



**Community Development
Department**

**DESIGN REVIEW BOARD AGENDA
Wednesday, July 12, 2017
6:00 P.M.**

1. Call to Order
2. Pledge of Allegiance
3. New Business
 - a. DRB 2017-19 DAS Architects for Michael O'Neill (continued)
217 E. Lancaster Avenue
Wayne, PA 19087
Zoned: WBOD
Above ground garage
 - c. DRB 2017-20 Urban Neon for Bernie Robbins Jeweler (continued)
775 E. Lancaster Avenue
Villanova, PA 19085
Zoned: C1
Window Sign
 - d. DRB 2017-21 Tribe Main Line (continued)
396 W Lancaster Avenue
Wayne, PA 19087
Zoned: C2
Wall Signs (2)
 - e. DRB 2017-22 Giant (continued)
550 E. Lancaster Avenue
St. Davids, PA 19087
Zoned: PB
Façade Renovation
 - f. DRB 2017-23 Michael J. Kelly & Son Inc. (continued)
208 N. Wayne Avenue
Wayne, PA 19087
Zoned: R5
Freestanding Sign
 - g. DRB 2017-24 Neighborhood League Shops (continued)
189-191 Lancaster Avenue
Wayne, PA 19087
Zoned: WBOD
Façade Renovation

The next meeting of the DRB is scheduled for August 9, 2017 at 6:00 p.m. Applications for the August 9, 2017 meeting must be submitted on or before July 19, 2017.



**Community Development
Department**

**DESIGN REVIEW BOARD AGENDA
Wednesday, July 12, 2017
6:00 P.M.**

- h. DRB 2017-25 Saffron Indian Kitchen (continued)
522 W. Lancaster Avenue
Wayne, PA 19087
Zoned: C2
Outdoor Dining
- i. DRB 2017-26 Forman Sign for Euro Coachworks (continued)
326 Belrose Lane
Wayne, PA 19087
Zoned: R3
Wall Sign
- j. DRB 2017-27 Eadeh Enterprises (continued)
167 W. Lancaster Avenue
Wayne, PA 19087
Zoned: WBOD
Façade Renovation
- k. DRB 2017-28 Academy of Notre Dame de Namur (continued)
Center for Stem Education
560 Sproul Road
Villanova, PA 19085
Zoned: PI
New Building
- l. DRB 2017-29 Radnor Township
Unkefer Park
Lancaster Ave and Airdale Road
Rosemont, PA 19010
Zoned: PLU
Ground Sign
- m. DRB 2017-30 Hope Chest, LTD
104 E. Lancaster Avenue
Wayne, PA 19087
Zoned: WBOD
Awning

The next meeting of the DRB is scheduled for August 9, 2017 at 6:00 p.m. Applications for the August 9, 2017 meeting must be submitted on or before July 19, 2017.



Community Development
Department

DESIGN REVIEW BOARD AGENDA
Wednesday, July 12, 2017
6:00 P.M.

- n. DRB 2017-31 MRC Signs
165 W. Lancaster Avenue
Wayne, PA 19087
Zoned: WBOD
Wall Sign

 - o. DRB 2017-32 Jefferson Health
789 E. Lancaster Avenue
Villanova, PA 19085
Zoned: C1
Wall Signs (3)
-
- 4. Old Business
 - 5. Public Participation
 - 6. Adjournment

The next meeting of the DRB is scheduled for August 9, 2017 at 6:00 p.m. Applications for the August 9, 2017 meeting must be submitted on or before July 19, 2017.

TOWNSHIP OF RADNOR
DESIGN REVIEW BOARD

TOWNSHIP USE ONLY

APPLICATION NO: 2017-29

FEE PAID: _____

RECEIVED: 6/20/17

APPLICATION FORM

GENERAL INFORMATION: Meetings of the Design Review Board are held the **second Wednesday of each month at 6:00 P.M. in the Township Municipal Building. All applicants must attend this meeting.** Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of **twenty-one (21)** calendar days prior to the meeting. **Incomplete or late applications will not be accepted.** Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

Please refer to the Consolidated Fee Schedule, as amended, on our website at www.radnor.org for a copy of our current fees.

APPLICANT NAME: Radnor Township

PROPERTY

ADDRESS: Unkefer Park Lancaster Avenue and Airdale Road , Rosemont, PA 19010

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?

MAILING ADDRESS: (if different than above): 301 Iven Avenue

TELEPHONE NO: (610) 688 - 5600

Email: rzienkowski@radnor.org

PROPERTY OWNER: Radnor Township

SIGN MANUFACTURER / CONTRACTOR / ARCHITECT:

ADDRESS: _____

TELEPHONE: (_____) _____ - _____

Please provide a detailed description of proposal:

Ground Sign for Unkefer Park

Signs (check all that apply):

- | | | |
|---|-----------|---------|
| <input checked="" type="checkbox"/> Ground Sign | How many? | 1 _____ |
| <input type="checkbox"/> Wall Sign | How many? | _____ |
| <input type="checkbox"/> Freestanding Sign | How many? | _____ |
| <input type="checkbox"/> Window Sign | How many? | _____ |
| <input type="checkbox"/> Awning | How many? | _____ |

Submission requirements (All of the following, that apply, MUST be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering of sign (*drawn to scale & include material type*)- **6 copies**
- Paint chip or exact color number to be used- **required.**
- Current photographs of site showing existing building and signage - **6 copies**
- Lighting Plan (including fixture detail; light cuts) - **6 copies**
- Landscape Plan (including types) - **6 copies**
- Attachment Plan - **6 copies**
- Sign Area Compliance Calculations - (calculations demonstrating compliance with sign area regulations in Zoning Ordinance) - 6 copies**
- Electronic submission in PDF form

Other (check all that apply):

- Façade Renovation
- Building Addition/Accessory Structures
- New Building
- Telecommunication Antennas

Submission requirements (All of the following, that apply, MUST be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
***Note* Removal of trees may need to be reviewed by the Shade Tree Commission.
Please refer to Chapter 263 in the Township Code.**
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material sample
- Electronic submission in PDF form

OUTDOOR DINING:

Submission requirements (All of the following **MUST** be submitted with application):

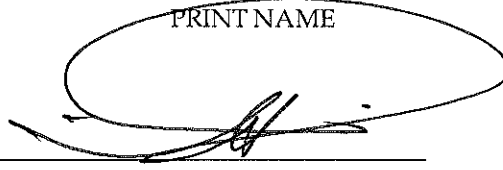
- A detailed/sketched site plan on 8 ½ x 11 paper, but not to exceed 24 X 36.
All sidewalk obstruction shall be noted and detailed dimensions shall be clearly shown - **6 copies**
- A photograph of your proposed Outdoor Dining area. - **6 copies**
- A photograph or vendor specification of proposed furniture. - **6 copies**
- A photograph or vendor specification of proposed barrier and detail of how far it will extend onto the sidewalk - **6 copies**
- Description of proposed outdoor furniture which must include quantity, colors, materials, types of the following; chairs, tables, umbrellas, heaters, barriers. - **6 color copies**
- Electronic submission in PDF form

NOTE: All information must be separated into 6 individual packets. Please be sure ALL items on checklists are included in application packets. If all items are not included, the application will NOT be accepted.

I hereby certify that I am the legal owner of the subject property as set forth in this application:

DATE

Robert A. Zienkowski

PRINT NAME


SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

DATE

PRINT NAME

SIGNATURE

NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.

TOWNSHIP OF RADNOR
DESIGN REVIEW BOARD

TOWNSHIP USE ONLY
APPLICATