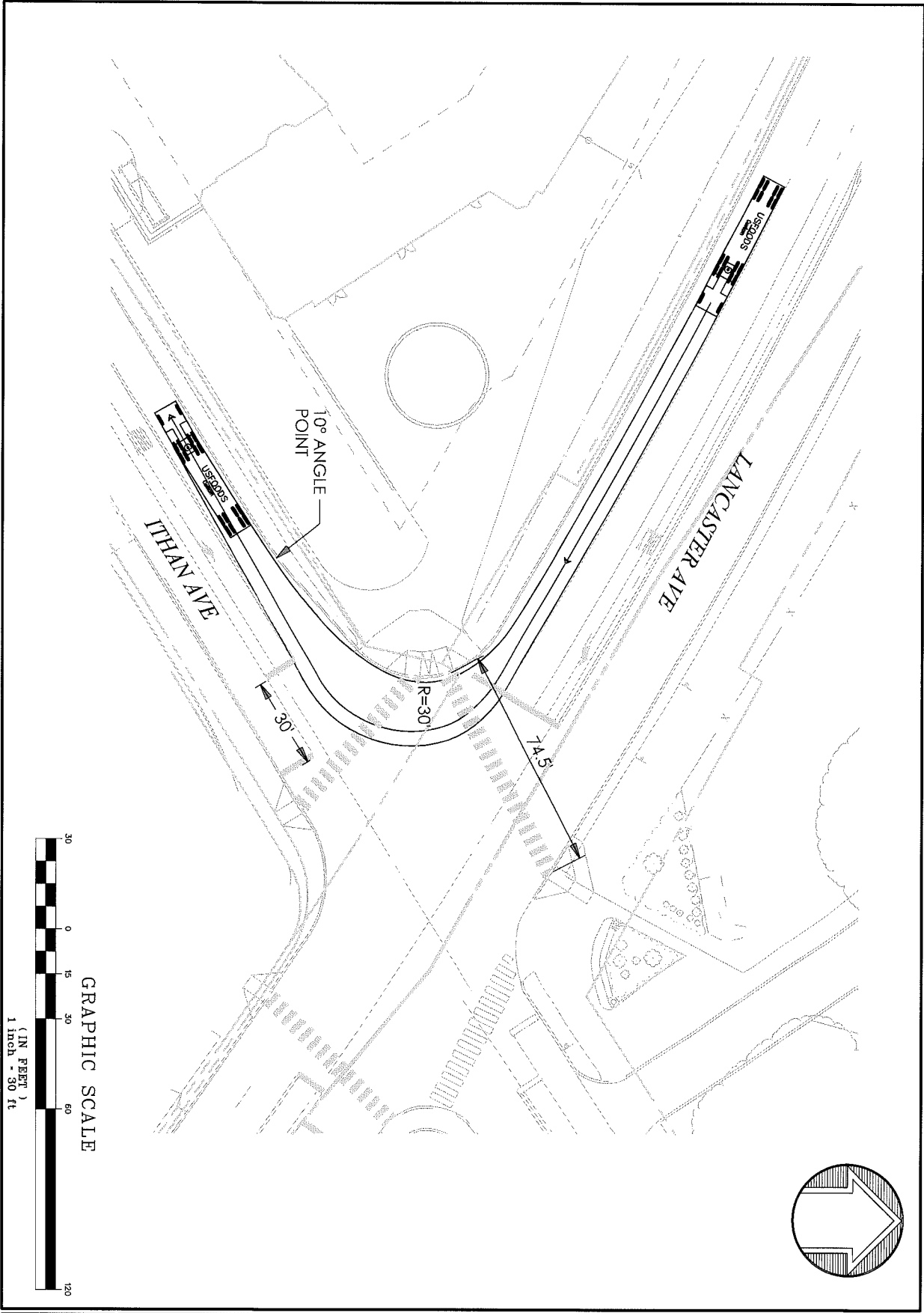
[atweedie@navenewell.net](mailto:atweedie@navenewell.net) | [www.navenewell.com](http://www.navenewell.com) | [LinkedIn](#) | [Twitter](#) | [Ground Level](#)

***Fundamentally Different – Fundamental #8 – Maintain a solution orientation rather than a problem orientation. – David J. Friedman***

*Apply your creativity, spirit, and enthusiasm toward the development of solutions.*

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GRAPHIC SCALE  
 (IN FEET)  
 1 inch = 30 ft

TRUCKTURN WB-40 MODIFIED EXHIBIT

VILLANOVA UNIVERSITY

REV	DATE	DESCRIPTION	BY	CHK

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**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

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**MEMORANDUM**

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**Date:** May 5, 2015

**To:** Steve Norcini, P.E.  
Radnor Township Public Works Director

**From:** Amy Kaminski, P.E., PTOE  
Transportation Services Manager

**cc:** Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Steve Gabriel, PP, RETTEW  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** Villanova University – Lancaster Avenue Redevelopment  
Preliminary Land Development Review #2 *FINAL*  
Radnor Township, Delaware County, PA

G&A 12-04054

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Gilmore & Associates, Inc. (G&A) has completed a transportation review for the referenced project and offers the following transportation comments for Radnor Township consideration:

**I. BACKGROUND**

The applicant, Villanova University, intends to develop/redevelop several parcels located along Lancaster Avenue, southeast and southwest of the Ithan Avenue intersection, in Radnor Township, Delaware County. The project includes construction of student housing (1,135 bed apartment-style residence halls), retail shops (University Bookstore, bistro and small convenience store, size to be determined) along with 147 surface parking spaces to be located on the southwest corner of Lancaster Avenue and Ithan Avenue. In addition, the project includes construction of a Performing Arts Center (with 500 – 650 total seats in two theaters) and a multilevel parking structure (1,293 spaces) to be located on the southeast corner of Lancaster Avenue and Ithan Avenue. Villanova University intends to eliminate many of the existing driveway accesses located on the south side of Lancaster Avenue, west of Ithan Avenue and construct a shared surface parking lot to the rear of the existing university buildings along the south side of Lancaster Avenue. The Church Walk access and associated signalization will be relocated west of the present location and a new right in driveway will be constructed west of Church Walk. The applicant also intends to construct a pedestrian walkway over Lancaster Avenue at the present Church Walk access location.

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## II. DOCUMENTS REVIEWED

1. Preliminary Land Development Submission for Lancaster Avenue Housing, consisting of 35 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated December 5, 2014 and revised March 6, 2015.
2. Preliminary Land Development Submission for West Lancaster Parking, consisting of 28 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
3. Preliminary Land Development Submission for Church Walk and Bridge, consisting of 20 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 13, 2015.
4. Preliminary Land Development Submission for Pike Field Garage, consisting of 34 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
5. Preliminary Land Development Submission for Performing Arts Center, consisting of 18 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
6. Pedestrian Parking & Traffic Plan, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
7. Event Traffic Circulation Plan, consisting of 7 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
8. Lancaster Avenue residential Housing Evacuation Plan, consisting of 2 sheets, prepared for Villanova University, prepared by Voith & Mactavish Architects LLP, dated March 2, 2015.
9. Response Letter, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
10. Transportation Impact Study dated March 12, 2015 prepared by F. Tavani Associates, Inc.
11. Response Letter dated March 12, 2015 prepared by F. Tavani Associates, Inc.

## III. CONSTRUCTION PHASING

The applicant has identified the following construction phasing Sheet 8 of 35(C2.3) *Project Phasing Plan*.

1. Phase 1 Improvements
  - i. St. Augustines Center Garage Expansion
  - ii. Improvements to the West Lancaster Parking facilities
  - iii. Ingress from Lancaster Avenue at existing driveways
  - iv. Egress to Lancaster Avenue at signal at the existing Church Walk driveway
  - v. Closure of Pike Lot surface parking field

**Comment:** Phase 1 improvements may require signal timing modifications at the Church Walk intersection due to redistribution of traffic from Ithan Avenue to Church Walk signal. In addition, the elimination/modification to the existing accesses along Lancaster Avenue should be discussed with PennDOT.
2. Phase 2 Improvements (includes Highway Occupancy Permitting)
  - i. Construction of the Pike Field Parking Garage

- ii. Temporary improvements to Pike Lot surface lot at the site of the future Performing Arts Center – PAC
  - iii. Construction of the Pedestrian Bridge over Lancaster Avenue
  - iv. Improvements to visitor lot, west of existing Church Walk
  - v. Relocation of Church Walk
  - vi. Lancaster Avenue and Ithan Avenue improvements
3. Phase 3 Improvements
- i. Construction of Student Housing Complexes 1 and 2
  - ii. Continued use of Pike Lot surface lot at the site of the future Performing Arts Center – PAC
4. Phase 4 Improvements (Upon availability of funding)
- i. Elimination of Pike Lot surface lot
  - ii. Construction of Performing Arts Center

#### IV. REQUESTED WAIVERS

1. §255-27.H – The applicant has requested a waiver to permit a 25ft. curb radii for the curb on the southwest corner of Ithan Avenue and Lancaster Avenue; a 35 foot radii is required for arterials.

Comment: The stop bar/line for the northbound left turn lane on Ithan Avenue is proposed 50 feet from the Lancaster Avenue intersection to accommodate trucks turning right from eastbound Lancaster Avenue and continue south on Ithan Avenue. The industry standard, *Manual of Uniform Traffic Control Devices* (MUTCD) and PennDOT Publication 111M, TC-8600 *Pavement Markings* both indicate that stop lines at controlled intersections should be placed 4' to 30' from the edge of the travel lane. The proposed 50' stop line setback is proposed at a location 20 feet beyond the maximum 30 feet distance from the intersection.

#### V. GENERAL COMMENTS

1. The public sidewalk on the south side of Lancaster Avenue has been relocated outside the public legal right-of-way. In addition, the sidewalk is located behind a decorative fence open to public access. A sidewalk easement granting public access will be required from the applicant. The easement must be shown the plans.
2. We recommend discussing potential traffic calming elements with nearby affected neighborhoods, particularly Aldwyn Lane residents.
3. Final Land Development requirements:
  - i. Provide a Pavement Marking and Signage Plan

- ii. Provide traffic signal construction and permit plans for both signalized intersections and the two pedestrian-activated rectangular rapid flashing beacons (RRFB) crossings on Ithan Avenue.
4. Revise all stop bars locations to a minimum of 4 feet from any crosswalk.

## VI. LANCASTER AVENUE HOUSING PLAN COMMENTS

1. On Sheet 7 of 35 (C2.2)
  - i. The plan indicates pedestrian activated rectangular rapid flashing beacons (RRFB) for the midblock crossings on Ithan Avenue near the South Campus dormitories and Aldwyn Triangle, and the Lancaster Avenue Housing surface lot and the Pike Street Garage accesses to Ithan Avenue. Flashing Warning signal permit and construction plans are required for both locations.
  - ii. The applicant has proposed a right-turn lane along Lancaster Avenue at the PAC driveway; however, the Board should consider whether or not to require the construction of the warranted right turn lane on the eastbound approach of Lancaster Avenue at Ithan Avenue.
  - iii. Eliminate the stop bar on southbound Ithan Avenue at the proposed LAH/PAC driveways.
    - i. Verify the sight distance is adequate for the proposed crosswalks on Ithan Avenue at the parking driveways;
    - ii. Identify and dimension all existing and proposed public sidewalks along Ithan Avenue and Lancaster Avenue.
2. During final land development, each phase will require the design details regarding the onsite pedestrian curb ramps and crosswalks (refer to PennDOT Publication *72M Roadway Construction Details, RC-67M* for information).
3. Provide WB-40 (modified) Truck Turning Templates for the following turn movements:
  - i. The southbound right turn from Ithan Avenue to the Lancaster Avenue Housing driveway access
4. Provide SU-30 Truck Turning Templates for the following turn movements:
  - i. The eastbound left-turn from the Lancaster Avenue Housing driveway access to northbound Ithan Avenue.
  - ii. The eastbound right-turn from the Lancaster Avenue Housing driveway access to southbound Ithan Avenue.
  - iii. The eastbound right-turn movement from Lancaster Avenue into Church Walk
  - iv. The westbound left-turn from Lancaster Avenue into Church Walk
5. Include a note on the plan restricting the noted WB-40 (modified) and larger turning movements at the following intersections:

- i. Existing movements from Lancaster Avenue Housing Driveway to Ithan Avenue
  - ii. Entering movements at Lancaster Avenue and both Church Walk/West Lancaster Parking driveway accesses.
6. Sheet 9 (C2.4), Exhibit 2: If necessary, adjust the location of the eastbound stop bars to allow for the left turn movement from the dual left turn lanes or include signage prohibiting truck movements (WB-40 modified) in the left most, left turn lane exiting Church Walks.
7. The University may want to consider designating short term parking for spaces located near the proposed retail space in the LAH parking area to encourage parking turnover.

#### **VII. WEST LANCASTER PARKING PLAN COMMENTS**

1. Sheet 5 of 28 (C2.1): Clarify the use of the remaining western most access to Lancaster Avenue. The access is located within the limits of the right turn lane taper and based on the provided legend, appears to include a fence. If this is an emergency access, provide a note on the plans identifying the use and replace the "fence" line with a gate.
2. Sheet 6 of 28 (C2.2) Consider altering the location of the handicapped parking space closer to the sidewalk near Moriarty Hall.
3. The location of the proposed fencing is inconsistent and not clearly defined. The Composite Site Plan indicates fencing is proposed along the north side of Lancaster Avenue from Ithan Avenue and extending west with a campus entrance break just west of the proposed right in /right out access; however, no fencing is shown on Sheet 5 (C2.1) and Sheet 6 (C2.2) of the plan set. The plans should be revised to be consistent for all provided sheets.
4. Provide truck turning templates for the largest anticipated truck (SU-30) utilizing the two adjacent left turn lanes exiting the proposed Church Walk access to continue westbound Lancaster Avenue. Additional widening along Lancaster Avenue may be necessary for the receiving lanes associated with the dual left turn lane operation.

#### **VIII. CHURCH WALK PLAN**

1. Include internal stop bars and signage on internal parking aisles. Adjust the location of the pedestrian crosswalks and stop bars as needed.

#### **IX. PIKE FIELD GARAGE PLAN COMMENTS**

1. Sheet 9 of 34 (C2.4): Modify the design of the driveway access to Lancaster Avenue. Exhibit 1 indicates SU-30 trucks will encroach on the concrete island.

2. Sheet 9 of 34 (C2.4): Include the exiting SU-30 right-out turn movement to eastbound Lancaster Avenue.
3. The crosswalk locations at the intersection of Ithan Avenue and Lancaster Avenue may require signal equipment relocation or additional pedestrian related traffic signal equipment (i.e. Pedestrian pedestal poles).

**X. PERFORMING ARTS CENTER PLAN** No transportation comments.

**XI. LANCASTER AVENUE HOUSING PEDESTRIAN PARKING & TRAFFIC PLAN**

1. Provide a north arrow and label all roadways
2. Phase 2: Provide phase 2A and 2B separately. Identify what work will be completed during each phase and identify the pedestrian path available, particularly near Church Walk.

**XII. EVENT CIRCULATION PLAN**

1. The event traffic Circulation Plan should be reviewed by the Radnor Police Department.
2. Refer to the Manual of Uniform Traffic Control Devices (MUTCD) 2009 (Chapter 2L *Changeable Message Signs*) and PennDOT Publication 646 *Intelligent Transportation Systems Design Guide* and verify DMS sign placement/location based on the reading and decision zone, number of lines, character length and height is adequate for roadway conditions.
3. We recommend the applicant consider the following suggestions:
  - i. Consider revising all turn designations to provide the direction message after the movement message. Specifically, TURN RIGHT instead of RIGHT TURN.
  - ii. To reduce the message length and improve patron memory retainage, revise the parking structure designations to colors as opposed to structure name. Revise the Permanent Signs for Parking Facilities to include the color as a background or text legend.
  - iii. Revise messages from "MAKE" to "TURN" for clear conveyance of movement.
  - iv. Revise messages from "AFTER LIGHT" to read "AFTER" followed by the name of the street.

**XIII. TRAFFIC IMPACT STUDY**

1. The applicant is required to provide a turn-lane length analysis for all auxiliary lanes including the eastbound right turn lane at the intersection of Ithan Avenue and

Lancaster Avenue in accordance with the methodology included in PennDOT Publication 46 Traffic Engineering Manual.

2. Subsequent submissions must utilize Synchro HCM2010 methodology for the analysis of the Church Walk and Lancaster Avenue intersection. G&A verified the provided Synchro files can utilize HCM 2010 methodology.
3. Table II Queue Comparison Table Signalized Intersections
  - i. Revise based on the HCM 2010 methodology in lieu of the provided percentile method.
  - ii. **Lancaster Avenue & Ithan Avenue:**  
The queue for the AM and PM peak hour Build Scenario exceeds the southbound left-turn available storage length of 75 feet. Mitigation must be provided for this movement to accommodate the anticipated queues.

**MEMORANDUM**

**TO:** Radnor Township Board of Commissioners

**FROM:** Steve Gabriel, PP, Township Planning Consultant *SRG*

**CC:** Robert Zienkowski, Township Manager  
Steve Norcini, PE Public Works Director

**DATE:** May 4, 2015

**PROJECT NAME:** Villanova CICD Conditional Use      **PROJECT NO.:** 101442003

**SUBJECT:** Status of Compliance with Conditional Use Order Conditions

Below is the list of 17 Villanova CICD Conditional Use Order Conditions with the status (shown in *italics*) of Villanova's compliance with each of the Conditions as of March 20, 2015 land development plan submittal. Confirmation of some of the conditions will require follow up over time with certain parties and/or be shown in future plan submittals and may not be able to be assured until after plan review or until during plan construction. This status report has previously been included in our review of Villanova's land development plans but will now and in the future be provided to you in separate memorandum form.

1. The applicant shall comply with all other applicable Township Ordinances and shall submit a land development plan pursuant to the Township's Subdivision and Land Development Ordinance prior to the construction of any facilities – *the applicant has submitted a land development plan and review of compliance with Township ordinances is underway.*
2. The transportation, roadway and signalization and improvements necessary for the construction to have full access to Ithan Avenue from both the Pike Lot Parking Garage and Lancaster Avenue housing parking area with provisions for stop control for both parking accesses to Ithan Avenue and a pedestrian activated signal including the new pedestrian crosswalk be required if approved by PennDOT, unless waived by the Board of Commissioners during the land development process – *Township and PennDOT review for these improvements is underway.*
3. During the land development process an event circulation plan be developed to address event parking and traffic circulation with the input of the Radnor Township Police Department and Township traffic engineer outlining procedures, traffic patterns, parking configurations and way-finding techniques for the various sporting and other events held at the University. Upon development of the event circulation plan, Villanova shall be responsible for constructing and/or installing such signs, structures, or other directional aids necessary to implement the event circulation plan – *an event circulation plan has been submitted and is pending Township Police and Township Traffic Engineer review.*
4. That Villanova University contributes the sum of One Hundred Seventy-Five Thousand Dollars (\$175,000.00) towards the design, approval and installation of a traffic adaptive signal system that would incorporate the following signalized intersections along Lancaster Avenue:



- a. Sproul Road/Spring Mill Road; Aldwyn Lane/Kenilworth Street
- b. Church Walk
- c. Ithan Avenue
- d. Lowrys Lane
- e. Airdale Road
- f. County Line Road

*Township staff will confirm upon receipt of the required \$175,000.*

5. *During the land development process an emergency evacuation plan for the new student housing be developed – an emergency evacuation plan for the new student housing has been submitted and is pending Township Police and Fire review.*
6. *Appropriate fencing be provided on both the north and south sides of Lancaster Avenue in the area of the church walk pedestrian bridge in an effort to restrict pedestrian traffic from accessing the campus. A gate shall be provided for vehicular and pedestrian access during church events if approved by the Board of Commissioners during the land development approval process – the plan needs to show the elevation view of the proposed fencing along Lancaster Avenue (unless it is proposed to be the ornamental metal picket fence shown on Sheet L2.2) so that the Township can determine if it is appropriate. The Township also needs to determine if the proposed safety fencing along the R-100 rail line and the safety fencing along Ithan Avenue are acceptable (see Safety Fence detail on Sheet L2.2).*
7. *The University preserve the entire area known as the Aldwyn Triangle and restrict it as open space except for that portion of the area necessary to provide pedestrian activity and handicap accessibility improvements for the adjacent SEPTA rail line – the plan shows nearly all of the Aldwyn Triangle property being proposed for preservation. The form of preservation needs to be indicated and documented to the Township when it is achieved.*
8. *That a landscape and buffer plan be developed to comply with Section 280-68.1.D. (3)(b) of the Zoning Ordinance – a landscaping plan and additional information have been submitted as part of the Housing and West Lancaster Parking land development plans. The view of the landscape buffer planting strips on the Housing and West Lancaster Parking plans in a south to the north direction is needed. Similarly, elevation views in an east to west direction from the Barley Cone Lane residences are needed. With that information in hand, it can be determined if the proposed buffer planting strips comply with Sections 280-4B, 280-68.1.D(3)(b) and 280-71.D of the zoning ordinance.*
9. *Villanova seek permission from PECO to plant screening on the south side of the PECO R-100 line to visually screen the SEPTA bridge from the adjacent residential neighbors. Provided that the applicant receives permission, Villanova shall provide an installation and maintenance plan of the vegetation necessary for this screening during land development – a response from PECO to Villanova's inquiry was submitted with the latest packet of information. PECO indicates that its "guidelines call for a minimum of 32 feet of clearance from its transmission lines to the nearest trees on either side. Large trees situated within this area are removed, and trees situated beyond this distance are pruned to the 32 foot mark or the edge of the ROW." Villanova needs to submit a scaled existing conditions plan of the area in question*



*that includes an overlay of the 32 feet clearance dimension to show how much, if any, planting area exists for the purpose of planting landscaping that will visually screen the SEPTA bridge from the adjacent residences. The plan needs to show how and what kind of landscape plantings would fit in that area as well.*

10. Villanova shall provide Radnor Township a list of contractors, subcontractors and vendors and their addresses within twenty (20) days of the execution of any contracts by Villanova in connection with the development and/or construction of the proposed project. The purpose of this list is to permit the Township to audit for required business privilege/mercantile taxes – *such a list needs to be provided prior to any permit being issued for any of the improvements proposed in the land development plan including the 4 Phases Plan and then supplemented as each phase is pursued in turn. The Township will confirm receipt of each contractor list.*
11. During the land development process, the Applicant shall use its best efforts to develop and construct storm water management facilities, including green infrastructure practices and components that meet or exceed infiltration or retention requirements as currently required by the Radnor Township Stormwater Management Ordinance. The Applicant shall conduct soil testing as necessary to determine whether the site can accommodate volume management in excess of one (1) inch of run-off from all impervious surfaces resulting from the project. If soil testing indicates that it is possible to provide volume management in excess of one (1) inch of run-off, the Applicant shall construct such necessary storm water facilities on the site to accommodate this increased volume – *storm water information submitted by the applicant is under review by the Township Engineer who will ultimately confirm compliance with this condition.*
12. The Applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increased waste water disposal generated by the project – *applications to obtain revisions to the Radnor and Lower Merion Township Act 537 Plans must be submitted by the applicant with review and approval received from each Township and the PA Department of Environmental Protection.*
13. Applicant shall develop a traffic plan during the land development process delineating the paths by which the existing population of commuting and part-time students will be directed to and from parking for each phase of the construction – *a parking phasing plan including student foot-travel to and from the parking areas has been submitted and is under review by the Township Traffic Engineer.*
14. The Applicant shall permit parishioners to park, on a space available basis, on the north side of Lancaster Avenue on existing Villanova property adjacent to the church for church related events - *Villanova has indicated that it will permit parishioners to park on campus adjacent to the Church as needed. So that parishioners know which spaces are intended, Villanova provided as part of a September 10, 2014 response to residents regarding church parking an informal site plan (see attached) showing the particular areas adjacent to the church.*
15. The Applicant shall maintain a pedestrian crosswalk from the proposed project site to the existing church at the present church walk location if approved by PennDOT – *the proposed land development plan shows a pedestrian crosswalk at grade across Lancaster Avenue at Church Walk. Villanova indicated at the last Planning Commission meeting that the existing driveway located just east of the proposed pedestrian*

*bridge can provide the necessary at-grade pedestrian access all the way to the church as described by this condition as well as Condition #6.*

16. The Applicant shall ensure that no amplified music or other excessive noise shall emanate from any of the south facing dormitories. During the land development process, the Township and applicant shall establish a permissible sound level at the property boundary of the Aldwyn Lane residential uses – *the land development plan needs to demonstrate: 1) how such noise will be buffered so as not to impact Aldwyn Lane residential uses; and 2) how such noise will be buffered to achieve the required sound level to be determined in concert with the Township.*
17. The Applicant's land development plans shall be in substantial conformity with the Conditional use plans dated May 2, 2014 as amended during the hearings – *the land development plan appears to be comparable to the applicant's conditional use plans at this stage. Review of compliance with Township ordinances is underway and will confirm compliance with this condition.*

Should you have any questions regarding this report, please let me know.

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May 4, 2015

Mr. Stephen F. Norcini, PE  
Public Works Director  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Villanova University  
Lancaster Avenue Housing, Related Parking Improvements, and  
Performing Arts Center  
Preliminary Land Development Plans  
**Review No. 3**  
RETTEW Project No. 101442003

Dear Steve:

We have completed our review of the above referenced plan as prepared by Nave Newell, Inc. Our review was of the following information received on March 9, 2015, lighting and mechanicals information supplements received on April 1, 2015, landscaping elevation views received on April 3, 2015, as well as the responses presented by the applicant verbally and in writing at the April 25, 2015 Board of Commissioners meeting:

1. Thirty-six (36) plan sheets for Lancaster Avenue Housing dated December 5, 2014 and revised March 6, 2015;
2. Twenty-eight (28) plan sheets for West Lancaster Parking dated March 6, 2015;
3. Thirty-four (34) plan sheets for Pike Field Garage dated March 6, 2015;
4. Eighteen (18) plan sheets for the Performing Arts Center dated March 6, 2015;
5. Four (4) sheets for the Pedestrian Circulation Plan dated March 6, 2015;
6. Event Circulation Plan Summary and four (4) plan sheets for Events Circulation Plan dated March 6, 2015;
7. Lancaster Avenue Housing Evacuation Plan with diagram dated March 2, 2015;
8. PECO response letter concerning additional landscape material stamped received December 19, 2014 by the Facilities Management Office;
9. Storm Water Management Report and Site Drainage Calculations revised March 6, 2015; and,
10. A plan reviews comments response letter dated March 6, 2015.

**Project Overview:**

Applicant: Villanova University

Requested Action/Use: Preliminary Land Development Plan Review:  
Lancaster Avenue Housing



West Lancaster Parking  
Pike Field Garage  
Performing Arts Center

Zoning District: PI-Planned Institutional; CO-Commercial Office; R-3-Residence

Location and Size: Lancaster Avenue Student Housing and most related parking improvements properties are located between Lancaster Avenue and the SEPTA R-100 tracks, and between Pike Field and Farrell Hall on the Villanova campus. Improvements to the SAC Garage are located on land at the north end of the Main Campus along the AMTRAK/SEPTA rail lines. Apart from the SAC Garage site, the subject lands are roughly coincidental with the CICD development proposal which the applicant indicated contained gross site area of approximately 13.81 acres.

Existing Use: Surface parking lots and small University office buildings.

Proposed Use: Student dormitories, student-centered retail, Performing Arts Center, and related Pike Parking Garage, West Lancaster Avenue parking lot, and SAC Garage expansion.

We have performed a compliance review of the four land development plans with certain elements of the Radnor Township Zoning Ordinance, with the applicant's phasing plan, and with the Radnor Township Comprehensive Plan. A report on the status of the applicant's compliance to date with the conditions of the Board of Commissioners' CICD conditional use approval is provided to the Board of Commissioners in a separate memorandum. We have the following comments on this submittal:

#### SPECIFIC ZONING

1. New landscaping information has been provided by the applicant including section and elevation drawings along the south property line of the Housing portion of the site showing new and existing vegetation looking in a west to east direction as well as in a south to north direction. These views demonstrate that the proposed Buffer Planting Strip along the R-100 line provides a screen of sufficient density not to be seen through and of sufficient height to constitute an effective screen and give maximum protection and immediate visual screening to an abutting property or district (§ 280-4B, § 280-68.1.D(3), and § 280-71.D). The same views of the landscaping proposed for the West Lancaster Parking Plan have been provided and demonstrate the same buffering sufficiency.
2. Sub-section 71.A of the zoning ordinance requires buffer planting strips to be not less than 20 feet in width. There are places at the rear of the West Lancaster Parking and Lancaster Housing where the width of the buffer planting strip is less than 20 feet wide. However, Sub-section 71.D allows for alternative buffer planting strips stating, "As an alternative to the possibly linear appearance of the minimum requirements above, applicants are encouraged to provide innovative, free-form buffers which need not be located entirely within the minimum required width. Such alternative buffers shall be subject to approval by the Township." Such alternative buffer planting strips

would be required to meet the same "screen of sufficient density not to be seen through...and immediate visual screening..." standard as noted above and our review concludes that the standard is met.

3. New landscaping information has been provided by the applicant including a plan view of the landscaping proposed to surround the Pike Field Parking Garage and the Performing Arts Center. Further, the applicant indicated during its presentation at the March 10 Planning Commission meeting that it will provide additional landscaping along the eastern boundary of Pike Field as desired by residents of Barley Cone Lane to buffer their view of the Pike Field Parking Garage and Performing Arts Center. The development plan needs to reflect this additional landscaping desired by the Barley Cone Lane residents. The ultimate standard required of such landscaping is the same as above "a screen of sufficient density not to be seen through and of sufficient height to constitute an effective screen and give maximum protection and immediate visual screening to an abutting property or district," as called for by § 280-68.1D(3)(b) and § 280-71.D.
4. The submitted lighting plan information for all four development plans includes isometrics that demonstrate light at the nearby residential property lines is well below the maximum 0.5 foot-candles allowed. The information also demonstrates that the site and area lighting proposed within the CICD complies with International Dark Sky Association (IDA) full cut-off standards (§ 280-68.1D(3)(g)).
5. The Housing plan needs to include information describing the sound attenuation devices that are a part of or are to be installed on all mechanical, electrical, and trash equipment to minimize noise pollution at any adjacent residential property line (§ 280-68.1D(3)(f)). While a fence and gate enclosure are proposed to surround the trash compactor shown at the railroad end of the eastern portion of Building 1-C in the Housing Plan, how will the fence provide noise buffering? Noise buffering of the mechanical pit adjacent to South Ithan Avenue will be needed as well.
6. A small section of the access control fence along the south side of Lancaster Avenue near its intersection with South Ithan Avenue is proposed to be located inside the required right-of-way.
7. As noted in the February 19, 2015 plan review letter from the Delaware County Planning Commission to the Township, a portion of the subject site is zoned R-3 Residence and should be rezoned to PI Planned Institutional.

#### **PHASING AND PEDESTRIAN PARKING AND TRAFFIC PLAN**

1. Phase 1 - the buffer planting strip that is proposed between the proposed West Lancaster Parking Lot and the R-100 line needs to be ordinance compliant and in place prior to the start of construction of any part of Phase 2.
2. Phase 1 – landscaping to be installed along the Barley Cone Lane properties at the request of the property owners needs to be installed during Phase 1 construction activities and before the start of construction of the Pike Field Garage in Phase 2A.

Page 4 of 4  
Radnor Township  
May 4, 2015  
RETTEW Project No. 101442003  
Lancaster Avenue Housing Land Development Preliminary Plan

3. Phase 3 – the buffer planting strip that is proposed between the proposed parking to the rear of the proposed new dormitories and the R-100 line needs to be ordinance compliant and in place prior to the start of construction of any part of Phase 4.

#### COMPREHENSIVE PLAN CONSISTENCY

1. Our previous review indicated that Villanova's proposed development plan was generally consistent with various components of the Township's Comprehensive Plan including Institutional uses, Environment and Natural Resources, Transportation and Circulation, and Stormwater policies.

Should you have any questions or require any additional information, please do not hesitate to contact us at any time.

Sincerely,



Stephen R. Gabriel, PP  
Township Planning Consultant

copy: Steve Norcini, Public Works Director (email: [snorcini@radnor.org](mailto:snorcini@radnor.org))  
Suzan Jones (email: [sjones@radnor.org](mailto:sjones@radnor.org))

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May 4, 2015

Mr. Stephen F. Norcini, PE  
Public Works Director  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

RE: Villanova University  
Church Walk and Bridge  
Preliminary Land Development Plans  
**Review No. 2**  
RETTEW Project No. 101442003

Dear Steve:

We have completed our review of the above referenced plan as prepared by Nave Newell, Inc. including 19 plan sheets dated March 13, 2015 as well as the responses presented by Villanova verbally and in writing at the April 25, 2015 Board of Commissioners meeting. The Church Walk and Pedestrian Bridge are necessary elements of the University's overall Lancaster Avenue Housing and related CICD development. Preliminary plans for those developments have been reviewed and comments were submitted most recently May 4, 2015. Certain comments contained in that letter relate specifically to Church Walk and the Pedestrian Bridge. Those comments are not repeated here.

We have performed a compliance review of the Church Walk and Bridge preliminary plan for conformance with certain elements of the Radnor Township Zoning and Subdivision Ordinances and coordinated our comments with those submitted by Gannett Fleming, the Township Engineer. We have the following comments on this submittal:

#### ZONING

1. Landscaping making up the required buffer planting strip along the rear of the property (Sheet L 1.0) needs to be shown on the plan along the south side of the proposed ADA ramp to the pedestrian bridge or a note needs to be added to the plan referring to the information on the landscaping plan that is part of the Lancaster Avenue Housing preliminary land development plan (§ 280-71.D).
2. On Sheet L 1.1 regarding the planting on the Aldwyn Triangle, the references to the amounts of dedicated and unprotected areas and the preservation easement need to be updated to reflect the current Lancaster Avenue Housing plan that shows virtually all of the Triangle being preserved.



**SUBDIVISION**

1. An ADA accessible parking spot with direct sidewalk access to the ADA ramp up to the Pedestrian Bridge needs to be designated within the Visitors Parking Lot.
2. On the north side of Lancaster Avenue, a gate is proposed across the driveway just east of the Pedestrian Bridge that leads up to St. Thomas of Villanova Church and other campus facilities. The gate is to be closed except for church events. If vehicles will be allowed to travel along the driveway during church events, a separate walkway up to the church should also be provided for pedestrian safety.

Should you have any questions or require any additional information, please do not hesitate to contact us at any time.

Sincerely,



Stephen R. Gabriel, PP  
Township Planning Consultant

copy: Suzan Jones  
Kevin Kochanski, RLA, CZO  
Roger Phillips, PE  
Amy Kaminski, PE  
Peter Nelson, Esq.

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**Radnor Township Planning Commission  
Minutes of the Meeting of April 6, 2015  
301 Iven Ave., Wayne, Pa**

Chairman Steve Cooper called the meeting to order with the following Commission members present: Kathy Bogosian, Charles Falcone, Skip Kunda, John Lord, Doug McCone, Elizabeth Springer, and Susan Stern. Attendance included: Roger Phillips, PE, Township Engineer; Amy Kaminski, PE, Township Traffic Engineer; Peter Nelson, Esq.; Kevin Kochanski, Director of Community Development; Stephen Norcini, PE, Director of Public Works; and Planner Stephen Gabriel. Regina Majercak was absent.

***Minutes of the February 25, 2015 meeting***

John Lord moved to approve the minutes. Seconded by Susan Stern, the motion carried.

***Minutes of the March 2, 2015 meeting***

Susan Stern moved to approve the minutes. Seconded by John Lord, the motion carried.

***Minutes of the March 10, 2015 meeting***

Susan Stern moved to approve the minutes. Seconded by John Lord, the motion carried.

***Minutes of the March 26, 2015 meeting***

Susan Stern moved to approve the minutes. Seconded by John Lord, the motion carried.

***Subdivision and Land Development Applications***

***SD # 2014-D-07 Villanova University 800 E. Lancaster Ave. (Preliminary Plan)  
Construction of 1,135 bed student housing in six buildings with associated retail space  
under CICD Use with Phase-in construction.***

Charlie Falcone recused himself. Alex Tweedie, PE appeared on behalf of the applicant and addressed the items from the engineer's comments. The applicant will comply with most of the comments. The remainder will require the request of waivers. The subject of the installation and necessity of sidewalks in the area of Church Walk was discussed. A barrier is proposed to be placed in the driveway to restrict vehicle access. This will be opened only during special occasions, such as funerals and some weddings. They are meeting with PennDOT and will comply with their recommendations. Susan Stern asked what the corner would look like if the Performing Arts Center was not constructed. It has been stated that the Center will be constructed if the funds permit it. She also asked about the stormwater management system requirements if the Center isn't built. This information will be researched and reported at a future meeting. She also questioned the possible disturbance of steep slopes in the area of the widening of the driveway.

Public Comment –

Toni Bailey of Rosemont questioned the reduction of the parking with respect to Sunday Church services and special events.

Rick Leonardi of Villanova stated that the nearest Pizza restaurant is on the North Side of Lancaster Avenue and the students will use the crosswalk to access the other side of the street. He also feels that the height of the bridge is a 20' gain not a 12' gain as previously stated.

Board Comment-

Susan Stern mentioned the waiver request on the 35' radius at South Ithan Avenue, the 22' vs 25' drive width behind the housing development, and the neighbors are having a meeting with PennDOT tomorrow evening and they still need to hear comments from that meeting. She also inquired on snow and ice removal will occur on the bridge.

Steve Norcini stated that any issues raised tomorrow night can be addressed at the Board of Commissioners Caucus meeting. Any recommendation this evening can reflect the statement that PennDOT's comments be considered, etc.

Elizabeth Springer mentioned the Aldwyn Triangle and it's maintenance as well as a previous comment about alternate parking.

Susan Stern moved to recommend approval of the Preliminary Plan with the following conditions: a denial of the waiver request for Section 255-27.H, to permit a 25' radius curb on the southwest corner of Ithan Avenue and Route 30, that the applicant meet all outstanding staff comments and review letters, or request waivers from comments, that the applicant install an enhanced stormwater management plan as detailed to the staff, the public, and the Planning Commission at the March 26<sup>th</sup> meeting. This enhanced stormwater management system is to include infiltration and improved water quality as outlined at the March 26 meeting and that the applicant seek any and all easements necessary for the construction, maintenance and access to the pedestrian bridge. Seconded by Doug McCone, the motion carried.

Susan Stern moved that Steve Norcini bring the following memo to the PennDOT meeting tomorrow night. *The Planning Commission strongly supports staff and neighbors recommendations of a right-turn lane at the southwest corner of Route 30 and Ithan Avenue.* Seconded by John Lord, the motion carried.

***SD # 2014-D-02 (Preliminary Plan) BioMed (BMR – 145 King of Prussia Road, LP)  
Demolition of existing office/research buildings and redevelopment of property with proposed office  
buildings and associated parking located at 145 King of Prussia Road***

George Kroclic, Esq. stated that the revised plan has additional vehicles being included in sub-surface parking that were once counted in surface parking. This plan now complies with Code and has been accepted by Peter Nelson. However, there was discussion regarding the ambiguity of this issue. Surface parking has been removed to increase more green space. Several buildings have been moved forward to the parking area and the square footage has been shared between the buildings now. A greenways trail plan has been incorporated throughout the development and a sidewalk has been added.

John Wichner, McMahon Assoc., stated that King of Prussia Road is proposed to be widened to 4 lanes in the area. All revised traffic improvements were detailed to the board including traffic adaptive

signals which will be part of a grant. The 2009 approved plan included no roadway improvements. The revised 2013 plan includes many roadway improvements.

Alex Tweedie, PE, on behalf of the applicant stated they will comply with many of the comments. He listed the items where they are requesting waivers. He went over all consultants memos and they will comply with all of Rettew's comments.

Susan Stern asked the applicant if they plan on construction the stormwater management system that will exceed what is required by Code.

Mr. Wichner responded to several of Amy Kaminski's comments on the TIS. Susan Stern asked if a dedicated left turn lane could be extended in the morning for vehicles entering the high school heading north from Route 30. Several proposed enhancements by the applicant, and working with PennDOT, should assist vehicle movement in the area. Examples of what the applicant is proposing to do include: restriping the exit ramp off Route 476, the additional turn lane at King of Prussia Road and Route 30, and the traffic signal adaptive program.

Steve Norcini mentioned happy to see the applicant doing off-site improvements on an application that doesn't necessarily require it. He is concerned with the adaptive program where it stops with respect to other traffic signals. The two signals at Raider Road and Radnor Chester Road are not included in this loop. The applicant will look into including the two signals that are not included.

There was a lot of discussion regarding the level of service now and after future development. The current level is an 'F'. In the future with the adaptive system, it is expected to become an 'F+'. Right-Of-Ways' need to be obtained from both PennDOT and the Radnor Township School District to widen King Of Prussia Road at Route 30.

#### Public Comment-

On behalf of Brandywine Entities, George Broseman addressed the Board. He questioned many issues including: was there a TIS study done for the 2009 TIS with regards to parking spaces, waiver to use ITE trip generation rather than the Code, if the waiver wasn't granted would trip generation be higher, the cartway width waiver, 65' shown on plan, are green roofs being included as landscape area, is the area on plan that green over the parking area considered 'green', and the waiver with regard to landscape area. Roger Phillips stated the numbers would change depending on the smaller right of way waiver request. Infiltration tests need to work before proposing large stormwater management systems. He wondered if the underground parking garage had been approved by the fire officials, what was the fire access and did this plan pass the public safety acceptance and approval. He doesn't feel the underground parking complies with the code for allowable underground parking. He asked the Board to recommend denial of the plan based on the unanswered questions.

Also from Brandywine, Jeff DeVuono, asked the Board to look at this plan from a practical observation. Radnor Financial Center has been compared to the BioMed site on numerous issues. He asked the Board to look at the plan from the practical side.

Skip Kunda has concerns with the process. At this point, these are the best plans that they've seen so far. Kathy Bogosian agrees. John Lord agrees, however, more parking should be put underground.

Elizabeth Springer sees a lot of positives, but feels this plan isn't quite there yet. Charlie Falcone has issues with traffic.

The applicant was asked if they would consider tabling the plan. They responded feeling that they've provided what has been expected and want to move forward.

Many items were discussed as to what this plan needs: stormwater issues, satisfaction of staff, compliance with the stormwater ordinance, right-of-ways on both sides of King of Prussia Road, removal of more surface parking, and safety and fire concerns of underground parking, to name a few.

Charles Falcone moved to recommend preliminary plan approval based on the points, that the applicant must secure the right of way necessary for the traffic construction proposed, stormwater issues particularly infiltration have to completely satisfy staff, that the underground parking structure meet code and is safe and fire safe, that traffic issues are primary concern of the commission and we hope that the board of commissioners address that when they vote to approve or deny and recommend that the applicant remove more surface parking. Seconded by John Lord, the motion carried 5-2. Kathy Bogosian and Elizabeth Springer opposed. Susan Stern had previously left the meeting.

***APPEAL #2932 The applicant, David Semerjian Builders, LLC, property located at 415 and 501 Maplewood Avenue, 255 Highland Avenue – Lots 4 and 5, Central Avenue – Lot 15 and 16, and 253 Highland Avenue and zoned R5, seeks a variance, in order to construct 12 townhomes which is a permitted use, from Section 280-35(B)(9) regarding Impervious Coverage or contends that the relief is permitted as of right since it is not increasing the existing non-conformity on Impervious Coverage. Applicant further seeks any other zoning or alternative relief required pursuant to the Plans presented with this Application. A Special Exception pursuant to Section 280-101(A), or contends that the relief is permitted as of right since it is not increasing the existing non-conformity in order to construct townhomes on the premises. Applicant further seeks any other zoning or alternative relief required pursuant to the Plans presented with the Application.***

Nick Caniglia, Esq. appeared on behalf of the applicant. The sites are proposed to be merged. The applicant is proposing to reduce the amount of impervious on site; however, the new impervious numbers are still slightly higher than the permitted amount. Kevin Kochanski stated that he is asking the solicitor's office to oppose this application with respect to the 'ownership' status of the paper street. Whether or not the Township has any rights to the paper street with respect to access to the Township Trail situated behind this site needs to be researched. Paperwork which has been submitted regarding ownership has not yet been seen by staff.

John Lord moved to reject the plan based on the impervious coverage, the open issue regarding Central Avenue and the ownership of that street and the belief that there are too many proposed structures on the property. Seconded by Kathy Bogosian, the motion carried.

**APPEAL #2941 The applicants, Peter McKenna and Peter Flint, property located at 125 Bloomingdale Avenue and zoned CO, seeks Special Exceptions pursuant to Sections 280-101(A)(2) regarding expansions of a non-conforming use and 280-105(F) regarding parking in the front-yard setback to convert the existing 3 apartments to 3 condominium units. In the alternative applicant seeks a variance from 280-42. Applicant further seeks any other zoning or alternative relief required necessary for the conversion of the apartments to condominiums pursuant to the Plans presented with the Application.**

Nick Caniglia, Esq. appeared on behalf of the applicant. He is meeting tomorrow with the Zoning Officer with the current property owners and will discuss the current usages thereof. Three small additions are proposed as well as some parking expansion. There should be no impervious coverage issues.

Public Comment-

Baron Gemmer owns the property across the street. He has questions regarding the impervious surface numbers and would like to see some of the parking spaces moved.

Doug McCone feels that the Bloomingdale entrance should be eliminated due to the impact on two large trees and the applicant should just use the two-way in and out off of West Wayne Avenue. He would like to see this plan denied due to the impervious issue and asks that the applicant reconfigure the plans. Kevin Kochanski reminded the board that the impervious issue is not part of the zoning hearing board issue, only the special exception for use and front yard setback. If impervious comes into play, then the applicant will have to either reappear for that relief or reconfigure the plans accordingly. Kathy Bogosian doesn't see anything wrong with the plans. Charles Falcone agreed.

John Lord moved to recommend approval of the plans. Seconded by Kathy Bogosian, the motion carried 4-2. Skip Kunda and Doug McCone opposed. The motion carried.

*Old Business*

*New Business*

*Public Comment*

Adjournment

Respectfully submitted,

**Radnor Township Planning Commission**  
**Minutes of the Meeting of March 26, 2015**  
**301 Iven Ave., Wayne, PA**

Vice Chair Skip Kunda called the meeting to order with the following Commission members present: Kathy Bogosian, John Lord, Regina Majercak, Doug McCone, Elizabeth Springer and Susan Stern. Attendance included: Roger Phillips, PE, Township Engineer; Amy Kaminski, PE, Township Traffic Engineer; Kevin Kochanski, Director of Community Development; Stephen Norcini, PE, Director of Public Works; Planner Lauren Zumbun; and RTPD Officer Raymond Matus. Steve Cooper and Charles Falcone were absent.

Subdivision and Land Development Applications

*SD # 2014-D-07 Villanova University 800 E. Lancaster Ave. (Preliminary Plan)  
Construction of 1,135 bed student housing in six buildings with associated retail space  
under CICD Use with Phase-in construction.*

Nick Caniglia, Esq. addressed the Board. He would prefer to not revisit any of the items that the applicant has already agreed to during previous meetings. Skip Kunda asked Alex Tweedie, P.E. to address the comments in Roger Phillips' most recent memo. Many of the items resulted in a 'will comply' from the applicant. Other items need to be tweaked or clarified and they will work with the township engineer. There are some items where the applicant is requesting waivers from the required Code.

Parking -

Susan Stern requested that staff construct a list of the items the applicant wants to discuss so that the discussion can refer to that list at the end of the meeting. Regina Majercak asked that the width of the drive isle behind the residence buildings be maintained at 25' instead of the proposed 22'. Amy Kaminski indicated she had no engineering objection with the 22'. The applicant is requesting a waiver from the 35' turning radii at the corner of Route 30 and South Ithan Avenue. The Commission gave informal feedback that this waiver is not supported by them. This issue will be discussed with PennDOT. The design of the cross-walk should be moved to provide a shorter pedestrian crossing on Route 30 at the Ithan Avenue intersection.

Public comment -

Rick Leonardi from Aldwyn Lane felt the radius is 10' deficient from the requirements. He feels the only way to enhance the St. Augustine garage is to demolish it and rebuild since it would not provide internal circulation. He read a statement consisting of eight items that are of concern to him. It is his opinion that more vehicles should be moved from the Pike Parking Garage over to St. Augustine and Bartley Hall parking if those parking areas are rehabbed for more vehicles. He also noted that if the rehabbed garages need more spaces that the structures with the added levels would be adjacent to the train tracks and the campus and not adjacent to residences where they would be more of an intrusion.

Board comment -

The applicant reviewed the parking supply on Route 30. There are currently 1700 parking spaces at the pike parking lot. With the new plan, 1,289 spaces will be constructed with a reduction in parking.

700 vehicles would be warehoused at the proposed Pike Garage. The applicant was asked if they would consider appearing before the Zoning Hearing Board to add additional parking levels to the other garages. They declined.

#### Stormwater-

Susan Stern asked how the applicant was planning on capturing the run-off. Mr. Tweedie described the locations of the systems and drainage areas and gave the infiltration rates for each. Roger Phillips reminded the board that as part of the grading permit, the applicant has to construct the stormwater systems and they have to be approved in order for the permits to be issued. In addition, the applicant is planning on capturing PennDOT run-off from Route 30 in their system as an added feature. This is not a requirement as part of this SALDO submission.

#### West Lancaster Parking-

Some of the comments related to the existing non-conforming conditions. These will not be changed as part of this application. The Township Engineer will take another look at this section now that he is aware that some of the parking isn't changing.

#### Pike Garage-

Susan Stern asked about design plans to have something on the sides of the buildings to mute the reflective lights in this area. The applicant is looking into different ways to reduce glare and back light and redirect it where it needs to go. Questions were raised about vehicles parking on the roof and whether the top parking area accounted for the height of the building. Bumpers will be installed to deflect the headlights from the neighboring residences.

#### Performing Arts Center-

Roger Phillips stated that he wants all items documented on the drawings. Amy Kaminski has just been notified that southbound on Route 30 at Ithan Avenue, there's a left turn that's 75', in front of Butler Annex Building. With redistribution of traffic the left turn lane requires a length of 135'-170'. This is the first report that includes the queuing analysis. This item should be discussed or considered prior to making a decision regarding approvals. She feels that many of the items in the memo can be settled with the applicant. On April 7, 2015, there will be a meeting with PennDOT and many of the neighbors to discuss this application.

Lauren Zumbrun, Rettew Assoc. stated that buffering is required to be placed strategically as per the CICD Ordinance. Skip Kunda asked if the applicant could supply a computer generated plan showing the proposed buffering on the site in the future. The 22' roadway behind the residence halls does not really concern the Planner's comments. Mr. Tweedie stated that PECO will not permit buffering within a certain area near the train track lines.

Kathy Bogosian has a question about the level of service at Route 30 and Spring Mill Road. Currently the intersection operates poorly. Traffic Engineer Frank Tavani, PE, responded that the levels do not degrade too much. The applicant will be posting funds for a traffic adaptive system at three intersections. The Township has submitted a grant to expand and include three additional intersections. He believes that this will help reduce the traffic delay in the area.

#### Public comment-

Mr. Leonardi felt that the Villanova student traffic expands the peak hour from one hour to about three hours in the area. 1,000 new residents will be living in this area when the project is finished and everyone has to figure out how to make it work.

Discussion ensued regarding tabling the plan until more information could be obtained. Nick Caniglia requested that they be seen before the April 13 Board of Commissioners' meeting. Amy Kaminski's report and Roger Phillips' report for Church Walk needs to be seen and reviewed before scheduling another meeting. The public meeting with neighbors and PECO should also be held before another special Villanova meeting so all comments can be incorporated in the future discussion.

Public comment-

Tish Long from Aldwyn Lane requested that no decisions be made until after the public meeting with PennDOT.

Jane Galli from Barcladen Road wants the commission to think about sewage because during the previous construction of the south campus her development had sewage issues and wants to make sure that this issue is addressed. Mr. Tweedie responded as they are in communication with Steve Norcini, Lower Merion and DEP to ensure sufficient flow.

Susan Stern moved to continue the application. Seconded by Kathy Bogosian, the motion carried.

#### New Business

In an effort to reduce paper to the commission members on 'continued or tabled items', Susan Stern requested that only the new comments and memos be forwarded to them since they've already received and reviewed all back up documentation. Full comment packets will still be available for the public during the meetings.

Respectfully submitted,





**Gannett Fleming**

*100 Years*

*of Excellence Delivered As Promised*

**Date:** April 7, 2015

**To:** Radnor Township Board of Commissioners

**From:** Roger Phillips, PE

**cc:** Robert Zienkowski – Township Manager  
Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
John Rice, Esq – Grim, Biehn, and Thatcher  
Amy Kaminski, PE – Gilmore and Assoc.  
Steve Gabriel - Rettew

**RE:** Villanova University – Lancaster Avenue Housing  
Villanova University – Applicant

Date Accepted: January 6, 2015  
90 Day Review: April 6, 2015 extended to April 30, 2015

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Gannett Fleming, Inc. has completed a preliminary review of the Villanova University Lancaster Avenue Housing Preliminary Plan for compliance with the Radnor Township Code. This Preliminary Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor. A preliminary review was also completed for the West Lancaster Parking Lot, Pike Field Garage, the Performing Arts Center, and the Church Walk. Preliminary comments have been included in this letter. Additional comments may be forthcoming as a detailed review is completed. We note that plans have not been submitted for the SAC Parking Garage.

Conditional use approval was granted on November 24, 2014 to permit the development under CICD (decision attached). The applicant is proposing to construct a 1,138 bed student housing facility in six buildings with associated retail space.

The applicant appeared before the Planning Commission on April 6, 2015. The Planning Commission recommended approval of the plans based on the following conditions:

- Denial of the waiver request for Section 255-27.H, to permit a 25' radius curb on the southwest corner of Ithan Avenue and Route 30.
- The applicant meet all outstanding staff comments and review letters, or request waivers from comments.
- The applicant install an enhanced stormwater management plan as detailed to the staff, the public, and the Planning Commission at the March 26<sup>th</sup> meeting. This enhanced

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402  
t: 610.650.8101 • f: 610.650.8190  
www.gannettfleming.com

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stormwater management system is to include infiltration and improved water quality as outlined at the March 26 meeting

- The applicant seek any and all easements necessary for the construction, maintenance and access to the pedestrian bridge.

The applicant has indicated that the following waivers will be requested from the Subdivision and Land Development Code:

- §255-27.H – To permit a 25 ft radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.

Plans Prepared By: Nave Newell  
Dated: 12/05/2015 and revised 03/06/2015

### I Zoning

1. §280-68.1.D(2)(g)1 – Not more than 30% of CICD shall be occupied by buildings. The total building coverage may be increased to no greater than 45%, subject to the land preservation standards of this section, provided that in no event may the total building coverage of the applicant's entire campus within the PI zoning district exceed 30%. For purposes of calculating the total building coverage in the CICD, parking structures shall be included in the building area. A breakdown of the proposed 35.5% building coverage shown on the plans must be provided, including information from the other phases. The applicant has indicated that the total building area is 4.9 acres. The building area for each individual building must be provided.
2. §280-68.1.D(2)(g)2 – No individual building nor group of buildings not separated from each other by the minimum required separation distance noted below shall occupy more than 10% of the CICD site. Parking structures are not required to be included in the calculations of individual building coverage. The plan indicates building coverages of 7.6% for Residence Hall 2, 8.5% for Residence Hall 1 and the Performing Arts Center is 5.6%. A detailed breakdown of this calculation has been provided. It appears that the proposed % shown on the zoning tables are reversed for the residence halls. This must be revised.
3. §280-68.1.D(2)(h) – Not more than 45% of the CICD site may be covered by impervious surfaces; provided, however, if the CICD is redeveloping existing improved lands, then the maximum allowed impervious surface ratio shall be 45% or 10% less than the existing impervious surface ratio on the proposed CICD site, whichever is greater. In no event may the maximum allowed impervious surfaces on the applicants entire campus within the PI Zoning District exceed 45%. The plan indicates that the entire campus proposes 36.4%. The existing impervious surface calculation for the CICD indicates it is 92% impervious therefore 82% is the maximum permitted. A detailed breakdown of how

the 92% impervious was calculated must be provided. The impervious should be broken down by each separate area.

4. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section. The applicant has revised the plans to label every building separation point.
5. §280-68.1.D(3)(e)[2] – There shall be no off-street loading requirements except for retail subordinate uses. All off-street loading shall be adjacent to the use being served by the space; designated by the applicant; and approved during the conditional use approval process. The location of loading dock behind Building 1C was not provided on the plans during the conditional use approval. A loading area was proposed within the surface parking lot behind Building 1C, which is no longer proposed.
6. §280-68.1.D(3)(e)[5] – As specifically designated during the conditional use approval process, the required off-street parking spaces may be located within the boundaries of the CICD or on other areas of the entire campus, exclusive of areas within residential zoning districts. The location of the proposed parking areas differ slightly from what was approved during the conditional use process. There is no longer a parking area expansion proposed for the Health Services Center, and the Saint Augustine Garage (SAG) is proposed to have 2 additional levels. This increases the net number of parking spaces provided by the SAG by 27 spaces. The overall number of proposed parking spaces that was approved during conditional approval has been reduced by 19 for the entire site, however the parking provide still exceeds the minimum required.
7. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
8. §280-103A. – As a general requirement, each use in the Township shall provide sufficient off-street parking area to serve its users. The applicant has submitted a phasing narrative on sheet C2.3 that indicates the minimum required parking will be maintained during construction.
9. §280-105.E. – All outside lighting including sign lighting shall be directed in such a way as not to create a nuisance in any agricultural, institutional, or residential districts, and in every district all such lighting shall be arranged so as to protect the street or highway and

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adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet. It appears that the detail for the luminary has been removed from the detail sheet. A clearly legible detail must be provided that indicates the proposed height.

10. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has indicated that there will be disturbance in the steep slope area along Ithan Avenue. This disturbance is allowed under §280.112.D.(6) as it is required for construction of a roadway with no alternative routing along Ithan Avenue.
11. §280-123 – Any signs proposed for this development must be in accordance with this section. The applicant has indicated that any necessary signage applications will be submitted separately from the land development process.

II Subdivision and Land Development

1. §255-20.B.(1)(d) – All applicable zoning districts for this land development must be provided on the plans. This must be shown on the overall plan sheet.
2. §255-27.H(6) - Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. The applicant has requested a waiver to allow a 25 foot radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.
3. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance exit drive shown on the plan into the proposed parking area behind the student housing is 22 feet. This must be revised or a waiver from this requirement requested.
4. §255-38 – Street trees 2 ½ dhb and intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. An equivalent number may be planted in an informal arrangement, subject to the approval of the Board of Commissioners. Street trees have been provided in accordance with this section.
5. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreational area shall be 2,500 square feet per 4,000 square feet of building area. The applicant must conform to this section.
6. §255-43.1.E(2) – Where, upon agreement with the applicant or developer, it is determined that the dedication of all or any portion of the land area required for park and

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recreation purposes is not feasible, the applicant or developer shall pay a fee in lieu of dedication of any such land to the Township. The fee for non-residential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. The applicant must conform to this section.

7. §255-54.B. – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

### III Stormwater Management

1. The applicant must provide an explanation or reconcile the inconsistency for the impervious area value for RG-10. Page 31 of the Stormwater Report lists the impervious area to be 9,216 SF, page 40 lists the impervious area to be 6,216 SF, page 149 lists the impervious area to be 6,216 SF and the table on the plan, and "Drainage Plan (Volume Management) lists the impervious area to be 9,216 SF.
2. The Dewatering Calculations for LAH Infiltration System 202 indicates that the 100-year condition requires 103.56 hrs. (4.31 days) for the volume to completely dewater. Stormwater BMPs must be able to completely drain within 96 hours.

### IV General Comments

1. The applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increase wastewater disposal generated by the project.
2. A detail of the proposed fence/gate enclosure must be provided on the plans.

## West Lancaster Parking

### I Zoning

1. §280-43.D – No building shall be located less than 65 feet from a street right-of-way line, less than 20 feet from a side property line nor less than 25 feet from a rear property line. The applicant is proposing a 57.9 front yard setback and a 11.9 foot side yard setback. Both are non-conformities that the applicant intends to continue.

**II Subdivision Land Development**

1. §255-29.B.(1) – All parking areas shall have at least one tree 2 ½ inches minimum in caliper for every five parking spaces in single bays and one tree 2 ½ inches minimum in caliper for every parking space in double bay. A minimum of 10% of any parking lot facility over 2,000 square feet in gross area shall be devoted to landscaping, inclusive of required trees. The landscape plans indicate that there are 232 parking spaces for this project. The overall Lancaster Avenue housing plans indicate that there are 240 proposed spaces for this lot. This must be verified and all plans revised to be consistent.
2. §255-29.A.(1) – The minimum aisle width for two way parking is 22 feet. The aisle width for Moriarty Hall, the visitor's lot, Stone Hall and between Stone Hall and Farrell Hall must be revised. Also a dimension should be shown between the proposed shuttle stop and curbing on sheet C2.1.
3. §255-29.A.(1) – The dimension of a 90° parking stall shall be 9 ½ feet by 20 feet. There is a parking spot located south of Farrell Hall does not meet those dimensions. Also the parallel parking spaces between Stone Hall and Farrell Hall are not the required 8 x 22 feet. The two way parking aisle between parallel parking spaces must be 18 feet.
4. §255-29.A.(6) – No more than 10 parking spaces shall be permitted in a continuous row without being interrupted by landscaping and concrete curb. The visitor lot must be revised.
5. §255-29.A.(7) – No one area for off-street parking of motor vehicles shall exceed 30 cars in capacity. Separate areas on a parcel shall be physically separated from one another by ten-foot wide planting strips and concrete curb. The visitors lot must be revised.
6. §255-29.A.(15) – All dead-end parking areas shall be designed to provide sufficient backup area for all the end stalls of a parking area. The dead-end parking spaces behind Farrell Hall must be revised to include a sufficient back-up area.

**III Stormwater Management**

1. The applicant must provide an explanation or reconcile the inconsistency for the Area values listed for RG-101. The supporting calculations for the Volume Summary on page 24 list the overall drainage area to be 29,422 SF. Plan measurements of the sheet, "Post Watershed Area Plan" appears to indicate a drainage area significantly larger (approximately 46,500 SF). It would be helpful if the applicant submitted documentation similar to page 36 of the Stormwater Report for the Lancaster Avenue Housing Phase that detailed the structure/facility's total area, impervious area and pervious area.
2. The "Volume – One Inch" calculation sheet on pages 24-25 appears to have some inconsistencies and should be rechecked and resubmitted. Specific examples include the following

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- a. RG-101's volumetric storage value of 1,472 CF seems inconsistent with the calculations shown for the cumulative storage and incremental storage volume values.
  - b. RG-102 has a similar calculation inconsistency – The T/G elevation of 438.5 listed, however calculations for the area, depth, ave. area etc. stop at elevation 438.00. Additionally the volumetric storage value of 1,846 CF does not appear consistent with the volume calculations provided for both the incremental and cumulative storage volume values.
  - c. The applicant must provide supporting documentation for the cumulative volume values reported for Infiltration systems 101, 102 and 103 similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
3. The Dewatering Calculations for WLA Infiltration System 202 indicates that the 100-year condition requires 113.45 hrs. (4.73 days) for the volume to completely dewater. Stormwater BMPs must be able to completely drain within 96 hours.
  4. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
  5. The applicant must provide a plan similar to the "Post Development Drainage Plan (Volume Management)" provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
  6. The "Inlet Area Plan" appears to be missing drainage areas for I-202A, I-202B, and some of the inlets along the Lancaster Avenue turning lane. Please update the plan so these values can be checked against what is being reported in the stormwater calculations.
  7. How and where is the runoff from the pedestrian bridge being addressed? A drainage area for this area is partially drawn on sheet "Post Watershed Area Plan", but it is not included in the drainage area chart on page 124. Please provide an explanation.
  8. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

## ***Gannett Fleming***

### Pike Field Garage

#### I Zoning

1. §280-68.1.D(2)(i)[3] – Height limitations from the average existing grade (the average of the existing grades taken at a twenty foot interval around the proposed building perimeter) to the midpoint of a sloped roof or to the highest roof beams if a flat roof, provided that the chimneys and spires shall not be included in measuring the height structures for the CICD. The height limitations for a parking structure shall be 38 feet. The plan indicates that the proposed structure will be 5 levels. The applicant has indicated that the height of the parking structure will be 37.85 feet.
2. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.
3. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
4. §280-68.1.D(3)(e)4 – Surface parking spaces shall be no less than nine feet by 19 feet. Parking spaces in any parking structure shall be no less than eight feet six inches by 19 feet. The parking spaces must be dimensioned on the plans. Detailed parking garage plans must be submitted for review.
5. §280-69.C – No building or structures shall exceed three stories or 38 feet in height. The plan indicates that the proposed parking structure will be 5 levels. The applicant has indicated that the parking structure will be 37.85 feet.
6. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. There are storm sewers proposed on areas of greater than 20%.



***Gannett Fleming***

**II Subdivision Land Development**

1. §255-54.B. – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided. The proposed fire access land is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.

**III Stormwater Management**

1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
3. There appears to be missing/inconsistent information between the drainage area table on page 189 of the Stormwater Report and the “Inlet Area Plan”. The RG-1 referred to on the table does not appear on the plan for this section of the development. There also appears to be missing drainage areas/information for YD 3-1, YD 3-2 and the Trunc Flow I-314. Please explain.
4. A drainage area for Pike Garage is shown to drain to a stormwater management system in POI 2B. The area breakdown does not appear to be included on the drainage area table on page 189 of the Stormwater Report. This is inconsistent with the other drainage areas reported for POI 2B. Please update the table accordingly.
5. The Volume Calculations for the Proposed Garage Basin – POI – 2B appears to have inconsistent information with regards to the detail shown on the Pike Field Garage Plans, Sheet 27 of 34. The bottom of the engineered soils appears to be at elevation 412.50 while the calculations report a total volume to el. 411.50 to be 1,613 CF. Further detail explaining how that volume was calculated must be provided.
6. The applicant must provide supporting documentation for the “Elevate Low Flow Orifice 6” to 411.00 volume value reported (6,073 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
7. Please provide a detail of the Existing Underground Basin in Pike Field

## ***Gannett Fleming***

8. The applicant must provide supporting documentation for the "Total Volume to El. 411.65" volume value reported (1,992 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
9. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

### IV General

1. The proposed fire access lane is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.
2. Detailed parking garage plans must be provided for the Pike Field Garage.

### Performing Arts Center

#### I Zoning

1. §280-68.1.D(2)(i)[1] – Height limitations from the average existing grade (the average of the existing grades taken at a twenty foot interval around the proposed building perimeter) to the midpoint of a sloped roof or to the highest roof beams if a flat roof, provided that the chimneys and spires shall not be included in measuring the height structures for the CICD. The height limitations for academic and performance facilities shall be 50 feet. The applicant has indicated that the height will be 49.88 feet.
2. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.
3. §280-68.1.D(2)(j)2(b) - The minimum building space between buildings and a parking structure is 30 feet. The parking garage must be shown on the plans to ensure adequate distance between the performance art center and the parking garage.
4. §280-68.1.D(3)(f)[2] – Mechanical/electrical equipment and trash shall be screened from view. In addition, sound attenuation shall be installed on all equipment to minimize noise

## ***Gannett Fleming***

pollution at any adjacent residential property line. A detail of the dumpster/recycling area must be provided. Also details of the proposed screen wall and access gates must be provided.

5. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.

## II Stormwater Management

1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
3. The drainage area table on page 189 of the Stormwater Report does not appear to be accounting for the drainage areas of the PAC Detention System to POI 2B (I-225, I-226, Roof area).
4. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

## Church Walk and Bridge

### I Zoning

1. §280-68.1.D(2)(b) – Setbacks from the ultimate right-of way for major collector streets shall be 60 feet for surface parking lots. The visitors parking lot is less than 60 feet from the proposed right of way line. This is a non-conformity that the applicant intends to continue.
2. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property

line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.

3. §280-69.E(3) – Surface parking areas are classified as a category of use 1. Category 1 uses and structures shall be set back from rear and side property lines by 75 feet. The existing parking area is set back 20 feet. This is a non-conformity that the applicant intends to continue.
4. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.
5. §280-123 – Any signs proposed for this development must be in accordance with this section. The applicant has indicated that any necessary signage applications will be submitted separately from the land development process.

## II Subdivision and Land Development

1. §255-29.A.(1) – The minimum dimensions of parking aisles for 90° parking is 22 feet. The aisles in the existing visitor parking area are less than 22 feet. This must be revised or a waiver from this section requested.
2. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance and exit drive shown on the plan is 22 feet. This must be revised or a waiver from this section requested.
3. §255-29.A.(19) – All artificial lighting used to illuminate any parking space or spaces shall be arranged so that no direct rays from such lighting shall fall upon any neighboring property or streets, nor shall any high-brightness surface of the luminaries be visible from neighboring residential properties or from a public street.
4. §255-37.C – Sidewalks and public paths shall be located within a public right-of-way, a public easement or a common open space area. The sidewalk is not located in the public right-of-way. The applicant must request a waiver from this requirement.
5. §255-38 – Street trees 2 ½ dhb and intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. An equivalent number may be planted in an informal arrangement, subject to the approval of the Board of Commissioners. Street trees have been provided in accordance with this section.

***Gannett Fleming***

III Stormwater Management

1. The March 6, 2015 Stormwater Report does not include a specific discussion of the Stormwater concept for the Church Walk and Bridge. Please update the narrative accordingly.
2. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
3. The applicant must provide a plan similar to the "Post Development Drainage Plan (Volume Management)" provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.

We recommend that the plans be revised to address the comments stated above along with comments provided in the review memo from Gilmore and Associates prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**Gannett Fleming**

*100 Years*

*of Excellence Delivered As Promised*

**Date:** March 31, 2015

**To:** Radnor Township Planning Commission

**From:** Roger Phillips, P.E.

**cc:** Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Steve Gabriel - Rettew  
Suzan Jones – Radnor Township Engineering Department  
William Miller – Radnor Township Codes Official  
Ray Daly – Radnor Township Codes Official

**RE:** Villanova University – Lancaster Avenue Housing – Church Walk  
Villanova University – Applicant

Date Accepted: January 6, 2015

90 Day Review: April 30, 2015

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Gannett Fleming, Inc. has completed a preliminary review of the Church Walk and Bridge Preliminary Plan for compliance with the Radnor Township Code. This Preliminary Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor. Preliminary comments have been included in this letter. Additional comments may be forthcoming as a detailed review is completed.

Conditional use approval was granted on November 24, 2014 to permit the development under CICD (decision attached). The applicant is proposing to construct a 1,138 bed student housing facility in six buildings with associated retail space.

Plans Prepared By: Nave Newell

Dated: 03/13/2015

### Church Walk and Bridge

#### I Zoning

1. §280-68.1.D(2)(b) -- Setbacks from the ultimate right-of way for major collector streets shall be 60 feet for surface parking lots. The visitors parking lot is less than 60 feet from the proposed right of way line. This is a non-conformity that the applicant intends to continue.

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402  
t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com

**Gannett Fleming**

2. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
3. §280-69.E(3) – Surface parking areas are classified as a category of use 1. Category 1 uses and structures shall be set back from rear and side property lines by 75 feet. The existing parking area is set back 20 feet. This is a non-conformity that the applicant intends to continue.
4. §280-71 – Along rear and side property lines, a buffer planting strip, shall be provided. The applicant has provided a 20” buffer planting strip along 142 of the rear property line. The buffer planting strip must be provided along the entire rear property line.
5. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.
6. §280-123 – Any signs proposed for this development must be in accordance with this section. The applicant has indicated that any necessary signage applications will be submitted separately from the land development process.

**II Subdivision and Land Development**

1. §255-29.A.(1) – The minimum dimensions of parking aisles for 90° parking is 22 feet. The aisles in the existing visitor parking area are less than 22 feet. This must be revised or a waiver from this section requested.
2. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance and exit drive shown on the plan is 22 feet. This must be revised or a waiver from this section requested.
3. §255-29.A.(19) – All artificial lighting used to illuminate any parking space or spaces shall be arranged so that no direct rays from such lighting shall fall upon any neighboring property or streets, nor shall any high-brightness surface of the luminaries be visible from neighboring residential properties or from a public street.
4. §255-37.C – Sidewalks and public paths shall be located within a public right-of-way, a public easement or a common open space area. The sidewalk is not located in the public right-of-way. The applicant must request a waiver from this requirement.

***Gannett Fleming***

5. §255-38 – Street trees 2 ½ dnb and intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. An equivalent number may be planted in an informal arrangement, subject to the approval of the Board of Commissioners. Street trees have been provided in accordance with this section.

**III Stormwater Management**

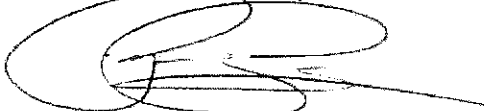
1. The March 6, 2015 Stormwater Report does not include a specific discussion of the Stormwater concept for the Church Walk and Bridge. Please update the narrative accordingly.
2. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
3. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.

We recommend that the plans be revised to address the comments stated above along with comments provided in the review memo from Gilmore and Associates prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager





**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

---

**Date:** March 30, 2015

**To:** Steve Norcini, P.E.  
Radnor Township Public Works Director

**From:** Amy Kaminski, P.E., PTOE  
Department Manager of Transportation

**cc:** Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Steve Gabriel, PP, RETTEW  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** Villanova University – Lancaster Avenue Redevelopment  
Preliminary Land Development Review #2  
Radnor Township, Delaware County, PA

G&A 12-04054

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Gilmore & Associates, Inc. (G&A) has completed a transportation review referenced project addressing comments in our review memorandum, dated January 28, 2015 and offers the following comments for Radnor Township consideration:

**I. BACKGROUND**

The applicant, Villanova University, intends to develop/redevelop several parcels located along Lancaster Avenue, southeast and southwest of the Ithan Avenue intersection, in Radnor Township, Delaware County. The project includes construction of student housing (1,135 bed apartment-style residence halls), retail shops (University Bookstore, bistro and small convenience store, size to be determined) along with 147 surface parking spaces to be located on the southwest corner of Lancaster Avenue and Ithan Avenue. In addition, the project includes construction of a Performing Arts Center (with 500 – 650 total seats in two theaters) and a multilevel parking structure (1,293 spaces) to be located on the southeast corner of Lancaster Avenue and Ithan Avenue. Villanova University intends to eliminate many of the existing driveway accesses located on the south side of Lancaster Avenue, west of Ithan Avenue and construct a shared surface parking lot to the rear of the existing university buildings along the south side of Lancaster Avenue. The Church Walk access and associated signalization will be relocated west of the present location and a new right in driveway will be constructed

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west of Church Walk. The applicant also intends to construct a pedestrian walkway over Lancaster Avenue at the present Church Walk access location.

## II. DOCUMENTS REVIEWED

1. Preliminary Land Development Submission for Lancaster Avenue Housing, consisting of 35 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated December 5, 2014 and revised March 6, 2015.
2. Preliminary Land Development Submission for West Lancaster Parking, consisting of 28 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
3. Preliminary Land Development Submission for Church Walk and Bridge, consisting of 20 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 13, 2015.
4. Preliminary Land Development Submission for Pike Field Garage, consisting of 34 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
5. Preliminary Land Development Submission for Performing Arts Center, consisting of 18 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
6. Pedestrian Parking & Traffic Plan, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
7. Event Traffic Circulation Plan, consisting of 7 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
8. Lancaster Avenue residential Housing Evacuation Plan, consisting of 2 sheets, prepared for Villanova University, prepared by Voith & Mactavish Architects LLP, dated March 2, 2015.
9. Response Letter, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
10. Transportation Impact Study dated March 12, 2015 prepared by F. Tavani Associates, Inc.
11. Response Letter dated March 12, 2015 prepared by F. Tavani Associates, Inc.

## III. CONSTRUCTION PHASING

The applicant has identified the following construction phasing Sheet 8 of 35(C2.3) *Project Phasing Plan*.

1. Phase 1 Improvements
  - i. St. Augustines Center Garage Expansion
  - ii. Improvements to the West Lancaster Parking facilities
  - iii. Ingress from Lancaster Avenue at existing driveways
  - iv. Egress to Lancaster Avenue at signal at the existing Church Walk driveway
  - v. Closure of Pike Lot surface parking field

**Comment:** Phase 1 improvements may require signal timing modifications at the Church Walk intersection due to redistribution of traffic from Ithan Avenue to Church

Walk signal. In addition, the elimination/modification to the existing accesses along Lancaster Avenue should be discussed with PennDOT.

2. Phase 2 Improvements (includes Highway Occupancy Permitting)
  - i. Construction of the Pike Field Parking Garage
  - ii. Temporary improvements to Pike Lot surface lot at the site of the future Performing Arts Center – PAC
  - iii. Construction of the Pedestrian Bridge over Lancaster Avenue
  - iv. Improvements to visitor lot, west of existing Church Walk
  - v. Relocation of Church Walk
  - vi. Lancaster Avenue and Ithan Avenue improvements
3. Phase 3 Improvements
  - i. Construction of Student Housing Complexes 1 and 2
  - ii. Continued use of Pike Lot surface lot at the site of the future Performing Arts Center – PAC
4. Phase 4 Improvements (Upon availability of funding)
  - i. Elimination of Pike Lot surface lot
  - ii. Construction of Performing Arts Center

#### **IV. REQUESTED WAIVERS**

1. §255-27.H – The applicant has requested waiver to permit a 25ft. radii for the curb on the southwest corner of Ithan Avenue and Lancaster Avenue; a 35 foot radii is required for arterials. This approach is currently being re-evaluated by PennDOT for other improvements. If the Township decides to approve this waiver, we recommend the applicant demonstrate a WB-50 is able to complete the turn without encroaching on adjacent or opposing travel lanes.

#### **V. GENERAL COMMENTS**

1. The public sidewalk on the south side of Lancaster Avenue has been relocated outside the public legal right-of-way. In addition, the sidewalk is located behind a decorative fence open to public access. A sidewalk easement granting public access will be required from the applicant. The easement must be shown the plans.
2. Use an industry standard WB-50 in lieu of the custom US FOOD truck turning templates for truck turning templates.
3. We recommend discussing potential traffic calming elements with nearby affected neighborhoods, particularly Aldwyn Lane residents.
4. Final Land Development requirements:

- i. Provide a Pavement Marking and Signage Plan
  - ii. Provide traffic signal construction and permit plans for both signalized intersections and the two pedestrian-activated rectangular rapid flashing beacons (RRFB) crossings on Ithan Avenue.
5. Revise all stop bars locations to a minimum of 4 feet from any crosswalk.
6. The applicant's Traffic Engineer in a response letter dated March 12, 2015 indicates an eastbound right turn lane at Lancaster Avenue and Ithan Avenue is not required and will not be supported by PennDOT. It is our understanding based on a meeting with PennDOT, the need for an eastbound right turn at the intersection was still being evaluated and additional information was requested by PennDOT.

## **VI. LANCASTER AVENUE HOUSING PLAN COMMENTS**

1. §255-29.A(14), No less than a five-foot radius of curvature shall be permitted for all curblines in parking areas. Sheet 6 of 30 (C2.2) includes several deficient radii along the south side of the parking lot, near the Proposed Dumpster and Recycle Area(s). Revise as required or request a waiver.
2. On Sheet 7 of 35 (C2.2)
  - i. The plan indicates pedestrian activated rectangular rapid flashing beacons (RRFB) for the midblock crossings on Ithan Avenue near the South Campus dormitories and Aldwyn Triangle, and the Lancaster Avenue Housing surface lot and the Pike Street Garage accesses to Ithan Avenue. Flashing Warning signal permit and construction plans are required for both locations.
  - ii. The applicant has proposed a right-turn lane along Lancaster Road at the PAC driveway. The implementation of the warranted right turn lane on Lancaster Avenue at Ithan Avenue of an eastbound right-turn lane along Lancaster Avenue at Ithan Avenue is still being evaluated by PennDOT and Township staff.
  - iii. Eliminate the stop bar on southbound Ithan Avenue at the proposed LAH/PAC driveways.
    - i. Verify the sight distance is adequate for the proposed crosswalks on Ithan Avenue at the parking driveways;
    - ii. Identify and dimension all existing and proposed public sidewalks along Ithan Avenue and Lancaster Avenue.
3. During final land development, each phase will require the design details regarding the onsite pedestrian curb ramps and crosswalks (refer to PennDOT Publication 72M *Roadway Construction Details, RC-67M* for information) CS 4401 form should be provide at the time.

4. Include signage to prohibit all trucks from turning right out of the driveway access to continue southbound on Ithan Avenue, and to prohibit trucks from turning left into the driveway from northbound Ithan Avenue.
5. Provide Truck Turning Templates for the eastbound right-turn from Lancaster Avenue onto Church Walk and the westbound left-turn from Lancaster Avenue onto Church Walk.
6. Provide Truck Turning Templates for the eastbound left-turn from LAH driveway onto Ithan Road.
7. Sheet 9 (C2.4), Exhibit 2: Adjust the location of the eastbound stop bars if necessary to allow for the left turn movement from both exit lanes or include signage prohibiting trucks in the left most, left turn lane exiting Church Walks.
8. The University may want to consider designating short term parking for spaces located near the proposed retail space in the LAH parking area to encourage parking turnover.

## **VII. WEST LANCASTER PARKING PLAN COMMENTS**

1. §255-29.A(1) – Parking aisle widths shall be a minimum of 18' for one-way aisles. The aisle between Stone and Farrell Hall is less than 18 feet and appears to be a two-way vehicular movement. Revise the design or request a waiver.
2. §255-29.A(15) All dead-end parking areas shall be designed to provide sufficient backup area for end stalls of a parking area. The Parking area south for Farrell Hall should be revised accordingly.
3. §255-29.A(21) – Concrete curbing is required along the perimeter of the parking areas. Revise the parking area south of Farrell Hall.
4. Sheet 5 of 28 (C2.1): Clarify the use of the remaining western most access to Lancaster Avenue. The access is located within the limits of the right turn lane taper and based on the provided legend, appears to include a fence. If this is an emergency access, provide a note on the plans identifying the use and replace the "fence" line with a gate.
5. Sheet 6 of 28 (C2.2) Consider altering the location of the handicapped parking space closer to the sidewalk near Moriarty Hall.
6. The location of the proposed fencing is inconsistent and not clearly defined. The Composite Site Plan indicates fencing is proposed along the north side of Lancaster Avenue from Ithan Avenue and extending west with a campus entrance break just west of the proposed right in /right out access; however, no fencing is shown on

Sheet 5 (C2.1) and Sheet 6 (C2.2) of the plan set. The plans should be revised to be consistent for all provided sheets.

7. Provide turning templates for a WB-50 turning right from eastbound Lancaster Avenue into Church Walk.
8. Provide turning templates for two adjacent left turning vehicles exiting the proposed Church Walk access to continue westbound Lancaster Avenue. Additional widening along Lancaster Avenue may be necessary for the receiving lanes associated with the dual left turn lane operation.

#### **VIII. CHURCH WALK PLAN**

1. Include internal stop bars and signage on internal parking aisles. Adjust the location of the pedestrian crosswalks and stop bars as needed.

#### **IX. PIKE FIELD GARAGE PLAN COMMENTS**

1. Sheet 9 of 34 (C2.4): Modify the design of the driveway access to Lancaster Avenue. Exhibit 1 indicates SU-30 trucks will encroach on the concrete island.
2. Sheet 9 of 34 (C2.4): Include the exiting SU-30 right-out turn movement to eastbound Lancaster Avenue.
3. The crosswalk locations at the intersection of Ithan Avenue and Lancaster Avenue may require signal equipment relocation or additional pedestrian related traffic signal equipment (i.e. Pedestrian pedestal poles).

#### **X. PERFORMING ARTS CENTER PLAN COMMENTS**

1. We have no transportation comments.

#### **XI. LANCASTER AVENUE HOUSING PEDESTRIAN PARKING & TRAFFIC PLAN**

1. Provide a north arrow and label all roadways.
2. Phase 2: Provide phase 2A and 2B separately. Identify what work will be completed during each phase and identify the pedestrian path available, particularly near Church Walk.

#### **XII. EVENT CIRCULATION PLAN**

1. The event traffic Circulation Plan should be reviewed by the Radnor Police Department.

2. Refer to the Manual of Uniform Traffic Control Devices (MUTCD) 2009 (Chapter 2L *Changeable Message Signs*) and PennDOT Publication 646 *Intelligent Transportation Systems Design Guide* and verify DMS sign placement/location based on the reading and decision zone, number of lines, character length and height is adequate for roadway conditions.
3. We recommend the applicant consider the following suggestions:
  - i. Consider revising all turn designations to provide the direction message after the movement message. Specifically, TURN RIGHT instead of RIGHT TURN.
  - ii. To reduce the message length and improve patron memory retainage, revise the parking structure designations to colors as opposed to structure name. Revise the Permanent Signs for Parking Facilities to include the color as a background or text legend.
  - iii. Revise messages from "MAKE" to "TURN" for clear conveyance of movement.
  - iv. Revise messages from "AFTER LIGHT" to read "AFTER" followed by the name of the street.

### **XIII. TRAFFIC IMPACT STUDY**

1. The applicant is required to provide a turn-lane length analysis for all auxiliary lanes including the eastbound right turn lane at the intersection of Ithan Avenue and Lancaster Avenue in accordance with the methodology included in PennDOT Publication 46 Traffic Engineering Manual.
2. Subsequent submissions must utilize Synchro HCM2010 methodology for the analysis of the Church Walk and Lancaster Avenue intersection. G&A verified the provided Synchro files can utilize HCM 2010 methodology.
3. Table I *Level of Service Comparisons*
  - v. **Lancaster Avenue & Spring Mill/Kenilworth Road/Aldwyn Lane**  
Provide mitigation for the degradation of critical movements at the intersection where there is more than 10 seconds additional delay between the No-Build (Base) to Build (Projected) scenario.
  - vi. **Lancaster Avenue & Ithan Avenue**  
Provide mitigation for the degradation of critical movements at the intersection where there is a more than 10 second additional delay between the No-Build (Base) to Build (Projected) scenario.
4. Table II *Queue Comparison Table Signalized Intersections*

- i. Revise based on the HCM 2010 methodology in lieu of the provided percentile method.
- ii. Provide omitted queues for the Existing, No-Build 2020 and Build 2020 scenarios.
- iii. **Lancaster Avenue & Ithan Avenue:**  
The queue for the AM and PM peak hour Build Scenario exceeds the southbound left-turn available storage length of 75 feet. Mitigation must be provided for this movement to accommodate the anticipated queues.
- iv. **Conestoga & Sproul Roads**  
The projected 2025 AM and PM peak hour queue for the eastbound through/right movement exceeds available storage length in both the No-Build and Build conditions. The applicant should provide cost effective recommendations for improvements.





**Gannett Fleming**

*100 Years*

*of Excellence Delivered As Promised*

**Date:** March 24, 2015

**To:** Radnor Township Planning Commission

**From:** Roger Phillips, P.E.

**cc:** Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Steve Gabriel - Rettew  
Suzan Jones – Radnor Township Engineering Department  
William Miller – Radnor Township Codes Official  
Ray Daly – Radnor Township Codes Official

**RE:** Villanova University – Lancaster Avenue Housing  
Villanova University – Applicant

Date Accepted: January 6, 2015

90 Day Review: April 6, 2015

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Gannett Fleming, Inc. has completed a preliminary review of the Villanova University Lancaster Avenue Housing Preliminary Plan for compliance with the Radnor Township Code. This Preliminary Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor. A preliminary review was also completed for the West Lancaster Parking Lot, Pike Field Garage and the Performing Arts Center. Preliminary comments have been included in this letter. Additional comments may be forthcoming as a detailed review is completed. We note that plans have not been submitted for the SAC Parking Garage, Visitors Lot and the Church Walk.

Conditional use approval was granted on November 24, 2014 to permit the development under CICD (decision attached). The applicant is proposing to construct a 1,138 bed student housing facility in six buildings with associated retail space.

The applicant has indicated that the following waivers will be requested from the Subdivision and Land Development Code:

- §255-27.H – To permit a 25 ft radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.

Plans Prepared By: Nave Newell

Dated: 12/05/2015 and revised 03/06/2015

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

[www.gannettfleming.com](http://www.gannettfleming.com)

I Zoning

1. §280-68.1.D(2)(g)1 – Not more than 30% of CICD shall be occupied by buildings. The total building coverage may be increased to no greater than 45%, subject to the land preservation standards of this section, provided that in no event may the total building coverage of the applicant's entire campus within the PI zoning district exceed 30%. For purposes of calculating the total building coverage in the CICD, parking structures shall be included in the building area. A breakdown of the proposed 35.5% building coverage shown on the plans must be provided, including information from the other phases. The applicant has indicated that the total building area is 4.9 acres. The building area for each individual building must be provided.
2. §280-68.1.D(2)(g)2 – No individual building nor group of buildings not separated from each other by the minimum required separation distance noted below shall occupy more than 10% of the CICD site. Parking structures are not required to be included in the calculations of individual building coverage. The plan indicates building coverages of 7.6% for Residence Hall 2, 8.5% for Residence Hall 1 and the Performing Arts Center is 5.6%. A detailed breakdown of this calculation has been provided. It appears that the proposed % shown on the zoning tables are reversed for the residence halls. This must be revised.
3. §280-68.1.D(2)(h) – Not more than 45% of the CICD site may be covered by impervious surfaces; provided, however, if the CICD is redeveloping existing improved lands, then the maximum allowed impervious surface ratio shall be 45% or 10% less than the existing impervious surface ratio on the proposed CICD site, whichever is greater. In no event may the maximum allowed impervious surfaces on the applicants entire campus within the PI Zoning District exceed 45%. The plan indicates that the entire campus proposes 36.4%. The existing impervious surface calculation for the CICD indicates it is 92% impervious therefore 82% is the maximum permitted. A detailed breakdown of how the 92% impervious was calculated must be provided. The impervious should be broken down by each separate area.
4. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section. The applicant has revised the plans to label every building separation point.
5. §280-68.1.D(3)(e)[2] – There shall be no off-street loading requirements except for retail subordinate uses. All off-street loading shall be adjacent to the use being served by the space; designated by the applicant; and approved during the conditional use approval

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process. The location of loading dock behind Building 1C was not provided on the plans during the conditional use approval. A loading area was proposed within the surface parking lot behind Building 1C, which is no longer proposed.

6. §280-68.1.D(3)(e)[5] – As specifically designated during the conditional use approval process, the required off-street parking spaces may be located within the boundaries of the CICD or on other areas of the entire campus, exclusive of areas within residential zoning districts. The location of the proposed parking areas differ slightly from what was approved during the conditional use process. There is no longer a parking area expansion proposed for the Health Services Center, and the Saint Augustine Garage (SAG) is proposed to have 2 additional levels. This increases the net number of parking spaces provided by the SAG by 27 spaces. The overall number of proposed parking spaces that was approved during conditional approval has been reduced by 19 for the entire site, however the parking provide still exceeds the minimum required.
7. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
8. §280-103A. – As a general requirement, each use in the Township shall provide sufficient off-street parking area to serve its users. The applicant has submitted a phasing narrative on sheet C2.3 that indicates the minimum required parking will be maintained during construction.
9. §280-105.E. – All outside lighting including sign lighting shall be directed in such a way as not to create a nuisance in any agricultural, institutional, or residential districts, and in every district all such lighting shall be arranged so as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet. It appears that the detail for the luminary has been removed from the detail sheet. A clearly legible detail must be provided that indicates the proposed height.
10. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. The applicant has indicated that there will be disturbance in the steep slope area along Ithan Avenue. This disturbance is allowed under §280.112.D.(6) as it is required for construction of a roadway with no alternative routing along Ithan Avenue.

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11. §280-123 – Any signs proposed for this development must be in accordance with this section. The applicant has indicated that any necessary signage applications will be submitted separately from the land development process.

## II Subdivision and Land Development

1. §255-20.B.(1)(d) – All applicable zoning districts for this land development must be provided on the plans. This must be shown on the overall plan sheet.
2. §255-27.H(6) - Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. The applicant has requested a waiver to allow a 25 foot radius curb on the southwest corner of Ithan Avenue and Lancaster Avenue.
3. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance exit drive shown on the plan into the proposed parking area behind the student housing is 22 feet. This must be revised or a waiver from this requirement requested.
4. §255-38 – Street trees 2 ½ dhb and intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. An equivalent number may be planted in an informal arrangement, subject to the approval of the Board of Commissioners. Street trees have been provided in accordance with this section.
5. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreational area shall be 2,500 square feet per 4,000 square feet of building area. The applicant must conform to this section.
6. §255-43.1.E(2) – Where, upon agreement with the applicant or developer, it is determined that the dedication of all or any portion of the land area required for park and recreation purposes is not feasible, the applicant or developer shall pay a fee in lieu of dedication of any such land to the Township. The fee for non-residential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. The applicant must conform to this section.
7. §255-54.B. – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

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### III Stormwater Management

1. The applicant must provide an explanation or reconcile the inconsistency for the impervious area value for RG-10. Page 31 of the Stormwater Report lists the impervious area to be 9,216 SF, page 40 lists the impervious area to be 6,216 SF, page 149 lists the impervious area to be 6,216 SF and the table on the plan, and "Drainage Plan (Volume Management)" lists the impervious area to be 9,216 SF.
2. The Dewatering Calculations for LAH Infiltration System 202 indicates that the 100-year condition requires 103.56 hrs. (4.31 days) for the volume to completely dewater. Stormwater BMPs must be able to completely drain within 96 hours.

### IV General Comments

1. The applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increase wastewater disposal generated by the project.
2. A detail of the proposed fence/gate enclosure must be provided on the plans.

## West Lancaster Parking

### I Zoning

1. §280-43.D – No building shall be located less than 65 feet from a street right-of-way line, less than 20 feet from a side property line nor less than 25 feet from a rear property line. The applicant is proposing a 57.9 front yard setback and a 11.9 foot side yard setback. Both are non-conformities that the applicant intends to continue.

### II Subdivision Land Development

1. §255-29.B.(1) – All parking areas shall have at least one tree 2 ½ inches minimum in caliper for every five parking spaces in single bays and one tree 2 ½ inches minimum in caliper for every parking space in double bay. A minimum of 10% of any parking lot facility over 2,000 square feet in gross area shall be devoted to landscaping, inclusive of required trees. The landscape plans indicate that there are 232 parking spaces for this project. The overall Lancaster Avenue housing plans indicate that there are 240 proposed spaces for this lot. This must be verified and all plans revised to be consistent.
2. §255-29.A.(1) – The minimum aisle width for two way parking is 22 feet. The aisle width for Moriarty Hall, the visitor's lot, Stone Hall and between Stone Hall and Farrell Hall must be revised. Also a dimension should be shown between the proposed shuttle stop and curbing on sheet C2.1.

3. §255-29.A.(1) – The dimension of a 90° parking stall shall be 9 ½ feet by 20 feet. The is a parking spot located south of Farrell Hall does not meet those dimensions. Also the parallel parking spaces between Stone Hall and Farrell Hall are not the required 8 x 22 feet. The two way parking aisle between parallel parking spaces must be 18 feet.
4. §255-29.A.(6) – No more than 10 parking spaces shall be permitted in a continuous row without being interrupted by landscaping and concrete curb. The visitor lot must be revised.
5. §255-29.A.(7) – No one area for off-street parking of motor vehicles shall exceed 30 cars in capacity. Separate areas on a parcel shall be physically separated from one another by ten-foot wide planting strips and concrete curb. The visitors lot must be revised.
6. §255-29.A.(15) – All dead-end parking areas shall be designed to provide sufficient backup area for all the end stalls of a parking area. The dead-end parking spaces behind Farrell Hall must be revised to include a sufficient back-up area.

### III Stormwater Management

1. The applicant must provide an explanation or reconcile the inconsistency for the Area values listed for RG-101. The supporting calculations for the Volume Summary on page 24 list the overall drainage area to be 29,422 SF. Plan measurements of the sheet, Post Watershed Area Plan” appears to indicate a drainage area significantly larger (approximately 46,500 SF). It would be helpful if the applicant submitted documentation similar to page 36 of the Stormwater Report for the Lancaster Avenue Housing Phase that detailed the structure/facility’s total area, impervious area and pervious area.
2. The “Volume – One Inch” calculation sheet on pages 24-25 appears to have some inconsistencies and should be rechecked and resubmitted. Specific examples include the following
  - a. RG-101’s volumetric storage value of 1,472 CF seems inconsistent with the calculations shown for the cumulative storage and incremental storage volume values.
  - b. RG-102 has a similar calculation inconsistency – The T/G elevation of 438.5 listed, however calculations for the area, depth, ave. area etc. stop at elevation 438.00. Additionally the volumetric storage value of 1,846 CF does not appear consistent with the volume calculations provided for both the incremental and cumulative storage volume values.
  - c. The applicant must provide supporting documentation for the cumulative volume values reported for Infiltration systems 101, 102 and 103 similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.

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3. The Dewatering Calculations for WLA Infiltration System 202 indicates that the 100-year condition requires 113.45 hrs. (4.73 days) for the volume to completely dewater. Stormwater BMPs must be able to completely drain within 96 hours.
4. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
5. The applicant must provide a plan similar to the "Post Development Drainage Plan (Volume Management)" provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
6. The "Inlet Area Plan" appears to be missing drainage areas for I-202A, I-202B, and some of the inlets along the Lancaster Avenue turning lane. Please update the plan so these values can be checked against what is being reported in the stormwater calculations.
7. How and where is the runoff from the pedestrian bridge being addressed? A drainage area for this area is partially drawn on sheet "Post Watershed Area Plan", but it is not included in the drainage area chart on page 124. Please provide an explanation.
8. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

## Pike Field Garage

### I Zoning

1. §280-68.1.D(2)(i)[3] – Height limitations from the average existing grade (the average of the existing grades taken at a twenty foot interval around the proposed building perimeter) to the midpoint of a sloped roof or to the highest roof beams if a flat roof, provided that the chimneys and spires shall not be included in measuring the height structures for the CICD. The height limitations for a parking structure shall be 38 feet. The plan indicates that the proposed structure will be 5 levels. The height of the proposed parking structure must be shown on the plans.
2. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with

## ***Gannett Fleming***

dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.

3. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.
4. §280-68.1.D(3)(e)4 – Surface parking spaces shall be no less than nine feet by 19 feet. Parking spaces in any parking structure shall be no less than eight feet six inches by 19 feet. The parking spaces must be dimensioned on the plans. Detailed parking garage plans must be submitted for review.
5. §280-69.C – No building or structures shall exceed three stories or 38 feet in height. The plan indicates that the proposed parking structure will be 5 levels.
6. §280-112.C – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified. There are storm sewers proposed on areas of greater than 20%.

## II Subdivision Land Development

1. §255-54.B – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided. The proposed fire access land is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.

## III Stormwater Management

1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the “Post Development Drainage Plan (Volume Management)” provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.



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3. There appears to be missing/inconsistent information between the drainage area table on page 189 of the Stormwater Report and the "Inlet Area Plan". The RG-1 referred to on the table does not appear on the plan for this section of the development. There also appears to be missing drainage areas/information for YD 3-1, YD 3-2 and the Trunc Flow I-314. Please explain.
4. A drainage area for Pike Garage is shown to drain to a stormwater management system in POI 2B. The area breakdown does not appear to be included on the drainage area table on page 189 of the Stormwater Report. This is inconsistent with the other drainage areas reported for POI 2B. Please update the table accordingly.
5. The Volume Calculations for the Proposed Garage Basin – POI – 2B appears to have inconsistent information with regards to the detail shown on the Pike Field Garage Plans, Sheet 27 of 34. The bottom of the engineered soils appears to be at elevation 412.50 while the calculations report a total volume to el. 411.50 to be 1,613 CF. Further detail explaining how that volume was calculated must be provided.
6. The applicant must provide supporting documentation for the "Elevate Low Flow Orifice 6" to 411.00 volume value reported (6,073 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
7. Please provide a detail of the Existing Underground Basin in Pike Field
8. The applicant must provide supporting documentation for the "Total Volume to El. 411.65" volume value reported (1,992 CF) similar to what was provided for the infiltration systems in the Lancaster Avenue Section of the Stormwater report on page 43-46.
9. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

## IV General

1. The proposed fire access lane is proposed to be grass pavers. This must be reviewed by the Township Fire Marshall.
2. Detailed parking garage plans must be provided for the Pike Field Garage.

Performing Arts Center

I Zoning

1. §280-68.1.D(2)(i)[1] – Height limitations from the average existing grade (the average of the existing grades taken at a twenty foot interval around the proposed building perimeter) to the midpoint of a sloped roof or to the highest roof beams if a flat roof, provided that the chimneys and spires shall not be included in measuring the height structures for the CICD. The height limitations for academic and performance facilities shall be 50 feet. The height of the Performance Art Center must be shown on the plans.
2. §280-68.1.D(2)(j)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.
3. §280-68.1.D(2)(j)2(b) - The minimum building space between buildings and a parking structure is 30 feet. The parking garage must be shown on the plans to ensure adequate distance between the performance art center and the parking garage.
4. §280-68.1.D(3)(f)[2] – Mechanical/electrical equipment and trash shall be screened from view. In addition, sound attenuation shall be installed on all equipment to minimize noise pollution at any adjacent residential property line. A detail of the dumpster/recycling area must be provided. Also details of the proposed screen wall and access gates must be provided.
5. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance with IDA requirements.

**Gannett Fleming**

II Stormwater Management


1. The applicant must provide a summary table similar to what was provided for the Lancaster Avenue Housing calculations (p. 35-36) which details what drainage areas contribute to each BMP (or unmanaged area), including total drainage area, impervious area, and pervious area.
2. The applicant must provide a plan similar to the "Post Development Drainage Plan (Volume Management)" provided for the Lancaster Avenue Housing portion of the project which includes a table detailing the impervious surfaces to each BMP.
3. The drainage area table on page 189 of the Stormwater Report does not appear to be accounting for the drainage areas of the PAC Detention System to POI 2B (I-225, I-226, Roof area).
4. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.

We recommend that the plans be revised to address the comments stated above along with comments provided in the review memo from Gilmore and Associates prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

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**Date:** March 20, 2015

**To:** Steve Norcini, P.E.  
Radnor Township Public Works Director

**From:** Amy Kaminski, P.E., PTOE  
Transportation Services Manager

**cc:** Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Steve Gabriel, PP, RETTEW  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** Villanova University – Lancaster Avenue Redevelopment  
Preliminary Land Development Review  
Radnor Township, Delaware County, PA

G&A 12-04054

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Gilmore & Associates, Inc. (G&A) has office received a submission from the applicant's engineer for the referenced project on Tuesday, March 10, 2015. The submission was in response to our review letter, dated January 28, 2015 on a previous submission for land development. It is our understanding that the applicant is scheduled to appear before the Radnor Township Planning Commission on Thursday, March 26 2015.

Given the complexity of the project and the voluminous submission materials received one week prior to reviews being due for the Planning Commission meeting, we are unable to provide a comprehensive review in advance of the scheduled meeting; however, we offer the following transportation issues that should be discussed during the scheduled planning commission meeting which could expedite the project through the land development process.

**I. BACKGROUND**

The applicant, Villanova University, intends to develop/redevelop several parcels located along Lancaster Avenue, southeast and southwest of the Ithan Avenue intersection, in Radnor Township, Delaware County. The project includes construction of student housing (1,135 bed apartment-style residence halls), retail shops (University Bookstore, bistro and small convenience store, size to be determined) along with 147 surface parking spaces to be located on the southwest corner of Lancaster Avenue and Ithan Avenue. In addition, the project includes construction of a Performing Arts Center (with 500 – 650 total seats in two theaters) and a multilevel parking structure (1,293 spaces) to be located on the southeast corner of Lancaster Avenue and Ithan Avenue. Villanova

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University intends to eliminate many of the existing driveway accesses located on the south side of Lancaster Avenue, west of Ithan Avenue and construct a shared surface parking facility to the rear of the existing university buildings on Lancaster Avenue with limited access to Lancaster Avenue at the relocated signalized intersection of Church Walk and a new right in driveway, west of Church Walk.

## II. REQUESTED WAIVERS

§255-27.H – The applicant has requested a waiver to permit a 25ft. radii curb on the southwest corner of Ithan Avenue and Lancaster Avenue. The corner is currently being evaluated for other improvements. We recommend the Township defer a decision regarding this waiver until an engineering consensus regarding the evaluation of this corner is complete.

## III. DOCUMENTS REVIEWED

1. Preliminary Land Development Submission for Lancaster Avenue Housing, consisting of 35 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated December 5, 2014 and revised March 6, 2015.
2. Preliminary Land Development Submission for West Lancaster Parking, consisting of 28 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
3. Preliminary Land Development Submission for Church Walk and Bridge, consisting of 20 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 13, 2015.
4. Preliminary Land Development Submission for Pike Field Garage, consisting of 34 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
5. Preliminary Land Development Submission for Performing Arts Center, consisting of 18 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
6. Pedestrian Parking & Traffic Plan, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
7. Event Traffic Circulation Plan, consisting of 7 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
8. Lancaster Avenue residential Housing Evacuation Plan, consisting of 2 sheets, prepared for Villanova University, prepared by Voith & Mactavish Architects LLP, dated March 2, 2015.
9. Response Letter, prepared for Villanova University, prepared by Nave Newell, Inc., dated March 6, 2015.
10. Traffic Impact Study date March 12, 2015 prepared by F. Tavani Associates, Inc.

## IV. CONSTRUCTION PHASING

The applicant has identified the following construction phasing Sheet 8 of 35 (C2.3) *Project Phasing Plan*.

1. Phase 1 Improvements
  - i. St. Augustines Center Garage Expansion
  - ii. Improvements to the West Lancaster Parking facilities

- iii. Ingress from Lancaster Avenue at existing driveways
- iv. Egress to Lancaster Avenue at signal at the existing Church Walk driveway
- v. Closure of Pike Lot surface parking field
- vi. Campus parking spaces: 5,130 - 4,932 = 198 space deficiency

**Comment:** Phase 1 improvements may require signal timing modifications at the Church Walk intersection due to redistribution of traffic from Ithan Avenue to Church Walk signal. In addition, we recommend the elimination of the existing accesses along Lancaster Avenue during phase 1.

- 2. Phase 2 Improvements (includes Highway Occupancy Permitting)
  - i. Construction of the Pike Field Parking Garage
  - ii. Temporary improvements to Pike Lot surface lot at the site of the future Performing Arts Center – PAC
  - iii. Construction of the Pedestrian Bridge over Lancaster Avenue
  - iv. Improvements to visitor lot, west of existing Church Walk
  - v. Relocation of Church Walk
  - vi. Lancaster Avenue and Ithan Avenue improvements
  - vii. Campus parking spaces: 5,130 – 5,222 = 92 space surplus
- 3. Phase 3 Improvements
  - i. Construction of Student Housing Complexes 1 and 2
  - ii. Continued use of Pike Lot surface lot at the site of the future Performing Arts Center – PAC
  - iii. Campus parking spaces: 5,130 – 5,284 = 154 space surplus
- 4. Phase 4 Improvements (Upon Donor Funding)
  - i. Elimination of Pike Lot surface lot
  - ii. Construction of Performing Arts Center
  - iii. Campus parking spaces: 5,130 – 5,130 = net zero

## V. General Comments

- 1. The public sidewalk on the south side of Lancaster Avenue has been relocated outside the public legal right-of-way. In addition, the sidewalk is located behind a decorative fence open to public access. A sidewalk easement granting public access will be required from the applicant and must be shown the plans.
- 2. The current design identifies the Pedestrian Bridge and the street level pedestrian crosswalk on Lancaster Avenue at Church Walk will be located approximately 137' apart. We recommend relocating the Church Walk driveway further west and increasing the distance between the Church Walk pedestrian crossing and the Pedestrian Bridge. It appears a more favorable location for the Church Walk driveway is available approximately 540' west or 410' west of the Pedestrian Bridge. A greater distance between the Church Walk driveway and the Pedestrian Bridge will provide the following benefit:

- i. Create more parking spaces near the Pedestrian Bridge
- ii. Provide a greater stacking distance for Special Events.
- iii. Dissuade students from using the street level crosswalk at Church Walk driveway.
- iv. Provide better signal indication visibility for westbound motorists

We recommend further discussion between the Township, PennDOT, and the applicant.

**VI. Lancaster Avenue Housing Plan Comments**

Sheet 7 of 35 (C2.2)

1. The Ithan Avenue southbound left turn lane taper for the LAH driveway and the PAC driveway does not appear to meet industry standards.
2. The applicant has proposed a right-turn lane along Lancaster Road at the PAC driveway. The eastbound right-turn lane on Lancaster Avenue at Ithan Avenue is still being evaluated by PennDOT and Township staff.

**VII. WEST LANCASTER PARKING COMMENTS**

§255-29.A(1) The minimum aisle width allowed for parallel parking is 18 feet. The aisle between Stone and Farrell Hall is less than 18 feet. Revise the design of this parking area as needed and eliminate the access driveway to Lancaster Avenue as it is no longer necessary and is located within the right turn lane taper.

**VIII. TRAFFIC IMPACT STUDY**

Although the latest submission provided many of the auxiliary turn-lane length analyses, the analysis for the eastbound right turn lane on Lancaster Avenue at Ithan Avenue was not provided.

A comprehensive review of all submission materials will be completed by our office to verify that all of the comments from the January 28, 2015 letter have been addressed. Additional comments may be forthcoming, pending the completion of the comprehensive review.



May 11, 2015

VIA EMAIL

William A. Spingler  
Board of Commissioners - President  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

**Reference:** *Villanova University - Waiver Request  
Ithan Ave. and Lancaster Ave., Radnor Township, Delaware County, PA  
Nave Newell No. 2011-005.00*

Dear Mr. Spingler:

In accordance with the Township Consultant review letters, we are hereby requesting two waivers from the Subdivision and Land Development Ordinance. Please find the waiver justifications below.

**Section 255-27.H.(6) – Street Intersections**

The Ordinance states *"Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways."*

The Applicant is requesting a waiver to permit a 30 foot curb radius on the southwest corner of Ithan Ave. and Lancaster Ave., in lieu of the required 35 foot radius. As presented by the Applicant during multiple Conditional Use Hearings and Township Meetings, the design intent of this corner was to balance the need to improve turning movements for vehicles making a right turn while minimizing the increases to pedestrian crossing distance in an attempt to minimize the lengthening of the existing 26 second "all red pedestrian scramble phase".

The Applicant has worked with Staff to balance turning radius improvements against increases in pedestrian crossing times during the "all red pedestrian scramble phase". The result of these discussions is a southwest corner that provides a 30 foot radius and an angled western curbline to provide a wider "throat" to South Ithan Avenue, which will increase the pedestrian scramble phase timing approximately 3 seconds as we previously presented. This design modification allows the left turn stop bar to meet the recommended maximum 30 foot offset from the through lane stop bar location while providing adequate turning area for a modified WB-40 tractor trailer which is the vehicle Villanova University will use for deliveries to the CICD area.

**Section 255-29.A(12)(b) – Entry and Exit Drives**

The Ordinance states *"The width of entry and exit drives shall be a minimum of 25 feet for two way use."*

The proposed plan provides a 22 foot drive aisle through the site which is the same dimension used in areas of drive aisles adjacent to parking stalls. This proposed dimension for the drive aisle permits the preservation of trees between the proposed drive aisle and the railroad and adjacent residential neighbors, as well as providing a consistent on-site drive aisle dimension internal to the property with the areas with parking stalls adjacent to the drive aisle.

**Engineers • Planners • Surveyors • Landscape Architects**

900 West Valley Road, Suite 1100, Wayne, PA 19087 • 610.265.8323 • fax 610.265.4299 • www.navenewell.com





William A. Spingler, Radnor Township  
Nave Newell No. 2011-005.00  
May 11, 2015  
Page 2

Should you have any questions with respect to these requests, please contact me at (610)265-8323 or via email at [atweedie@navenewell.net](mailto:atweedie@navenewell.net).

Sincerely,

A handwritten signature in black ink that reads "D. Alexander Tweedie".

D. Alexander Tweedie, P.E.

DAT/jih

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March 6, 2015

VIA HAND DELIVERY

Stephen Norcini, P.E., Director of Public Works  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**Reference: Villanova University – Lancaster Avenue Housing  
Preliminary Plan Resubmission  
Nave Newell No. 2011-005.00**

Dear Mr. Norcini:

On behalf of Villanova University we are resubmitting the following documents for Preliminary Plan review. The quantities enclosed are listed after each item:

1. Lancaster Avenue Housing Preliminary Plan Set (11X17), last revised March 6, 2015 (21);
2. West Lancaster Parking Preliminary Plan Set (11X17), dated March 6, 2015 (21);
3. Pike Parking Garage Preliminary Plan Set (11X17), dated March 6, 2015 (21);
4. Performing Art Center Preliminary Plan Set (11X17), dated March 6, 2015 (21);
5. Lancaster Avenue Housing Preliminary Plan Set , last revised March 6, 2015 (3);
6. West Lancaster Parking Preliminary Plan Set, dated March 6, 2015 (3);
7. Pike Parking Garage Preliminary Plan Set, dated March 6, 2015 (3);
8. Performing Art Center Preliminary Plan Set, dated March 6, 2015 (3);
9. Storm Water Management Report and Site Drainage Calculations, last revised March 6, 2015 (digital only);
10. Pedestrian Circulation Plan during construction (21);
11. Event Circulation Plan (21);
12. Emergency Evacuation Plan (21);
13. PECO response letter concerning additional landscape material (3);
14. Thumb drive with electronic copies of above noted submission documents (30)

Copies of the Pedestrian Bridge Plan Set will be submitted at a later date. We are in receipt of the review letters from the Township Engineer, dated January 23, 2015; Township Traffic Engineer, dated January 28, 2015; and Township Planner, dated January 27, 2015; and offer the following responses in corresponding order:

**Township Engineer Review (January 23, 2015)**

**I. Zoning**

1. We have revised the drawings to include a chart of the typical room sizes to verify compliance with the minimum SF.
2. We have revised the plans to note all retail as "ground floor retail" and have provided size values for the locations.



Steve Norcini, Radnor Township  
Nave Newell No. 2011-005.00  
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Page 2

3. We have revised the plan notes to verify that the total retail square footage is less than 5% of the total gross floor area, including the Performing Arts Center.
4. Sheet C2.0 provides all necessary information to confirm the 35.5% Building Coverage. In the Land Preservation Calculation, it identifies the total Building Area as 4.9 Ac. That value divided by Gross Lot Area of 13.81 Ac is 35.5%.
5. We have revised the Zoning Table to provide the individual building areas (which total the 4.9 Ac. noted above). Each individual value divided by 13.81 Ac. confirms the coverage is less than 10%, as required.
6. The existing parking lots, exclusive of Ithan Ave Right-of-Way, contain 10.8 Acres of impervious. Then Net Lot Area is 11.71 Acres.  $10.8/11.71$  is the 92% existing coverage. We have revised the Site Plans to label every building separation point.
7. We have revised the Site Plans to dimension the building separation distance between buildings 1C and 2A.
8. The area north of the railroad does not require a 20ft buffer. This portion of the property is adjacent to a railroad and lands also zoned PI, and it is not adjacent to residential zoning and therefore does not meet the standard for a required buffer. As specifically noted in the CICD ordinance "no buffer planting strip shall be required between the CICD and other properties of the applicant". The applicant owns the Aldwyn Triangle.
9. We have revised Sheet C2.0 to provide all values necessary to confirm the land preservation calculation.
10. The project provides the ordinance required parking and therefore does not need to execute a reserve parking agreement.
11. No response necessary.
12. No response necessary.
13. We have revised the landscape details to provide screening details.
14. We have provided lighting plans detailing the lighting design.
15. We have revised the landscape details to provide screening details.
16. The southern property line does not require a 20ft buffer. This portion of the property is adjacent to a railroad and lands also zoned PI, and it is not adjacent to residential zoning and therefore does not meet the standard for a required buffer. As specifically noted in the CICD ordinance "no buffer planting strip shall be required between the CICD and other properties of the applicant". The applicant owns the Aldwyn Triangle.
17. Villanova University has previously submitted the long range development plan.
18. We have revised the drawings to provide my detail on the Retail Uses to confirm the values within the Parking tabulation. Please refer to the footnotes to verify the required parking calculations.
  - a. (1) shows the project increase of 1,138 beds.
  - b. (2) shows the project's office increase which includes 2,240 SF within the PAC.
  - c. (3) shows the total retail proposed, which includes 9,369 SF bookstore, 2,877 SF convenience store and 125 SF retail within the lobby of the PAC. The 9,369 SF matches the retail SF value in Building 2C. the convenience is located within 2A, but is less than the SF labelled, the remaining SF is the 85 seat bistro noted in (4).



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This calculations also eliminates the existing 6,250 SF of retail, which is the existing bookstore which was converted to "unspecified area" per (6).

- d. (4) shows the 85 seat bistro using the remaining SF of the retail in Building 2A. There are also 20 employees.
  - e. (5) shows the project increase of 400 seats of Assembly, which is the largest theater in the PAC.
  - f. (6) shows the conversion of the existing bookstore to "unspecified area"
19. No response necessary.
  20. We have revised the lighting plan to improve the legibility of the details and to resolve conflicts with the landscape plan.
  21. We have revised the landscape plans to provide the requested detail.
  22. We have revised to show the Steep Slopes areas. Please note there is disturbance proposed within the regulated 20%+ slopes along Ithan Ave. This disturbance is permitted as it is required for construction of a roadway with not alternative routing.
  23. See response 23.
  24. The Applicant will submit any necessary signage applicants separately from the Land Development process.

## II. Subdivision and Land Development

1. We have revised the plans to label the zoning boundaries.
2. We have revised the plans to verify that the entry drive at Ithan Ave is wider than 25ft and then tapers to 22ft, which is the aisle width once you enter the parking lot.
3. We have revised the plans to depict the required fire bumpers.
4. We have submitted a revised Sheet L2.0.
5. We have revised the drawings to label the curb along the Mechanical Pit as depressed curb.
6. The Applicant will maintain the sewer as a private sewer and no easement in necessary.
7. No response necessary.
8. We have revised the landscape details to provide screening details.
9. No response necessary.
10. This calculation is based on Building Area, which is just the footprints of the buildings and the calculation should be revised by the Township.
11. This calculation is based on Building Area, which is just the footprints of the buildings and the calculation should be revised by the Township.
12. We have previously met with the Fire Marshall and have revised the drawings to depict the hydrant locations we agreed upon during our meeting.

## III. Stormwater Management

1. The volume calculation summary and worksheet 4 have been revised. The recharge calculations do not include uncaptured impervious area. Submitted with this response are supporting calculations to verify the summaries provided.



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2. We have the volume summary calculations to verify the volume shown in HydroCAD for each system. The hydrograph volume for each infiltration system is provided to show the elevation (below the outlet) at which the volume is extracted.
3. We have revised the Volume Management Plan (sheet 3 of 4) so that it is consistent with the Volume Summary in the Stormwater Report.
4. We have revised the Volume Summary to reconcile the Values for RG-7 and RG-10. It should be noted that RG-7 has been eliminated from POI 2A and is now draining to POI 1.
5. We have revised the report to provide supporting calculations to demonstrate that the Stormwater BMP's are able to completely drain within 96 hours.
6. We have revised the plans to include the requested note.
7. We have submitted all phases of the project for review.
8. We have revised the report to include a table outlining the areas associated with each sub-catchment areas, impervious areas and pervious areas.
9. We have revised the plans and reports to include all phases of the project, including the requested pipe capacity calculations.
10. We have submitted a composite Stormwater Report accounting for all Phases of the project at full build out.

#### IV. General Comments

1. We have revised the profile to depict the Route 30 storm sewer between S8 and S9.
2. Villanova University is working with the Township to resolve sewer service and Act 537 approvals for this development.

#### **Township Traffic Engineer Review (January 28, 2015)**

#### V. SALDO Comments

1. We request a waiver to allow the use of a 25ft radius in order to maintain the pedestrian crossing time at this intersection. We have provided the necessary turning templates that show this radius can accommodate the necessary delivery truck for the project.
2. The CICD ordinance permits the use of 9X19 parking stalls.
3. We have revised the plans to verify that the entry drive at Ithan Ave is wider than 25ft and then tapers to 22ft, which is the aisle width once you enter the parking lot.
4. We have revised the drawings to depict the required tire bumpers.
5. We have revised the layout of the dumpster enclosure to eliminate the radii noted.

#### VI. General Comments

1. As discussed with Police and Staff, the left turn into the garage from SB Ithan Avenue provides a benefit during non-events. The Police will block that they during events to reduce event traffic on Ithan Ave and require event traffic to utilize the PAC/Garage driveway, as the event circulation plans depict. We have revised Church Walk as noted.
2. We have revised the crosswalk striping.



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3. We have revised the ARROW legend.
4. We have revised the plans to note the requirement of the pedestrian activated RRFB.
5. We have revised the plans to note the speed limits.
6. We have revised the plans to note the requirement of the pedestrian activated RRFB.
7. No response necessary.
8. We have submitted an event circulation plan.
9. We have discussed gate locations with the Police and determined that a gate is not required along the rear parking area behind the Housing.
10. We have submitted an event circulation plan.
11. We have revised the submission to include all phases of the project.
12. See below
  - i. We have revised the plans to include the requested note.
  - ii. We have revised the plans to note the proposed ADA ramp on the northern side of Lancaster Ave to receive the new crosswalk.
  - iii. We have reduced the crosswalks for Church Walk to a single crosswalk on the eastern side to eliminate left turn conflicts.
  - iv. We have revised the drawings to realign the Church Walk crosswalk.
  - v. We have revised the drawings to include stop bars at Church Walk.
13. See below
  - i. Per discussion with PennDOT, we have revised the plans to propose a right turn lane at the rear of the PAC into the garage driveway.
  - ii. We have revised the lane widths along Ithan Ave, as requested.
  - iii. We have revised the drawings to propose stop control for only the driveways.
  - iv. We have revised the drawings to include the ONLY for the left turn lane.
  - v. We have revised the drawings to include a sight line profile verifying the location of the crosswalk on the south side of the intersection is appropriate.
  - vi. We have revised the plans to dimension the sidewalks along Ithan Ave.
  - vii. We have revised the plans to label the depressed curb leading to the Mechanical Pit.
  - viii. Villanova can address any turning conflicts operationally with their vendors and users who park behind housing.
  - ix. Villanova can "police" any illegal parking within the Building 2C loading zone, without the need for a gate that would interfere with delivery traffic.
14. See below
  - i. We have revised the templates, as requested.
  - ii. We have revised the templates, as requested.
  - iii. We have revised the templates, as requested.
  - iv. We have revised the templates, as requested.
  - v. We have revised the templates, as requested.
15. See below
  - i. We have revised the detail sheet as requested.
  - ii. We have revised the crosswalk detail as requested.



Steve Norcini, Radnor Township  
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16. See below
  - i. Will comply
  - ii. Will comply
  - iii. Will comply
  - iv. We have submitted a pedestrian circulation plan during construction for review.
  - v. Will comply
  - vi. Villanova University has to be able to access South Campus for deliveries and cannot agree to restrict turning movements from the Housing driveway southbound on Ithan Ave.

#### **Township Planner Review (January 27, 2015)**

##### Zoning

1. We have submitted revised landscape plans, including the requested buffer profiles.
2. We have submitted revised landscape plans, including the requested buffer profiles.
3. We have submitted lighting plans for review.
4. We have revised the landscape details to provide screening details.
5. We have revised the plans to include a gated enclosure around the Building 1C loading dock and compactor.
6. We have revised the landscape plans to depict the streetscape features.
7. We have revised the Site Plans to depict pedestrian access paths to the bridge.
8. No response necessary.
9. We have revised the location of the access control fence.
10. We have revised the plans to note the areaways are for the Utility Basements.

##### Conditional Use Order Conditions

1. No response necessary.
2. No response necessary.
3. We have submitted an event circulation plan.
4. No response necessary.
5. We have submitted an emergency evacuation plan.
6. We have revised the landscape plans to include fencing details.
7. No response necessary.
8. No response necessary.
9. We have contacted PECO and received a response which has been included in this submission.
10. No response necessary.
11. We have submitted the Stormwater Management Narrative to the Township Engineer for review.
12. Villanova University is working with the Township to resolve sanitary sewer service and Act 537 approval for this development.
13. We have submitted parking phasing plans.



Steve Norcini, Radnor Township  
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14. The University will permit parishioners to park on campus adjacent to the Church, as needed.
15. We have maintained one crosswalk across to the north side of Lancaster Avenue at Church Walk. This condition does not require pedestrian crosswalk all the way to the Church, just to the north side of Lancaster Ave.
16. Villanova will work with the Township to demonstrate acceptable noise buffering.
17. No response necessary.

Please feel free to contact me at (610)265-8323 or via email at [atweedie@navenewell.net](mailto:atweedie@navenewell.net) if you should have any questions or need additional information.

Respectfully submitted,

A handwritten signature in black ink that reads "D. Alexander Tweedie".

D. Alexander Tweedie, PE

DAT/jih  
Enclosures

cc via email: Marilou Smith, LEED - Villanova University  
Steve Hildebrand, P.E. - Villanova University  
John Cluver, AIA, LEED AP - Voith & MacTavish Architects, LLP  
Dan Chieco, RLA - Sikora Wells Appel  
Nick Caniglia, Esq. - Pierce, Caniglia and Taylor

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## **Villanova University**

### **Lancaster Avenue Residential Housing Evacuation Plan**

There are (4) Courtyards for the 6 buildings, (3) smaller individual courtyards in the Building 1 complex and (1) large courtyard, which opens up to Lancaster Avenue in the Building 2 Complex. See attached plan for site layout.

In the event of a Large Scale Evacuation, information and direction will be sent to campus through NOVA Alert, email and the University website.

Those in need of transportation will be directed to areas to await transport to an off-campus site.

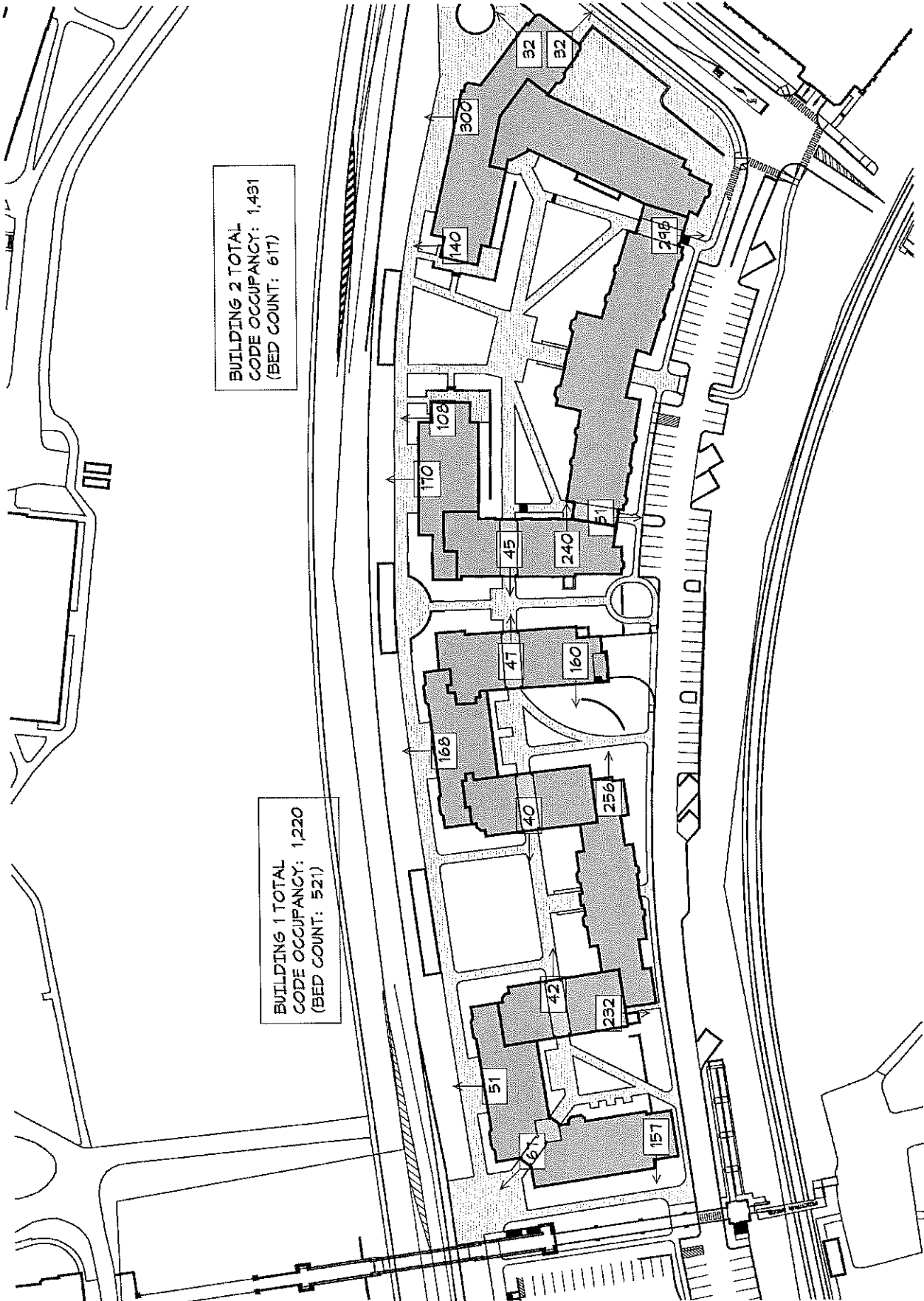
#### **Fire**

Should we have to evacuate Building Complex 1, which houses 521 students, they will evacuate the buildings as shown in the attachment plan and will be directed to the Building 2 Courtyard depending on the event. At which time Public Safety and Radnor Police will direct the students away from the event and to a safe area.

Should we have to evacuate Building Complex 2, which houses 617 students, they will evacuate the buildings as shown in the attachment plan and will be directed to the Building 1 Courtyards depending on the event. At which time Public Safety and Radnor Police will direct the students away from the event and to a safe area.

#### **Shooter/Intruder**

Shelter in place and evacuate when opportunity is safe.



## **Event Traffic Circulation Plan**

### **Summary**

#### **Parking Assignment in general will be:**

- Commuters will be assigned to WLA parking lot. Overflow will be assigned to Main Campus.
- Night School students who presently park in the Main Lot will be assigned Parking on Main Campus, in the following areas; CEER, Tolentine and Mendel Lots. In addition, they will have access to the Law School Parking Garage. This will reduce the lack of spaces available during the crossover times between night school and event arrivals.
- Faculty and Staff will be assigned to Main Campus, in Mendel, Tolentine, CEER, SAC and HSB parking areas.
- Season Ticket Holders will be assigned to specific parking lots and garages.
- Visitors will be assigned to the Visitor Lot and overflow will be directed to the New Pike Garage. The Garage is to be used to store (2) Levels (approximately 520 cars) for new residents of the LAH and for event/visitor parking only.
- Funeral and Wedding Parking/Access – Will be assigned to the Visitors Lot, WLA Lot, Main Campus and overflow will be directed to the Pike Garage. For these events Villanova will block off WLA for funeral parking only and will provide commuters with temporary passes to use the new Pike Garage for the day. Public Safety will man the WLA lot and the new Pike Garage on those days.
- Church Parking/Access – Will have access to the Visitor's lot, WLA lot and Main Campus. Overflow will be sent to the Pike Garage.

#### **Parents/Homecoming Weekend**

- Except for Public Safety employees, West Lancaster Avenue (WLA) should be empty for weekend use. Staffing in buildings on that side of Lancaster do not work on the weekends.
- Parking locations and availability will be communicated via, website information, Electronic /dynamic signage and other available communication methods.
- We will provide Krapft buses to shuttle people around.
- General and visiting team Tailgating will take place at the Law School Parking Lot
- Season Football ticket holder's tailgating will remain in the rear Pavilion Lot
- Event traffic will be captured at the first right turn lane at the New WLA parking lot.
- Event traffic will be captured at the second right turn lane at the new light on Route 30. This traffic will be directed to the Pike Garage. When the Pike Garage fills, any cars still stacked behind the housing will be directed Left on Ithan to cross over Route 30 and Right into VIP parking lot or Left onto Main Campus, where they can park in HSB, SAC or proceed onto the Law School, via way finding signage and other available communication methods that will give direction to each of the garages and an update of capacity available.
- Event traffic will be captured at the 3<sup>rd</sup> right turn lane after the light at Ithan Avenue at the PAC driveway. When the garage fills, the remaining stacked cars in the garage driveway,

will continue to the Right and Right out onto Ithan Avenue across Route 30 for additional parking on campus.

- See site drawings for traffic flows and way finding signage.

### **Freshman Move In and Departure**

- Except for Public Safety employees, all staffing assigned parking in the West Lancaster Avenue (WLA) will be directed to use Main Campus parking assets.
- Parking locations and availability will be communicated via, website information, Electronic /dynamic signage and other available communication methods.
- Presently the event starts at 11:00 AM on a Wednesday, the week before classes begin. The upperclassmen check into their rooms and apartment Friday, Saturday and Sunday of that same week. The plan is to start the event at 8:30AM to get a head start and assign families times and lots to stage in. Each family will be allowed to unload once during the day and then will not be allowed to unload again until after 6:00 PM. We plan to stage in WLA and the Law School Parking Garage. This information will be clearly communicated with the families before arrival through mailings and the website. The University will communicate when to arrive, where to park, and how to get around for this 2 day event.
- Cars will be directed into (2) lanes behind the new housing for this event. The left lane will be directed into the garage, where the families will park (remained parked) and unload with VU volunteers to help them to their dormitories. The right lane will be issued a temporary parking pass for South Campus and will be directed to make a Right onto Ithan Avenue and a Left into South Campus, where they will unload their cars. When they have completed unloading their cars, their temporary parking pass will be removed and they will be directed to take a Right onto Ithan Avenue and park in Pike Garage. When Pike Garage fills, the cars will be directed to the Law School Garage. These (2) garages will be able to support 1889 cars.
- Public Safety will have shuttles running throughout campus and to and from Giant and Bed Bath and Beyond, to encourage people to stay parked while they attend the different functions on Campus.
- See site drawings for traffic flows and way finding signage.

### **Departure after the Freshman Welcome Mass**

- Cars will be directed out of Pike Garage in (3) directions, one behind the new housing and out the church walk drive to Route 30. The other will be to make a Left on Ithan to Conestoga road, where they can find signs for Route 476, and the third will be to make a Right on Ithan to cross Route 30 or to make a Right onto Route 30.
- Cars Parked in the Law School lot will be directed out in (3) directions, one exit will be via the jug handle directed northbound on Spring Mill road, the other will be to make a Left onto County Line Road, where they will remain straight on County Line Road to a Right on Matsonford Road, to get on 476 or Route 76, and the third exit will be directed to the south bound entrance to Route 320.

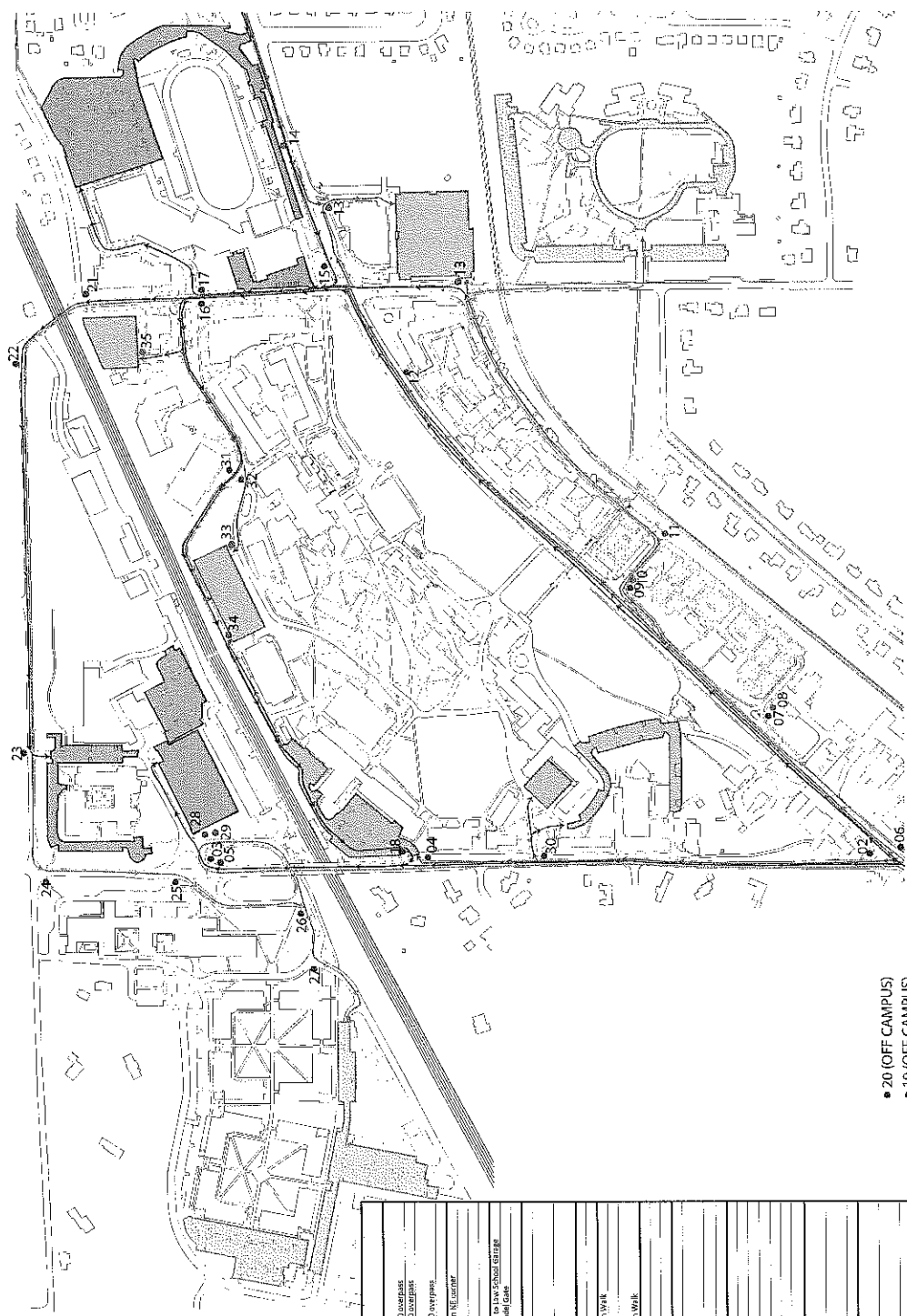
### **Commencement**

- Except for Public Safety employees, all staffing assigned parking in the West Lancaster Avenue (WLA) will be directed to use off Campus Parking sites (TBD each year).
- Each Graduate will receive (1) parking pass for their family to park at a Campus parking area. All other parking will be directed to an offsite parking area and shuttled to the University for the Events.
- Advertise and encourage train usage in all mailings.
- Parking locations and availability will be communicated via, mailings, invitations, website information, Electronic /dynamic signage and other available communication methods.
- See site drawings for traffic flows and way finding signage.

### **Basketball Weeknight and Weekend Events**

- Pike Garage will have approximately 750 spots available for event and visitor parking.
- Parking locations and availability will be communicated via, season tickets information, website information, Electronic /dynamic signage and other available communication methods.
- Season Ticket Holders will be assigned to specific parking lots and garages.
- Staff-1 and Caterers will be directed to park off campus and will be shuttled to the Pavilion

# VILLANOVA LANCASTER AVENUE HOUSING COMMENCEMENT WEEKEND CIRCULATION PLAN MARCH 6, 2015



**NEW LAW SCHOOL LOT**  
**WEST CAMPUS LOTS**  
**WEST LANCASTER AVE LOT**  
**PIKE MAIN GARAGE**  
**DORM LOT**  
**VIP LOT**  
**ACADEMIC BUILDING LOTS**

**PERMANENT SIGN**  
**EVENT SIGNAGE BOARD**  
**DYNAMIC MESSAGE SIGN**

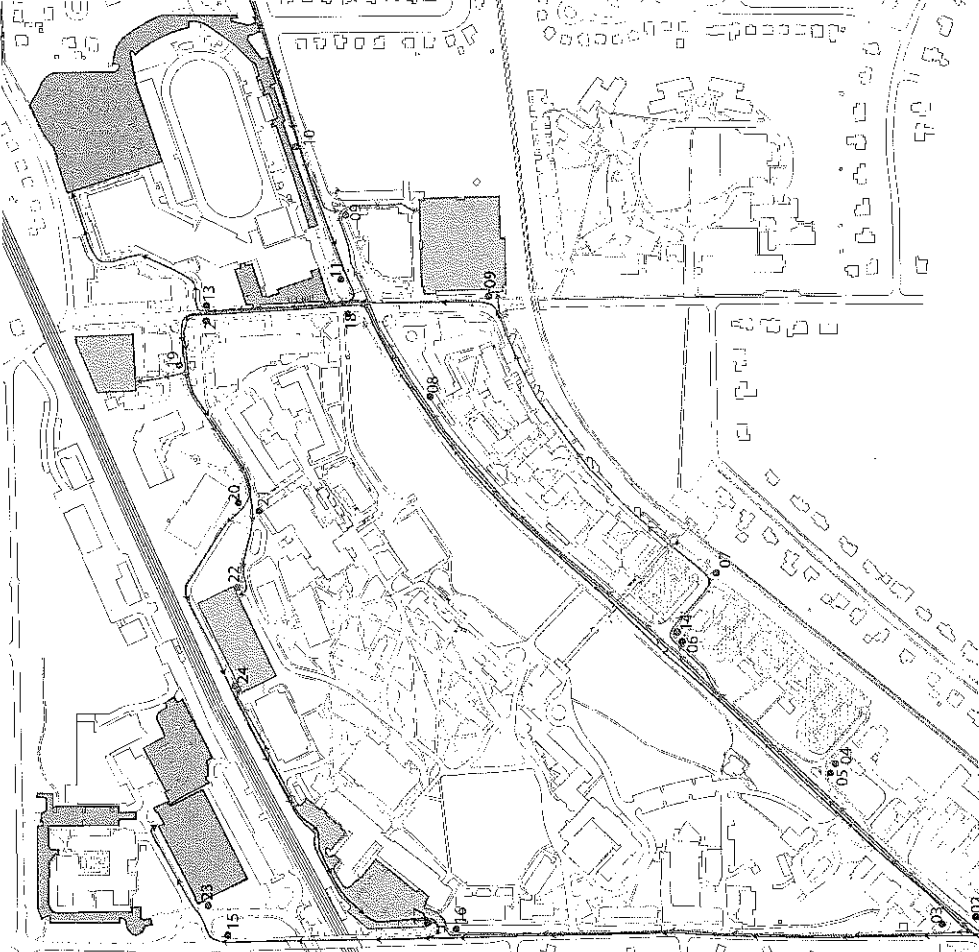
Villanova University  
 Commencement Weekend  
 Circulation Plan  
 Locations and Messages for Future, Variable Signs

Sign No.	Sign Type	Sign Message	Sign Orientation	Site Location
1	DMS	WELCOME TO VILLANOVA UNIVERSITY COMMENCEMENT WEEKEND WEST CAMPUS, LAW SCHOOL AND ACADEMIC BUILDING LOTS WEST LANCASTER AVE LOT	Eastbound Northbound Westbound	Route 30 right before 20th crossing Route 30 right before 21st crossing Route 30 right before 22nd crossing Route 30 and 320 Intersection NE corner
2	DMS	WEST CAMPUS GARAGES LEFT TURN LAW SCHOOL PARKING LEFT TURN	Eastbound	Route 320 at the Entrance to Law School Garage Route 320 before the Tunnel Gate Street at 20th Garage
3	ESB	WEST CAMPUS GARAGES RIGHT TURN	Southbound	WVA Entrance
4	ESB	LAW SCHOOL PARKING RIGHT TURN	Northbound	Before New Light at Church Walk
5	ESB	LAW SCHOOL PARKING LEFT TURN	Northbound	Before New Light at Church Walk
6	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Southbound	Before New Light at Church Walk
7	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD RIGHT TURN	Southbound	Before New Light at Church Walk
8	DMS	WEST CAMPUS GARAGES RIGHT TURN	Eastbound	WVA Entrance
9	DMS	LAW SCHOOL PARKING RIGHT TURN	Eastbound	Before New Light at Church Walk
10	PS	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Southbound	Before New Light at Church Walk
11	PS	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD RIGHT TURN	Southbound	Before New Light at Church Walk
12	DMS	PIKE GARAGE FULL ADDITIONAL PARKING LEFT TURN	Eastbound	Before New Light at Church Walk
13	ESB	WEST CAMPUS GARAGES RIGHT TURN	Westbound	3rd Street Sign
14	ESB	LAW SCHOOL PARKING RIGHT TURN	Westbound	3rd Street Sign
15	ESB	LAW SCHOOL PARKING LEFT TURN	Westbound	3rd Street Sign
16	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Northbound (Intra Ave)	3rd Street Sign
17	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD RIGHT TURN	Northbound (Intra Ave)	3rd Street Sign
18	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Westbound	3rd Street Sign
19	DMS	UNRESERVED PARKING FOR COMMENCEMENT LEFT TURN	Northbound	off 4th northbound
20	DMS	UNRESERVED PARKING FOR COMMENCEMENT LEFT TURN	Northbound 7	off 4th southbound
21	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
22	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
23	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
24	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
25	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
26	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
27	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
28	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
29	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
30	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
31	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
32	ESB	WEST CAMPUS LAW SCHOOL PARKING AHEAD LEFT TURN	Northbound	Northbound
33	PS	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Northbound	off 4th northbound
34	PS	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD RIGHT TURN	Northbound	off 4th northbound
35	PS	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Northbound	off 4th northbound

- 20 (OFF CAMPUS)
- 19 (OFF CAMPUS)

• 01

DMS - Dynamic Message Sign (DMS) - Portable  
 ESB - Free Signage Board  
 PS - Permanent Sign



VILLANOVA LANCASTER AVENUE HOUSING  
 BASKETBALL WEEKNIGHT AND WEEKEND EVENTS CIRCULATION PLAN  
 MARCH 6, 2015

**NEW LAW SCHOOL LOT**      PERMANENT SIGN

**WEST CAMPUS LOTS**      EVENT SIGNAGE BOARD

**WEST LANCASTER AVE LOT**      DYNAMIC MESSAGE SIGN

**PIKE MAIN GARAGE**

**DORM LOT**

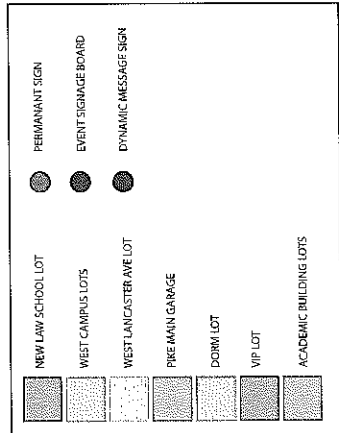
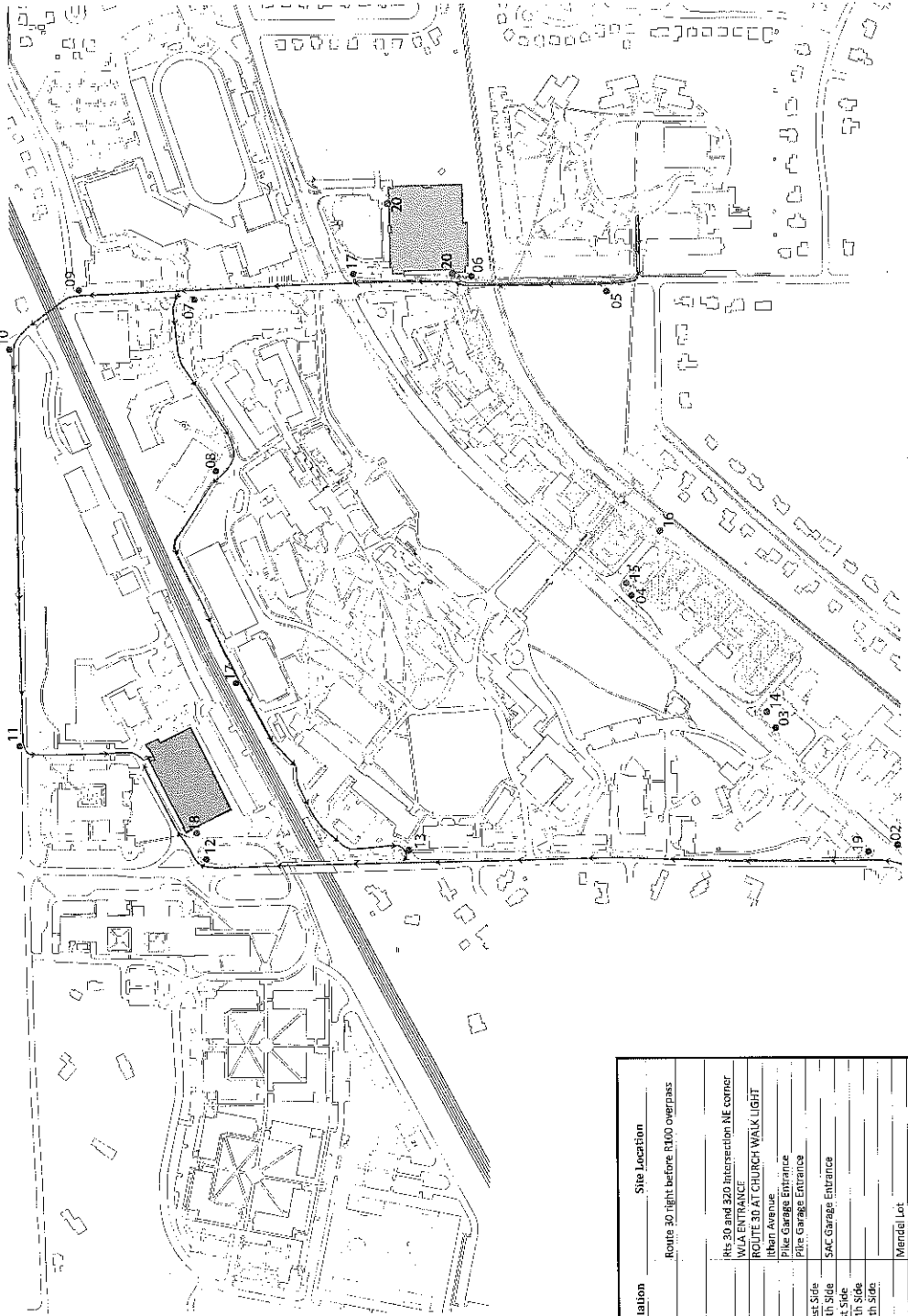
**VIP LOT**

**ACADEMIC BUILDING LOTS**

Villanova University  
 Event Circulation Plan  
 BASKETBALL WEEKNIGHT EVENTS AND WEEKEND EVENTS  
 Location and Message for Future Wayfinding Signs

Sign No.	Sign Type	Sign Message	Sign Orientation	Site Location
1	DMS	WELCOME TO AT VILLANOVA UNIVERSITY	Eastbound	Route 30 right before R100 overpass
2	DMS	PARKING AHEAD PIKE GARAGE FULL ADDITIONAL PARKING MAKE LEFT	Eastbound	Route 30 right before R100 overpass
3	DMS	EVENT PARKING AHEAD WLA PARKING LOT FULL ADDITIONAL PARKING AHEAD LEFT TURN	Northbound/Right Turn Eastbound	WLA entrance
4	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD LEFT TURN	Northbound/Right Turn Eastbound	Before New light at Church Walk
5	ESB	WLA PARKING LOT	Eastbound	
6	DMS	EVENT PARKING RIGHT TURN	Southbound	
7	P5	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD MAKE LEFT	Eastbound	West side of Urban
8	DMS	PIKE GARAGE LEFT TURN WLA RIGHT TURN	Eastbound	
9	P5	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD MAKE LEFT	Eastbound	
10	P5	PIKE GARAGE LEFT TURN	Westbound	
11	ESB	SAC OVER LAW SCHOOL PARKING RIGHT TURN	Westbound	
12	ESB	SAC HSB AND LAW SCHOOL PARKING LEFT TURN	Northbound West Side	
13	ESB	VIP PARKING RIGHT TURN	Northbound East Side	
14	P5	PIKE GARAGE AND WLA PARKING	Westbound	
15	ESB	LAW SCHOOL PARKING RIGHT TURN	Northbound	In Memorial lot
16	ESB	SAC PARKING RIGHT TURN	Westbound	HSB Entrance
17	ESB	LAW SCHOOL PARKING RIGHT TURN	Westbound	
18	ESB	SAC HSB AND LAW SCHOOL PARKING LEFT TURN	Westbound	
19	ESB	LAW SCHOOL PARKING LEFT TURN	Westbound	
20	ESB	SAC PARKING LEFT TURN	Westbound	
21	P5	PIKE GARAGE	Westbound	SAC Entrance
22	P5	LAW SCHOOL PARKING GARAGE	Westbound	Law School Lot Entrance
23	P5	LAW SCHOOL PARKING GARAGE	Eastbound	SAC Entrance
24	P5	SAC PARKING GARAGE	Eastbound	SAC Entrance

DMS= Dynamic Message Sign | DMS1 = Portable  
 ESB= Event Signage Board  
 P5 = Permanent sign



Villanova University  
West Campus Plan  
FRESHMAN MOVE-IN AND DEPARTURE  
Location and Message for Future Wayfinding Signs

Sign No.	Sign Types	Sign Message(s)	Sign Orientation		Site Location
			Eastbound	Westbound	
1	DM/S ESB	WELCOME TO VILLANOVA UNIVERSITY FRESHMAN MOVE-IN AHEAD LAW SCHOOL PARKING LEFT LANE PARKING AHEAD		Eastbound	Route 30 right before R100 overpass
2	DM/S	FRESHMAN MOVE IN PARKING AHEAD		Eastbound	WLA ENTRANCE
3	ESB	FRESHMAN MOVE IN TURN RIGHT		Eastbound	WLA ENTRANCE
4	ESB	FRESHMAN MOVE IN TURN LEFT		Eastbound	ROUTE 30 AT CHURCH WALK LIGHT
5	ESB	FRESHMAN MOVE IN TURN RIGHT		Southbound	Ilhan Avenue
6	DM/S	PARKING RIGHT TURN		Northbound	Pike Garage Entrance
7	ESB	PIKE GARAGE FULL ADDITIONAL PARKING AHEAD		Northbound	Pike Garage Entrance
8	ESB	LAW SCHOOL PARKING LEFT TURN		Northbound	West Side
9	ESB	LAW SCHOOL PARKING RIGHT TURN		Northbound	Westbound North Side
10	ESB	LAW SCHOOL PARKING LEFT TURN		Northbound	Westbound East Side
11	ESB	LAW SCHOOL PARKING LEFT TURN		Westbound	North Side
12	ESB	LAW SCHOOL PARKING RIGHT TURN		Westbound	North Side
13	ESB	LAW SCHOOL PARKING RIGHT TURN		Westbound	Northbound
14	PS	WLA PARKING LOT		Eastbound	Mendell Lot
15	PS	PIKE GARAGE & WLA LOT		Eastbound	WLA ENTRANCE
16	PS	PIKE GARAGE LEFT TURN, WLA PARKING RIGHT TURN		Eastbound	WLA lot
17	ESB	EVENT PARKING AHEAD		Northbound	Law school lot entrance
18	PS	LAW SCHOOL PARKING GARAGE		Northbound	Law school lot entrance
19	ESB	LAW SCHOOL PARKING LEFT TURN		Northbound	Pike Garage Entrance
20	PS	PIKE GARAGE		Northbound	Pike Garage Entrance

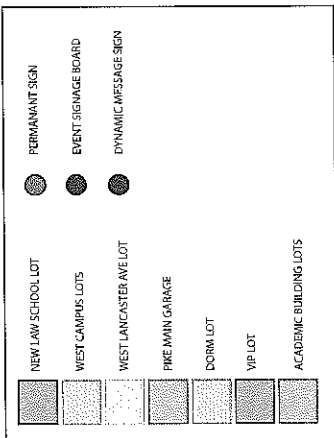
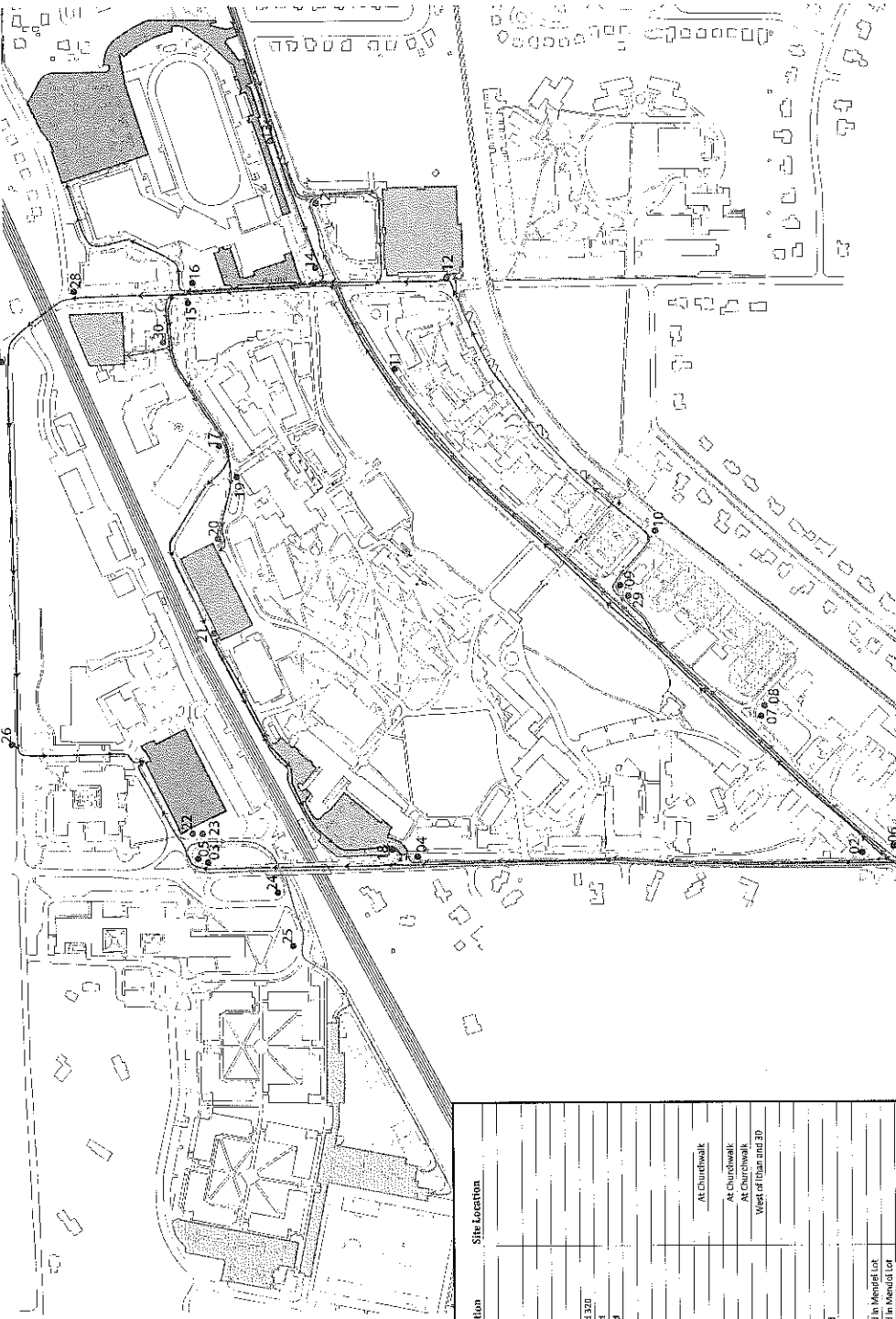
Public Safety and Radnor Police will Man all parking areas at departure time and direct traffic according to site plans.

DM/S= Dynamic Message Sign (DM/S) - Portable  
ESB= Event Signage Board  
PS=Permanent Sign

VILLANOVA LANCASTER AVENUE HOUSING  
FRESHMAN MOVE-IN AND DEPARTURE CIRCULATION PLAN  
MARCH 6, 2015



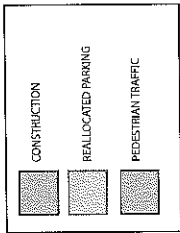
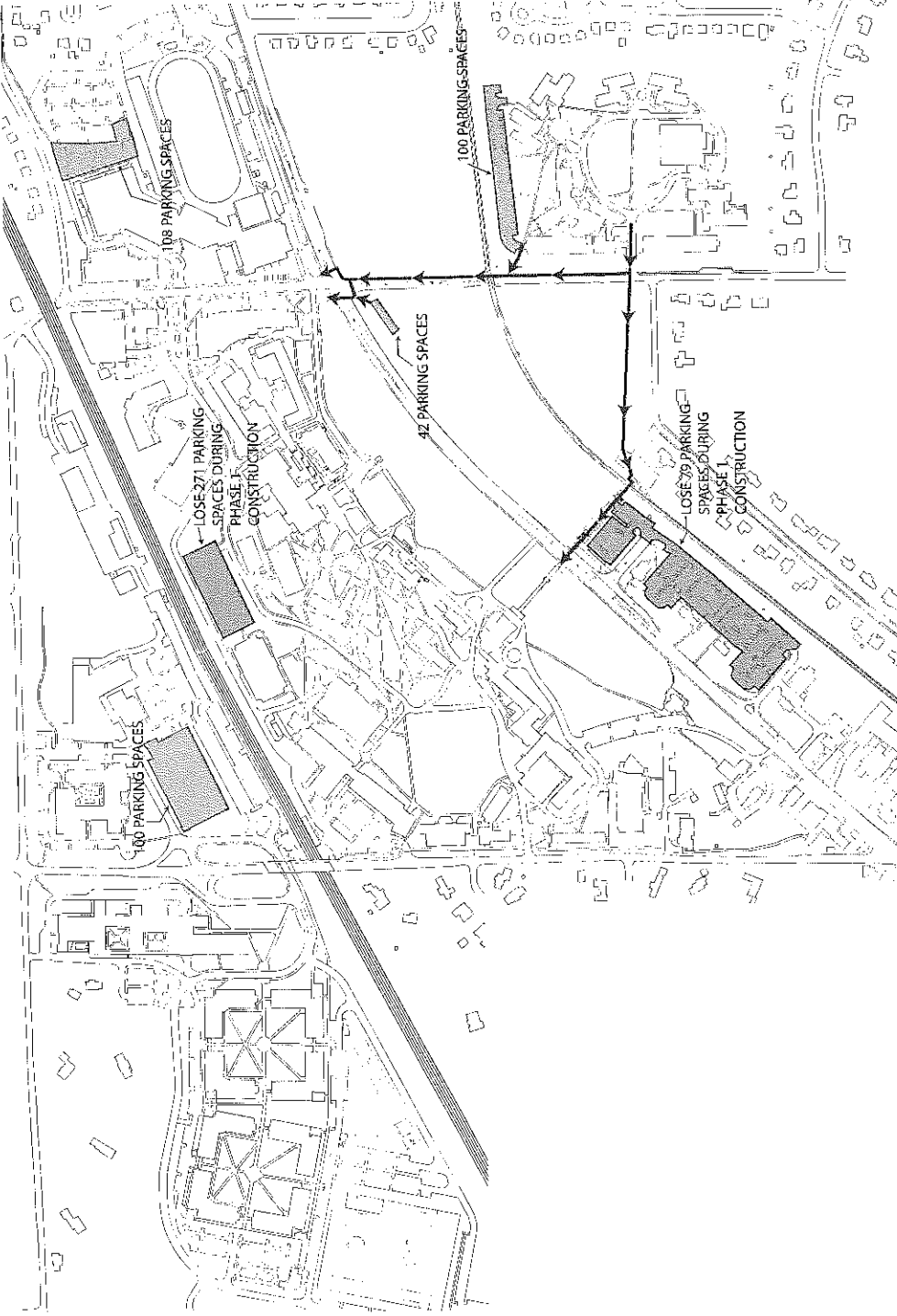
VILLANOVA LANCASTER AVENUE HOUSING  
 PARENTS/HOMECOMING WEEKEND CIRCULATION PLAN  
 MARCH 6, 2015



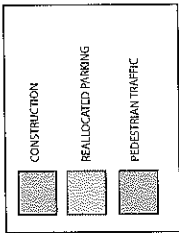
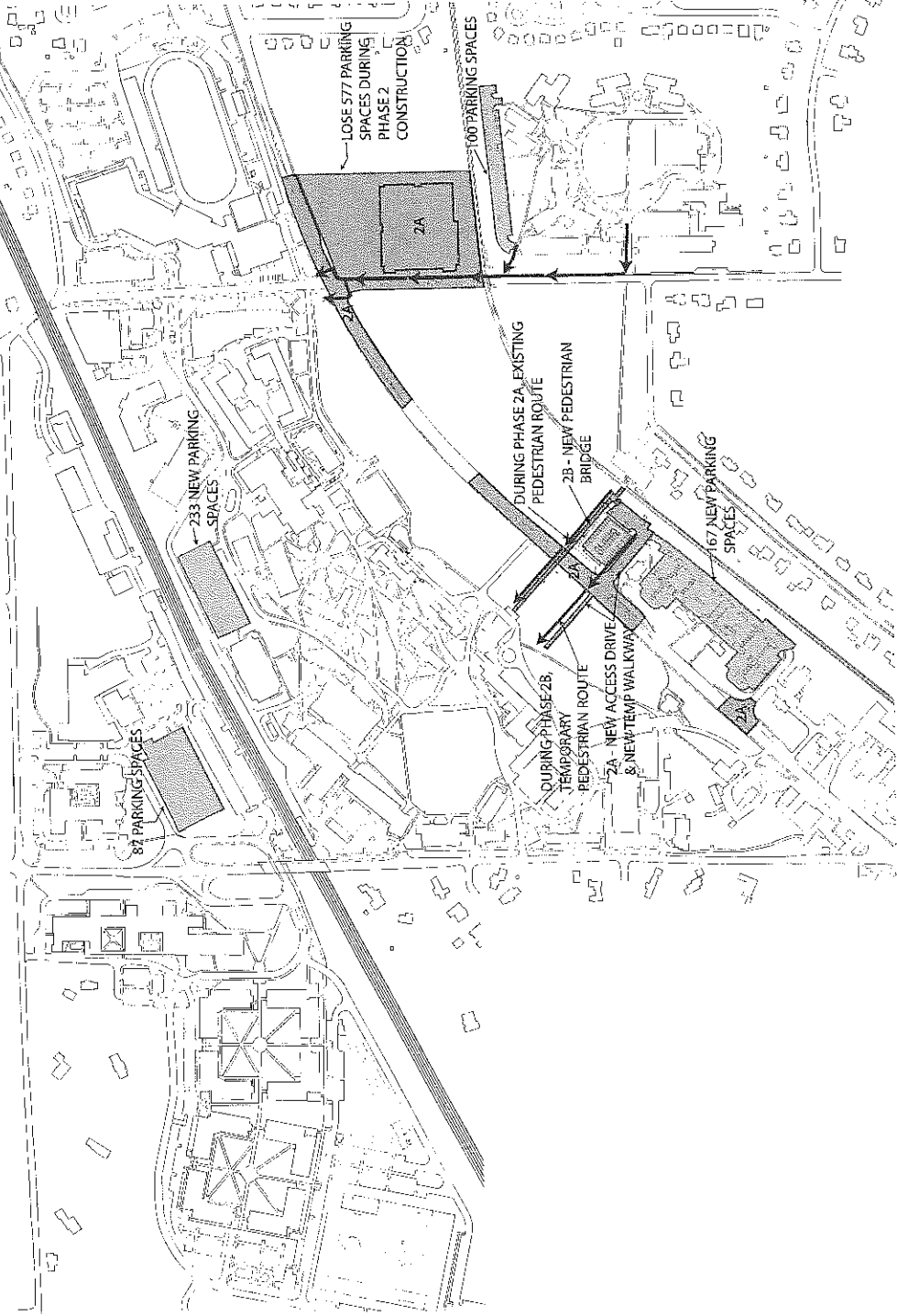
Villanova University  
 Event Circulation Plan  
 PARENTS WEEKEND/HOMECOMING EVENTS  
 Location and Message for Future Wayfinding Signs

Sign No.	Sign Type	Sign Message	Sign Location	Site Location
1	DM5	TAILGATING LEFT TURN/EVENT PARKING AHEAD	Eastbound	
		PIKE GARAGE FULL/ADDITIONAL PARKING AHEAD LEFT TURN	Eastbound	
		TAILGATING FULL/ADDITIONAL PARKING AHEAD	Eastbound	
2	DM5	TAILGATING LEFT TURN	Eastbound	
3	ESB	WEST CAMPUS PARKING LEFT TURN	Northbound	Northbound 300
4	ESB	WEST CAMPUS PARKING RIGHT TURN	Northbound	Northbound
5	ESB	SAC CAMPUS PARKING LEFT TURN	Northbound	Northbound
6	DM5	WEST PARKING AHEAD	Eastbound	
		WLA PARKING LOT FULL/ADDITIONAL PARKING AHEAD	Eastbound	
7	ESB	EVENT PARKING LEFT TURN	Eastbound	
8	PS	WLA PARKING LOT	Eastbound	
9	DM5	WLA PARKING LOT FULL/ADDITIONAL PARKING AHEAD	Eastbound	
10	PS	PIKE GARAGE LEFT TURN	Eastbound	At Churchwalk
11	DM5	PIKE GARAGE FULL/ADDITIONAL PARKING AHEAD	Eastbound	At Churchwalk
		PIKE GARAGE RIGHT TURN	Eastbound	West of Titan and 3D
12	PS	PIKE GARAGE	Eastbound	
13	PS	SAC/PALM/SCHOOL PARKING LEFT TURN	Westbound	
14	ESB	SAC/PSB AND LAW SCHOOL PARKING LEFT TURN	Eastbound	
15	ESB	VP PARKING RIGHT TURN	Eastbound	
16	ESB	LAW SCHOOL PARKING RIGHT TURN	Westbound in Mansfield	
17	ESB	LAW SCHOOL PARKING LEFT TURN	Westbound in Mansfield Lot	
18	ESB	SAC PARKING KEEP LEFT	Westbound	
19	ESB	SAC PARKING GARAGE	Westbound	At SAC garage entrance
20	PS	SAC PARKING GARAGE	Westbound	At SAC garage entrance
21	PS	JAW SCHOOL GARAGE	Westbound	At Jaw school parking entrance
22	PS	WEST CAMPUS PARKING RIGHT TURN	Southbound	Roundabout
23	PS	WEST CAMPUS EVENT PARKING AHEAD	Westbound	
24	ESB	WEST CAMPUS EVENT PARKING LEFT TURN	Westbound	
25	ESB	LAW SCHOOL PARKING LEFT TURN	Westbound north side	
26	F5B	LAW SCHOOL PARKING AHEAD LEFT TURN	Westbound north side	
27	F5B	LAW SCHOOL PARKING LEFT TURN	Northbound	
28	PS	PIKE GARAGE & WLA PARKING	Eastbound	At WLA entrance
29	PS	PSB PARKING GARAGE	Eastbound	At PSB entrance
30	PS			

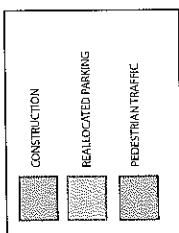
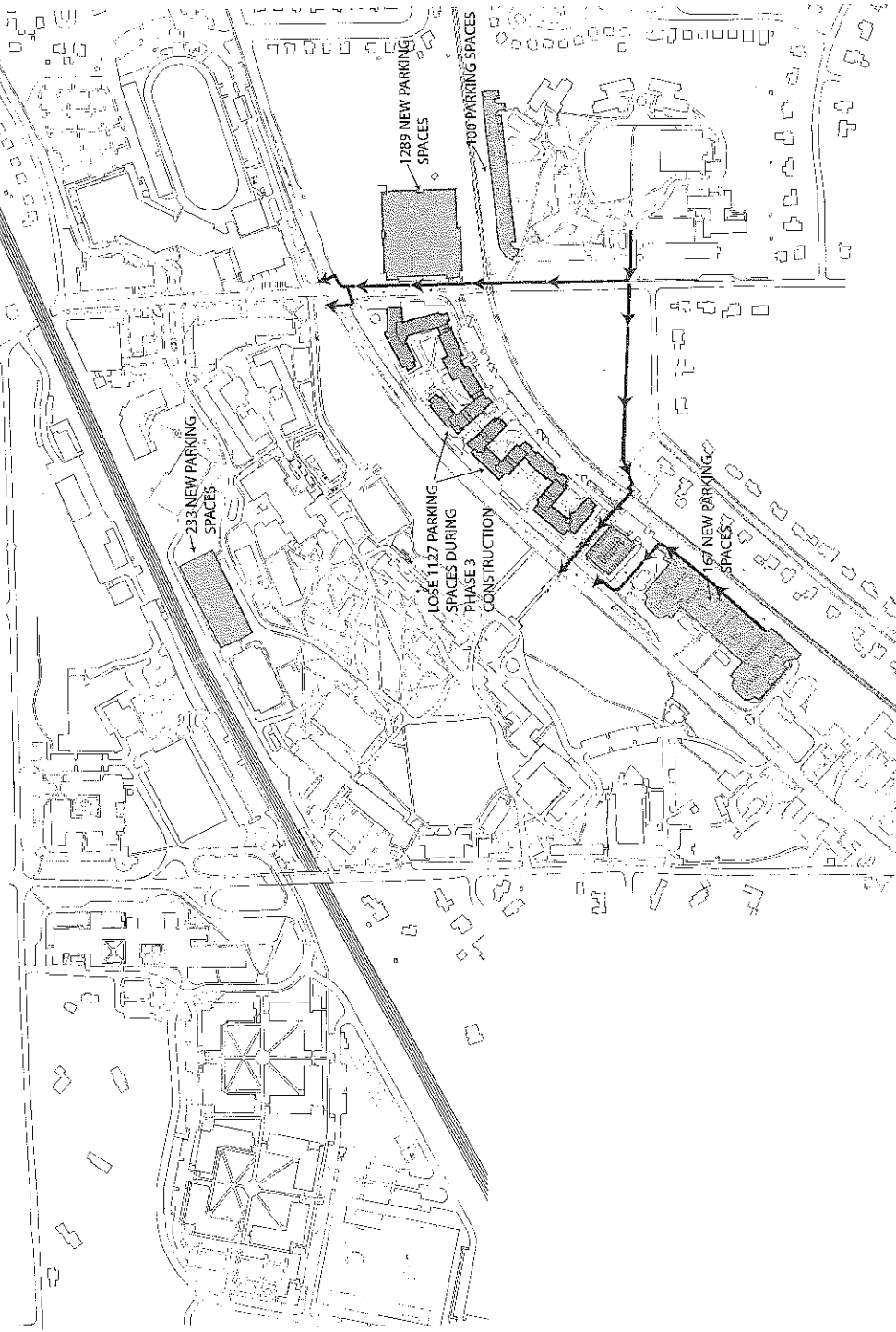
DM5 - Dynamic Message Sign ( DM5 ) - Portable  
 ESB - Event Signage Board  
 PS - Permanent Sign



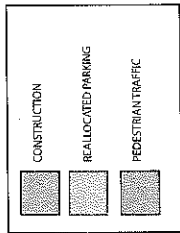
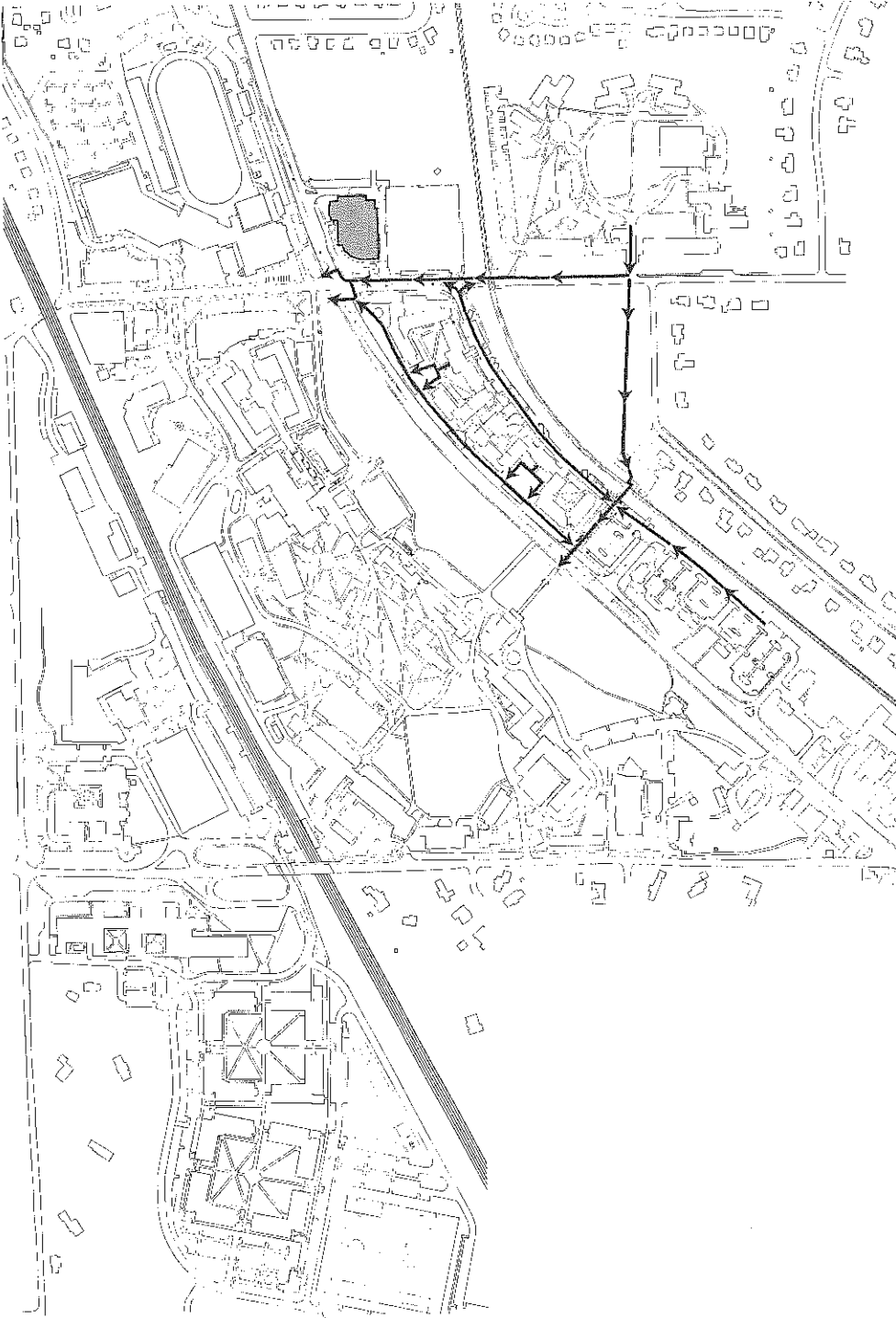
VILLANOVA LANCASTER AVENUE HOUSING  
 PEDESTRIAN PARKING & TRAFFIC PLAN  
 PHASE 1 CONSTRUCTION: SAC GARAGE  
 WEST LANCASTER AVENUE LOT  
 PEDESTRIAN WALKWAY  
 MARCH 6, 2015



VILLANOVA LANCASTER AVENUE HOUSING  
 PEDESTRIAN PARKING & TRAFFIC PLAN  
 PHASE 2A & 2B CONSTRUCTION: PIKE GARAGE  
 2A - WEST LANCASTER AVENUE ROAD CONNECTIONS  
 2B - PEDESTRIAN BRIDGE  
 MARCH 6, 2015



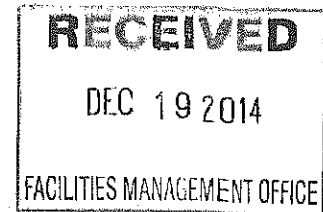
VILLANOVA LANCASTER AVENUE HOUSING  
 PEDESTRIAN PARKING & TRAFFIC PLAN  
 PHASE 3 CONSTRUCTION: NEW HOUSING  
 MARCH 6, 2015



VILLANOVA LANCASTER AVENUE HOUSING  
 PEDESTRIAN PARKING & TRAFFIC PLAN  
 PHASE 4 CONSTRUCTION: PERFORMING ARTS CENTER  
 PARKING NEUTRAL  
 MARCH 6, 2015



Mr. Robert Morro  
Associate Vice President, Facilities Management  
Villanova University  
800 Lancaster Avenue  
Villanova, PA 19085



Re: Your inquiry concerning vegetation plantings on or next to a PECO transmission line right-of-way

Dear Mr. Morro:

You recently inquired about the possibility of planting vegetation management on or near a PECO transmission right-of-way, for the purposes of visual screening. You particularly referenced a condition in Villanova's Proposed Conditions of Approval for expanded utility facilities, which states:

7. That, prior to the submission of final land development plans, the University shall seek the approval of PECO to plant screening on the south side of the PECO R-100 line to visually screen the SEPTA bridge from the impacted residential neighbors and, if said permission is received, the installation and maintenance of the vegetation necessary to establish it.

I have conferred with PECO's Vegetation Management team, which has provided the following information:

PECO does not allow the planting of trees or shrubs on its transmission rights-of-way. Only low-growing herbaceous plants and grasses are permitted in the area below the lines. PECO's guidelines call for a minimum of 32 feet of clearance from the line to the nearest trees on either side. Large trees situated within this area are removed, and trees situated beyond this distance are pruned to the 32 foot mark or the edge of the right-of-way.

I also note that this right-of-way has active SEPTA train traffic, which creates an additional set of clearance requirements for the SEPTA facilities.

I hope this provides the information that you require.

Sincerely,

Joan Renye  
Senior Account Executive  
215-841-5503



**DELAWARE COUNTY PLANNING COMMISSION**

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

**COUNCIL**

MARIO J. CIVERA, JR.  
CHAIRMAN  
COLLEEN P. MORRONE  
VICE CHAIRMAN  
JOHN P. McBLAIN  
DAVID J. WHITE  
MICHAEL F. CULP

Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

**PLANNING COMMISSION**

THOMAS J. O'BRIEN, AIA  
CHAIRMAN  
THOMAS J. JUDGE  
VICE CHAIRMAN  
KENNETH J. ZITARELLI  
SECRETARY  
LINDA F. HILL  
DIRECTOR

February 19, 2015

Mr. Robert Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

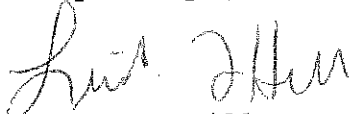
RE: Name of Dev't: Lancaster Avenue Housing  
DCPD File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15  
Developer: Villanova University  
Location: South side of Lancaster Avenue, east and west sides of South Ithan Avenue  
Recv'd in DCPD: 12/23/2014

Dear Mr. Zienkowski:

In accordance with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code, the above described proposal has been sent to the Delaware County Planning Commission for review. At a meeting held on February 19, 2014, the Commission took action as shown in the recommendation of the attached review.

Please refer to the DCPD file number shown above in any future communications related to this application.

Very truly yours,

  
Linda F. Hill  
Director

LFH/pmg  
cc: Villanova University  
Nave Newell, Inc.



**DELAWARE COUNTY PLANNING DEPARTMENT**

**DCPD**

Court House/ Government Center , 201 W. Front St., Media, PA 19063  
Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

Date: February 19, 2015

File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

PLAN TITLE: Lancaster Avenue Housing

DATE OF PLAN: February 19, 2015

OWNER OR AGENT: Villanova University

LOCATION: South side of Lancaster Avenue,  
east and west sides of South Ithan  
Avenue

MUNICIPALITY: Radnor Township

TYPE OF REVIEW: Preliminary Land Development

ZONING DISTRICT: PI Planned Institutional / R-3  
Residential

SUBDIVISION ORDINANCE: Local

PROPOSAL: Develop 9.5 acres with 403,464 sq.  
ft. of dormitory space, plus  
14,470 sq. ft. of retail space

UTILITIES: Public

RECOMMENDATIONS: Proceed to the preparation of  
final plan incorporating the  
following remarks

STAFF REVIEW BY: Michael Swidrak





Date: February 19, 2015  
File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS:

**PREVIOUS ACTION**

At its January 16, 2014 meeting, the Delaware County Planning Commission reviewed a Township zoning ordinance text amendment to create a new development option within the PI District titled "Comprehensive Integrated College Development." The Commission recommended approval.

**CURRENT PROPOSAL**

The current proposal is part of a larger redevelopment plan of Villanova University-owned parcels south of Lancaster Avenue (U.S. Route 30). This phase of the larger plan includes 9.5 acres of land proposed to be developed with 417,934 sq. ft. of dormitory space in 6 four-story structures, and 14,470 sq. ft. of retail space in two buildings. Parking facilities are placed in the back of the property (adjacent to the Norristown High Speed Line), and the proposed buildings are buffered from the property boundaries and from each other by landscaping.

**SITE INFORMATION**

The site of the proposed development is bound by Ithan Avenue to the east, the SEPTA Norristown High Speed Line to the south, approximately 50' east of Church Walk to the west, and Lancaster Avenue to the north. The site is completely contained within the PI - Planned Institutional district, which accommodates most of the Villanova University campus. A sliver of the site on the southwest corner is covered by R-3 Residential zoning. The current site is used as a surface parking lot by the university, and is nearly completely paved with asphalt, with the exception of a thin buffer of trees and vegetation that straddles the border of the SEPTA right-of-way at the back of property.

Date: February 19, 2015

File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS (continued):

**ZONING COMPLIANCE**

**COMPREHENSIVE INTEGRATED COLLEGE DEVELOPMENT (CICD)**

The PI district was amended in 2014 to include Section 280-68.1, "Comprehensive integrated college development." The Planned Institutional district allows for dormitories as accessory uses, and does not allow commercial use, though the CICD provision was drafted to accommodate this type of the development as a conditional use. The CICD can be considered a "floating" overlay that is applied to one section of the PI district, that is between 10 and 15 acres, on campuses at least 75 acres in size (Villanova qualifies for a CICD). The proposal (9.5 acres) includes a portion or phase of Villanova's CICD.

The CICD allows as "subordinate uses" both retail establishments and college dormitories, which are the primary uses on the site. The types of retail uses allowed in the CICD are outlined in the provision.

In terms of the area and bulk requirements of the development, the proposal must meet several requirements for approval:

- Setbacks - The CICD provision requires a 35' setback for buildings along Lancaster Avenue, a 50' setback for the southern border of the parcel adjacent to the NHSL, and a 30' setback for buildings adjacent to all other portions of the property (North Ithan Road and Church Walk). It appears, according to the site plan, that all buildings are properly set back from adjacent rights-of-way, as well as adjacent residential properties (100' minimum).

Date: February 19, 2015

File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS (continued):

- Building Length and Spacing - The CICD requires buildings and parking structures that are no more than 180', and spacing between buildings of 45'. All proposed buildings are separated by at least 45' and are less than 180' at any single façade (the buildings were designed not to have any long facades without articulation).
- Height - The maximum allowed height for the dormitories is 45', while the maximum for the retail space is 38'. No building on the site is more than four stories. Subsequent plans, however, should clarify proposed height.
- Building Coverage - The CICD requires that no more than 30% of the site be covered by structures, though it can be increased to 45% with measures taken to preserve open space on other lands owned by the applicant.

Adding together all of the building footprints, the total building square footage of the site is 119,021 sq. ft. With the 9.5-acre site equaling approximately 413,820 sq. ft., the building coverage is under the maximum 30%, at approximately 28.8%.

- Impervious Coverage - Because the existing site is a parking lot (near 100% impervious), the proposal must be 10% below the existing coverage, or about 90%. The green spaces and rain gardens in the proposal lower the impervious coverage to well below this threshold.

The portion of the site zoned R-3 Residential contains proposed dumpsters and recycling containers, which typically are not regarded as accessory structures and, therefore, within the purview of zoning provisions. Also, it is unclear, though it looks as if this part of the development exceeds the maximum 35%

Date: February 19, 2015  
File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS (continued):

impervious coverage (from rear automobile access lane behind the development). The applicant should consider requesting a zoning variance from the Township, and may consider asking for a rezoning of this portion of the development to PI, to address these zoning inconsistencies.

**COMPREHENSIVE PLAN**

The Township comprehensive plan of 2003 does not contain a standard future land use map, though it makes recommendations for future development. According to this plan, any new development that is adjacent to established neighborhoods should employ "careful buffering," as not to disturb the character of the adjacent neighborhood. The site plan shows that the nearest building to the edge of a nearby residential property is nearly 200', which can be considered substantial for separating the uses.

**PEDESTRIAN ACCESS**

The proposal generally encourages adequate pedestrian circulation and access, as automobile circulation is confined to the back edge of the property. In terms of connecting this development with the Villanova campus north of Lancaster Avenue, pedestrians are able to cross the arterial only at its intersection with North Ithan Avenue, though a proposed pedestrian bridge just past the western edge of the site should be included in a future development application.

There are two SEPTA bus stops for bus routes 105 and 106 on eastbound Lancaster Avenue at the intersections with Church Walk and Ithan Avenue. The applicant proposes to install a fence to control access by pedestrians along Lancaster Avenue and place the new sidewalk behind the fence. This would, in effect,

Date: February 19, 2015  
File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS (continued):

eliminate the two eastbound bus stops. The applicant should revise the plan to retain pedestrian access to the two bus stops and work with SEPTA Suburban Service Planning staff to accomplish this. SEPTA staff, Mark Cassel, can be contacted at (215) 580-7238.

**SEWAGE FACILITIES**

An additional building may increase sanitary sewer flow. Accordingly, the developer should contact the Pennsylvania Department of Environmental Protection for a determination as to whether or not the proposed development is eligible for an exemption or will require a revision to the municipality's Act 537 Sewage Facilities Plan.

**STORMWATER MANAGEMENT**

To control stormwater runoff, the plan shows several detention basins and infiltration basins, as well as "green infrastructure" in the form of rain gardens placed in front of some of the dormitories.

The Township Engineer must verify the adequacy of all existing as well all proposed stormwater management facilities.

**CONCLUSION**

Generally, the proposed plan appears consistent with adopted regulations governing the CICD. However, subsequent plans should addresses the following:

A wider right-of-way and cartway for both Lancaster Avenue and South Ithan Avenue. Specifically, a right-turn lane should be provided on eastbound Lancaster Avenue, thereby allowing right-turns onto S. Ithan Avenue. Deceleration/Right-turn lanes should be provided on S. Ithan Avenue in both directions; to

Date: February 19, 2015

File No.: 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15

REMARKS (continued):

accommodate traffic turning into the current phase of development on the west side of S. Ithan and the future phase of development on the east side of S. Ithan Avenue (Performing Arts Center & Parking Garage).

The plan and plan notes should address buffering requirements to be applied to the southern property line on the north side of the Septa right-of-way to include evergreen and deciduous vegetation compliant with Section 280-71 of the Township zoning ordinance regarding buffer requirements.

Proposed stormwater management facilities should take into account an underground/intermittent stream located on the site.



## DELAWARE COUNTY PLANNING DEPARTMENT

COURT HOUSE/GOVERNMENT CENTER  
201 W. Front St. Media, PA 19063

### COUNCIL

THOMAS J. McGARRIGLE  
CHAIRMAN

MARIO J. CIVERA, JR.  
VICE CHAIRMAN

COLLEEN P. MORRONE  
JOHN P. McBLAIN  
DAVID J. WHITE

Office Location: Toal Building, 2nd & Orange Sts., Media, PA 19063  
Phone: (610) 891-5200 FAX: (610) 891-5203  
E-mail: [planning\\_department@co.delaware.pa.us](mailto:planning_department@co.delaware.pa.us)

LINDA F. HILL  
DIRECTOR

February 4, 2015

Mr. Robert A. Zienkowski  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087-5297

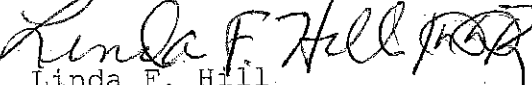
**RE: Title:** Lancaster Avenue Housing  
**Applicant(s):** Villanova University  
**File Number:** 34-1522-77-83-90-92-94-97-98-99-00-01-02-06-13-15  
**Meeting Date:** 02/19/2015  
**Municipality:** Radnor Township  
**Location:** South side of Lancaster Avenue, east and west  
sides of S. Ithan Avenue  
**Received:** 12/23/2014

Dear Mr. Zienkowski,

This is to acknowledge receipt of the above referenced application for review and report. The Commission has tentatively scheduled consideration of the application for its public meeting on the date shown above at 4:00 p.m. in the Government Center Building, (Room 100), Court House Complex, Media, PA. Attendance is not required but is welcomed. If you have any questions concerning this matter, please contact Dennis DeRosa at (610) 891-5222.

NOTE: In order to avoid processing delays, the DCPD file number shown above MUST be provided in any transactions with the county regarding this or future applications related to this location.

Very truly yours,

  
Linda F. Hill  
Director

LFH/DDR

cc: Villanova University

Nave Newell, Inc.





January 19, 2015

VIA Certified Mail #91 7108 2133 3933 8427 4338

Radnor Township Planning Commission  
301 Iven Avenue  
Wayne, PA 19087

**Reference: Villanova University CICD Development  
Radnor Township, Delaware County, PA  
Nave Newell No. 2011-005.00**



Dear Commissioners:

Acts 67, 68 and 127, which amended the Municipalities Planning Code (MPC), direct state agencies to consider comprehensive plans and zoning ordinances when reviewing applications for permitting of facilities or infrastructure, and specify that state agencies may rely upon comprehensive plans and zoning ordinances under certain conditions as described in Sections 619.2 and 1105 of the MPC. The Pennsylvania Department of Environmental Protection's Policy for Consideration of Local Comprehensive Plans and Zoning Ordinances in DEP Review of Permits for Facilities and Infrastructure (DEP's Land Use Policy) provides direction and guidance to DEP staff, permit applicants, and local and county governments for the implementation of Acts 67, 68, and 127 of 2000. This policy can be found at [www.depweb.state.pa.us](http://www.depweb.state.pa.us); keyword: Land Use.

In accordance with DEP's Land Use Policy, enclosed please find a Municipal Land Use Letter that is to be submitted with our NPDES permit application to DEP. Please complete the attached form and return within 30 days to:

Applicant Contact: Nave Newell, Inc.  
Consultant for the Applicant  
Attn: Gregory C. Newell, PE  
900 West Valley Road, Suite 1100  
Wayne, PA 19087

Project Location: Villanova University CICD Development – 800 E. Lancaster Ave, Villanova, PA

Project Description: Villanova University proposes construction of six (6) dormitory buildings and associated parking, a structured parking facility, a performance arts building, and additional campus parking.





Radnor Township Planning Commission  
Nave Newell No. 2011-005.00  
January 19, 2015  
Page 2

**Please do not send the form to DEP**, as we must include the Municipal Land Use Letter with our permit application. If we do not receive a response from you **within 30 days**, we shall proceed to submit our permit application to DEP without the Municipal Land Use Letter. If the Municipal Land Use Letter is not submitted with our permit application, and we provide proof to DEP that we attempted to obtain it, DEP will assume there are no substantive land use conflicts and proceed with the normal application review process.

Attached are a copy of the proposed Site Plan and a copy of the conditional use approval.

Sincerely,

A handwritten signature in black ink that reads 'Gregory C. Newell'. The signature is written in a cursive, flowing style.

Gregory C. Newell, PE

GCN/jjh  
Enclosure

cc via email: Marilou Smith – Villanova University

K:\11Proj\11005\Proj\_Data\Support\_Data\NPDES\Act 67 ltr\2011-005.00\_Township Act 67\_ltr\_15-01-19.doc

Date: \_\_\_\_\_

To: Villanova University  
c/o Nave Newell, Inc.  
900 West Valley Road, Suite 1100  
Wayne, PA 19087

From: Radnor Township, Delaware County, PA

RE: Villanova University CICD Development

The Township of Radnor states that it:

\_\_\_\_\_ has adopted a municipal or multi-municipal comprehensive plan.

If yes, please provide date of adoption:

\_\_\_\_\_ has not adopted a municipal or multi-municipal comprehensive plan.

The Township of Radnor states that it:

\_\_\_\_\_ has adopted a county, a municipal or a joint-municipal zoning ordinance.

\_\_\_\_\_ has not adopted a county, a municipal or a joint-municipal zoning ordinance.

If applicable:

The Township of Radnor states that its zoning ordinance is generally consistent with its municipal comprehensive plan and the county comprehensive plan.

The above referenced proposed project  
\_\_\_\_\_ meets the provisions of the local zoning ordinance

If zoning approval is required for the project to proceed, the above referenced project:

\_\_\_\_\_ has received zoning approval.

\_\_\_\_\_ has not received zoning approval.

If the proposed project has not received zoning approval:

What is the status of the zoning request for the proposed project? (e.g., Special Exception Approval from the Zoning Hearing Board required, Conditional Use approval from the Governing Body required)

---

Is there a legal challenge by the applicant with regard to zoning for the proposed project?

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Name and Contact Information for Municipal Zoning Officer:

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---

---

Additional Comments (attach additional sheets if necessary):

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---

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Submitted By:

Name	
Title	
Contact Information (Address & Phone)	
Signature	
Date	

J. LAWRENCE GRIM, JR.  
JEFFREY G. TRAUGER  
MARY C. EBERLE  
JOHN B. RICE  
DIANNE C. MAGEE \*  
DALE EDWARD CAVA  
DAVID P. CARO \*  
DANIEL J. PACI \* †  
JONATHAN J. REISS †  
GREGORY E. GRIM †  
PETER NELSON \*  
PATRICK M. ARMSTRONG  
COLBY S. GRIM  
DIANE M. SODANO \*  
JOEL STEINMAN  
SEAN M. GRESH  
KELLY L. EBERLE \*  
MATTHEW J. MCHUGH  
ALISON PAIGE WASSERMAN \*  
MATTHEW E. HOOVER

\* ALSO ADMITTED IN NEW JERSEY  
† ALSO ADMITTED IN NEW YORK  
‡ MASTERS IN TAXATION  
+ ALSO A CERTIFIED PUBLIC ACCOUNTANT

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[www.grimlaw.com](http://www.grimlaw.com)

PLEASE REPLY TO:  
PERKASIE

John B. Rice  
e-mail: [jrice@grimlaw.com](mailto:jrice@grimlaw.com)

JOHN FREDERIC GRIM, OF COUNSEL

104 S. SIXTH STREET  
P.O. BOX 215  
PERKASIE, PA. 18944-0215  
(215) 257-6811  
FAX (215) 257-5374  
  
P.O. BOX 380  
QUAKERTOWN, PA, 18951-0380  
(215) 536-1200  
FAX (215) 538-9588  
  
P.O. BOX 1369  
DOYLESTOWN, PA, 18901  
(215) 348-2199  
FAX (215) 348-2520

December 5, 2014

Sent via electronic correspondence

Nicholas Caniglia, Esquire  
PIERCE, CANIGLIA & TAYLOR  
125 Strafford Avenue, Suite 110, P.O. Box 312  
Wayne, PA 19087

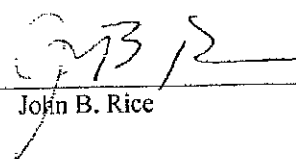
Sent via electronic correspondence

William J. Bolla, Esquire  
McNAMARA, BOLLA & PANZER  
116 E. Court Street  
Doylestown, PA 18901

**RE: Radnor Township - Villanova University Conditional Use Decision and Order**

Dear Counsel and Individual Parties:

Enclosed please find a copy of the Township's Conditional Use Decision and Order with supporting Findings of Fact and Conclusions of Law. If anyone has any questions regarding the enclosed please feel free to call me.

Sincerely,  
**GRIM, BIEHN & THATCHER**  
  
By:   
John B. Rice

JBR/hlp  
Enclosure

- cc: Robert Zienkowski (via email)  
Radnor Township Board of Commissioners (via email)  
Tish Long (sent via certified mail)  
Leslie Morgan (sent via certified mail)  
Gayla McCloskey (sent via certified mail)  
Rick Leonardi (sent via certified mail)  
Jonathan Heckscher (sent via certified mail)  
Anna Marie Hessman (sent via certified mail)  
Sara Pilling (sent via certified mail)  
Phillip Ahr (sent via certified mail)  
Toni Bailey (sent via certified mail)  
Jim Yannopoulos (sent via certified mail)

**CONDITIONAL USE APPLICATION OF VILLANOVA UNIVERSITY**

**ORDER**

*AND NOW*, this 24<sup>th</sup> day of November, 2014, after due deliberation and discussion at public hearings, the Radnor Township Board of Commissioners does hereby grant the Conditional Use Application of Villanova University, subject to the following conditions:

1. The applicant shall comply with all other applicable Township Ordinances and shall submit a land development plan pursuant to the Township's Subdivision and Land Development Ordinance prior to the construction of any facilities.

2. That the transportation, roadway and signalization and improvements necessary for the construction have full access to Ithan Avenue from both the Pike Lot Parking Garage and Lancaster Avenue housing parking area with provisions for stop control for both parking accesses to Ithan Avenue and a pedestrian activated signal including the new pedestrian crosswalk be required if approved by PennDOT, unless waived by the Board of Commissioners during the land development process.

3. That during the land development process an event circulation plan be developed to address event parking and traffic circulation with the input of the Radnor Township Police Department and Township traffic engineer outlining procedures, traffic patterns, parking configurations and way finding techniques for the various sporting and other events held at the University. Upon development of the event circulation plan, Villanova shall be responsible for constructing and/or installing such signs, structures, or other directional aids necessary to implement the event circulation plan.

4. That Villanova University contributes the sum of One Hundred Seventy-Five Thousand Dollars (\$175,000.00) towards the design, approval and installation of a traffic adaptive signal system that would incorporate the following signalized intersections along Lancaster Avenue:

- a. Sproul Road/Spring Mill Road; Aldwyn Lane/ Kenilworth Street
- b. Church Walk
- c. Ithan Avenue
- d. Lowrys Lane
- e. Airdale Road
- f. County Line Road

5. That during the land development process an emergency evacuation plan for the new student housing be developed.

6. That appropriate fencing be provided on both the north and south sides of Lancaster Avenue in the area of the church walk pedestrian bridge in an effort to restrict pedestrian traffic from accessing the campus. A gate shall be provided for vehicular and pedestrian access during church events if approved by the Board of Commissioners during the land development approval process.

7. That the University preserve the entire area known as the Aldwyn Triangle and restrict it as open space except for that portion of the area necessary to provide pedestrian activity and handicap accessibility improvements for the adjacent SEPTA rail line.

8. That a landscape and buffer plan be developed to comply with Section 280-68.1.D. (3)(b) of the Zoning Ordinance.

9. That Villanova seek permission from PECO to plant screening on the south side of the PECO R-100 line to visually screen the SEPTA bridge from the adjacent residential neighbors. Provided that the applicant receives permission, Villanova shall provide an installation and maintenance plan of the vegetation necessary for this screening during land development.

10. Villanova shall provide Radnor Township a list of contractors, subcontractors and vendors and their addresses within twenty (20) days of the execution of any contracts by Villanova in connection with the development and/or construction of the proposed project. The purpose of this list is to permit the Township to audit for required business privilege/mercantile taxes.

11. During the land development process, the Applicant shall use its best efforts to develop and construct stormwater management facilities, including green infrastructure practices and components that meet or exceed infiltration or retention requirements as currently required by the Radnor Township Stormwater Management Ordinance. The Applicant shall conduct soil testing as necessary to determine whether the site can accommodate volume management in excess of 1-inch of run-off from all impervious surfaces resulting from the project. If soil testing indicates that it is possible to provide volume management in excess of 1-inch of run-off, the Applicant shall construct such necessary stormwater facilities on the site to accommodate this increased volume.

12. The Applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increased waste water disposal generated by the project.

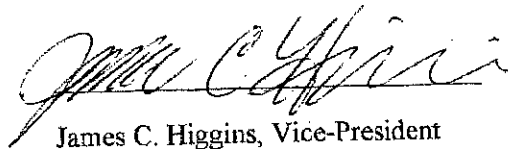
13. The Applicant shall develop a traffic plan during the land development process delineating the paths by which the existing population of commuting and part-time students will be directed to and from parking for each phase of the construction.

14. The Applicant shall permit parishioners to park, on a space available basis, on the north side of Lancaster Avenue on existing Villanova property adjacent to the church for church related events.

15. The Applicant shall maintain a pedestrian crosswalk from the proposed project site to the existing church at the present church walk location if approved by Penn Dot.

16. The Applicant shall insure that no amplified music or other excessive noise shall emanate from any of the south facing dormitories. During the land development process, the Township and applicant shall establish a permissible sound level at the property boundary of the the Aldwyn Lane residential uses.

17. The Applicant's land development plans shall be in substantial conformity with the Conditional use plans dated May 2, 2014 as amended during the hearings.



James C. Higgins, Vice-President

Radnor Township Board of Commissioners

Date of mailing 12/5/14

## **FACTUAL BACKGROUND, FINDINGS OF FACT AND CONCLUSIONS OF LAW**

### **I. Background**

Villanova University (the "*Applicant*") filed a Conditional Use Application on May 29, 2014 with Radnor Township for development of 13.81 acres on Lancaster Avenue near Ithan Avenue on the south side of the highway. The Conditional Use Application was advertised two times in the July 14<sup>th</sup> and July 21<sup>st</sup>, 2014 editions of the Delaware County Daily Times for an initial public hearing to be held on July 28, 2014. Stenographic record of the hearing was made by Norma Gerrity.

The Radnor Township Board of Commissioners held a series of public hearings on the Conditional Use Application on July 28, 2014, August 21, 2014, September 10, 2014, September 17, 2014, September 30, 2014, October 8, 2014, and October 23, 2014. The Board of Commissioners deliberated and rendered a decision and Order on November 24, 2014. These Findings of Fact and Conclusions of Law are in support of that decision and Order.

At hearing, the Applicant was represented by Nicholas J. Caniglia, Esquire. Tish Long & Leslie Morgan (on behalf of Friends to Preserve Radnor), Rick Leonardi, Jonathan Heckscher, Annamarie Hessman, Phillip Ahr (on behalf of the Garrett Hill Coalition), Gayla McCluskey (on behalf of the League of Women Voters), Sara Pilling, Toni Bailey, and James Yannopoulos requested and were granted party status. Commissioners James Higgins, Richard Booker, Donald Curley, John Fisher, John Nagle and William Spingler were present at the hearings, represented by the Township Solicitors, John B. Rice, Esquire and H. Peter Nelson, Esquire. Commissioner Elaine Schaefer voluntarily recused herself from consideration of the application. The Township's position was represented by Special Counsel, William J. Bolla, Esquire.

The following exhibits were admitted into testimony during the course of the hearings:

#### **Applicant Exhibits:**

- A.1.A Conditional Use Plan prepared by Nave Newell, Inc., 900 West Valley Road, Suite 1100, Wayne, PA, dated May 2, 2014, consisting of 11 sheets.
- A.1.B Conceptual Landscape Plan
- A.1.C Development Impact Statement consisting of 54 pages, dated May 2, 2014
- A.1.D Stormwater Narrative prepared by Nave Newell, Inc., dated May 2, 2014
- A.1.E Traffic Impact Assessment of F. Tavani and Associates, Inc., dated May, 2014
- A.2 CV of D. Alexander Tweedie



- A.3.A Campus Coverage Table
- A.3.B CICD Zoning Table
- A.3.C West Lancaster Ave. Zoning Table
- A.4.A Photo Main Lot
- A.4.B Photo Pike Lot
- A.5 Aldwyn Triangle Site Plan
- A.6.A Site Access Plan
- A.6.B West Lancaster Ave. Site Plan
- A.7 CV of Kevin Smith, Architect
- A.8.A Buffer Section @ Housing @ Installation
- A.8.B Buffer Section @ Housing @ 10 years
- A.8.C Buffer Section @ West Lanc. @ Installation
- A.6.D Buffer Section @ West Lanc. @ 10 years
- A.9 Bridge Site Plan
- A.10 CV of John Cluver, Architect
- A.11 CV of Lee Huang, Economist
- A.12 CV of Frank Tavani, Traffic Engineer
- A.13 CV of Daniel Chieco, Landscape Architect
- A.14 Buffering Drawings
  - A.14.A Buffering Plan Example at West Lancaster Avenue Lot
  - A.14.B Buffering Plan Example at Parking Structure
  - A.14.C Key Plan for Buffering Sections
  - A.14.D Buffering Section 1 at West Lancaster Avenue Lot
  - A.14.E Buffering Section 2 at West Lancaster Avenue Lot
  - A.14.F Buffering Section 3 at Student Housing

- A.14.G Buffering Section 4 at Student Housing
- A.14.H Buffering Section 5 at Parking Structure
- A.15 CV of Alice Lenthe, Occupational Safety & Environmental Compliance Consultant
- A.16 CV of Barbara Chance, Parking Management Consultant
- A.17 Special Event Parking Management Plan for Future Conditions
- A.18 Transportation Impact Study prepared by F. Tavani and Associates, Inc., dated September 16, 2014
- A.19 Truck Turning Templates
- A.20 SW Downstream Analysis
- A.21 Acentech correspondence to John Cluver dated September 26, 2014
- A.22 CICD Site Plan
- A.23 Screened Rooftop Mechanical Equipment plan locations
- A.23a Screened Rooftop Mechanical Equipment Lancaster Avenue Elevation
- A.23b Screened Rooftop Mechanical Equipment Ithan Avenue Elevation
- A.23c Screened Rooftop Cooling Towers Ithan Avenue Elevation with Mechanical Section
- A.23d Screened Rooftop Mechanical Equipment Lancaster/Ithan Avenues Elevation -2c
- A.23e Screened Rooftop Mechanical Equipment Lancaster Avenue Elevation
- A.23f Screened Rooftop Mechanical Equipment, Building 1C
- A.23g Screened Rooftop Mechanical Equipment, Building 1C
- A.24 Garage Elevation – Pike Field
- A.24a View Looking West from Pike Field
- A.25 CV of Terence M. Tyson, PE, of Acentech
- A.26 Parking management Entry Exit Plans

- A.27 VU Response to Gannett Fleming Letter dated, July 18, 2014
- A.28 VU Response to Gilmore Letter dated, July 23, 2014
- A.29 VU Response to Rettew Letter dated, August 19, 2014
- A.30 VU Response to Gilmore Letter dated, September 30, 2014
- A.31 VU Response to Rettew Letter dated, September 3, 2014-
- A.32 VU Response to Rettew Letter dated, September 30, 2014-
- A.33 Econsult Letter dated October 17, 2014
- A.34 Villanova Letter and Data – Enrollment
- A.35 F. Tavani and Associates, Inc., correspondence dated October 22, 2014

**Township Exhibits:**

- T-1 Gannett Fleming correspondence dated July 18, 2014
- T-2 Rettew correspondence dated August 19, 2014
- T-3 Gilmore and Associates, Inc. correspondence dated September 30, 2014
- T-4 Stormwater Memorandum Report by Michele Adams dated July 28, 2014
- T-5 Turn lane warrant and length analysis
- T-6 Traffic Signal clearances workbook
- T-7 Gilmore and Associates pedestrian timing chart and drawing for Lancaster Avenue and Ithan Avenue
- T-8 Memorandum from Jennifer W. Brown, Esquire dated October 20, 2014 regarding local tax impact
- T-9 Rettew Memorandum dated September 3, 2014
- T-10 Rettew Memorandum dated September 30, 2014

**Additional Party Exhibits:**

- N-1 Stormwater Memorandum Report by Michele Adams dated July 28, 2014
- N-2 Villanova Enrollment document
- B-1 Correspondence from Radnor League of Women Voters dated July 31, 2014

**II. Findings of Fact**

1. The Applicant is Villanova University.
2. The subject property is located at Ithan and Lancaster Avenues within the PI – Planned Institutional Zoning District of Radnor Township.
3. The Applicant proposes construction of new student residence halls, a 4-level parking structure, a performing arts center, retail space, and associated parking and landscaping improvements.
4. Applicant's Conditional Use Application designates a 13.81 acre parcel within the PI – Zoning District for a Comprehensive Integrated College Development use (CICD). The entire Villanova Campus consists of a total of 250.35 acres.
5. The Applicant proposes to construct 1,159 dormitory beds and a pedestrian bridge over Lancaster Avenue connecting to the main campus.
6. The composite of all the gross floor areas of the buildings, excluding the parking structure, is 479,800 gross square feet.
7. The retail subordinate uses do not exceed five percent of the total gross floor area of all of the buildings, the total gross floor area for the retail subordinate uses does not exceed 25,000 square feet, and none of the floor areas of any of the individual retail uses exceeds 10,000 square feet.
8. After the CICD development occurs, the campus as a whole will meet the underlying zoning provisions of the PI zoning district. The CICD development will contain 14.4 percent building coverage and will reduce the impervious coverage to 36 percent, in compliance with the existing PI standards. The proposed CICD development provides 37 percent building coverage and 69 percent impervious coverage in accordance with Ordinance No. 2014-21.
9. According to the applicant's parking analysis, the current parking on campus was reviewed against the code provisions for required parking, that currently 4,464 spaces are required and there are 5,130 spaces currently available, making a surplus of parking onsite of approximately 666 spaces.

10. With the CICD use, the total number of required parking spots is increased to 5,051 spaces, and the applicant will be providing a total of 5,149 spaces, making a surplus of 98 excess parking spaces throughout the campus as a whole.

11. The proposed CICD development project will reduce existing impervious coverage within the project area from 92% to 69%.

12. The Applicant's project proposes to preserve to 2 acres of land in the Aldwyn triangle.

13. The Applicant proposes to construct the overall project in 4 phases.

14. The Applicant's proposed plans meet the requirements for off-street loading in accordance with Section 280-68.1 D(3)(e)[2] of Ordinance No. 2014-21.

15. The Applicant's plan for screening or above ground level mechanicals meet the requirements of Section 280-68.1 D(3)(f)[2] of Ordinance No. 2014-21.

### III. Applicable Case law

Section 913.2 of the Pennsylvania Municipalities Planning Code permits the governing body of a municipality to grant or deny a conditional use in accordance with express standards and criteria as set forth in its ordinance. Additionally, Section 913.2(a) permits a governing body to "attach such reasonable conditions and safeguards, in addition to those expressed in the ordinance, as it may deem necessary to implement the purposes of this act and the zoning ordinance." "Reasonable conditions are those that advance a valid zoning interest, are supported by the record, and *relate to the specific zoning ordinance at issue.*" In re Maibach, LLC, 26 A.3d 1213, 1216 (Pa. Cmwlth. 2011) (HHI Trucking & Supply, Inc. v. Borough Council of Borough of Oakmont, 990 A.2d 152 (Pa. Cmwlth. 2010)) (emphasis included). "[W]here a municipality imposes a condition to prevent 'harm' for which there is no evidence in the record, that condition is not reasonable. Stated otherwise, the municipality abuses its discretion when it imposes a condition without supporting evidence in the record." HHI Trucking & Supply, Inc., 990 A.2d at 160.

Conditional uses are similar to special exceptions in that both are permitted uses subject to additional scrutiny either before a Zoning Hearing Board when it is a special exception application, or before a governing body with respect to conditional uses." White Advertising Metro, Inc. v. Zoning Hearing Board of Susquehanna Township, 453 A.2d 29 (Pa. Cmwlth 1982). Because the law regarding conditional uses and special exceptions is virtually identical, the burden of proof standards are the same for both. Sheetz, Inc. v. Phoenixville Borough Council, 804 A.2d 113 (Pa. Cmwlth 2002), Petition for Allowance of Appeal denied, 573 Pa. 669, 820 A.2d 706 (2003).

#### **IV. Conclusions of Law**

1. On March 31, 2014 Radnor Township passed Ordinance No. 2014-21 amending Section 280-68 by providing for a new Comprehensive Integrated College Development use (CICD) within the PI - Planned Institutional Zoning District.

2. Section 280-68.1 sets forth the conditional use requirements for a CICD use within the PI- Planned Institutional Zoning District. Section 280.68.1 contains comprehensive performance standards, use regulations, dimensional requirements, and other development and special regulations for a CICD use.

3. Chapter 280, Article 23 sets forth general requirements for conditional use applications and standards for approval for conditional uses. The Applicant presented sufficient testimony and evidence indicating compliance with the specific requirements of Section 280-68.1 and the general requirements of the zoning ordinance for conditional uses.

4. 53 P.S. §10603(c)(2) provides for conditional uses to be allowed or denied by the governing body after hearing and pursuant to express standards and criteria set forth in a Zoning Ordinance.

5. 53 P.S. §10603(c)(2) permits the governing body to attach such reasonable conditions as safeguards other than those related to off-site transportation or road improvements and as expressed in the Zoning Ordinance in order to implement the purposes of the Township Zoning Ordinance.

6. The Applicant met its legal burden of proof by presenting testimony and evidence establishing sufficient compliance with Section 280-68.1 the conditional use requirements for a CICD use within the PI – Planned Institutional Zoning District.

7. The Applicant's proposed plan constitutes a land development and as such requires land development approval by the Board of Commissioners.





**Gannett Fleming**

*100 Years*  
of Excellence Delivered As Promised

**Date:** January 23, 2015

**To:** Radnor Township Planning Commission

**From:** Roger Phillips, P.E.

**cc:** Stephen Norcini, P.E. – Director of Public Works  
Kevin W. Kochanski, RLA, CZO – Director of Community Development  
Peter Nelson, Esq. – Grim, Biehn, and Thatcher  
Amy B. Kaminski, P.E. – Gilmore & Associates, Inc.  
Steve Gabriel - Rettew  
Suzan Jones – Radnor Township Engineering Department  
William Miller – Radnor Township Codes Official  
Ray Daly – Radnor Township Codes Official

**RE:** Villanova University – Lancaster Avenue Housing  
Villanova University – Applicant

Date Accepted: January 6, 2015

90 Day Review: April 6, 2015

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Gannett Fleming, Inc. has completed a review of the Villanova University Lancaster Avenue Housing Preliminary Plan for compliance with the Radnor Township Code. This Preliminary Plan was reviewed for conformance with Zoning, Subdivision and Land Development, Stormwater Management, and other applicable codes of the Township of Radnor.

Conditional use approval was granted on November 24, 2014 to permit the development under CICD (decision attached). The applicant is proposing to construct a 1,135 bed student housing facility in six buildings with associated retail space.

Plans Prepared By: Nave Newell

Dated: 12/05/2015

I Zoning

1. §280-68.C.2 – A building or combination of buildings may be erected or used and a lot may be principally used or occupied for any accessory use on the same lot and may include a dormitory, provided that every room occupied for sleeping purposes by one occupant shall have a minimum gross floor area of at least 70 square feet. Every room occupied for sleeping purposes by more than one occupant shall contain at least 50 square feet of gross floor area for each occupant thereof. This size of the individual rooms must be indicated on the plans.

Gannett Fleming, Inc.

Valley Forge Corporate Center • 1010 Adams Avenue • Audubon, PA 19403-2402

t: 610.650.8101 • f: 610.650.8190

www.gannettfleming.com



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2. §280-68.1.D(1)(b)2 – Retail subordinate uses shall only be located on the ground floor or basement of a building. This plan must clearly indicate the location and size of the retail areas.
3. §280-68.1.D(1)(b)4 – Those areas in the CICD devoted to retail subordinate uses shall not exceed 5% of the total gross floor areas of all the building, not including parking structures in the CICD. Additional information on the total square footage of the performance art center and any subordinate retail use must be provided to ensure conformance with this section.
4. §280-68.1.D(2)(g)1 – Not more than 30% of CICD shall be occupied by buildings. The total building coverage may be increased to no greater than 45%, subject to the land preservation standards of this section, provided that in no event may the total building coverage of the applicant's entire campus within the PI zoning district exceed 30%. For purposes of calculating the total building coverage in the CICD, parking structures shall be included in the building area. A breakdown of the proposed 35.5% building coverage shown on the plans must be provided, including information from the other phases.
5. §280-68.1.D(2)(g)2 – No individual building nor group of buildings not separated from each other by the minimum required separation distance noted below shall occupy more than 10% of the CICD site. Parking structures are not required to be included in the calculations of individual building coverage. The plan indicates building coverages of 7.6% for Residence Hall 2, 8.5% for Residence Hall 1 and the Performing Arts Center is 5.6%. A detailed breakdown of this calculation must be provided.
6. §280-68.1.D(2)(h) – Not more than 45% of the CICD site may be covered by impervious surfaces; provided, however, if the CICD is redeveloping existing improved lands, then the maximum allowed impervious surface ratio shall be 45% or 10% less than the existing impervious surface ratio on the proposed CICD site, whichever is greater. In no event may the maximum allowed impervious surfaces on the applicants entire campus within the PI Zoning District exceed 45%. The plan indicates that the entire campus proposes 36.4%. The existing impervious surface calculation for the CICD indicates it is 92% impervious so the 82% is the maximum permitted. A detailed breakdown of how the 92% impervious was calculated must be provided.
7. §280-68.1.D(2)(i)1(a) – Building length shall measure the length of a single façade of a building or parking structure that is unbroken by variations/articulations in the façade for the entire height of the building. Such variations/articulations shall compromise a minimum six-foot horizontal offset depth. The variations/articulations shall have a minimum width to depth ratio of 4:1. All buildings and parking structures shall be a maximum of 180 feet. The plan shall clearly indicate the break point of buildings, with dimensions. The individual buildings must be clearly identified on the plans to indicate conformance with this section.

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8. §280-68.1.D(2)(j)2(a) – Minimum building spacing. These standards shall apply to all existing and proposed building and parking structures within or outside of the limits of a CICD. The minimum spacing between 2 buildings shall be 45 feet. The individual buildings must be clearly identified on the plans to indicate conformance with this section.
9. §280-68.1.D(3)(b) – No buffer planting strip or screening shall be required within the CICD or between the CICD and other properties of the applicant. Where required, a twenty foot buffer planting strip shall be provided on the land owned by the applicant. In addition, a twenty foot buffer planting strip shall be provided anywhere within 200 feet of the CICD unless waived by the Board of Commissioners. The buffer planting strip as provided is not twenty feet wide in its entirety along the railroad. This must be revised.
10. §280-68.1.D(3)(c) – Requirements to preserve land. If the applicant wishes to increase its building area within the CICD to more than 30%, then for each square foot of building area proposed in excess of 30%, the applicant shall be required to preserve two square feet of open space on lands owned by the applicant. A breakdown of all building area within the CICD must be provided on the plans to ensure this project is in conformance with this section.
11. §280-68.3.D(3)(e)[1][c] – The applicant shall execute an agreement with the Township requiring the applicant to acquire, install, and/or construct additional off-street parking spaces in the event that the Board finds that additional parking is needed to service all proposed uses within the CICD within five years of occupancy of such project. If additional parking is needed in accordance with this subsection, parking shall meet all applicable area, dimensional and buffering requirements.
12. §280-68.1.D(3)(e)[2] – There shall be no off-street loading requirements except for retail subordinate uses. All off-street loading shall be adjacent to the use being served by the space; designated by the applicant; and approved during the conditional use approval process. The location of loading dock behind Building 1C was not provided on the plans during the conditional use approval. A loading area was proposed within the surface parking lot behind Building 1C, which is no longer proposed.
13. §280-68.1.D(3)(e)[5] – As specifically designated during the conditional use approval process, the required off-street parking spaces may be located within the boundaries of the CICD or on other areas of the entire campus, exclusive of areas within residential zoning districts. The location of the proposed parking areas differ slightly from what was approved during the conditional use process. There is no longer a parking area expansion proposed for the Health Services Center, and the Saint Augustine Garage (SAG) is proposed to have 2 additional levels. This increases the net number of parking spaces provided by the SAG by 27 spaces. The overall number of proposed parking spaces that was approved during conditional approval has been reduced by 19 for the entire site, however the parking provide still exceeds the minimum required.

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14. §280-68.1.D(3)(f)[2] – Mechanical/electrical equipment and trash shall be screened from view. In addition, sound attenuation shall be installed on all equipment to minimize noise pollution at any adjacent residential property line. A detail of the dumpster/recycling area and the mechanical pit must be provided on the plans showing the screening.
15. §280-68.1.D(3)(g) – Light fixtures shall be shielded to reduce light spillage beyond the property line of the campus; provided, however, that at no point shall any light trespass onto adjacent residential properties or exceed 0.5 footcandles at the residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements. The plan must provide calculations that indicate it is in compliance.
16. §280-70.C. – Service, utility, maintenance and storage areas, including solid waste containers, loading and unloading areas and heating, ventilating and air condition equipment, shall be screened from view from public streets and abutting properties. This may be accomplished by means of enclosing walls, stone, brick or wood fences or a buffer planting strip. Visual screening so provided shall be of sufficient density so as not to be seen through and of sufficient height to constitute an effective screen. Detail of the dumpster/recycling area and the mechanical pit screenings must be provided on the plans.
17. §280-71.A. – Along rear and side property lines, a buffer planting strip as defined in §280-4B of this chapter shall be provided in accordance with the following regulation except when uses in a proposed development shall abut uses of a similar type and density. The owner shall place and continually maintain a planting strip not less than 20 feet in width containing berms, hedges, evergreens, shrubbery or suitable vegetation of sufficient planted density to produce a visual screening not to be seen through and of sufficient height to constitute an effective screen and give maximum protection and immediate visual screening to an abutting property or district. The proposed screening provided is not twenty feet in width along the southern property line.
18. §280-72 – An update of the Institutional long-range development plan must be provided.
19. §280-103 – Off-street parking – Detailed information must be provided regarding the existing and proposed required parking spaces. For example, retail stores required one space for 200 square feet of floor area on the ground floor, plus one space per 300 square feet of floor area on the other floors, plus one space for each two employees on the greatest shift. A detailed breakdown of the parking for the existing uses and additional information for the proposed uses must be provided.
20. §280-103A. – As a general requirement, each use in the Township shall provide sufficient off-street parking area to serve its users. The applicant has submitted a phasing narrative on sheet C2.3 that indicates the minimum required parking will be maintained during construction.

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21. §280-105.E. – All outside lighting including sign lighting shall be directed in such a way as not to create a nuisance in any agricultural, institutional, or residential districts, and in every district all such lighting shall be arranged so as to protect the street or highway and adjoining property from direct glare or hazardous interference of any kind. Any luminary shall be equipped with some type of glare shielding device approved by the Township Engineer. The height of any luminary shall not exceed 25 feet. The detail for the luminary provided on the plan in difficult to read. A clearly legible detail must be provided. Also, the landscaping that is shown on the lighting plan appears to be inaccurate. This should be revised to remove the trees from the parking spaces
22. §280-109.A. – No fence or wall, except for retaining walls or the walls of a building as permitted under the terms of this chapter, shall exceed a height of six feet. Details of the proposed fence located along Lancaster Avenue and Ithan Avenue must be provided.
23. §280-112.B. – Any applicant for a building permit, preliminary subdivision plan approval on land which contains areas with a grade or slope of 14% or more shall be required to have the limits of such areas defined by a registered professional engineer. These areas must be labeled on the plans behind the main lot parking area.
24. §280-112.C. – Areas of steep slopes containing slopes steeper than 14% shall be outlined as following (1) Areas containing slopes steeper than 14% but less than 20% shall be distinguished from the areas containing slopes of 20% or steeper. (2) Areas containing slopes of 20% and steeper shall be separately identified.
25. §280-123 – Any signs proposed for this development must be in accordance with this section.

**II Subdivision and Land Development**

1. §255-20.B.(1)(d) – All applicable zoning districts for this land development must be provided on the plans.
2. §255-29.A.(12) – The width of entrance and exit drives shall be a minimum of 25 feet for two-way use. The entrance exit drive shown on the plan into the proposed parking area behind the student housing is 22 feet. This must be revised or a waiver from this requirement requested.
3. §255-29.A.(13) – Tire bumpers shall be installed as to prevent vehicle overhang on any sidewalk area. These must be shown on the plans for the parking spaces located in the rear of the student housing that are along the proposed sidewalk.
4. §255-29.B.(1) – All parking areas shall have at least one tree 2 ½ inches minimum in caliper for every five parking spaces in single bays and one tree 2 ½ inches minimum in caliper for every parking space in double bay. A minimum of 10% of any parking lot facility over 2,000 square feet in gross area shall be devoted to landscaping, inclusive of required trees. There are 17 single bay parking spaces and 45 double bay parking spaces

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located in the rear of the student housing. 9 trees are required to be in the parking facilities. The tree requirement table on sheet L2.0 must be revised to indicate this.

5. §255-30 – Off street loading facilities. There is proposed curbing shown crossing the access area of the proposed loading zone and mechanical pit area. Additional detail on the proposed curbing must be provided.
6. §255-35.A. – Easements with a minimum width of 20 feet shall be provided as necessary for utilities that are not privately owned. If the sanitary sewer is to be dedicated, the sanitary sewer must be centered within a 20 foot wide easement.
7. §255-38 – Street trees 2 ½ ddb and intervals of not more than 30 feet along both sides of new streets and along one or both sides of an existing street within the proposed subdivision or land development. An equivalent number may be planted in an informal arrangement, subject to the approval of the Board of Commissioners. Street trees have been provided in accordance with this section.
8. §255-41.H. – Outdoor collection stations shall be provided for garbage and trash removal when indoor collection is not provided. Collection stations shall be screened from view and landscaped. A detail of the dumpster/recycling area screening must be provided.
9. §255-42.A. – Buffer screens are required between subdivisions and land developments and along existing streets to soften visual impact, to screen glare and to create a visual barrier between conflicting land uses. The extent of screening required shall be determined by the type of use proposed and the adjacent uses of streets surrounding the proposed development.
10. §255-43.1.B(2) – For all nonresidential subdivision and/or land developments, the amount of land to be dedicated for park and recreational area shall be 2,500 square feet per 4,000 square feet of building area. The amount of land to be dedicated would be 270,252 square feet.
11. §255-43.1.E(2) – Where, upon agreement with the applicant or developer, it is determined that the dedication of all or any portion of the land area required for park and recreation purposes is not feasible, the applicant or developer shall pay a fee in lieu of dedication of any such land to the Township. The fee for non-residential subdivisions or land developments shall be \$3,307 per 4,000 square feet of building area. There is 432,404 proposed square feet of building area for this phase. The fee in lieu would be \$357,490.  $(432,404/4,000) \times \$3,307$ .
12. §255-54.B. – The system central water supply system shall be designed with adequate capacity and appropriately spaced fire hydrants for firefighting purposes pursuant to the specifications of the National Fire Protection Association. Review and approval by the Township Engineer and the Township Fire Marshall shall be required in order to ensure that adequate fire protection is provided.

III Stormwater Management

1. There appear to be inconsistencies within the Stormwater report regarding the total area of new/replacement impervious. The Volume Calculation summary on page 20 and Worksheet #4 on page 25 indicate 212,810 SF of impervious, but the summed impervious area from the Drainage Area Summary table on page 233 is 218,418 SF of impervious. Reviewing the Recharge Calculations, there appears to be 206,724 SF of impervious. Please provide an explanation and a summary table for each drainage area, including uncaptured areas, indicating the total area, impervious area and pervious area for each drainage area.
2. There appear to be inconsistencies between the storage volume indicated for the cisterns and infiltration systems and the storage volumes within the HydroCAD Chamber Summaries. Please provide supporting calculations for the storage volumes indicated within the "Volume Summary" section on pages 21-23 of the Stormwater Report demonstrating how the storage volumes were calculated.
3. The values tabulated within the "Impervious Surfaces to BMPs" on Drainage Plan (Volume Management) Sheet 3 of 4 is not consistent with the values provided within the "Volume Summary" section on pages 21-23 of the Stormwater Report. Please provide an explanation or reconcile the inconsistency.
4. The values for RG-7 and RG-10 tabulated within the chart "Drainage Area" on page 233 of the Stormwater Report are not consistent with the values provided within the "Volume Summary" section on pages 21-23 of the Stormwater Report. Please provide an explanation or reconcile the inconsistency.
5. Please submit supporting calculations demonstrating that the Stormwater BMPs are able to completely drain within 96 hours. Per the Stormwater Report on page 4, infiltration tests of the native soils greater than 7-feet deep have not been provided at this time.
6. A general note shall be added to the plans indicating that a grading plan and erosion sediment and control plans will be **submitted and approved** prior to issuing any building permits. Any revisions to the size or location of the individual structures or other features will be addressed at that time, and a final approval of the stormwater management plan will be required as part of the Grading Permit process.
7. How will future phases of development address stormwater issues? Please include an explanation or phasing plan depicting how other phases of overall development will address stormwater.
8. A comparison of the "Routing Diagram for LAH SWM Report" and the drainage areas reported on the chart shown on p. 233 shows some inconsistencies with the areas reported. The areas used in the HydroCAD routing analysis appear to be less than the same drainage areas reported in the chart. Please provide an updated "Routing Diagram

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for LAH SWM Report” indicating which rain gardens are associated with the “Rain Garden” sub catchments. Please include a table outlining the areas associated with each sub catchment including the overall area, impervious area and pervious areas.

9. Per Section 245-77.G – Storm sewers must be able to convey proposed conditions’ runoff from a twenty-five-year design without surcharging inlets. Please provide pipe capacity calculations for the new stormwater pipes in Drainage Area 2B.
10. The Composite Drainage Plan, Sheet 1 of 1, dated January 19, 2015 indicates that the overall drainage area, POI 2A, includes both the Lancaster Avenue Housing improvements and the area east of Ithan Avenue (Pike Garage). At this point, only stormwater calculations have been provided for the Lancaster Avenue Housing improvements. The stormwater analysis should be revised to include the drainage areas east of Ithan (Pike Garage) as 100% uncontrolled impervious to reflect existing conditions.

**IV General Comments**

1. The proposed storm sewer must be shown on the sanitary sewer profile between MH S-9 and S-8.
2. The applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increase wastewater disposal generated by the project.

We recommend that the plans be revised to address the comments stated above along with comments provided in the review memo from Gilmore and Associates prior to consideration for approval, or conditional approval shall include the applicant addressing the comments to the satisfaction of the Township Engineer.

If you have any questions or require any additional information, please contact me.

Very truly yours,

GANNETT FLEMING, INC.



Roger A. Phillips, P.E.  
Senior Project Manager

**ORDER**

*AND NOW*, this 24<sup>th</sup> day of November, 2014, after due deliberation and discussion at public hearings, the Radnor Township Board of Commissioners does hereby grant the Conditional Use Application of Villanova University, subject to the following conditions:

1. The applicant shall comply with all other applicable Township Ordinances and shall submit a land development plan pursuant to the Township's Subdivision and Land Development Ordinance prior to the construction of any facilities.

2. That the transportation, roadway and signalization and improvements necessary for the construction have full access to Ithan Avenue from both the Pike Lot Parking Garage and Lancaster Avenue housing parking area with provisions for stop control for both parking accesses to Ithan Avenue and a pedestrian activated signal including the new pedestrian crosswalk be required if approved by PennDOT, unless waived by the Board of Commissioners during the land development process.

3. That during the land development process an event circulation plan be developed to address event parking and traffic circulation with the input of the Radnor Township Police Department and Township traffic engineer outlining procedures, traffic patterns, parking configurations and way finding techniques for the various sporting and other events held at the University. Upon development of the event circulation plan, Villanova shall be responsible for constructing and/or installing such signs, structures, or other directional aids necessary to implement the event circulation plan.

4. That Villanova University contributes the sum of One Hundred Seventy-Five Thousand Dollars (\$175,000.00) towards the design, approval and installation of a traffic adaptive signal system that would incorporate the following signalized intersections along Lancaster Avenue:

- a. Sproul Road/Spring Mill Road; Aldwyn Lane/ Kenilworth Street
- b. Church Walk
- c. Ithan Avenue
- d. Lowrys Lane
- e. Airdale Road
- f. County Line Road



5. That during the land development process an emergency evacuation plan for the new student housing be developed.

6. That appropriate fencing be provided on both the north and south sides of Lancaster Avenue in the area of the church walk pedestrian bridge in an effort to restrict pedestrian traffic from accessing the campus. A gate shall be provided for vehicular and pedestrian access during church events if approved by the Board of Commissioners during the land development approval process.

7. That the University preserve the entire area known as the Aldwyn Triangle and restrict it as open space except for that portion of the area necessary to provide pedestrian activity and handicap accessibility improvements for the adjacent SEPTA rail line.

8. That a landscape and buffer plan be developed to comply with Section 280-68.1.D. (3)(b) of the Zoning Ordinance.

9. That Villanova seek permission from PECO to plant screening on the south side of the PECO R-100 line to visually screen the SEPTA bridge from the adjacent residential neighbors. Provided that the applicant receives permission, Villanova shall provide an installation and maintenance plan of the vegetation necessary for this screening during land development.

10. Villanova shall provide Radnor Township a list of contractors, subcontractors and vendors and their addresses within twenty (20) days of the execution of any contracts by Villanova in connection with the development and/or construction of the proposed project. The purpose of this list is to permit the Township to audit for required business privilege/mercantile taxes.

11. During the land development process, the Applicant shall use its best efforts to develop and construct stormwater management facilities, including green infrastructure practices and components that meet or exceed infiltration or retention requirements as currently required by the Radnor Township Stormwater Management Ordinance. The Applicant shall conduct soil testing as necessary to determine whether the site can accommodate volume management in excess of 1-inch of run-off from all impervious surfaces resulting from the project. If soil testing indicates that it is possible to provide volume management in excess of 1-inch of run-off, the Applicant shall construct such necessary stormwater facilities on the site to accommodate this increased volume.

12. The Applicant shall obtain revisions to both the Radnor Township and Lower Merion Township Act 537 Plans in order to accommodate the increased waste water disposal generated by the project.

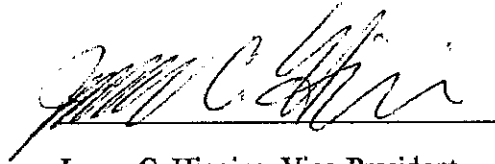
13. The Applicant shall develop a traffic plan during the land development process delineating the paths by which the existing population of commuting and part-time students will be directed to and from parking for each phase of the construction.

14. The Applicant shall permit parishioners to park, on a space available basis, on the north side of Lancaster Avenue on existing Villanova property adjacent to the church for church related events.

15. The Applicant shall maintain a pedestrian crosswalk from the proposed project site to the existing church at the present church walk location if approved by Penn Dot.

16. The Applicant shall insure that no amplified music or other excessive noise shall emanate from any of the south facing dormitories. During the land development process, the Township and applicant shall establish a permissible sound level at the property boundary of the the Aldwyn Lane residential uses.

17. The Applicant's land development plans shall be in substantial conformity with the Conditional use plans dated May 2, 2014 as amended during the hearings.



James C. Higgins, Vice-President

Radnor Township Board of Commissioners

Date of mailing \_\_\_\_\_



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

## **MEMORANDUM**

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**Date:** January 28, 2015

**To:** Steve Norcini, P.E.  
Radnor Township Public Works Director

**From:** Amy Kaminski, P.E., PTOE  
Department Manager of Transportation

**cc:** Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Steve Gabriel, PP, RETTEW  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** Villanova University – Lancaster Avenue Redevelopment  
Preliminary Land Development Transportation Impact Study Review #1  
Radnor Township, Delaware County, PA

G&A 12-04054

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Gilmore & Associates, Inc. (G&A) has completed the preliminary land development transportation review of the Traffic Impact Assessment dated September 16, 2014 and last revised December 4, 2014. The revisions included added correspondence since the initial date of the report and supplemental information included in Appendix M. G&A reviewed the submitted materials and offers the following comments for Radnor Township consideration:

### **I. BACKGROUND**

The applicant, Villanova University, intends to develop/redevelop several parcels located along Lancaster Avenue, southeast and southwest of the Ithan Avenue intersection, in Radnor Township, Delaware County. The project includes construction of student housing (1,135 bed apartment-style residence halls), retail shops (University Bookstore, bistro and small convenience store, size to be determined) along with 147 surface parking spaces to be located on the southwest corner of Lancaster Avenue and Ithan Avenue. In addition, the project includes construction of a Performing Arts Center (with 500 – 650 total seats in two theaters) and a multilevel parking structure (1,293 spaces) to be located on the southeast corner of Lancaster Avenue and Ithan Avenue. Villanova University intends to eliminate many of the existing driveway accesses located on the south side of Lancaster Avenue, west of Ithan Avenue and construct a shared surface parking facility to the rear of the existing university buildings on Lancaster Avenue with limited access to Lancaster Avenue at the signalized intersection of Church Walk and a new right in driveway, west of Church Walk.

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## **II. DOCUMENTS REVIEWED**

The following documents were submitted to Gilmore & Associates for review:

1. Transportation Impact Study for Villanova University Lancaster Avenue Student Resident Halls, prepared by F. Tavani and Associates, Inc., dated September 16, 2014, revised December 4, 2014.
2. Response letter dated December 4, 2014 prepared by F. Tavani and Associates, Inc.

## **III. TRANSPORTATION IMPACT STUDY COMMENTS**

1. As discussed at a coordination meeting on January 28, 2015 with PennDOT, Radnor Township, and Villanova University staff, revise the transportation impact study to investigate the following alternatives/information:
  - i. Include phased improvements in the report and any graphics to clarify what improvements are associated with each phase.
  - ii. Eliminate the southbound Ithan Avenue left turns into the Pike Lot Garage and include a deceleration lane on the eastbound departure of Lancaster Avenue at Ithan Avenue. This may reduce the need for a right turn lane on eastbound Lancaster Avenue at Ithan Avenue, provide more queuing space for the northbound left turn lane on Ithan Avenue at Lancaster Avenue, provide better circulation during special events and reduce the impact to pedestrians crossing Ithan Avenue near both parking accesses.
  - iii. Relocate the Church Walk traffic signal on Lancaster Avenue west of the current location. This will separate vehicular and pedestrian movements, encourage more pedestrians to utilize the pedestrian bridge, provide more parking near the pedestrian bridge, allow for vehicle and pedestrian movements during construction efforts and provide a less complicated construction staging for the pedestrian bridge.
2. The applicant will be required to provide a comprehensive Transportation Impact Study once all comments are resolved. The final documents accepted for the land development process should not include updates and modifications in the form of an Appendix. We understand while the study is under review it makes sense to allow individual submissions but once the TIS is considered acceptable a final document must be provided to the Township as a permanent, stand-alone complete document.
3. The applicant is required to provide a turn-lane length analysis for all auxiliary lanes including the eastbound right turn lane at the intersection of Ithan Avenue and Lancaster Avenue in accordance with the methodology included in PennDOT Publication 46 *Traffic Engineering Manual*. The applicant should utilize the

PennDOT turn lane analysis worksheet from the PennDOT Traffic Signal Portal website and include the analysis in the next submission.

Although the response letter accompanying the TIS submission indicated the preliminary PennDOT letter and the CU Decision and Order did not include this as a requirement, we remind the applicant that the PennDOT letter was a preliminary review letter (pre-HOP application) based on the limited information provided and the applicant is working through the land development process. Furthermore, it is our understanding that the conditional use decision does not limit township staff from requesting additional information or providing recommendations during the land development and highway occupancy permitting process.

4. Provide a table indicating the 95th percentile queues for all intersections using HCM2010 methodology. A queue analysis was only provided for five intersections. Minimally, the applicant should provide the information for the following intersections:
  - i. Conestoga Road and Sproul Road
  - ii. Conestoga Road and Ithan Avenue
  - iii. Conestoga Road and Lowrys Lane (northbound approach)
  - iv. County Line Road & Ithan Avenue North
  - v. County Line Road & Roberts Road (both north and southbound)

Although the submission letter indicated PennDOT requested a limited intersection scope, the township will be evaluating the scope of all intersections in the study area as discussed previously and the applicant is requested to provide the information for review.

5. Use the Synchro HCM2010 methodology for the analysis of the Church Walk and Lancaster Avenue intersection. Verify the Synchro software version is up to date as the latest update includes a shared lane algorithm to support an analysis of this type of intersection; this should resolve any error message associated with analyzing the intersection with HCM2010. In addition, verify the Church Lane approach is modeled in Synchro accurately and reflects the latest site plans (dated December 5, 2014).
6. The new trips for the retail portion of the development should be based on the Scenario 1 information provide in your response letter December 4, 2014, which includes 31 trips entering and 29 exiting trips during the AM peak hour and 51 entering and 48 trips during the PM peak hour. The analysis must be based on the most conservative traffic impact of the three alternatives since the exact use is unknown. Revise the report accordingly.
7. Verify the trip distribution for the retail portion of the development to and from the east. The current projections show all the retail site traffic to and from the east using the PAC Lot. The eastbound Lancaster Avenue traffic to the proposed retail portion of the development is more likely to turn left at Ithan Avenue from WB Lancaster Avenue and continue southbound on Ithan Avenue and then turn right in the surface parking lot, near the residential dormitories and retail area. In addition, the exiting

- movement would likely turn left on northbound Ithan Road and turn right on Lancaster Avenue to continue east.
8. Redistribution Worksheet A1 and A7, the site trip traffic must be distributed through the entire network and not just at the seven intersections shown on the worksheet. Provide a Figure that shows the site generated trip throughout the entire study area.
  9. The revised Redistribution Worksheet 6 and 12 indicate redistribution traffic occurs outside the seven intersections shown on the worksheets. For example, Redistribution Worksheet 12 indicates 43 trips were redistributed to the area prior to north of the HRB access shown on Ithan Avenue. Provide worksheets that show the anticipated redistributed traffic within the entire study.
  10. Comparing the base condition traffic volumes to the future projected traffic volumes, it appears that some trips may have been removed and were not redistributed throughout the study area for the projected conditions. For example, at the intersection of Ithan Avenue and County Line Road, Figure 5: *2018 Base Conditions*, shows the southbound through movement decreases from 154 vehicles to 134 vehicles in Figure 11 *2018 Projected Conditions*. On the same two figures, the southbound movement on Ithan Avenue at Lancaster Avenue decreases from 217 to 118 vehicles for the *2018 Base Conditions* and *2018 Projected Conditions*, respectively. Additional information must be provided to explain the reduction. In addition, the applicant should verify the provided data for the future 2018 and 2023 analyses for both AM and PM conditions for similar discrepancies at the following intersections:
    - i. Ithan Avenue & Route 30
    - ii. Both County Line Road & Ithan Avenue intersections
    - iii. County Line Road & Spring Mill Road
  11. As previously requested in our September 30, 2014 review letter under comment L, provide a right turn warrant analysis for the eastbound approach on Lancaster Avenue at Ithan Avenue in accordance with PennDOT Publication 46 Chapter 11 regardless of the level of service operation and pedestrian accommodations.
  12. Revise Table 1 to include the delay in seconds where there are critical movements with LOS degradation particularly for intersections 1, 3, 4, and 9.
  13. We understand PennDOT has requested a more limited scope to be submitted for review but to address the township concerns, critical movements must also be evaluated. Address the LOS drops for the critical movements and provide discussion of improvements which would be needed for mitigation of the critical movements. For example, there is an increase of over 100 seconds in delay for the intersection of Lancaster Avenue/Spring Mill Road/Kenilworth Road/Aldwyn Lane for the critical movement on the southbound through/right-turn movement during the PM 2018 and 2023 analyses from base conditions to projected conditions.

14. The applicant has previously proposed an all-way stop at the intersection Ithan Road and the Pike Parking Garage access. The applicant has provided an additional two-way stop analysis in Appendix M of the revised report. It is unclear which type of stop control is to be installed. The recommendations in the report must be updated to be clear on which type of stop control is to be installed. Based on the analysis a two way stop appears to operate at acceptable LOS. The traffic volumes do not appear to warrant an all-way stop in accordance with the MUTCD. Traffic calming measures or other pedestrian improvements should be considered in lieu of an all-way stop.
15. Provide the missing Synchro analysis for the No-Build analysis for the AM peak hour conditions for 2018 and 2023 in Appendix I.
16. Future submissions should include page numbers at the bottom of each page for consistency with the Table of Contents and to allow more efficient review and comment.
17. Incorporate all comments and supplemental items provided in Appendix M and submit a comprehensive TIS. Supplemental Appendices are not acceptable for the final TIS submission.
18. The applicant is required to submit a separate report for special events. Final approval of the TIS cannot be recommended until all comments regarding the special event report and the TIS are satisfied.



**GILMORE & ASSOCIATES, INC.**  
ENGINEERING & CONSULTING SERVICES

**MEMORANDUM**

**Date:** January 28, 2015

**To:** Steve Norcini, P.E.  
Radnor Township Public Works Director

**From:** Amy Kaminski, P.E., PTOE  
Department Manager of Transportation

**cc:** Kevin Kochanski, ASLA, R.L.A., Director of Community Development  
Roger Phillips, P.E., Senior Project Manager, Gannett Fleming, Inc.  
Steve Gabriel, PP, RETTEW  
Damon Drummond, P.E., PTOE, Gilmore & Associates, Inc.

**Reference:** Villanova University – Lancaster Avenue Redevelopment  
Preliminary Land Development Review #1  
Radnor Township, Delaware County, PA

G&A 12-04054

Gilmore & Associates, Inc. (G&A) has completed the preliminary land development traffic review of the referenced project, dated September 16, 2014 and last revised December 4, 2014. The revisions included additional plan sheets identified in section **II. Documents Reviewed**. G&A reviewed the submitted materials offers the following comments for Radnor Township consideration:

**I. BACKGROUND**

The applicant, Villanova University, intends to develop/redevelop several parcels located along Lancaster Avenue, southeast and southwest of the Ithan Avenue intersection, in Radnor Township, Delaware County. The project includes construction of student housing (1,135 bed apartment-style residence halls), retail shops (University Bookstore, bistro and small convenience store, size to be determined) along with 147 surface parking spaces to be located on the southwest corner of Lancaster Avenue and Ithan Avenue. In addition, the project includes construction of a Performing Arts Center (with 500 – 650 total seats in two theaters) and a multilevel parking structure (1,293 spaces) to be located on the southeast corner of Lancaster Avenue and Ithan Avenue. Villanova University intends to eliminate many of the existing driveway accesses located on the south side of Lancaster Avenue, west of Ithan Avenue and construct a shared surface parking facility to the rear of the existing university buildings on Lancaster Avenue with limited access to Lancaster Avenue at the signalized intersection of Church Walk and a new right in driveway, west of Church Walk.

BUILDING ON A FOUNDATION OF EXCELLENCE

65 E. Butler Avenue | Suite 100 | New Britain, PA 18901  
Phone: 215-345-4330 | Fax: 215-345-8606

[www.gilmore-assoc.com](http://www.gilmore-assoc.com)



## II. REQUESTED WAIVERS

No waivers were requested with this submission.

## III. DOCUMENTS REVIEWED

1. Preliminary Land Development Submission for Lancaster Avenue Housing, consisting of 30 sheets, prepared for Villanova University, prepared by Nave Newell, Inc., dated December 5, 2014.
2. Additional sheets (3), *LAH C2.3 Project Phasing Plan, LAH Composite Drainage Plan*, both dated January 19, 2015.

## IV. CONSTRUCTION PHASING

The applicant has identified the following construction phasing (Sheet C2.3 *Project Phasing Plan*)

### 1. Phase 1 Improvements

- i. St Augustines Center Garage Expansion
- ii. Improvements to the West Lancaster Parking facilities
- iii. Ingress from Lancaster Avenue at existing driveways
- iv. Egress to Lancaster Avenue at signal at Church Walk driveway
- v. Closure of Pike Lot surface parking field
- vi. Campus parking spaces:  $5,130 - 4,943 = 187$  space deficiency

**Comment:** Phase 1 improvements may require signal timing modifications at the Church Walk intersection due to redistribution of traffic from Ithan Avenue to Church Walk signal. In addition, the elimination/modification to the existing accesses along Lancaster Avenue should be discussed with PennDOT.

### 2. Phase 2 Improvements (includes Highway Occupancy Permitting)

- i. Construction of the Pike Field Parking Garage
- ii. Temporary improvements to Pike Lot surface lot at the site of the future Performing Arts Center – PAC
- iii. Construction of the Pedestrian Bridge over Lancaster Avenue
- iv. Improvements to visitor lot, west of Church Walk
- v. Lancaster Avenue and Ithan Avenue improvements
- vi. Campus parking spaces:  $5,130 - 5,245 = 115$  space surplus

### 3. Phase 3 Improvements

- i. Construction of Student Housing Complexes 1 and 2
- ii. Continued use of Pike Lot surface lot at the site of the future Performing Arts Center – PAC
- iii. Campus parking spaces:  $5,130 - 5,307 = 177$  space surplus

### 4. Phase 4 Improvements (Upon Donor Funding)

- i. Elimination of Pike Lot surface lot
- ii. Construction of Performing Arts Center
- iii. Campus parking spaces:  $5,130 - 5,130 =$  net zero

## V. SALDO COMMENTS

1. §255-27.H (6) Minimum curb radii at street intersections shall be 25 feet for local streets; 30 feet for collectors; 35 feet for arterials; and 10 feet for driveways. The southwest corner radius of Lancaster Avenue and Ithan Avenue must be increased from 25' to 35' radius or a waiver requested.
2. §255-29.A(1) Revise the parking stall to a minimum of 9.5 feet x 20 feet or request a waiver. The parking stalls located in front of the student housing measure 9 feet by 19 feet.
3. §255-29.A(12) Driveway aisles must be a minimum of 25 feet for two-way use or a waiver must be requested; the applicant proposes a 22 foot driveway aisle.
4. §255-29.A(13) Tire bumpers are required to prevent vehicle overhang on sidewalk areas; provide tire bumpers along the parking stalls south of Dormitory Building 2B or request a waiver.
5. §255-29.A(14), No less than a five-foot radius of curvature shall be permitted for all curblines in parking areas. Sheet 6 of 30 (C2.2) includes several deficient radii along the south side of parking lot, near the Proposed Dumpster and Recycle Area(s). Revise as required or request a waiver.

## VI. GENERAL COMMENTS

1. As discussed at a coordination meeting on January 28, 2015 with PennDOT, Radnor Township, and Villanova University staff, the applicant should consider the following improvements:
  - i. Eliminate the southbound Ithan Avenue left turns into the Pike Lot Garage and include a deceleration lane on the eastbound departure of Lancaster Avenue at Ithan Avenue. This may reduce the need for a right turn lane on eastbound Lancaster Avenue at Ithan Avenue, provide more queuing space for the northbound left turn lane on Ithan Avenue at Lancaster Avenue, provide better circulation during special events and reduce the impact to pedestrians crossing Ithan Avenue near both parking accesses.
  - ii. Relocate the Church Walk traffic signal on Lancaster Avenue west of the current location. This will separate vehicular and pedestrian movements, encourage more pedestrians to utilize the pedestrian bridge, provide more parking near the pedestrian bridge, allow for vehicle and pedestrian movements during construction efforts and provide a less complicated construction staging for the pedestrian bridge.
2. All pedestrian crosswalks should be continental style without edgelines with 24" white pavement markings based on PennDOT Publication 111 *Traffic Control Pavement Markings and Signing Standards*, TC-8600.
3. Revise the ARROW legends, ARROW ONLY legends and gore striping based on PennDOT Publication 111 *Traffic Control Pavement Markings and Signing Standards*, TC-8600.

4. Item 2 from the Conditional Use Decision, dated November 24, 2014 indicates the applicant shall construct a pedestrian activated signal at the Ithan Avenue intersection with the parking driveway accesses. The preliminary plans should include this feature.
5. Include the posted speed limit on both Ithan Avenue and Lancaster Avenue.
6. Previous coordination meetings included the discussion of a pedestrian activated rectangular rapid flashing beacon (RRFB) crosswalk at the midblock crossing on Ithan Avenue near the South Campus dormitories and Aldwyn Park. The applicant should investigate a signal at this pedestrian crossing as it is anticipated additional pedestrians from the dormitories will cross at this location once the pedestrian bridge at Church Walk is constructed.
7. Traffic Calming: The strategy discussed in the Development Impact Study (DIS) includes moving traffic along Lancaster Avenue in an effort to reduce the cut-through traffic experienced in neighborhoods; however, the improvements along Lancaster Avenue are not likely to move traffic along any more quickly than is currently experienced. We recommend discussing potential traffic calming elements with nearby affected neighborhoods, particularly Aldwyn Lane residents.
8. The applicant is required to provide a special event plan.
9. Radnor Township Police Department has requested a mechanical gate for the Ithan Avenue accesses to both the surface lot and the Pike Garage; the gates will offer Radnor Township Police Department the ability to close or open the accesses during special events.
10. Details regarding the Pike Garage will be required with particular attend to the traffic flow during special events.
11. Sheet 2, 3 of 30: The plans should be modified to include all sites the applicant intends to improve regardless of the phasing. It appears the existing features only included the site work between Church Walk and Ithan Avenue; however, the existing site plan should include the West Lancaster Avenue parking site and extend to the west to include the entire Pike Field site. The plan should be inclusive of all site locations associated with Phase 1 through Phase 4.
12. Sheet 5 of 30:
  - i. Include a note indicating the proposed gate for the church driveway north of Lancaster Avenue will remain closed during non-events.
  - ii. It does not appear that any ADA improvements are proposed for the sidewalk crossing the church driveway access north of Lancaster Avenue.
  - iii. We recommend eliminating the street level pedestrian crossing on Lancaster Avenue; minimally, eliminating the western crossing in favor of one pedestrian crossing on Lancaster Avenue, east of Church Walk.

- iv. Realign the pedestrian crosswalk on the Church Walk driveway near Lancaster Avenue to provide a direct crossing from east to west for the proposed sidewalks.
- v. Include stop bars on both parking aisle approaches to Church Walk. Adjust the location of the pedestrian crosswalks as needed.

13. Sheet 6 of 30:

- i. Include the right turn lane on Lancaster Avenue at Ithan Avenue; the right turn lane is warranted.
- ii. Adjust the lane widths on Ithan Avenue at Lancaster Avenue to provide 12.5' at the curbed lane and 11' for the center lane
- iii. Eliminate the stop bars on Ithan Avenue at the proposed driveways; this intersection is stop control on the proposed driveways.
- iv. Include the ONLY legend for the dedicated left turn on southbound Ithan Avenue at the parking garage driveway.
- v. Verify the sight distance is adequate for the crosswalks on Ithan Avenue at the parking driveways and consider moving the single pedestrian crosswalk to north of the intersection.
- vi. Identify and dimension all public sidewalks along Ithan Avenue and Lancaster Avenue.
- vii. Revise the curb details regarding the driveway access to Building 2C *Loading Zone and Mechanical Pit* and clarify what type of curbing is proposed.
- viii. The driveway access for Building 2C is located too close to Ithan Avenue and presents a blind corner for motorists entering and exiting the site via Ithan Avenue. Either relocate the driveway access to Building 2C or add a note to the plan restricting delivery hours to reduce the potential conflict with students arriving and departing the surface lot.
- ix. Include a mechanical gate for the internal access to Building 2C loading zone to discourage illegal parking.

14. Sheet 7 of 30:

- i. Exhibit 1: the WB-50 right turn template must turn into the right most curb lane
- ii. Exhibit 2: Adjust the location of the eastbound stop bars to allow for the left turn movement from both exit lanes or include signage prohibiting trucks in the left most, left turn lane exiting Church Walks
- iii. Exhibit 4: Adjust the WB-50 turn template to eliminate the encroachment of the north-most eastbound through lane or increase the turn radius of the corner, as needed.
- iv. Exhibit 5: The exit movement must also be provided to determine if the WB-50 movement will encroach on parking spaces. If the exit movement will be through the signal at Church Walk, all internal site turns required to gain access to the intersection of Church Walk and Lancaster Avenue must be provided.

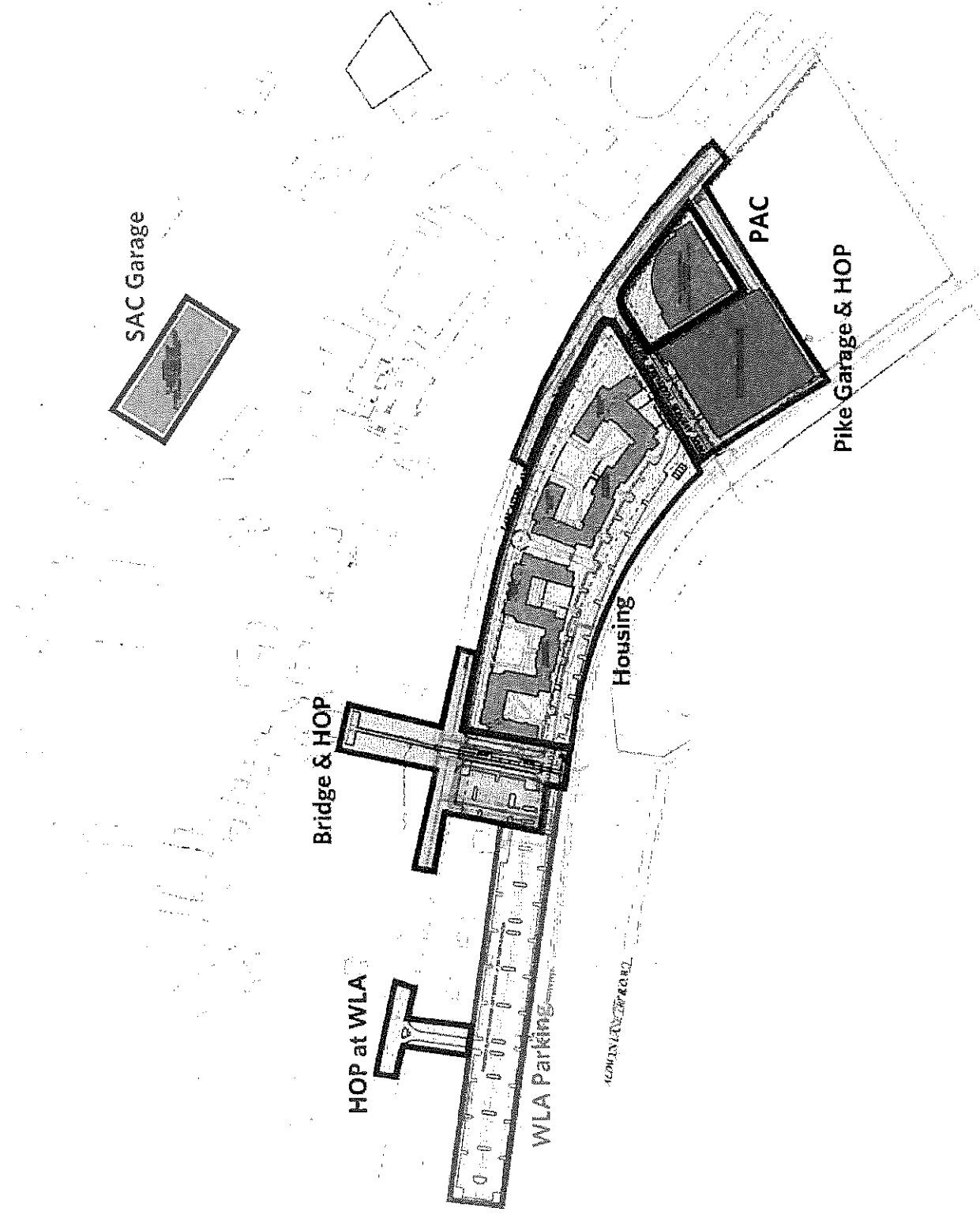
- v. Exhibit 7: The WB-50 truck template indicates the truck will encroach upon the southbound Ithan Avenue left turn lane at the Pike Lot garage. Revise to eliminate the encroachment or increase the northwest corner turn radius.

15. Sheet 23 of 30:

- i. Revise details to cite the applicable PennDOT Publication.
- ii. Revise the "PAINTED CROSSWALK" detail to PennDOT Publication 111, TC-8600 as discussed in our previous comment.

16. During final land development, each phase will require the following details:

- i. Details regarding the onsite pedestrian ramp to access the pedestrian bridge will be required for review and approval.
- ii. A Signage and Pavement Marking Plan will be required
- iii. Maintenance and protection of traffic details are required for both Ithan Avenue and Lancaster Avenue
- iv. Staging and details for maintaining pedestrian accommodations during construction will be required.
- v. Design details regarding the onsite pedestrian curb ramps and crosswalks (refer to PennDOT Publication 72M *Roadway Construction Details, RC-67M* for information)
- vi. Include signage to prohibit all trucks from turning right out of the driveway access to continue southbound on Ithan Avenue, and to prohibit trucks from turning left into the driveway from northbound Ithan Avenue.



7-Jan-15

Villanova University

Lancaster Avenue Housing Development

Projects	Submissions									
	Land Development	Grading Permit	Planning	Shade Tree	Design Review	Building Permit	PennDot Approvals	Construction Start	Construction Completion	
SAC GARAGE								Sep-15	Dec-15	
WLA PARKING								Sep-15	Dec-15	
PIKE GARAGE & HOP								Jan-16	Dec-16	
BRIDGE & HOP								Apr-16	Dec-16	
HOP AT WLA								Mar-17	Aug-17	
HOUSING								Jan-17	Apr-19	
PAC								TBD	TBD	
RETAIL								Sep-18	Apr-19	
SANITARY SEWER - STREET PIPING								Mar-17	Oct-17	



**pennsylvania**  
DEPARTMENT OF ENVIRONMENTAL  
PROTECTION

January 2, 2015

Ms. Maria Goman  
Nave Newell  
900 West Valley Road, Suite 1100  
Wayne, PA 19087

Re: Application for Planning Modules  
Checklist Letter – Component 3  
Villanova CICD Development  
DEP Code No. 1-23013-246-3J  
Radnor Township  
Delaware County

Dear Ms. Goman:

In response to your application mailer, this checklist letter outlines what is required to be submitted to the municipality and the Department of Environmental Protection (DEP) as a complete module packet for the proposed development. Your development proposes a 1,135 bed dormitory, performance center, restaurant and retail space that will be served by a connection to public sewer.

Sewage Facilities Planning Module forms are available from our eLibrary as MS Word Form Fields files directly from DEP's website address located in the footer below. In the left-hand column, select the Water heading and then select Water Standards and Facility Regulation. In the right-hand column, select Wastewater Management and then select Act 537. Under Act 537, select Sewage Facilities Planning. Under Planning Forms, select the appropriate forms. The link will take you to the eLibrary location for the form.

Please select the following forms for this project and enter the above-referenced DEP Code Number on the first page of each form:

Sewage Facilities Planning Module Transmittal Letter, Form 3800-FM-BPNPSM0355  
Sewage Facilities Planning Module Resolution, Form 3800-FM-BPNPSM0356  
Sewage Facilities Planning Module Component 3, Form 3800-FM-BPNPSM0353

- Instructions
- Form



Sewage Facilities Planning Module Component 4

- 4A-Municipal Planning Agency Review, Form 3800-FM-BPNPSM0362A
- 4B-County Planning Agency Review, Form 3800-FM-BPNPSM0362B

Please submit the completed planning modules and supporting information to the municipality or municipalities in which the project is located. DEP must receive 1 copy of the completed planning module. Please answer all questions within the planning module. Do not simply answer "N/A" or "Not Applicable". If you feel a question does not apply, explain all reasons to support that answer. For this project, optional Section J must be completed.

Please refer to the Standard Operating Procedures (SOP) that govern Act 537 sewage facilities planning module reviews. The SOPs can be found on the DEP website at [http://www.portal.state.pa.us/portal/server.pt/community/Permit\\_Decision\\_Guarantee/21215/SOPs/1294992](http://www.portal.state.pa.us/portal/server.pt/community/Permit_Decision_Guarantee/21215/SOPs/1294992). Consistent with the SOP, DEP may disapprove an administratively incomplete planning module submission. Please use the checklist provided in this letter below to guide both you and the municipality in providing an administratively complete planning module submission to DEP for review.

A copy of this letter should be attached to the planning module when submitted through the municipality to DEP. This letter is to be used by the applicant (or the applicant's authorized representative) as a checklist and guide to completing the planning modules and does not supersede the rules and regulations found in Chapter 71. The municipality must submit a complete module package. (See end of letter for applicant and municipal certification statements.)

**NOTE:** DEP should be notified at least ten days prior to soils testing activities for this project.

In all cases, address the immediate and long range sewage disposal needs of the proposal and comply with 25 Pa. Code, Chapter 71, Subchapter C relating to New Land Development Plan Revisions.

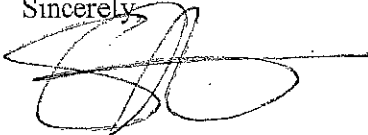
Ms. Maria Goman

- 3 -

January 2, 2015

If you have any questions concerning the information required, please contact me at 484.250.5186.

Sincerely,

A handwritten signature in black ink, appearing to read 'Stefanie Rittenhouse', with a horizontal line extending to the right.

Stefanie Rittenhouse  
Sewage Planning Specialist 2  
Clean Water

cc: Delaware County Planning Department  
Radnor Township  
Villanova University  
RHM  
Springfield Township  
Upper Darby Township  
DCJA  
DELCORA  
Mr. Ponert-City of Philadelphia Water Department  
Planning Section  
Re 30(GJE15CLW)002-10

Applicant Checklist (✓ or N/A)	Materials Required to be Included in the Planning Package	DEP Completeness Review
<b>DEP Checklist Letter</b>		
	DEP checklist letter is attached with items checked off by the applicant (or applicant's authorized representative) as included	
	DEP checklist letter certification statement completed and signed	
<b>Transmittal Letter (Form 3800-FM-BPNPSM0355)</b>		
	Transmittal Letter is attached, completed and the appropriate boxes in Section (i) are checked.	
	Transmittal Letter is signed by the municipal secretary	
<b>Resolution of Adoption (Form 3800-FM-BPNPSM0356)</b>		
	Resolution of Adoption is attached and completed	
	Resolution of Adoption is signed by the municipal secretary	
	Resolution of Adoption has a visible municipal seal	
<b>Component 4A - Municipal Planning Agency Review (Form 3800-FM-BPNPSM0362A)</b>		
	Component 4A is attached, completed and signed	
	Municipal Responses to Component 4A comments are included	
<b>Component 4B - County Planning Agency Review (Form 3800-FM-BPNPSM0362B)</b>		
	Component 4B is attached, completed and signed	
	Municipal Responses to Component 4B comments are included	
<b>Component 4C - County or Joint Health Department Review (Form 3800-FM-BPNPSM0362C)</b>		
	Component 4C is attached, completed and signed	
	Municipal Responses to Component 4C comments are included	
<b>Component 3 Sewage Facilities Planning Module (Form 3800-FM-BPNPSM0353)</b>		
<i>Section A: Project Information</i>		
	Section A.1. The Project Name is completed	
	Section A.2. The Brief Project Description is completed	
<i>Section B: Client Information</i>		
	Client Information is completed	
<i>Section C: Site Information</i>		
	Site Information is completed	
	A copy of the 7.5 minute USGS Topographic map is attached with the development site outlined, as required by the instructions and the checklist	
<i>Section D: Project Consultant Information</i>		
	Project Consultant Information is completed	

<i>Section E: Availability of Drinking Water Supply</i>		
	The appropriate box is checked in Section E	
	For existing public water supplies, the name of the company is provided	
	For public water supplies, the certification letter from the public water company is attached	
<i>Section F: Project Narrative</i>		
	The Project Narrative is attached	
	All information required in the module directions has been addressed	
<i>Section G: Proposed Wastewater Disposal Facilities</i>		
	Section G.1.a. The collection system boxes are checked	
	The Pennsylvania Clean Streams Law (CSL) permit number is provided for existing systems	
	Section G.1.b. The questions on the collection system are completed	
	Section G.2.a. The appropriate treatment facility box is checked	
	For existing treatment facilities, the name is provided	
	For existing treatment facilities, the NPDES permit number is provided	
	For existing treatment facilities, the CSL permit number is provided	
	For new treatment facilities, the discharge location is provided	
	Section G.2.b. The certification statement has been completed and signed by the wastewater treatment facility permittee or their representative	
	Section G.3. The plot plan is attached and contains all items in the module instructions under Section G.3	
	The plot plan will show the proposed sewer facilities, sewer extension and/or point of connection to the existing sewer line or point of discharge	
	Copies of easement(s) or right-of-way(s) are attached	
	Section G.4. The boxes are checked regarding Wetland Protection	
	Section G.5. The boxes are checked regarding Primary Agricultural Land	
	Section G.6. The boxes are checked confirming consistency with the Historic Preservation Act	
	The Cultural Resources Notice (CRN) (Form 0120-PM-PY0003) is attached	
	A return receipt for its submission to the Pennsylvania Historical and Museum Commission (PHMC) is attached	

<i>Section G: Proposed Wastewater Disposal Facilities</i>		
	The PHMC review letter is attached	
	Section G.7. The boxes are checked regarding Pennsylvania Natural Diversity Inventory (PNDI)	
	Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt is attached	
	PNDI Review Receipt, if no potential impacts identified, is not older than 2 years	
	All supporting resolution documentation from jurisdictional agencies (when necessary) is attached and not older than 2 years	
	A completed PNDI Large Project Form (PNDI Form) (Form 8100-FM-FR0161) is attached with all supplemental materials and DEP is requested to complete the search.	
<i>Section H: Alternative Sewage Facilities Analysis</i>		
	The Alternative Sewage Facilities Analysis is attached	
	All information required in the module directions has been addressed	
<i>Section I: Compliance with Water Quality Standards and Effluent Limitations</i>		
	The box is checked regarding Waters Designated for Special Protection	
	The Social or Economic Justification is attached	
	The box is checked regarding Pennsylvania Waters Designated As Impaired	
	The box is checked regarding Interstate and International Waters	
	The box is checked regarding Tributaries to the Chesapeake Bay and the required information is provided	
	The Name of Permittee Agency, Authority, Municipality and the Initials of Responsible Agent are provided	
	If discharge to an intermittent stream, dry swale or manmade ditch is proposed, provide evidence that a certified letter has been sent to each owner of property over which the discharge will flow until perennial conditions are met	
<i>Section J: Chapter 94 Consistency Determination</i>		
	A map showing the path of the sewage to the treatment facility and the location of the discharge is provided	
	Section J.1. The Project Flows are provided	
	Section J.2. The permitted, existing, and projected average and peak flows are provided in the table for collection, conveyance and treatment facilities	
	Section J.3.a. The appropriate box is checked indicating capacity in the Collection and Conveyance Facilities	

<i>Section J: Chapter 94 Consistency Determination</i>		
	Section J.3.b. The Collection System information is completed, signed and dated	
	Section J.3.b. The Conveyance System information is completed, signed and dated	
	Section J.4.a. The appropriate box is checked regarding projected overloads at the Treatment Facility	
	Section J.4.b. The Treatment Facility information is completed, signed and dated	
	The Permittee of the wastewater treatment facility has submitted a Chapter 94 Wasteload Management Report, which includes the information for the collection and conveyance system to serve this project	
	An acceptable Wasteload Management Report Corrective Action Plan (CAP) and schedule has been submitted, as well as a connection management plan	
	A letter from the permittee, which grants allocations to the project consistent with the CAP, and a copy of the connection management plan has been submitted	
	Letter indicating the treatment plant is an interim regional treatment facility is attached	
<i>Section K: Treatment and Disposal Options</i>		
	For proposed treatment facilities, the appropriate box is checked indicating the selected Treatment and Disposal Option	
<i>Section L: Permeability Testing</i>		
	The Permeability Testing information is attached	
<i>Section M: Preliminary Hydrogeologic Study</i>		
	The Preliminary Hydrogeologic Study is attached	
	The Preliminary Hydrogeologic Study is signed and sealed by a Professional Geologist	
<i>Section N: Detailed Hydrogeologic Study</i>		
	The Detailed Hydrogeologic Study is attached	
	The Detailed Hydrogeologic Study is signed and sealed by a Professional Geologist	
<i>Section O: Sewage Management</i>		
	Section O.1. The box is checked indicating municipal or private facilities	
	If municipal, the remainder of Section O is not applicable	
	If private, the required analysis and evaluation of sewage management options is attached	
	Section O.2. The appropriate box is checked regarding the use of nutrient credits or offsets	

<i>Section O: Sewage Management</i>		
	Section O.3. The Project Flows for the private facilities are provided	
	Section O.4.a. The appropriate box is checked indicating capacity in the existing private Collection and Conveyance Facilities	
	Section O.4.b. The private Collection System information is completed, signed and dated	
	Section O.4.c. The private Conveyance System information is completed, signed and dated	
	Section O.5.a. The appropriate box is checked regarding projected overloads at the private Treatment Facility	
	Section O.5.b. The private Treatment Facility information is completed, signed and dated	
	Section O.6. The box is checked indicating the municipality will assure proper operation and maintenance of the proposed private facilities	
	The required documentation of sewage management is attached	
<i>Section P: Public Notification Requirement</i>		
	All Public Notification boxes in this section are checked	
	The public notice is attached, if public notification is necessary	
	All comments received as a result of the notice are attached	
	The municipal responses to these comments are attached	
	The box is checked indicating that no comments were received, if valid	
<i>Section Q: False Swearing Statements</i>		
	The planning module preparer's false swearing statement is completed and signed	
<i>Section R: Planning Module Review Fee</i>		
	The correct fee has been calculated	
	The correct fee has been paid	
	The request for fee exemption has been checked	
	The deed reference information is provided to support the fee exemption	
<i>Completeness Checklist</i>		
	The module completeness checklist is included	
	All completeness items have been checked as included by the municipality, as appropriate	
	The Municipal Official has signed and dated the checklist	

Ms. Maria Goman

- 9 -

January 2, 2015

CERTIFICATION STATEMENT

I certify that this submittal is complete and includes all requested items. I understand that failure to submit a complete module package may result in a denial of the application.

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
**Applicant (or Applicant's authorized representative)**

Signed: \_\_\_\_\_ Date: \_\_\_\_\_  
**Municipal Secretary**





**ELAINE P. SCHAEFER**  
*President*

**JAMES C. HIGGINS**  
*Vice-President*

**WILLIAM A. SPINGLER**

**DONALD E. CURLEY**

**JOHN FISHER**

**JOHN NAGLE**

**RICHARD F. BOOKER**



**RADNOR TOWNSHIP**  
301 IVEN AVENUE  
WAYNE, PENNSYLVANIA 19087-5297

Phone (610) 688-5600  
Fax (610) 971-0450  
[www.radnor.com](http://www.radnor.com)

**ROBERT A. ZIENKOWSKI**  
*Township Manager*  
*Township Secretary*

**JOHN B. RICE, ESQ.**  
*Solicitor*

**JOHN E. OSBORNE**  
*Treasurer*

December 12, 2014

Steven Hildebrand  
Villanova University  
800 East Lancaster Ave.  
Villanova, PA 19085

**RE: Land Development Application #2014-D-07 Preliminary Plan Submission  
Villanova University – Lancaster Avenue Housing**

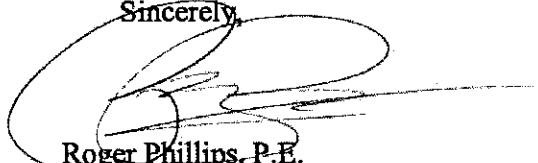
Dear Mr. Hildebrand:

In accordance with Section 255-14 of the Subdivision of Land Code of the Township of Radnor, we have reviewed your preliminary plan application to construct 1,135 bed student housing in six buildings with associated retail space under CICD use and have found it complete. Therefore, I have accepted the application for preliminary plan for review by the Township Staff, Shade Tree Commission, Planning Commission, and Board of Commissioners.

These plans are available for public viewing in the Engineering Department. The date that the Planning Commission will review these plans has yet to be determined. The date will be provided to you once it is placed on the Agenda. Subsequent to the Planning Commission meeting, your plan will be reviewed by the Board of Commissioners. You or your representative should plan to attend all scheduled meetings.

If you have any questions or required any additional information, please contact me.

Sincerely,



**Roger Phillips, P.E.**  
Township Engineer

Cc: Nave Newell



December 5, 2014

VIA HAND DELIVERY (610)688-5600

Suzan Jones  
Radnor Township  
301 Iven Avenue  
Wayne, PA 19087

**Reference: Villanova University – Lancaster Avenue Housing  
Preliminary Plan Submission  
Nave Newell No. 2011-005.00**

Dear Ms. Jones:

On behalf of Villanova University we are submitting the following documents for Preliminary Plan review and respectfully request to be placed on the Planning Commission's January meeting agenda. The quantities enclosed are listed after each item:

1. Preliminary Plan Set (Sheets 1-12, 15-30 of 30) dated December 5, 2014 (22);
2. Notarized Preliminary Plan Set (Sheets 1-12, 15-30 of 30) dated December 5, 2014 (8);
3. Reduced Size copies of Preliminary Plan Set (11X17), dated December 5, 2014 (15);
4. Storm Water Management Report and Site Drainage Calculations dated December 5, 2014 (2);
5. Radnor Township Land Development Application (1);
6. Delaware County Application for Act 247 Review (1);
7. Check No. 16133853 in the amount of \$15,000.00 and check No. 16133854 in the amount of \$4,600.00 made payable to Radnor Township for the Land Development escrow and review fee (1 each);
8. Check No. 16133883 in the amount of \$10,650.00 made payable to Treasurer of Delaware County for the Act 247 review fee (1);
9. Deed of Record for subject property (1);
10. Digital copy of Title Report for Subject Property (1);
11. Transportation Impact Study prepared by F. Tavani and Associates, dated 12/4/2014 (2).
12. Act 537 Sewage Planning Module application (1);
13. Aqua Pennsylvania Inc. will serve letter (1); and,
14. Thumb drive with electronic copies of above noted submission documents (1).

As the total scope of improvements recently authorized by the conditional use approval is being phased, the Applicant will be submitting multiple independent applications for the project improvements. This Preliminary Land Development Application is related to the housing component of the CICD development within the limits of the "Main Lot". Additional Township applications will be forthcoming for the Pike Parking Garage, West Lancaster Avenue Parking Lot, Pedestrian Bridge, St. Augustine Center Parking Garage Expansion, and upon receipt of funding, the Land Development Application for the Performing Arts Center.



Suzan Jones, Radnor Township  
Nave Newell No. 2011-005.00  
December 5, 2014  
Page 2

If you have any questions regarding this submission, please contact me at (610)265-8323 or via email at [atweedie@navenewell.net](mailto:atweedie@navenewell.net).

Respectfully submitted,

A handwritten signature in black ink that reads "DATweedie".

D. Alexander Tweedie, PE

DAT/jih  
Enclosures

cc via email: Marilou Smith - Villanova University  
Steven Hildebrand - Villanova University  
Nicholas Caniglia, Esq. - Pierce Caniglia & Taylor  
John Cluver - Voith Mactavish Architects  
Zeke Balan - Robert A.M. Stern Architects  
Frank Tavani, PE - F. Tavani and Associates

K:\11Proj\11005\RevResp\Township\Preliminary LD\Jones\_itr\_14-12-05.doc

**RADNOR TOWNSHIP  
301 IVEN AVE.  
WAYNE, PA 19087  
610 688 5600  
WWW.RADNOR.COM**

**SUBDIVISION AND LAND DEVELOPMENT SUBMISSION GUIDELINES**

1. Complete the enclosed Radnor Township Subdivision and Land Development application form and the Delaware County Planning Department application form.
2. Submit the completed application forms, the three (3) required filing fees, and the appropriate number of copies of plans to the Township Engineer. **ALL DOCUMENTS MUST BE SUBMITTED NOT LESS THAN 31 CALENDAR DAYS PRIOR TO THE NEXT PLANNING COMMISSION MEETING DATE IN ORDER TO BE PLACED ON THE AGENDA.**
3. The applicant or his/her representative must be present at all meetings when the application is scheduled as an agenda item.
4. When approved or disapproved by the Planning Commission the application will go before the Radnor Township Board of Commissioners for their approval/disapproval. This will not occur any sooner than forty-five (45) days after first regular meeting of Planning Commission or until receipt of the Delaware County Planning Commission's comments.
5. The application will be approved/disapproved by the Township's Board of Commissioners within (90) days from the date of the first regular meeting of the Planning Commission, unless an extension is granted by the applicant.

**Meeting Dates:**

All meetings are held at the Township Municipal Building – 301 Iven Ave, Wayne, Pa.

Planning Commission - Regular Meetings – 1<sup>st</sup> Monday of the month – 7:00 PM

Board of Commissioner's - Regular Meetings – 2<sup>nd</sup> & 4<sup>th</sup> Monday of the month – 6:30 PM (except summer)

**All meetings subject to change during summer months and around holidays**

**Required Dimensions and Number of Plans for Submission:**

**Plan Scale:** Not less than 1"= 100'                      **Plan Size:** Maximum 24" x 36" for all submissions.  
Minimum 18" x 30"

**THIRTY (30) complete sets of plans FOLDED and STAPLED are required for all stages of plan reviews; Sketch Plan, Preliminary Plan and Final Plan. Notarized signature of owner on eight (8) of the 24" X 36" copies.**

**FIFTEEN (15) complete sets of plans @ 11 x 17 and at least ONE (1) thumb drive of all the plans submitted.**

Two (2) copies of any calculations/reports.

Any Waivers to the SALDO must be submitted **in writing at the time of the application.**

**Copy of the deed or copy of sales agreement shall accompany this submission.**

**Title Report with all attachments required Not a title policy**

**Application Fee:**

Three (3) checks are required – (1) Delaware County Planning Department Review (payable to DCPD), (1) Radnor Township Application Fee, and (1) Radnor Township Escrow Fee (Both payable to Radnor Township).

(The Fee Schedule on file at the Township Bldg. and website)

Revised 11/3/14

**RADNOR TOWNSHIP**  
301 IVEN AVE  
WAYNE PA 19087  
P) 610 688-5600  
F) 610 971-0450  
WWW.RADNOR.COM

**SUBDIVISION ~ LAND DEVELOPMENT**

Location of Property 800 East Lancaster Ave.  
Zoning District PI Application No. \_\_\_\_\_  
(Twp. Use)  
Fee \$4,600.00 Ward No. 4 Is property in HARB District no  
Applicant: (Choose one) Owner x Equitable Owner \_\_\_\_\_  
Name Villanova University  
Address 800 East Lancaster Ave.  
Telephone 610-519-4500 Fax \_\_\_\_\_ Cell \_\_\_\_\_  
Email steven.hildebrand@villanova.edu  
Designer: (Choose one) Engineer x Surveyor \_\_\_\_\_  
Name Gregory C. Newell, PE  
Nave Newell, Inc.  
Address 900 West Valley Road, Suite 1100, Wayne, PA 19087  
Telephone 610-265-8323 Fax 610-265-4299  
Email gnewell@navenewell.net  
Area of property 240 ac. Area of disturbance 9.5 ac.  
Number of proposed buildings 6 Proposed use of property CICD / Student Housing  
Number of proposed lots 1 (existing campus)  
Plan Status: Sketch Plan \_\_\_\_\_ Preliminary x Final \_\_\_\_\_ Revised \_\_\_\_\_  
Are there any requirements of Chapter 255 (SALDO) that are not in compliance with?

Are there any requirements of Chapter 255 (SALDO) not being adhered to?  
Explain the reason for noncompliance.

n/a

Are there any infringements of Chapter 280 (Zoning), and if so what and why?

n/a

Individual/Corporation/Partnership Name

Villanova University

I do hereby certify that I am the owner, equitable owner or authorized representative of the property which is the subject of this application.

Signature



Print Name

Robert Morro

Associate Vice President of Facilities Management

By filing this application, you are hereby granting permission to Township officials to visit the site for review purposes.

NOTE:

All requirements of Chapter 255 (Subdivision of Lane) of the Code of the Township of Radnor must be complied with whether or not indicated in this application.

**DELAWARE COUNTY PLANNING COMMISSION**

**APPLICATION FOR ACT 247 REVIEW**

**Incomplete applications will be returned and will not be considered "received" until all required information is provided.**

Please type or print legibly

**DEVELOPER/APPLICANT**

Name Villanova University E-mail steven.hildebrand@villanova.edu

Address 800 East Lancaster Ave., Villanova, PA 19085 Phone 610-519-4500

Name of Development Lancaster Avenue Housing

Municipality Radnor Township

**ARCHITECT, ENGINEER, OR SURVEYOR**

Name of Firm Nave Newell, Inc. Phone 610-265-8323

Address 900 West Valley Road, Suite 1100, Wayne, PA 19087

Contact D. Alexander Tweedie, PE E-mail atweedie@navenewell.net

Type of Review	Plan Status	Utilities		Environmental Characteristics
		Existing	Proposed	
<input type="checkbox"/> Zoning Change	<input type="checkbox"/> Sketch	<input type="checkbox"/> Public Sewerage	<input checked="" type="checkbox"/> Public Sewerage	
<input checked="" type="checkbox"/> Land Development	<input checked="" type="checkbox"/> Preliminary	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Private Sewerage	<input type="checkbox"/> Wetlands
<input type="checkbox"/> Subdivision	<input type="checkbox"/> Final	<input type="checkbox"/> Public Water	<input checked="" type="checkbox"/> Public Water	<input type="checkbox"/> Floodplain
<input type="checkbox"/> PRD	<input type="checkbox"/> Tentative	<input type="checkbox"/> Private Water	<input type="checkbox"/> Private Water	<input type="checkbox"/> Steep Slopes

Zoning District PI

Tax Map # 36 / 24 / 33

Tax Folio # 36 / 04 / 02400 / 10



**STATEMENT OF INTENT**

WRITING "SEE ATTACHED PLAN" IS NOT ACCEPTABLE.

**Existing and/or Proposed Use of Site/Buildings:**

Existing Use = asphalt parking lot

Proposed Use = construction of 1,135 bed student housing in six buildings with associated retail space under CICD use

of PI Zoning.

Total Site Area	<u>9.5</u>	Acres
Size of All Existing Buildings	<u>0</u>	Square Feet
Size of All Proposed Buildings	<u>96,638</u>	Square Feet
Size of Buildings to be Demolished	<u>0</u>	Square Feet

Robert Morro, Assoc. Vice President of Facilities Mgt.

Print Developer's Name  
Villanova University

  
Developer's Signature

**MUNICIPAL SECTION**

ALL APPLICATIONS AND THEIR CONTENT ARE A MUNICIPAL RESPONSIBILITY.

Local Planning Commission      Regular Meeting \_\_\_\_\_

Local Governing Body            Regular Meeting \_\_\_\_\_

Municipal request for DCPD staff comments prior to DCPC meeting, to meet municipal meeting date:

Actual Date Needed \_\_\_\_\_

IMPORTANT: If previously submitted, show assigned DCPD File # \_\_\_\_\_

Print Name and Title of Designated Municipal Official \_\_\_\_\_

Phone Number \_\_\_\_\_

Official's Signature \_\_\_\_\_

Date \_\_\_\_\_

**FOR DCPD USE ONLY**

Review Fee:                      Check # \_\_\_\_\_      Amount \$ \_\_\_\_\_      Date Received \_\_\_\_\_

**Applications with original signatures must be submitted to DCPD.**

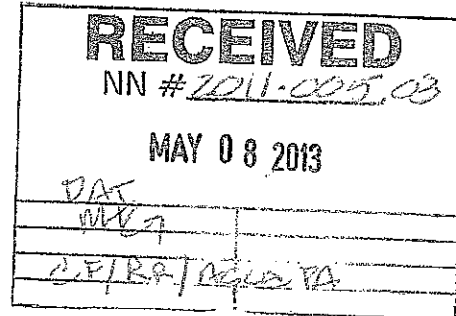


Aqua Pennsylvania, Inc.  
762.W. Lancaster Avenue  
Bryn Mawr, PA 19010

www.aquaamerica.com

May 6, 2013

Maria T. Goman  
Nave Newell  
357 South Gulph Road, Suite 300  
King of Prussia, PA 19406



**Re:** Water Availability  
Villanova University Housing  
Radnor Township, Delaware County, Pennsylvania

Dear Ms. Goman:

This letter will serve as confirmation that the above referenced property is situated within Aqua Pennsylvania Inc.'s service territory. Service would be provided in accordance with Aqua Pennsylvania Inc.'s Rules and Regulations.

Please contact Deanne L. Ciotti, Aqua Pennsylvania Inc.'s New Service Representative at 610-541-4160 for further information on service alternatives that will meet your domestic and fire service needs. Ms. Ciotti will provide you with the appropriate service applications.

Please note that if any additional public hydrants are required, or any need to be relocated, for this project that it will be handled separately by me with the issuance of a Fire Hydrant Agreement or Relocation Agreement for execution. If required, please forward a drawing with the hydrant dimensioned in both directions showing any utilities that could be encountered by us in running the hydrant lead pipe. Similarly this also applies for our existing mains on a parcel, except that your firm would be required to prepare a drawing for us.

Flow data information may be obtained from our Production Department so that you may determine the adequacy of our supply for your project needs. Please fax a written request to Lisa Thomas Oliva at 610-645-1162 containing the address, street, cross street and municipality and all pertinent contact information.

If I can be of further assistance, you may contact me at (610) 645-4230.

Sincerely,

Gary J. Horne  
New Business Representative





Handwritten text in a medieval script, likely Latin or a related language. The text is arranged in a single column and appears to be a list or a series of entries, possibly related to a historical or administrative document. The script is dense and difficult to decipher due to its cursive nature and the high contrast of the scan.

Handwritten text in a medieval script, likely Latin or a related language. This block contains a few lines of text, possibly a header or a specific entry within the main list.



**PLANNING MODULE DRAFT  
DEP CODE #1-23013-???-3J**

**LANCASTER AVENUE HOUSING  
RADNOR TOWNSHIP  
DELAWARE COUNTY, PENNSYLVANIA**

**VILLANOVA UNIVERSITY**

**Issued: December 5, 2014  
Nave Newell No.: 2011-005.00**

**SEWAGE FACILITIES PLANNING MODULE  
SUMMARY OF CONTENTS**

**Villanova University CICD Development  
Radnor Township, Delaware County, Pennsylvania**

<b>Section</b>	<b>Title</b>
I.	Transmittal Letter
II.	Township Resolution
III.	Project Narrative and Alternative Analysis
IV.	Sewage Facilities Planning Module Component 3
V.	Sewage Facilities Planning Module Components 4A and 4B
VI.	Supporting Documentation and Correspondence <ul style="list-style-type: none"><li>• PHMC Notification and Response</li><li>• Aqua Will Serve Letter</li><li>• PNDI Search</li><li>• USGS Map</li></ul>
VII.	Public Notice
VIII.	Pennsylvania Department of Environmental Protection <ul style="list-style-type: none"><li>• Checklist Letter</li></ul>
Appendix	<ul style="list-style-type: none"><li>• West Campus Schematic Sewer Relocation Plan Sewer Capture Area Exhibit</li><li>• West Campus Schematic Sewer Relocation Plan Exhibit</li><li>• Lancaster Avenue Proposed Sewer Map Exhibit</li></ul>

**l.**





**TRANSMITTAL LETTER  
 FOR SEWAGE FACILITIES PLANNING MODULE**

DEP USE ONLY				
DEP CODE #	APS ID #	CLIENT ID #	SITE ID #	AUTH. ID #

TO: Approving Agency (DEP or delegated local agency) Date \_\_\_\_\_  
 Department of Environmental Protection  
 2 East Main Street  
 Norristown, PA 19401

Dear Sir:

Attached please find a completed Sewage Facilities Planning Module prepared by Gregory C. Newell, PE  
(Name)

Principal \_\_\_\_\_ for Villanova University CID Development  
(Name)  
 \_\_\_\_\_  
(Title)

a subdivision, commercial, or industrial facility located in Radnor Township

Delaware \_\_\_\_\_ County.  
(City, Borough, Township)

**Check one**

- (i) The Planning Module, as prepared and submitted by the applicant, is approved by the municipality as a proposed  revision  supplement for new land development to its "Official Sewage Facilities Plan", and is  adopted for submission to the Department of Environmental Protection  transmitted to the delegated local agency for approval in accordance with the requirements of Chapter 71 and the Sewage Facilities Act, OR
- (ii) The Planning Module will not be approved by the municipality as a proposed revision or supplement for new land development to its "Official Sewage Facilities Plan" because the project described therein is unacceptable for the reason(s) checked below.

**Check Boxes**

- Additional studies are being performed by or on behalf of this municipality which may have an effect on the Planning Module as prepared and submitted by the applicant. Attached hereto is the scope of services to be performed and the time schedule for completion of said studies.
- The Planning Module as submitted by the applicant fails to meet limitations imposed by other laws or ordinances, officially adopted comprehensive plans and/or environmental plans (e.g., zoning, land use, Chapter 71). Specific reference or applicable segments of such laws or plans are attached hereto.
- Other (attach additional sheet giving specifics)

*Municipal Secretary: Indicate below by checking appropriate boxes which components are being transmitted to the Approving Agency.*

- |   |   |   |
|---|---|---|
| <input checked="" type="checkbox"/> Resolution of Adoption                    | <input checked="" type="checkbox"/> 3. Sewage Collection/Treatment Facilities | <input checked="" type="checkbox"/> 4.A. Municipal Planning Agency Review |
| <input type="checkbox"/> 2. Individual and Community Onlot Disposal of Sewage | <input type="checkbox"/> 3s Small Flow Treatment Facilities                   | <input checked="" type="checkbox"/> 4.B. County Planning Agency Review    |
| <input type="checkbox"/> 2m. Sewage Management Program                        |   | <input type="checkbox"/> 4.C. County or Joint Health Department Review    |

\_\_\_\_\_  
 Municipal Secretary (print)

\_\_\_\_\_  
 Signature

\_\_\_\_\_  
 Date

*Note: Please remove and recycle the Instructions portion of the Sewage Facilities Planning Module prior to mailing the appropriate completed components and supporting documents to the approving agency.*

II.



DEP Code No.

### RESOLUTION FOR PLAN REVISION FOR NEW LAND DEVELOPMENT

RESOLUTION OF THE (SUPERVISORS) (COMMISSIONERS) (COUNCILMEN) of Radnor  
(TOWNSHIP) (BOROUGH) (CITY), Delaware COUNTY, PENNSYLVANIA (hereinafter "the municipality").

**WHEREAS** Section 5 of the Act of January 24, 1966, P.L. 1535, No. 537, known as the "Pennsylvania Sewage Facilities Act", as Amended, and the rules and Regulations of the Pennsylvania Department of Environmental Protection (Department) adopted thereunder, Chapter 71 of Title 25 of the Pennsylvania Code, require the municipality to adopt an Official Sewage Facilities Plan providing for sewage services adequate to prevent contamination of waters of the Commonwealth and/or environmental health hazards from sewage wastes, and to revise said plan whenever it is necessary to determine whether a proposed method of sewage disposal for a new land development conforms to a comprehensive program of pollution control and water quality management, and

**WHEREAS** Villanova University has proposed the development of a parcel of land identified as  
land developer

Villanova University CICD Development, and described in the attached Sewage Facilities Planning Module, and  
name of subdivision

proposes that such subdivision be served by: (check all that apply),  sewer tap-ins,  sewer extension,  new treatment facility,  individual onlot systems,  community onlot systems,  spray irrigation,  retaining tanks,  other, (please specify).

**WHEREAS**, Radnor Township finds that the subdivision described in the attached  
municipality

Sewage Facilities Planning Module conforms to applicable sewage related zoning and other sewage related municipal ordinances and plans, and to a comprehensive program of pollution control and water quality management.

**NOW, THEREFORE, BE IT RESOLVED** that the (Supervisors) (Commissioners) (Councilmen) of the (Township) (Borough) (City) of Radnor hereby adopt and submit to the Department of Environmental Protection for its approval as a revision to the "Official Sewage Facilities Plan" of the municipality the above referenced Sewage Facilities Planning Module which is attached hereto.

I \_\_\_\_\_, Secretary,  
(Signature)

Township Board of Supervisors (Borough Council) (City Councilmen), hereby certify that the foregoing is a true copy of the Township (Borough) (City) Resolution # \_\_\_\_\_, adopted, \_\_\_\_\_, 20 \_\_\_\_\_.

Municipal Address:

301 Iven Avenue

Wayne, PA 19087

Telephone 610-688-5600

Seal of  
Governing Body

III.

**Project Narrative and Alternative Analysis  
 Villanova University Lancaster Avenue Housing  
 Planning Module Code # 1-23013-???-3J  
 Radnor Township, Delaware County**

Villanova University is an existing educational campus located along Lancaster Avenue (Business Route 30) in Radnor Township Delaware County. The campus encompasses approximately 240 acres of land which contains educational, administrative, recreational and spiritual buildings along with supporting infrastructure, parking and landscaping. The campus is surrounded by existing residential housing developments with some commercial development along Lancaster Avenue. Business Route 30 (Lancaster Avenue) and SEPTA train tracks bisect the campus as shown on the attached plans.

This development project proposes to construct six dormitories with a total of 1,138 bed spaces, a performing arts center which will house a 400 seat theater, a 200 seat black box performance space and classrooms for the theater department and associated retail space. Sewage flow is expected to increase by 93,015 gallons per day (gpd). The total flow from the proposed project is calculated as shown below:

Use	Flow per Unit (gpd)	Unit	Flow per Use (gpd)
Dormitory	75	1,138 Bed spaces	85,350
100 Seat Restaurant	12	400 Patrons*	4,800
"grab and go" convenience store	0.1	2,500 SF	250
Performing Arts Ctr.	5	400 seats**	2,000
Retail	0.1	6,150 SF	615
		<b>Total Flow</b>	<b>93,015</b>

\* assumes an average of 2 lunch and 2 dinner turnovers

\*\*largest performance space used for calculation

The expected flow of 93,015 gpd translates into 233 EDU utilizing DEP's definition of 400 gpd per EDU or 355 EDU's utilizing Radnor Township's definition of 262.5 gpd per EDU. For consistency 355 EDUs will be used throughout this proposal to achieve compliance with township requirements.

The chosen method of sewage disposal for this project is a connection to the public sewerage system located at the border of the existing Villanova Campus. The sewage will travel through the collection and conveyance system owned by Lower Merion Township and into the conveyance system owned by the City of Philadelphia. Eventual treatment and disposal will be at the City of Philadelphia Southwest Wastewater Treatment Facility.

In order to accommodate the anticipated increase in flow, Lower Merion Township has requested the project redirect equivalent or greater existing flows being generated from West Campus to a manhole located in Clairemont Road as shown on attached West Campus Schematic Sewer Relocation Plan Exhibit. Flows from this area are calculated as shown below:

Use	Flow per Unit (gpd)	Unit	Flow per Use (gpd)
Dormitory	75	1,216 Bed Space	91,200
Admin office (Picotte Hall at Dundale)	0.1	24,000 SF	2,400
Residence (Burns Hall)	262.5	EDU	262.5
St. Mary's Dining Hall & Convenience Store	10	2,500 meals (700 Dining + 1800 Convenience)	25,000
		<b>Total Flow</b>	<b>118,862.5</b>

Flows from the 8 dormitory buildings, Picotte Hall at Dundale, Burns Hall (residential use) and the St. Mary's dining hall will be redirected from the County Line/Ithan Avenue Interceptor to the Clairemont Road Interceptor to offset the anticipated increase from the CICD development area. Flows from CICD development will be directed to a manhole in County Line Road as shown on the Lancaster Avenue Housing Proposed Sewer Map Exhibit.

This area including the existing campus and surrounding/adjacent residential and commercial properties are within the public sewer service area. The existing sewage facility plan for this area indicates public sewer service will be provided. Alternative routing of the sewers through Radnor Township with connection to CDCA and ultimate treatment at the City of Philadelphia Southwest WWTF was considered and evaluated for this proposal. Conveyance issues in the downstream portion of the Radnor system made the routing to Philadelphia undesirable as an alternative. As capacity exists within the Lower Merion conveyance and the City of Philadelphia treatment system it was decided to connect this project to the Lower Merion system. Portions of the Villanova campus are already connected to Lower Merion's sewerage system; therefore, no new inter-municipal agreements are needed to move this project forward.

Villanova will construct and maintain the collection system within the proposed project area and the new pump station and force main in West Campus to redirect the flows to Clairemont Drive. A new public sewer or private force main will be constructed within North Ithan Avenue that will be owned and maintained by either Radnor Township or Villanova University. The owners of the downstream sewerage and treatment facility will continue to own and operated their respective facilities.

**IV.**

Form



COMMONWEALTH OF PENNSYLVANIA  
DEPARTMENT OF ENVIRONMENTAL PROTECTION  
BUREAU OF POINT AND NON-POINT SOURCE MANAGEMENT

Code No.

## SEWAGE FACILITIES PLANNING MODULE

### Component 3. Sewage Collection and Treatment Facilities

(Return completed module package to appropriate municipality)

DEP USE ONLY				
DEP CODE #	CLIENT ID #	SITE ID #	APS ID #	AUTH ID #
1-23013-???-3J				

This planning module component is used to fulfill the planning requirements of Act 537 for the following types of projects: (1) a subdivision to be served by sewage collection, conveyance or treatment facilities, (2) a tap-in to an existing collection system with flows on a lot of 2 EDU's or more, or (3) the construction of, or modification to, wastewater collection, conveyance or treatment facilities that will require DEP to issue or modify a Clean Streams Law permit. Planning for any project that will require DEP to issue or modify a permit cannot be processed by a delegated agency. Delegated agencies must send their projects to DEP for final planning approval.

This component, along with any other documents specified in the cover letter, must be completed and submitted to the municipality with jurisdiction over the project site for review and approval. All required documentation must be attached for the Sewage Facilities Planning Module to be complete. Refer to the instructions for help in completing this component.

**REVIEW FEES:** Amendments to the Sewage Facilities Act established fees to be paid by the developer for review of planning modules for land development. These fees may vary depending on the approving agency for the project (DEP or delegated local agency). Please see section R and the instructions for more information on these fees.

**NOTE:** All projects must complete Sections A through I, and Sections O through R. Complete Sections J, K, L, M and/or N if applicable or marked .

#### A. PROJECT INFORMATION (See Section A of instructions)

1. Project Name Villanova CICD Development

2. Brief Project Description The project will construct 1138 bed dormitory space, a performing arts center and associated retail space along with infrastructure, stormwater, parking and landscaping facilities on an existing parking lot.

#### B. CLIENT (MUNICIPALITY) INFORMATION (See Section B of instructions)

Municipality Name	County	City	Boro	Twp
Radnor	Delaware	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Municipality Contact Individual - Last Name	First Name	MI	Suffix	Title
Zienkowski	Robert			Township Manager
Additional Individual Last Name	First Name	MI	Suffix	Title
Municipality Mailing Address Line 1	Mailing Address Line 2			
301 Iven Avenue				
Address Last Line -- City	State	ZIP+4		
Wayne	PA	19087-5297		
Area Code + Phone + Ext.	FAX (optional)	Email (optional)		
610-688-5600	610-688-1279			



**C. SITE INFORMATION** (See Section C of instructions)

**Site (Land Development or Project) Name**

Villanova University

Site Location Line 1  
800 East Lancaster Avenue

Site Location Line 2

Site Location Last Line -- City	State	ZIP+4	Latitude	Longitude
Villanova	PA	19085	40.034547	-75.345139

Detailed Written Directions to Site: From the SERO: Take I-476 South/Chester to Exit 13 (US 30 St. Davids/Villanova) to Route 30 East, also known as Lancaster Avenue. Take Route 30 East (Lancaster Avenue) for one-half mile and at the fifth traffic light you will see Villanova's parking lot on the right.

Description of Site: Existing educational campus

**Site Contact (Developer/Owner)**

Last Name	First Name	MI	Suffix	Phone	Ext.
Hildebrand	Steven			610-519-4589	

Site Contact Title: Facilities Management

Site Contact Firm (if none, leave blank): Villanova University

FAX:

Email: steven.hildebrand@villanova.edu

Mailing Address Line 1

800 East Lancaster Avenue

Mailing Address Line 2

Mailing Address Last Line -- City

Wayne

State	ZIP+4
PA	19085

**D. PROJECT CONSULTANT INFORMATION** (See Section D of instructions)

Last Name	First Name	MI	Suffix
Newell	Gregory	C	P.E.

Title: Principal

Consulting Firm Name: Nave Newell, Inc

Mailing Address Line 1

900 West Valley Road

Mailing Address Line 2: Suite 1100

Address Last Line -- City

Wayne

State	ZIP+4	Country
PA	19087	USA

Email	Area Code + Phone	Ext.	Area Code + FAX
gnewell@navenewell.net	610-265-8323		610-265-4299

**E. AVAILABILITY OF DRINKING WATER SUPPLY**

The project will be provided with drinking water from the following source: (Check appropriate box)

- Individual wells or cisterns.
- A proposed public water supply.
- An existing public water supply.

If existing public water supply is to be used, provide the name of the water company and attach documentation from the water company stating that it will serve the project.

Name of water company: Agua Pennsylvania, Inc

**F. PROJECT NARRATIVE** (See Section F of instructions)

- A narrative has been prepared as described in Section F of the instructions and is attached.

The applicant may choose to include additional information beyond that required by Section F of the instructions.

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES** (See Section G of instructions)

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter 93 (relating to wastewater treatment requirements).

**1. COLLECTION SYSTEM**

a. Check appropriate box concerning collection system

- New collection system     Pump Station     Force Main  
 Grinder pump(s)     Extension to existing collection system     Expansion of existing facility

Clean Streams Law Permit Number \_\_\_\_\_

b. Answer questions below on collection system

Number of EDU's and proposed connections to be served by collection system. EDU's 354

Connections 2

Name of:  
existing collection or conveyance system \_\_\_\_\_  
owner Lower Merion Township  
existing interceptor \_\_\_\_\_  
owner \_\_\_\_\_

**2. WASTEWATER TREATMENT FACILITY**

Check all boxes that apply, and provide information on collection, conveyance and treatment facilities and EDU's served. This information will be used to determine consistency with Chapter(s) 91 (relating to general provisions), 92 (relating to national Pollution Discharge Elimination System permitting, monitoring and compliance) and 93 (relating to water quality standards).

a. Check appropriate box and provide requested information concerning the treatment facility

- New facility     Existing facility     Upgrade of existing facility     Expansion of existing facility

Name of existing facility Philadelphia Southwest WWTF

NPDES Permit Number for existing facility \_\_\_\_\_

Clean Streams Law Permit Number \_\_\_\_\_

Location of discharge point for a new facility. Latitude \_\_\_\_\_ Longitude \_\_\_\_\_

b. The following certification statement must be completed and signed by the wastewater treatment facility permittee or their representative.

As an authorized representative of the permittee, I confirm that the City of Philadelphia Southwest  
(Name from above) sewage treatment facilities can accept sewage flows from this project without adversely affecting the facility's ability to achieve all applicable technology and water quality based effluent limits (see Section I) and conditions contained in the NPDES permit identified above.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

(Also see Section I. 4.)

**G. PROPOSED WASTEWATER DISPOSAL FACILITIES (Continued)**

**3. PLOT PLAN**

The following information is to be submitted on a plot plan of the proposed subdivision.

- a. Existing and proposed buildings.
- b. Lot lines and lot sizes.
- c. Adjacent lots.
- d. Remainder of tract.
- e. Existing and proposed sewerage facilities. Plot location of discharge point, land application field, spray field, COLDS, or LVCOLDS if a new facility is proposed.
- f. Show tap-in or extension to the point of connection to existing collection system (if applicable).
- g. Existing and proposed water supplies and surface water (wells, springs, ponds, streams, etc.)
- h. Existing and proposed rights-of-way.
- i. Existing and proposed buildings, streets, roadways, access roads, etc.
- j. Any designated recreational or open space area.
- k. Wetlands - from National Wetland Inventory Mapping and USGS Hydric Soils Mapping.
- l. Flood plains or Flood prone areas, floodways, (Federal Flood Insurance Mapping)
- m. Prime Agricultural Land.
- n. Any other facilities (pipelines, power lines, etc.)
- o. Orientation to north.
- p. Locations of all site testing activities (soil profile test pits, slope measurements, permeability test sites, background sampling, etc. (if applicable).
- q. Soils types and boundaries when a land based system is proposed.
- r. Topographic lines with elevations when a land based system is proposed

**4. WETLAND PROTECTION**

YES NO

- a.   Are there wetlands in the project area? If yes, ensure these areas appear on the plot plan as shown in the mapping or through on-site delineation.
- b.   Are there any construction activities (encroachments, or obstructions) proposed in, along, or through the wetlands? If yes, identify any proposed encroachments on wetlands and identify whether a General Permit or a full encroachment permit will be required. If a full permit is required, address time and cost impacts on the project. Note that wetland encroachments should be avoided where feasible. Also note that a feasible alternative **MUST BE SELECTED** to an identified encroachment on an exceptional value wetland as defined in Chapter 105. Identify any project impacts on streams classified as HQ or EV and address impacts of the permitting requirements of said encroachments on the project.

**5. PRIME AGRICULTURAL LAND PROTECTION**

YES NO

- Will the project involve the disturbance of prime agricultural lands?  
If yes, coordinate with local officials to resolve any conflicts with the local prime agricultural land protection program. The project must be consistent with such municipal programs before the sewage facilities planning module package may be submitted to DEP.  
If no, prime agricultural land protection is not a factor to this project.
- Have prime agricultural land protection issues been settled?

**6. HISTORIC PRESERVATION ACT**

YES NO

- Sufficient documentation is attached to confirm that this project is consistent with DEP Technical Guidance 012-0700-001 *Implementation of the PA State History Code* (available online at the DEP Web site at [www.dep.state.pa.us](http://www.dep.state.pa.us), select "subject" then select "technical guidance"). As a minimum this includes copies of the completed Cultural Resources Notice (CRN), a return receipt for its submission to the PHMC and the PHMC review letter.

**7. PROTECTION OF RARE, ENDANGERED OR THREATENED SPECIES**

Check one:

- The "Pennsylvania Natural Diversity Inventory (PNDI) Project Environmental Review Receipt" resulting from my search of the PNDI database and all supporting documentation from jurisdictional agencies (when necessary) is/are attached.
- A completed "Pennsylvania Natural Diversity Inventory (PNDI) Project Planning & Environmental Review Form," (PNDI Form) available at [www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us), and all required supporting documentation is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning module will be considered incomplete upon submission to the Department and that the DEP review will not begin, and that processing of my planning module will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials \_\_\_\_\_

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**H. ALTERNATIVE SEWAGE FACILITIES ANALYSIS** (See Section H of instructions)

- An alternative sewage facilities analysis has been prepared as described in Section H of the attached instructions and is attached to this component.

The applicant may choose to include additional information beyond that required by Section H of the attached instructions.

---

**I. COMPLIANCE WITH WATER QUALITY STANDARDS AND EFFLUENT LIMITATIONS** (See Section I of instructions) (Check and complete all that apply.)

**1. Waters designated for Special Protection**

- The proposed project will result in a new or increased discharge into special protection waters as identified in Title 25, Pennsylvania Code, Chapter 93. The Social or Economic Justification (SEJ) required by Section 93.4c, is attached.

**2. Pennsylvania Waters Designated As Impaired**

- The proposed project will result in a new or increased discharge of a pollutant into waters that DEP has identified as being impaired by that pollutant. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss water quality based discharge limitations.

**3. Interstate and International Waters**

- The proposed project will result in a new or increased discharge into interstate or international waters. A pre-planning meeting was held with the appropriate DEP regional office staff to discuss effluent limitations necessary to meet the requirements of the interstate or international compact.

**4. Tributaries To The Chesapeake Bay**

- The proposed project result in a new or increased discharge of sewage into a tributary to the Chesapeake Bay. This proposal for a new sewage treatment facility or new flows to an existing facility includes total nitrogen and total phosphorus in the following amounts: \_\_\_\_\_ pounds of TN per year, and \_\_\_\_\_ pounds of TP per year. Based on the process design and effluent limits, the total nitrogen treatment capacity of the wastewater treatment facility is \_\_\_\_\_ pounds per year and the total phosphorus capacity is \_\_\_\_\_ pounds per year as determined by the wastewater treatment facility permittee. The permittee has determined that the additional TN and TP to be contributed by this project (as modified by credits and/or offsets to be provided) will not cause the discharge to exceed the annual total mass limits for these parameters. Documentation of compliance with nutrient allocations is attached.

Name of Permittee Agency, Authority, Municipality \_\_\_\_\_

Initials of Responsible Agent (See Section G 2.b) \_\_\_\_\_

See *Special Instructions* (Form 3800-FM-WSFR0353-1) for additional information on Chesapeake Bay watershed requirements.

**J. CHAPTER 94 CONSISTENCY DETERMINATION** (See Section J of instructions)

Projects that propose the use of existing municipal collection, conveyance or wastewater treatment facilities, or the construction of collection and conveyance facilities to be served by existing municipal wastewater treatment facilities must be consistent with the requirements of Title 25, Chapter 94 (relating to Municipal Wasteload Management). If not previously included in Section F, include a general map showing the path of the sewage to the treatment facility. If more than one municipality or authority will be affected by the project, please obtain the information required in this section for each. Additional sheets may be attached for this purpose.

1. Project Flows 93015 \_\_\_\_\_ gpd
2. Total Sewage Flows to Facilities (pathway from point of origin through treatment plant)

When providing "treatment facilities" sewage flows, use Annual Average Daily Flow for "average" and Maximum Monthly Average Daily Flow for "peak" in all cases. For "peak flows" in "collection" and "conveyance" facilities, indicate whether these flows are "peak hourly flow" or "peak instantaneous flow" and how this figure was derived (i.e., metered, measured, estimated, etc.).

- a. Enter average and peak sewage flows for each proposed or existing facility as designed or permitted.
- b. Enter the average and peak sewage flows for the most restrictive sections of the existing sewage facilities.
- c. Enter the average and peak sewage flows, projected for 5 years (2 years for pump stations) through the most restrictive sections of the existing sewage facilities. Include existing, proposed (this project) and future project (other approved projects) flows.

To complete the table, refer to the instructions, Section J.

	a. Design and/or Permitted Capacity (gpd)		b. Present Flows (gpd)		c. Projected Flows in 5 years (gpd) (2 years for P.S.)	
	Average	Peak	Average	Peak	Average	Peak
Collection						
Conveyance						
Treatment						

3. Collection and Conveyance Facilities

The questions below are to be answered by the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities. These questions should be answered in coordination with the latest Chapter 94 annual report and the above table. The individual(s) signing below must be legally authorized to make representation for the organization.

YES NO

- a.  YES  NO This project proposes sewer extensions or tap-ins. Will these actions create a hydraulic overload within five years on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until all inconsistencies with Chapter 94 are resolved or unless there is an approved Corrective Action Plan (CAP) granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the module package.

If no, a representative of the sewer authority, municipality, or agency responsible for completing the Chapter 94 report for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not affect that status.

b. Collection System

Name of Agency, Authority, Municipality Lower Merion Township

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_ Date \_\_\_\_\_

**J. CHAPTER 94 CONSISTENCY DETERMINATION (Continued)**

c. Conveyance System

Name of Agency, Authority, Municipality Lower Merion Township

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

4. Treatment Facility

The questions below are to be answered by a representative of the facility permittee in coordination with the information in the table and the latest Chapter 94 report. The individual signing below must be legally authorized to make representation for the organization.

YES NO

- a.   This project proposes the use of an existing wastewater treatment plant for the disposal of sewage. Will this action create a hydraulic or organic overload within 5 years at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this inconsistency with Chapter 94 is resolved or unless there is an approved CAP granting an allocation for this project. A letter granting allocations to this project under the CAP must be attached to the planning module.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with both §71.53(d)(3) and Chapter 94 requirements and that this proposal will not impact that status.

- b. Name of Agency, Authority, Municipality City of Philadelphia Water Department

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

**K. TREATMENT AND DISPOSAL OPTIONS (See Section K of instructions)**

This section is for land development projects that propose construction of wastewater treatment facilities. Please note that, since these projects require permits issued by DEP, these projects may **NOT** receive final planning approval from a delegated local agency. Delegated local agencies must send these projects to DEP for final planning approval.

Check the appropriate box indicating the selected treatment and disposal option.

1. Spray irrigation (other than individual residential spray systems (IRSIS)) or other land application is proposed, and the information requested in Section K.1. of the planning module instructions are attached.
2. Recycle and reuse is proposed and the information requested in Section K-2 of the planning module instructions is attached.
3. A discharge to a dry stream channel is proposed, and the information requested in Section K.3. of the planning module instructions are attached.
4. A discharge to a perennial surface water body is proposed, and the information requested in Section K.4. of the planning module instructions are attached.

**L. PERMEABILITY TESTING (See Section L of instructions)**

- The information required in Section L of the instructions is attached.

**M. PRELIMINARY HYDROGEOLOGIC STUDY (See Section M of instructions)**

- The information required in Section M of the instructions is attached.

**N. DETAILED HYDROGEOLOGIC STUDY** (See Section N of instructions)

The detailed hydrogeologic information required in Section N. of the instructions is attached.

**O. SEWAGE MANAGEMENT** (See Section O of instructions)

(1-3 for completion by the developer(project sponsor), 4-5 for completion by the non-municipal facility agent and 6 for completion by the municipality)

Yes No

1.   Is connection to, or construction of, a DEP permitted, non-municipal sewage facility or a local agency permitted, community onlot sewage facility proposed.

If Yes, respond to the following questions, attach the supporting analysis, and an evaluation of the options available to assure long-term proper operation and maintenance of the proposed non-municipal facilities. If No, skip the remainder of Section O.

2. Project Flows \_\_\_\_\_ gpd

Yes No

3.   Is the use of nutrient credits or offsets a part of this project?

If yes, attach a letter of intent to purchase the necessary credits and describe the assurance that these credits and offsets will be available for the remaining design life of the non-municipal sewage facility;

**(For completion by non-municipal facility agent)**

4. Collection and Conveyance Facilities

The questions below are to be answered by the organization/individual responsible for the non-municipal collection and conveyance facilities. The individual(s) signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes sewer extensions or tap-ins, will these actions create a hydraulic overload on any existing collection or conveyance facilities that are part of the system?

If yes, this sewage facilities planning module will not be accepted for review by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, a representative of the organization responsible for the collection and conveyance facilities must sign below to indicate that the collection and conveyance facilities have adequate capacity and are able to provide service to the proposed development in accordance with Chapter 71 §71.53(d)(3) and that this proposal will not affect that status.

- b. Collection System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

- c. Conveyance System

Name of Responsible Organization \_\_\_\_\_

Name of Responsible Agent \_\_\_\_\_

Agent Signature \_\_\_\_\_

Date \_\_\_\_\_

5. Treatment Facility

The questions below are to be answered by a representative of the facility permittee. The individual signing below must be legally authorized to make representation for the organization.

Yes No

- a.   If this project proposes the use of an existing non-municipal wastewater treatment plant for the disposal of sewage, will this action create a hydraulic or organic overload at that facility?

If yes, this planning module for sewage facilities will not be reviewed by the municipality, delegated local agency and/or DEP until this issue is resolved.

If no, the treatment facility permittee must sign below to indicate that this facility has adequate treatment capacity and is able to provide wastewater treatment services for the proposed development in accordance with §71.53(d)(3) and that this proposal will not impact that status.

- b. Name of Facility \_\_\_\_\_  
Name of Responsible Agent \_\_\_\_\_  
Agent Signature \_\_\_\_\_  
Date \_\_\_\_\_

(For completion by the municipality)

6.  The **SELECTED OPTION** necessary to assure long-term proper operation and maintenance of the proposed non-municipal facilities is clearly identified with documentation attached in the planning module package.

**P. PUBLIC NOTIFICATION REQUIREMENT** (See Section P of instructions)

This section must be completed to determine if the applicant will be required to publish facts about the project in a newspaper of general circulation to provide a chance for the general public to comment on proposed new land development projects. This notice may be provided by the applicant or the applicant's agent, the municipality or the local agency by publication in a newspaper of general circulation within the municipality affected. Where an applicant or an applicant's agent provides the required notice for publication, the applicant or applicant's agent shall notify the municipality or local agency and the municipality and local agency will be relieved of the obligation to publish. The required content of the publication notice is found in Section P of the instructions.

To complete this section, each of the following questions must be answered with a "yes" or "no". Newspaper publication is required if any of the following are answered "yes".

Yes No

1.   Does the project propose the construction of a sewage treatment facility?
2.   Will the project change the flow at an existing sewage treatment facility by more than 50,000 gallons per day?
3.   Will the project result in a public expenditure for the sewage facilities portion of the project in excess of \$100,000?
4.   Will the project lead to a major modification of the existing municipal administrative organizations within the municipal government?
5.   Will the project require the establishment of *new* municipal administrative organizations within the municipal government?
6.   Will the project result in a subdivision of 50 lots or more? (onlot sewage disposal only)



**P. PUBLIC NOTIFICATION REQUIREMENT cont'd.** (See Section P of instructions)

- 7.   Does the project involve a major change in established growth projections?
  - 8.   Does the project involve a different land use pattern than that established in the municipality's Official Sewage Plan?
  - 9.   Does the project involve the use of large volume onlot sewage disposal systems (Flow > 10,000 gpd)?
  - 10.   Does the project require resolution of a conflict between the proposed alternative and consistency requirements contained in §71.21(a)(5)(i), (ii), (iii)?
  - 11.   Will sewage facilities discharge into high quality or exceptional value waters?
- Attached is a copy of:
- the public notice,
  - all comments received as a result of the notice,
  - the municipal response to these comments:
- No comments were received. A copy of the public notice is attached.

**Q. FALSE SWEARING STATEMENT** (See Section Q of instructions)

I verify that the statements made in this component are true and correct to the best of my knowledge, information and belief. I understand that false statements in this component are made subject to the penalties of 18 PA.C.S.A. §4904 relating to unsworn falsification to authorities.

Gregory C. Newell, PE

Name (Print)  
Principal  
Title  
900 West Valley Road, Suite 1100  
Wayne, PA 19087  
Address

Signature: *Gregory C. Newell*  
Date: 12/15/14  
6102658323  
Telephone Number

**R. REVIEW FEE** (See Section R of instructions)

The Sewage Facilities Act establishes a fee for the DEP planning module review. DEP will calculate the review fee for the project and invoice the project sponsor OR the project sponsor may attach a self-calculated fee payment to the planning module prior to submission of the planning package to DEP. (Since the fee and fee collection procedures may vary if a "delegated local agency" is conducting the review, the project sponsor should contact the "delegated local agency" to determine these details.) Check the appropriate box.

- I request DEP calculate the review fee for my project and send me an invoice for the correct amount. I understand DEP's review of my project will not begin until DEP receives the correct review fee from me for the project.
- I have calculated the review fee for my project using the formula found below and the review fee guidance in the instructions. I have attached a check or money order in the amount of \$17,750 payable to "Commonwealth of PA, DEP". Include DEP code number on check. I understand DEP will not begin review of my project unless it receives the fee and determines the fee is correct. If the fee is incorrect, DEP will return my check or money order, send me an invoice for the correct amount. I understand DEP review will NOT begin until I have submitted the correct fee.
- I request to be exempt from the DEP planning module review fee because this planning module creates **only** one new lot and is the **only** lot subdivided from a parcel of land as that land existed on December 14, 1995. I realize that subdivision of a second lot from this parcel of land shall disqualify me from this review fee exemption. I am furnishing the following deed reference information in support of my fee exemption.

County-Recorder of Deeds for \_\_\_\_\_ County, Pennsylvania  
Deed Volume \_\_\_\_\_ Book Number \_\_\_\_\_

Page Number \_\_\_\_\_ Date Recorded \_\_\_\_\_

**R. REVIEW FEE** (continued)

Formula:

1. For a new collection system (with or without a Clean Streams Law Permit), a collection system extension, or individual tap-ins to an existing collection system use this formula.

$$\#355 \quad \text{Lots (or EDUs) X } \$50.00 = \$17,750$$

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewer system projects, one EDU is equal to a sewage flow of 400 gallons per day.

2. For a surface or subsurface discharge system, use the appropriate one of these formulae.

- A. A new surface discharge greater than 2000 gpd will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)

- B. An increase in an existing surface discharge will use:

$$\# \quad \text{Lots (or EDUs) X } \$35.00 = \$$$

to a maximum of \$ 1,500 per submittal (non-municipal) or \$ 500 per submittal (municipal)

The fee is based upon:

- The number of lots created or number of EDUs whichever is higher.
- For community sewage system projects one EDU is equal to a sewage flow of 400 gallons per day.
- For non-single family residential projects, EDUs are calculated using projected population figures

- C. A sub-surface discharge system that requires a permit under The Clean Streams Law will use a flat fee:

\$ 1,500 per submittal (non-municipal)  
\$ 500 per submittal (municipal)

**v.**



## SEWAGE FACILITIES PLANNING MODULE COMPONENT 4A - MUNICIPAL PLANNING AGENCY REVIEW

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning module package and one copy of this *Planning Agency Review Component* should be sent to the existing local municipal planning agency for their comments.

### SECTION A. PROJECT NAME (See Section A of instructions)

Project Name

Villanova University CDCI Development

### SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by municipal planning agency: \_\_\_\_\_
2. Date review completed by agency: \_\_\_\_\_

### SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes                      | No                       |   |
|--------------------------|--------------------------|---|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is there a municipal comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101, <i>et seq.</i> )?               |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?<br>If no, describe the inconsistencies _____                     |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Is this proposal consistent with the use, development, and protection of water resources?<br>If no, describe the inconsistencies _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with municipal land use planning relative to Prime Agricultural Land Preservation?                         |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Does this project propose encroachments, obstructions, or dams that will affect wetlands?<br>If yes, describe impacts _____            |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Will any known historical or archaeological resources be impacted by this project?<br>If yes, describe impacts _____                   |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known endangered or threatened species of plant or animal be impacted by this project?<br>If yes, describe impacts _____      |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Is there a municipal zoning ordinance?   |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is this proposal consistent with the ordinance?<br>If no, describe the inconsistencies _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does the proposal require a change or variance to an existing comprehensive plan or zoning ordinance?                                 |
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained?   |
| <input type="checkbox"/> | <input type="checkbox"/> | 12. Is there a municipal subdivision and land development ordinance?  |



DEP Code #
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**SEWAGE FACILITIES PLANNING MODULE  
 COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW  
 (or Planning Agency with Areawide Jurisdiction)**

**Note to Project Sponsor:** To expedite the review of your proposal, one copy of your completed planning package and one copy of this *Planning Agency Review Component* should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

**SECTION A. PROJECT NAME** (See Section A of instructions)

Project Name

Villanova University CICD Development

**SECTION B. REVIEW SCHEDULE** (See Section B of instructions)

1. Date plan received by county planning agency. \_\_\_\_\_
2. Date plan received by planning agency with areawide jurisdiction \_\_\_\_\_  
 Agency name \_\_\_\_\_
3. Date review completed by agency \_\_\_\_\_

**SECTION C. AGENCY REVIEW** (See Section C of instructions)

- | Yes                      | No                       |  |
|--------------------------|--------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 <i>et seq.</i> )?  |
| <input type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?   |
| <input type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?<br>If no, describe goals and objectives that are not met _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?<br>If no, describe inconsistency _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation?<br>If no, describe inconsistencies: _____ |
| <input type="checkbox"/> | <input type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?<br>If yes, describe impact _____  |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archeological resources be impacted by this project?<br>If yes, describe impacts _____   |
| <input type="checkbox"/> | <input type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project?  |
| <input type="checkbox"/> | <input type="checkbox"/> | 9. Is there a county or areawide zoning ordinance?   |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance?<br>If no, describe inconsistencies: _____  |

**VI.**

November 26, 2014

VIA CERTIFIED MAIL #91 7108 3933 8427 4451

Pennsylvania Historical and Museum Commission  
State Historical Preservation Office  
400 North Street  
Commonwealth Keystone Building, 2<sup>nd</sup> Floor  
Harrisburg, PA 17120-0093



**Reference: PHMC Project Review Request  
Villanova CICD Development  
Radnor Township, Delaware County  
Nave Newell No. 2011-005.03**

To Whom It May Concern:

We are requesting a review of potential historical resources on a property located at 800 East Lancaster Avenue, Radnor Township, Delaware County, Pennsylvania. To-aid in your review enclosed please find the following;

1. Project Review Form;
2. USGS Norristown Quadrangle with the project location indicated; and,
3. Campus Boundary Plan (CU1.00) with the area of interest highlighted, the plan is dated May 2, 2014 last revised August 16, 2014.

Villanova University is an existing school located at 800 East Lancaster Avenue, Wayne, PA. This project involves the construction of dormitory space for 1,135 students, a 400 seat performing arts center and restaurant and retail space on approximately 13.81 acres of existing parking lot located along East Lancaster Avenue. No alterations to the existing school buildings are proposed. The campus contains 240 acres, of which 13.81 acres will be subject to earth disturbance due to the proposed construction.

I look forward to receiving the results of your review. Should you have any questions or need additional information please contact me at [mgoman@navenewell.net](mailto:mgoman@navenewell.net) or (610)265-8323.

Thank you for your consideration of this request.

Sincerely,

A handwritten signature in cursive script that reads 'Maria T. Goman'.

Maria T. Goman

MTG/jih  
Enclosure

\\NNA-DATA\Proj\Info\11Proj\11005\RevResp\Other\PHMC\_14-11-26.docx

November 26, 2014

VIA CERTIFIED MAIL #91 7108 3933 8427 4451



Pennsylvania Historical and Museum Commission  
State Historical Preservation Office  
400 North Street  
Commonwealth Keystone Building, 2nd Floor  
Harrisburg, PA 17120-0093

**Reference:** PHMC Project Review Request  
Villanova CICD Development  
Radnor Township, Delaware County  
Nave Newell No. 2011-005.03

To Whom It May Concern:

We are requesting a review of potential historical resources on a property located at 800 East Lancaster Avenue, Radnor Township, Delaware County, Pennsylvania. To aide in your review enclosed please find the following:

- 1. Project Review Form;

SENDER: COMPLETE THIS SECTION	COMPLETE THIS SECTION ON DELIVERY
<ul style="list-style-type: none"> <li>Complete items 1, 2, and 3. Also complete item 4 if Restricted Delivery is desired.</li> <li>Print your name and address on the reverse so that we can return the card to you.</li> <li>Attach this card to the back of the mailpiece, or on the front if space permits.</li> </ul>	<p>A. Signature <i>[Signature]</i> <input type="checkbox"/> Agent <input type="checkbox"/> Addressee</p> <p>B. Received by (Printed Name) <i>[Signature]</i></p> <p>C. Date of Delivery <i>12-03-2014</i></p>
<p>1. Article Addressed to:</p> <p><i>Penna Hist. Museum Comm State Historical Preserv. Office 400 North St. Commonwealth Keystone Bldg 2nd fl Harrisburg, PA 17120</i></p>	<p>D. Is delivery address different from item 1? <input type="checkbox"/> Yes <input type="checkbox"/> No If YES, enter delivery address below:</p> <p>3. Service Type  <input checked="" type="checkbox"/> Certified Mail <input type="checkbox"/> Express Mail  <input type="checkbox"/> Registered <input checked="" type="checkbox"/> Return Receipt for Merchandise  <input type="checkbox"/> Insured Mail <input type="checkbox"/> C.O.D.</p> <p>4. Restricted Delivery? (Extra Fee) <input type="checkbox"/> Yes</p>
<p>2. Article Number (Transfer from service label)</p>	<p><b>91 7108 2133 3933 8427 4451</b></p>
<p>PS Form 3811, February 2004</p>	<p>Domestic Return Receipt 102595-02-14-1540</p>

Maria T. Goman

MTG/jjh  
Enclosure

\\NNA-DATA\1\Proj\_Info\11\Proj\11005\RevResp\Other\PHMC\_14-11-26.docx

and, dated, the plan is dated

ue, Wayne, PA. This 400 seat performing of existing parking lot school buildings are be subject to earth

ny questions or need (610)265-8323.





## PROJECT REVIEW FORM

Request to Initiate SHPO Consultation on  
State and Federal Undertakings

SHPO USE ONLY
DATE RECEIVED: _____
ER NUMBER: _____

REV: 5/2012

### SECTION A: GENERAL PROJECT INFORMATION

Is this a new submittal? <input checked="" type="radio"/> YES <input type="radio"/> NO OR <input type="radio"/> This is additional information for ER Number:			
Project Name	Villanova University CICD Development	County	Delaware
Project Address	800 East Lancaster Avenue		
City/State/Zip	Villanova PA 19085	Municipality	Radnor Township

### SECTION B: PRIMARY CONTACT INFORMATION

Name	Alex Tweedie	Phone	(610) 265-8323
Company	Nave Newell, Inc	Fax	(610) 265-4299
Street/P.O. Box	357 South Gulph Road, Suite 300		
City/State/Zip	King of Prussia PA 19406	Email	atweedie@navenewell.net

### SECTION C: PROJECT DESCRIPTION

This project is located on:  Federal property  State property  Municipal property  Private property  
(check all that apply)

List all Federal and State agencies and programs (funding, permits, licenses) involved in this project	Agency Type	Agency/Program/Permit Name	Project/Permit/Tracking Number (if applicable)
	State	DEP/water quality/ Act 537 planning	
	State	DEP/Watershed mgmt/Stormwater NPDES	

#### Proposed Work – Attach project description, scope of work, site plans, and/or drawings

Project includes (check all that apply):  Construction  Demolition  Rehabilitation  Disposition

Total acres of project area: 13.81      Total acres of earth disturbance: 13.81

Are there any buildings or structures within the project area?  Yes  No      Approximate age: \_\_\_\_\_

This project involves properties listed in or eligible for listing in the National Register of Historic Places, or designated as historic by a local government	Yes	No	Unsure	Name of historic property or historic districts
	<input type="radio"/>	<input checked="" type="radio"/>	<input type="radio"/>	

Please print and mail completed form and all attachments to:  PHMC State Historic Preservation Office 400 North St. Commonwealth Keystone Building, 2 <sup>nd</sup> Floor Harrisburg, PA 17120-0093	<b>Attachments – Please include the following information with this form</b> <input checked="" type="checkbox"/> Map – 7.5' USGS quad showing project boundary and Area of Potential Effect <input checked="" type="checkbox"/> Description/Scope – Describe the project, including any ground disturbance and previous land use <input checked="" type="checkbox"/> Site Plans/Drawings – Indicate the location and age, if known, of all buildings in the project area <input type="checkbox"/> Photographs – Attach prints or digital photographs showing the project site, including images of all buildings and structures keyed to a site plan
---	--

SHPO DETERMINATION (SHPO USE ONLY)	SHPO REVIEWER:
<input type="checkbox"/> There are NO HISTORIC PROPERTIES in the Area of Potential Effect <input type="checkbox"/> The project will have NO EFFECT on historic properties <input checked="" type="checkbox"/> The project will have NO ADVERSE EFFECTS on historic properties.	<input type="checkbox"/> The project will have NO ADVERSE EFFECTS WITH CONDITIONS (see attached) <input type="checkbox"/> SHPO REQUESTS ADDITIONAL INFORMATION (see attached)

ARCHITECT: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

ENGINEER: RAMSA  
 400 RAILROAD AVENUE, SUITE 101  
 PHILADELPHIA, PA 19106  
 TEL: 215-595-5000  
 FAX: 215-595-5001  
 WWW: RAMSAENGINEERS.COM

PLANNING: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

STRUCTURAL: LIBERTY  
 1000 MARKET STREET, 10TH FLOOR  
 PHILADELPHIA, PA 19107  
 TEL: 215-562-1100  
 FAX: 215-562-1101  
 WWW: LIBERTYSTRUCTURAL.COM

MECHANICAL/ELECTRICAL/PLUMBING: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

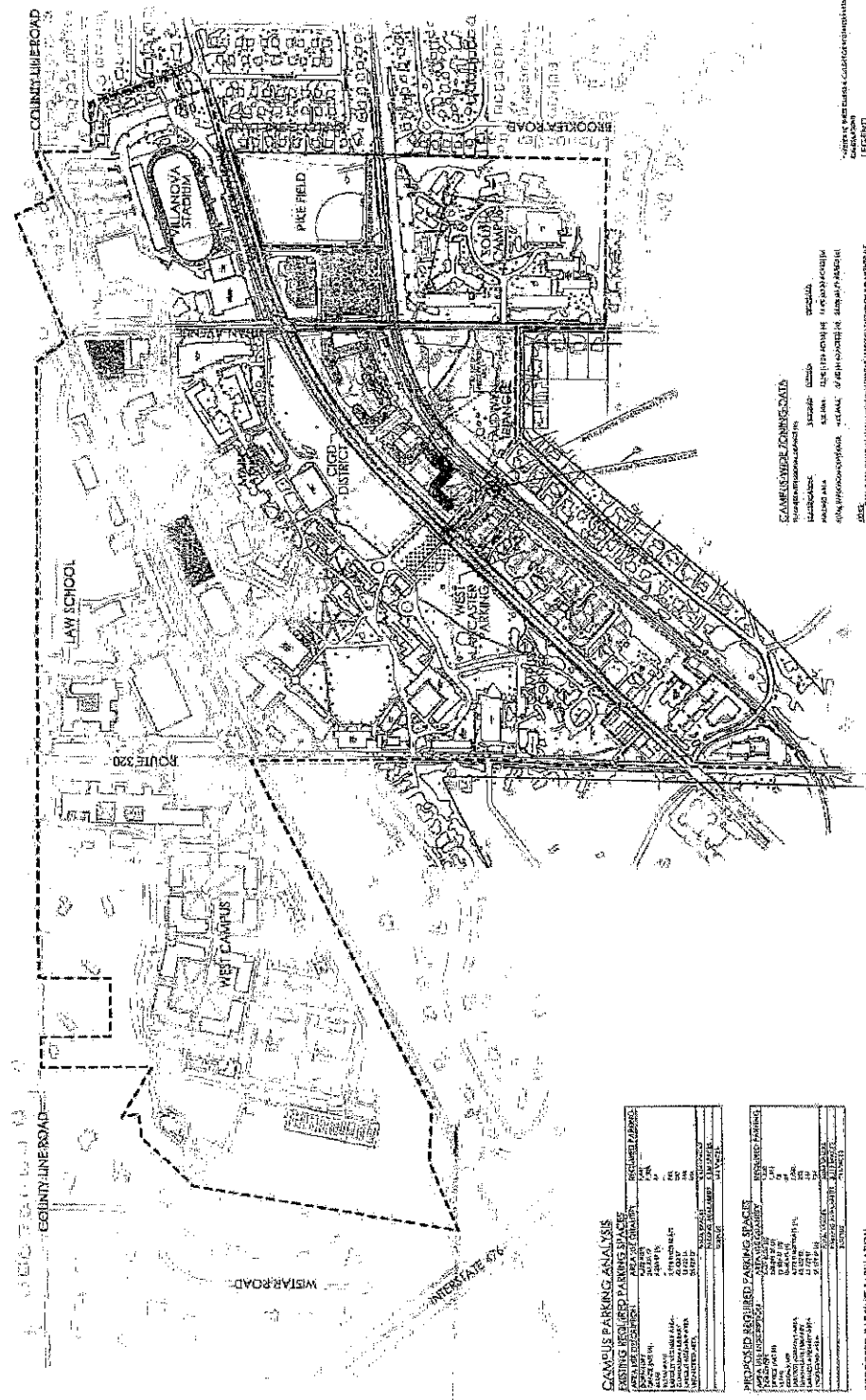
LANDSCAPE ARCHITECTURE: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

GENERAL CONTRACTOR: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

GENERAL CONTRACTOR: VMA  
 215 N. Market Street, 4th Floor  
 Philadelphia, PA 19103  
 TEL: 215-251-1111  
 FAX: 215-251-1111  
 WWW: VMAARCHITECTS.COM

CONSTRUCTION PERMIT  
 DATE FOR CONSTRUCTION  
 PROJECT: August 15, 2014  
 DATE: May 2, 2014  
 CITY: Chester University Park  
 COUNTY: Chester  
 SHEET NO. 15-001

CU1.00



**EXPLANATION OF SYMBOLS:**

EXISTING BUILDINGS: Solid black fill  
 EXISTING PARKING: Dotted pattern  
 EXISTING DRIVEWAYS: Dashed lines  
 EXISTING SIDEWALKS: Solid grey fill  
 EXISTING CURBS: Solid black lines  
 EXISTING UTILITIES: Dashed lines with symbols  
 EXISTING TREES: Solid black circles  
 EXISTING LANDSCAPE: Stippled pattern  
 EXISTING FENCES: Solid black lines with cross-hatching  
 EXISTING SIGNAGE: Solid black rectangles  
 EXISTING LIGHT FIXTURES: Solid black circles  
 EXISTING STREET LIGHTS: Solid black rectangles  
 EXISTING STREET FURNITURE: Solid black rectangles  
 EXISTING STREET LIGHTS: Solid black rectangles  
 EXISTING STREET FURNITURE: Solid black rectangles

**CAMPUS PARKING ANALYSIS**

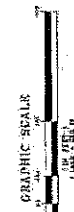
AREA OF CONSIDERATION	EXISTING CAPACITY	REQUIRED CAPACITY
WEST CAMPUS	100	150
SOUTH CAMPUS	150	200
LANOVA STADIUM	50	100
PIKE FIELD	20	50
TOTAL	320	500

**PROPOSED REQUIRED PARKING SPACES**

AREA OF CONSIDERATION	EXISTING CAPACITY	REQUIRED CAPACITY
WEST CAMPUS	100	150
SOUTH CAMPUS	150	200
LANOVA STADIUM	50	100
PIKE FIELD	20	50
TOTAL	320	500

**PROPOSED PARKING LABELATION**

AREA OF CONSIDERATION	EXISTING CAPACITY	REQUIRED CAPACITY
WEST CAMPUS	100	150
SOUTH CAMPUS	150	200
LANOVA STADIUM	50	100
PIKE FIELD	20	50
TOTAL	320	500



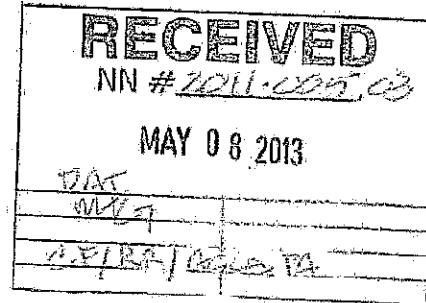
AQUA

Aqua Pennsylvania, Inc.  
762 W. Lancaster Avenue  
Bryn Mawr, PA 19010

www.aquaamerica.com

May 6, 2013

Maria T. Goman  
Nave Newell  
357 South Gulph Road, Suite 300  
King of Prussia, PA 19406



Re: Water Availability  
Villanova University Housing  
Radnor Township, Delaware County, Pennsylvania

Dear Ms. Goman:

This letter will serve as confirmation that the above referenced property is situated within Aqua Pennsylvania Inc.'s service territory. Service would be provided in accordance with Aqua Pennsylvania Inc.'s Rules and Regulations.

Please contact Deanne L. Ciotti, Aqua Pennsylvania Inc.'s New Service Representative at 610-541-4160 for further information on service alternatives that will meet your domestic and fire service needs. Ms. Ciotti will provide you with the appropriate service applications.

Please note that if any additional public hydrants are required, or any need to be relocated, for this project that it will be handled separately by me with the issuance of a Fire Hydrant Agreement or Relocation Agreement for execution. If required, please forward a drawing with the hydrant dimensioned in both directions showing any utilities that could be encountered by us in running the hydrant lead pipe. Similarly this also applies for our existing mains on a parcel, except that your firm would be required to prepare a drawing for us.

Flow data information may be obtained from our Production Department so that you may determine the adequacy of our supply for your project needs. Please fax a written request to Lisa Thomas Oliva at 610-645-1162 containing the address, street, cross street and municipality and all pertinent contact information.

If I can be of further assistance, you may contact me at (610) 645-4230.

Sincerely,

Gary J. Horne  
New Business Representative

### 1. PROJECT INFORMATION

Project Name: Villavova U - Lancaster Ave Housing

Date of review: 3/14/2013 11:07:01 AM

Project Category: Development, New commercial/industrial development (store, gas station, factory)

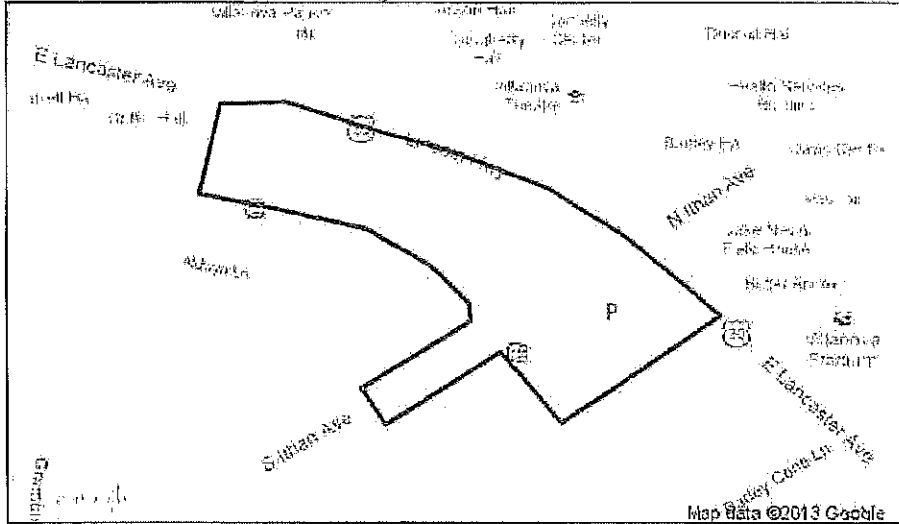
Project Area: 19.6 acres

County: Delaware Township/Municipality: Radnor

Quadrangle Name: NORRISTOWN ~ ZIP Code: 19010, 19085

Decimal Degrees: 40.033742 N, -75.340890 W

Degrees Minutes Seconds: 40° 2' 1.5" N, -75° 20' 27.2" W



### 2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

Note that regardless of PNDI search results, projects requiring a Chapter 105 DEP individual permit or GP 5, 6, 7, 8, 9 or 11 in certain counties (Adams, Berks, Bucks, Carbon, Chester, Cumberland, Delaware, Lancaster, Lebanon, Lehigh, Monroe, Montgomery, Northampton, Schuylkill and York) must comply with the bog turtle habitat screening requirements of the PASPGP.

### 3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are valid for two years (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

#### PA Game Commission

**RESPONSE:** No impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Department of Conservation and Natural Resources

**RESPONSE:** No impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### PA Fish and Boat Commission

**RESPONSE:** No impact is anticipated to threatened and endangered species and/or special concern species and resources.

#### U.S. Fish and Wildlife Service

**RESPONSE:** No impacts to federally listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 *et seq.*) is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

### 4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. For cases where a "Potential Impact" to threatened and endangered species has been identified before the application has been submitted to DEP, the application should not be submitted until the impact has been resolved. For cases where "Potential Impact" to special

PNDI Project Environmental Review Receipt

Project Search ID: 20130314395209

concern species and resources has been identified before the application has been submitted, the application should be submitted to DEP along with the PNDI receipt. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. DEP and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <http://www.naturalheritage.state.pa.us>.

**5. ADDITIONAL INFORMATION**

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page ([www.naturalheritage.state.pa.us](http://www.naturalheritage.state.pa.us)). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

**6. AGENCY CONTACT INFORMATION**

**PA Department of Conservation and Natural Resources**  
 Bureau of Forestry, Ecological Services Section  
 400 Market Street, PO Box 8552, Harrisburg, PA.  
 17105-8552  
 Fax: (717) 772-0271

**U.S. Fish and Wildlife Service**  
 Endangered Species Section  
 315 South Allen Street, Suite 322, State College, PA.  
 16801-4851  
 NO Faxes Please.

**PA Fish and Boat Commission**  
 Division of Environmental Services  
 450 Robinson Lane, Bellefonte, PA. 16823-7437  
 NO Faxes Please

**PA Game Commission**  
 Bureau of Wildlife Habitat Management  
 Division of Environmental Planning and Habitat Protection  
 2001 Elmerston Avenue, Harrisburg, PA. 17110-9797  
 Fax: (717) 787-6957

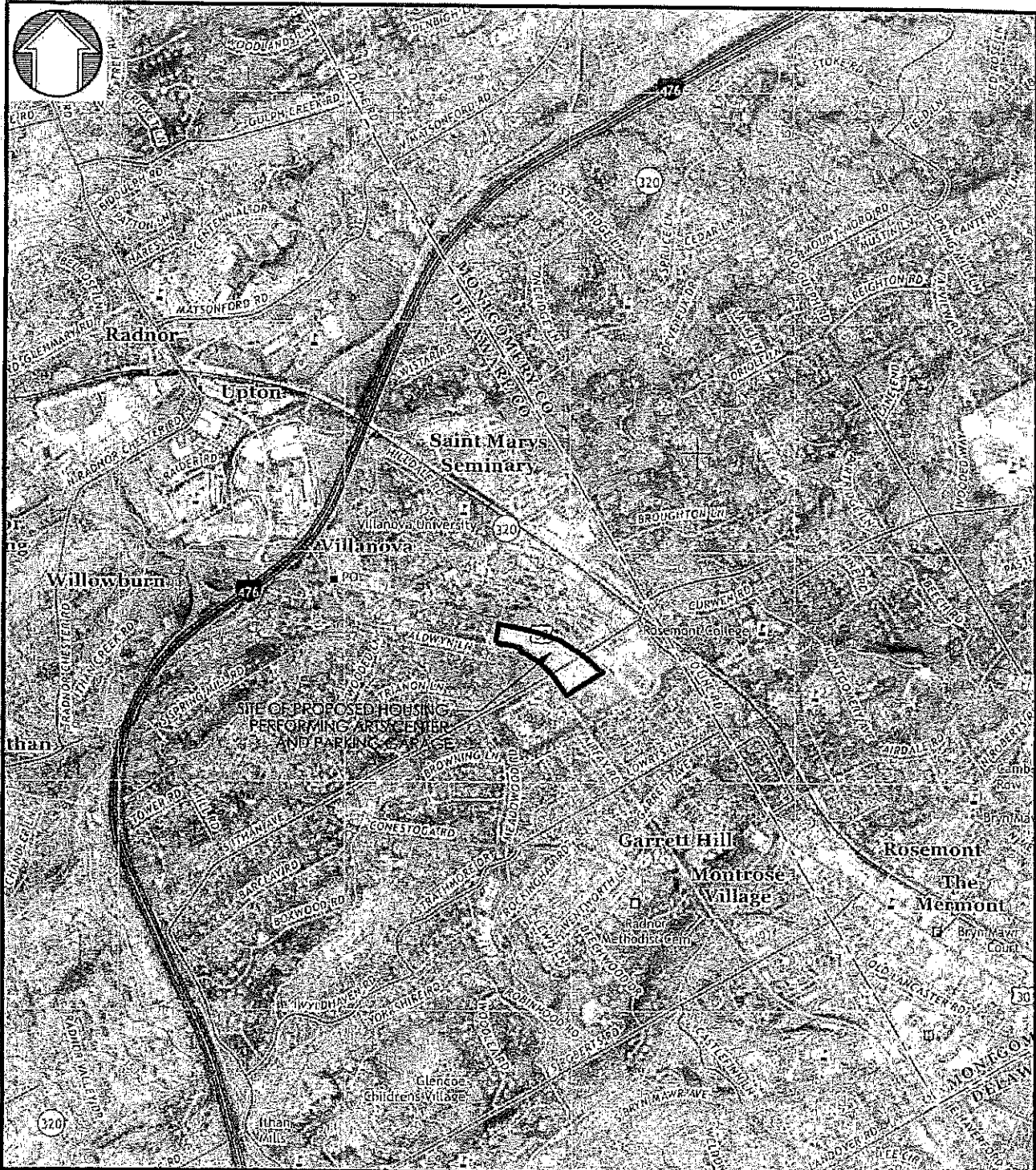
**7. PROJECT CONTACT INFORMATION**

Name: Maria Gordon  
 Company/Business Name: WAVE RUGGILL, INC  
 Address: 357 S. Gault Rd, Suite 300  
 City, State, Zip: King of Prussia, PA 19473  
 Phone: (610) 264-8183 Fax: (610) 265-4299  
 Email: mgordon@waveruggill.net

**8. CERTIFICATION**

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.

Maria Gordon 3/14/13  
 applicant/project proponent signature date



948 West Valley Road - Suite 1188  
Wynette, PA 19389-7163  
p: 610.268.8123 f: 610.268.4290  
www.navenewell.com

DRAWING NAME: USGS MAP - "NORRISTOWN" QUADRANGLE

PROJECT NAME: VILLANOVA UNIVERSITY  
CICD DEVELOPMENT

SCALE:  
1" = 2000'

DRAWN BY:  
MMB

PROJECT NUMBER:  
2011-005

SHEET  
1 of 1

CHK'D BY:  
DAT

APPROV. BY:  
GCN

DATE:  
11/26/14



**VII.**

### **Public Notice**

The Pennsylvania Department of Environmental Protection Rules and Regulations require public notice be given to allow the general public to provide comments regarding the proposed redevelopment of approximately 13.81 acres of land on the existing Villanova Campus in Radnor Township, Delaware County, Pennsylvania. The project is known as Villanova University CICD development. This development project proposes to construct dormitories, a performing arts center, a restaurant, and a "grab and go" retail food store. Sewage flow is expected to increase by 92,015 gallons per day. The development will be served by public water provided by Aqua PA and a public sewerage system with final treatment and disposal of the effluent at the City of Philadelphia Southwest Water Pollution Control Facility. This publication is required as the project will generate 93,015 gallons per day of sewage flow.

A 30-day comment period has been established to allow the general public an opportunity to comment on the consistencies with applicable laws and acts. The Sewage Facilities Planning Module documents and plans can be viewed at the Radnor Township building, 301 Iven Avenue, Wayne, PA 19087; Monday through Friday from 8 AM to 4 PM by appointment. Please address any comments within 30 days of the date of this publication to Radnor Township, Steve Norcini, Public Works Director, at the above address.

**VIII.**

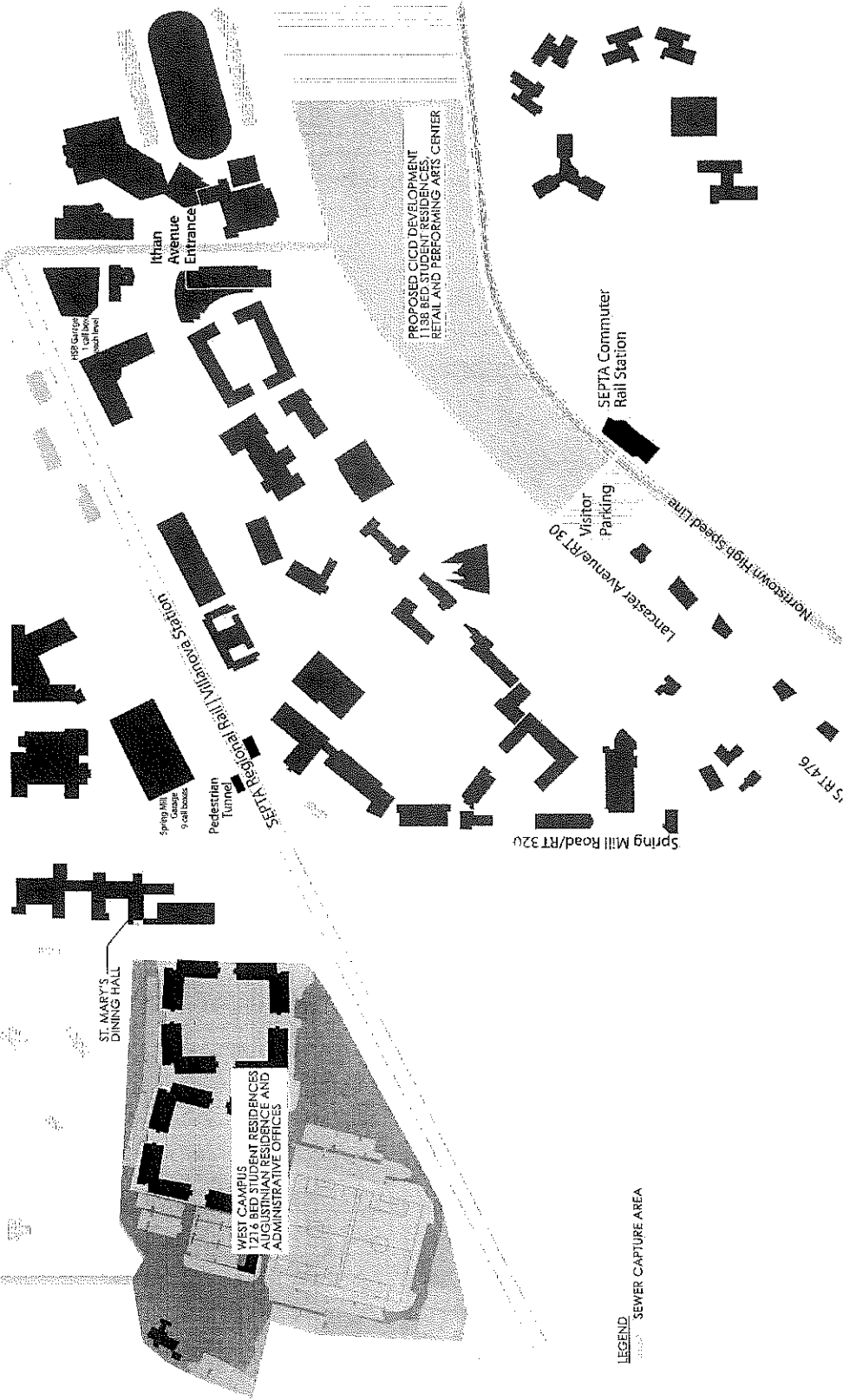


# Appendix

CONNECTION TO EXISTING  
MANHOLE IN CLAREMONT ROAD  
(FLOW RELOCATION)

County Line Road

CONNECT TO LOWER MERION SYSTEM



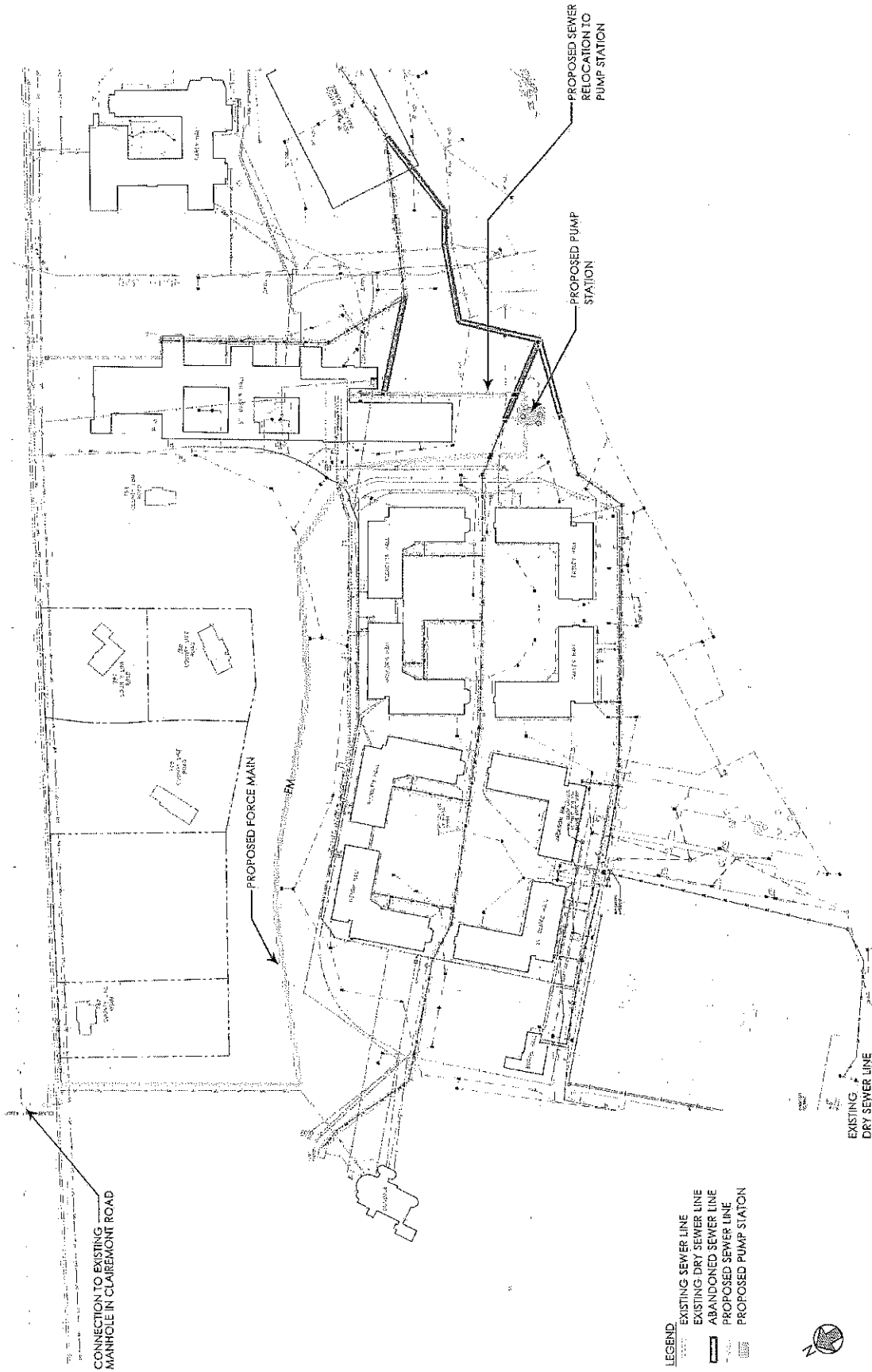
LEGEND  
SEWER CAPTURE AREA

# VILLANOVA UNIVERSITY: WEST CAMPUS SCHEMATIC SEWER RELOCATION PLAN SEWER CAPTURE AREA EXHIBIT

2011005  
DECEMBER 5, 2014



900 West Valley Road, Suite 1100, Wayne, PA 19087 • 610-265-8323 • fax: 610-265-4299 • www.navenewell.com



- LEGEND**
- EXISTING SEWER LINE
  - - - EXISTING DRY SEWER LINE
  - ABANDONED SEWER LINE
  - - - PROPOSED SEWER LINE
  - ☐ PROPOSED PUMP STATION



**VILLANOVA UNIVERSITY: WEST CAMPUS SCHEMATIC SEWER RELOCATION PLAN**

**EXHIBIT**  
 2011.005  
 DECEMBER 5, 2014







## MEMORANDUM

**TO:** Radnor Township Board of Commissioners

**FROM:** Steve Gabriel, PP, Township Planning Consultant 

**CC:** Robert Zienkowski, Township Manager

**DATE:** May 4, 2015

**PROJECT NAME:** PLO Mixed Use Overlay Zoning Amendment      **PROJECT NO.:** 101442010

**SUBJECT:** Follow-Up to April 27 Meeting Feedback

At its April 27, 2015 regular meeting, individual Board members provided some initial thoughts on our proposed draft Mixed Use Overlay zoning amendment to the PLO zoning district. At that meeting, the Board also indicated that it would like to take a couple more weeks to more thoroughly review the proposed draft and offer additional feedback at its upcoming May 11 meeting. To assist the Board with its consideration, please find below our reasoning regarding certain of the key elements of the draft ordinance:

- Potential future redevelopment - the current PLO regulations require intensive front, side, and rear setbacks. For only 2 (BioMed, Radnor Corporate Center) of the 7 PLO sites do the current setbacks allow enough room on the sites for new buildings to be built. For the other 5 sites, the required setbacks result in there being no building envelope or a building envelope that is too small for it to be practical for a new building to be built. For those 5 sites, renovation of the old buildings will be the only redevelopment option, and in many of those cases, may not be practical.
- Traffic Neutrality – development density is tied to keeping the traffic generated by mixed use (according to the ITE trips generation tables) to be no more than the baseline as defined in the draft amendment. Factoring in conservative reduction factors of 7% for transit use and 3% for reduced vehicle use between interrelated uses adds up to a 10% reduction in peak hours' traffic under the mixed use overlay. Based on preliminary tests of mixed use development scenarios, it was unclear whether peak hour traffic reduction of 10% without the reduction factors would restrict potential building floor area to the extent that mixed use development would be no more valuable or attractive than all-office development to a property owner. More testing of trips generation and building gross floor area will be done.
- Capacity Improvements Fee – is set up to function much like a park and recreation fee. At the proposed \$2.00 per square foot of new or renovated building floor area, the fee roughly equates to the estimated \$1.2 million of off-site improvements proposed by BioMed for the all-office preliminary plan currently before the Board.
- Transit Use Incentives – it is difficult to include solid transit use incentives within a zoning ordinance apart from site requirements. However, transit cost subsidies have been found to be an effective way to facilitate transit use by employees. While it is a challenge for a municipality to ensure that transit cost subsidies are instituted and administered well by building occupants, the proposed capacity improvements fee might be the vehicle for ensuring an effective cost subsidy program.



- Promoting certain uses over others – the percentages of total floor area allowed for each use within the draft mixed use overlay equate to a desire to encourage some uses more than others. Those percentages are also roughly proportional to each use’s adaptability to transit use, and the degree to which each use is supportive of office use. Otherwise, traffic neutrality, and the market (demand, risk, return) should be allowed to work. However, if the Board wants to encourage particular uses to a greater extent, the Board will first want to determine which uses are most preferred. If there are uses contained in the draft that the Board does not desire, then the Board should consider eliminating them rather than just “discouraging” them.
- Lot cover – under the proposed draft zoning amendment, lot coverage of 45% is proposed. Under the current PLO regulations, 55% is allowed. On a site the size of the 18.28 acre BioMed site, the reduced lot coverage means nearly 80,000 square feet of additional green space. On a site the size of the 8.34 acre Penn Medicine site, the reduced lot coverage means nearly 35,000 square feet of additional green space.

I look forward to further discussion of the proposed draft amendment at your May 11 meeting. Once the Board reaches consensus on additions and changes to be made to the draft amendment, those modifications can be made and the amendment readied for referral to others as determined by the Board. If there are any questions in the meantime, please let me know.

H:\Projects\10144\101442010\CivMun\memo-boc-followup to 042715 feedback-050415.docx



We answer to you.

3020 Columbia Avenue, Lancaster, PA 17603 • Phone: (800) 738-8395  
E-mail: [rettew@rettew.com](mailto:rettew@rettew.com) • Web site: [rettew.com](http://rettew.com)

Engineers  
Planners  
Surveyors  
Landscape  
Architects  
Environmental  
Consultants

## REQUIRED STANDARDS FOR MIXED USE OVERLAY AMENDMENT TO THE PLANNED LABORATORY OFFICE (PLO) ZONING DISTRICT – RADNOR TOWNSHIP

The Radnor Township Zoning Ordinance is amended by adding the following Definitions:

**BUSINESS DEVELOPMENT SIGN** - an on-premises sign located along the road frontage which announces the nature, purpose, or name of the building/enterprise/complex.

**BUSINESS DIRECTORY SIGN** – a sign giving multiple names, logos or trademarks, and/or address of a building housing more than one business on the premises where it is located.

**GROSS FLOOR AREA** - The sum of the horizontal floor area(s) of a building or group of buildings on a site, measured from the exterior faces of the building(s). The calculation of Gross Floor Area shall not include parking structures.

**INTERNAL ILLUMINATION:** - A light source that is concealed or contained within the sign and becomes visible in darkness through a translucent surface. Message center signs, digital displays, and signs incorporating neon lighting shall not be considered as internally illuminated.

**LANDSCAPE STRIP** – a strip of required yard space adjacent to the boundary of a property or district, not less in depth than designated in this chapter, which is landscaped for the full depth and includes lawn grasses, ground cover vegetation, and a Buffer Screen equivalent to that described in the Radnor Township Subdivision Ordinance under Buffer Screen Class A, first option, all informally arranged.

**LOT COVERAGE** – A measure of the intensity of the use of a piece of land measured as that portion or percentage of the total site area covered with structures, buildings, driveways, parking areas, loading facilities, bicycle/pedestrian pathways, patios, decks, and other similar types of structures as well as improved surfaces. Includes the water surface area of swimming pools.

**SITE** – A parcel or parcels of adjoining land under common ownership on which a principal building or, when authorized, a unified group of buildings and any accessory buildings are or may be placed, together with the required open spaces and rights-of-way.

**STREET LINE** – The required right-of-way in accordance with the Subdivision and Land Development Ordinance (SALDO) of the Township of Radnor, as amended.

**TOTAL SITE AREA** – The gross area of a lot or lots as described in the deeds or from an actual survey included as part of an application excluding the area of any public streets or rights-of-way.

The PLO zoning district, Section 280-63, Use Regulations, is amended as follows:

By modifying subsection C(5) to read:

A parking structure. Parking structures may be constructed above or below ground, be located wholly or partly within the principal building(s), be attached to and made a part of the principal building(s), or constructed as a detached accessory structure. Parking spaces within structures may be reduced to not less than 9 feet in width by 19 feet in depth, exclusive of aisles, for each motor vehicle.

By adding a new subsection 280-63.D to read:

D. Mixed Use Overlay (to enable mixed use development as a permitted use in addition to the currently permitted uses in the PLO of office and laboratory) in accordance with and pursuant to the regulations and requirements set forth below:

1. **Location** - the overlay applies to all properties in the PLO.
2. **Uses** – a building(s), structure(s), or a combination thereof may be erected, used, or occupied for any one or more of the following purposes:
  - a. Any use or accessory use permitted in the PLO zoning district.
  - b. Medical Office.
  - c. Hotel including Extended Stay, which may contain restaurant and banquet space.
  - d. Restaurant.
  - e. Multiple Family Development, including Age Targeted Senior Living Housing, that may involve associated amenities including but not limited to an accessory community center, swimming pool, and/or self-serve laundry facilities, all of which are for the use of residents only.
  - f. Retail store(s) with individual gross floor area not to exceed 10,000 square feet.
  - g. Personal or retail service shop(s) with individual gross floor area not to exceed 10,000 square feet.
  - h. Health/Fitness/Recreation Center.
  - i. Motion Picture Theatres.
  - j. Bank or similar financial institution.
  - k. Skilled Nursing and/or Assisted Living Facility.
  - l. Out-Patient Surgical Center.
  - m. Accessory Uses and structures customarily incidental to the foregoing permitted uses.

No use shall include a drive-in/drive thru/drive up service.

Any change in use, expansion of a use, building, structure, or parking area, or the addition of a new use or building to an approved Mixed Use Development shall require a new zoning approval.

3. **Dimensional Regulations**
  - a. Front Yard Setback – Buildings, structures, surface parking areas, and service and/or interior vehicular access roadways shall be set back 100 feet from the street line of every public street they abut. Entrance driveways and sidewalks may cross through the front yard setback.



- b. Side and Rear Yard Setbacks – Buildings and structures shall be set back from every side and rear yard property line at least 50 feet. These requirements may be reduced according to the following:
  - 1) Side and rear yards for buildings and structures abutting railway rights-of-way, easements, or owned property shall not be less than 25 feet.
  - 2) Side yards for buildings and structures abutting uses in the PLO zoning district shall not be less than 25 feet.
- c. Surface Parking Areas shall be located at least 25 feet from a side or rear yard property line. Surface parking related driveways, and service and/or interior vehicular access roadways shall be located at least 15 feet from a side or rear yard property line.
- d. Accessory Structures, including parking structures, shall meet the required yard setback of a principal structure.
- e. Along any property line which adjoins an existing residential zoning district or use, buildings, structures, surface parking areas, and service and/or interior vehicular access roadways shall be set back at least 100 feet from the adjoining zoning district boundary, except where a property abuts railway rights-of-way, easements, or owned property, or a limited access highway in which case the setback shall be at least 25 feet.
- f. Maximum Building Area – no more than 30% of the Total Site Area may be covered by buildings and structures.
- g. Maximum Lot Coverage - 45% of the Total Site Area.
- h. Height requirements.
  - 1) No building shall exceed 85 feet or 6 stories in height.
  - 2) No stand-alone Parking Structure or other accessory structure shall exceed 45 feet in height.
  - 3) Building and structure height shall be measured from existing grade, not from improved or finished grade.
- i. Riparian Buffer Setback - 35 feet.
- j. Buffer and Landscaping
  - 1) Along each public street, except for a limited access highway, a landscape strip not less than 75 feet in depth shall be provided. Storm water management areas, entrance driveways, and sidewalks are permitted to cross the strip.
  - 2) Along any property line which adjoins an existing residential zoning district or use, a buffer planting strip of not less than 100 feet in depth shall be planted and maintained, except where a railway right-of-way, easement, or owned property, or a limited access highway intervenes between a PLO-zoned property and a residential zoning district or use in which case the planting buffer strip shall be equal in depth to that of the setback provided which shall be at least 25 feet. Storm water management areas, entrance driveways, and sidewalks are permitted to cross the strip.
- k. Building Spacing - The distance at the closest point between any two buildings shall not be less than 45 feet. There is no required minimum distance between a building and a parking structure.

- I. Building Size – no building shall exceed 175 feet in depth. The length of a building may extend up to 300 feet, provided that in the event that one or more of the facades exceed(s) 175 feet, at least one of those facades must contain: 1) one horizontal step back across the entire length of the façade of at least 40 feet that occurs such that at least 33⅓% of the building stories shall be located above the step back level; or, 2) one vertical step back along the entire height of the building of at least 40 feet in depth at an angle of approximately 90 degrees; or, 3) a turn in the front façade of at least 35 degrees at one point along that dimension.

#### 4. Special Regulations.

##### a. Floor Area Regulations.

- 1) The Gross Floor Area permitted on the Site shall be that which achieves “traffic neutrality”. Traffic neutrality is defined as the square footage proposed under this Mixed Use Overlay regulation that generates total trips in the AM and PM peak hours according to the latest trip generation rate tables of the Institute of Transportation Engineers (ITE) that do not exceed the greater of either:
  - a) The total trips generated [by a strictly General Office use of the square footage of the building(s) existing on the subject site as of the effective date of this ordinance] in the AM and PM peak hours according to the latest trip generation rate tables of the Institute of Transportation Engineers (ITE).
  - b) The total trips generated by the existing buildings on the subject site in the AM and PM peak hours according to a traffic counts study of the subject site conducted at a point in time determined by the Township’s Traffic Engineer. No reduction factors shall be applied to trip generation rates as part of determining “traffic neutrality”.
- 2) For Sites less than 10 acres: There shall be no minimum number of the Uses established as part of the Mixed Use Development. For applications proposing more than one use, the maximum gross floor area of such Use(s) shall not exceed the following percentages:
  - a) A maximum of 75% of the permitted gross floor area may be designated for Office Uses.
  - b) A maximum of 75% of the permitted gross floor area may be designated for Hotel Use.
  - c) A maximum of 35% of the permitted gross floor area may be designated for Multiple Family Development Uses.
  - d) A maximum of 10% of the permitted gross floor area may be designated for Retail and/or Restaurant Uses.
  - e) A maximum of 35% of the permitted gross floor area may be designated for All Other Subordinate Uses.
- 3) For Sites 10 acres or larger: There shall be a minimum of three (3) Subordinate Uses established as part of the Mixed Use Development. The maximum gross floor area of such Subordinate Use shall not exceed the following percentages:
  - a) A maximum of 65% of the permitted gross floor area may be designated for Office Use.

- b) A maximum of 35% of the permitted gross floor area may be designated for Hotel Use.
  - c) A maximum of 35% of the permitted gross floor area may be designated for Multiple Family Development Use.
  - d) A maximum of 10% of the permitted gross floor area may be designated for Retail and/or Restaurant Uses.
  - e) A maximum of 35% of the permitted gross floor area may be designated for all other uses.
- b. Multiple Family Development Use - the minimum percentage of One-Bedroom dwellings units comprising any Multiple Family Development Use shall be sixty-five percent (65%).
  - c. All building mechanical systems such as air conditioning units, exhaust systems, satellite dishes, fire escapes, elevator housing, and other similar elements (including dumpsters) shall be integrated into the overall design and character of the building and screened from view. In addition, sound attenuation devices shall be installed on all equipment to minimize noise pollution at any adjacent residential property line.
  - d. Site Lighting - light fixtures shall be shielded to reduce light spillage beyond the extent of the property line; provided, however, that at no point shall any light trespass onto adjacent residential properties that exceeds 0.1 foot-candles at the residential property line. No light shall trespass onto adjacent non-residential properties that exceeds 1.0 foot-candles at the non-residential property line. All proposed exterior site and building-mounted lighting shall meet the International Dark-Sky Association (IDA) full cutoff requirements.
  - e. Site Amenities to Promote Transit Use
    - 1) Wayfinding signage shall be provided to clearly identify on-site pedestrian walks, trails, and other facilities and provide direction to and from nearby transit facilities
    - 2) Pedestrian scaled lighting shall be positioned along on-site pedestrian walks and trails such that lighting levels along them maintain a consistent 0.3 foot-candles.

**5. Off-Street Parking and Loading Requirements.**

- a. Motor Vehicle Parking. All parking space used for parking motor vehicles shall measure not less than 9 feet by 19 feet. Upon approval by the Board of Commissioners, up to 25% of the total number of parking spaces may be designated as compact, which shall measure no less than 8 feet by 16 feet.
- b. Required Number of Parking Spaces. Unless otherwise approved in accordance with provisions of this subsection, the following requirements shall be met:
  - 1) Residential Units – a minimum of 1.2 spaces per dwelling unit.
  - 2) All other permitted uses shall provide parking in accordance with § 280-103.B of the Zoning Code.
  - 3) A banquet facility which is part of a Hotel or Restaurant shall provide parking in accordance with § 280-103.B of the Zoning Code.
- c. Off street loading shall comply with § 280-104.
- d. The applicant shall designate at least one (1) space for carpooling for every fifty (50) automobile parking spaces. These spaces shall be those next closest in proximity to building entrances after those provided for ADA parking. The

applicant shall provide at least five (5) preferred carpooling parking spaces and shall not be required to provide more than twenty-five (25) preferred carpooling spaces. The applicant shall determine the minimum number of vehicle occupants that will constitute a car pool.

- e. The applicant shall provide bicycle facilities at a ratio of at least one (1) bicycle space/rack for every twenty (20) automobile parking spaces. These spaces/racks shall be located within a principal or accessory structure or in an area shielded from the weather no more than fifty (50) feet from the entrance of a principal building. Each space/rack shall include a metal anchor sufficient to secure the bicycle frame when used in conjunction with a user-supplied lock. The applicant shall provide at least three (3) spaces/racks and shall not be required to provide more than fifty (50) spaces/racks. The applicant shall also provide, as part of the bicycle facilities, lockers and showers within the office/mixed use buildings for use by tenants and their employees.
- f. The applicant shall implement a car share program on-site to provide an incentive not to drive to work and to utilize the mass transit system, by making a car available for business trips during the working day. The applicant shall provide a minimum of 1% of the total number of off-street parking spaces proposed on the site to be dedicated to the car share program. The applicant shall provide at least three (3) cars and spaces and shall not be required to provide more than fifteen (15) cars and spaces. The car share program shall be with a nationally recognized car share organization/operator, unless the applicant can demonstrate to the satisfaction of the Board of Commissioners, in their sole discretion, that a local operator has the capabilities to provide a sustainable car share program. Tenants/occupants may provide their own fleet vehicles to serve the same purpose in lieu of their proportion of a site's car share program.
- g. Reduction in Parking and/or Loading Requirements: Two or more Subordinate Uses in a development may provide for required parking/loading in a common parking lot or loading area so long as the total of the spaces provided is not less than the total number of the spaces required for each use individually except, the Board of Commissioners may permit a reduction in the sum total of the required parking and/or loading for all of the Subordinate Uses based on the following:
  - 1) Where there are efficiencies derived by shared parking and/or loading for uses which have complementary peak demands, the applicant shall submit parking/loading generation data, based upon standard methodology (such as that published by the Urban Land Institute or from actual studies within the region or regions with similar access to transit) sufficient for the Township to determine the appropriate reduction. The applicant shall adequately demonstrate to the Board that the hours or days of peak parking or loading needed by the individual uses are so different or the documented projected use of transit is significant enough that a lesser number of spaces or berths will still provide adequate parking/loading for all uses proposed as part of the application. The required number of off-street parking or loading spaces shall not be reduced by more than 25%.

- 6. **Signs.** In addition to the regulations set forth in Article XXI of this Chapter, the following provisions shall apply to all signs in the Mixed Use Overlay. Only the signs listed below and signs listed under Section 280-120, Exempt Signs, are permitted within the Mixed Use Overlay.



- a. Business Development Signs
  - 1) One (1) development sign shall be permitted for every 500 feet of road frontage or portion thereof. However, no more than two (2) such signs shall be permitted.
  - 2) Shall not exceed 50 square feet in sign area.
  - 3) Shall not exceed 6 feet in height.
  - 4) May be placed within any required front yard; but no closer to the street line than ten (10) feet.
- b. Business Directory Signs
  - 1) Directory signs shall be located within the site so as to allow motorists to pull out of the flow of traffic and safely read the directory, or, shall be placed at the main entrance to a building.
  - 2) No more than one (1) directory sign per entrance driveway or per main entrance to a building shall be allowed.
  - 3) Directory signs shall not exceed twelve (12) square feet in sign area.
  - 4) Freestanding directory signs shall not exceed five (5) feet in height.
- c. Corporate Identification Signs
  - 1) Each building shall be permitted one (1) Corporate Identification Wall Sign not to exceed 140 square feet in sign area. Such sign shall be in addition to one permitted wall sign.
  - 2) Where there is more than one building on a property, only one (1) building may have an illuminated Corporate Identification Sign. Such sign may be illuminated with internal lighting designed so that when illuminated, only the letters and logos of the sign are visible. No light shall emanate through the background, the borders, sides or any other surface of the sign or its supporting structure.
  - 3) A Corporate Identification Sign shall be placed no higher than or extend above any cornice, parapet wall, or building façade.
  - 4) A Corporate Identification Sign shall be limited to a single entity's name and/or business logo.
- d. Wall Sign
  - 1) Each building shall be permitted one (1) Wall Sign not to exceed one hundred (100) square feet. Such sign shall be in addition to one permitted Corporate Identification Sign.
  - 2) In no case shall a Wall Sign exceed a sign height of fifteen (15) feet or project above any cornice, roofline, parapet wall, or building façade.
- e. Instructional Signs
  - 1) Instructional Signs shall not exceed thirty (30) square feet in sign area or a sign height of six (6) feet.
  - 2) Instructional Signs may be illuminated but shall not blink, flash, or be animated.
- f. Directional Signs
  - 1) Shall not exceed four (4) square feet in sign area.
  - 2) Sign height shall not exceed three (3) feet.

3) Directional Signs may be illuminated but shall not blink, flash, or be animated.

g. Real Estate Signs

1) Signs advertising the sale, rental or development of property or units shall not exceed twenty (20) square feet in area.

2) Shall not exceed a sign height of six (6) feet.

3) No more than one (1) real-estate sign shall be permitted on each street frontage.

4) Shall be non-illuminated.

7. **Outdoor Dining** - shall be permitted as part of a restaurant, banquet facility, or an accessory dining facility, subject to the provisions of Section 280-115.3A of the Zoning Code.

### **Capacity Improvements Fee (to be incorporated into the Township's Subdivision Ordinance)**

Current and future traffic to and from PLO zoned properties impacts traffic flow throughout the PLO zoning district area and beyond, ultimately affecting owners', employees', clients', and visitors' ease of access to PLO zoned properties. An applicant who chooses to develop under the Mixed Use Development option shall be obligated to pay a 'capacity improvements fee' of \$2.00 per square foot of gross floor area to be developed or occupied. Such fee will be deposited into a dedicated fund for capacity improvements within a travel area surrounding the PLO zoning district. Such travel area will include the following intersections as well as the roadways connecting them and any other intervening signalized intersections:

- Lancaster Avenue and the I-476 interchange
- Lancaster Avenue and King of Prussia Road
- Lancaster Avenue and Radnor-Chester Road
- King of Prussia Road and Radnor-Chester Road
- King of Prussia Road and Matsonford Road
- King of Prussia Road and Eagle Road

The funds deposited into the capacity improvements dedicated fund shall be used for traffic improvements at intersections and along roadways within the travel area delineated above as determined appropriate by Radnor Township.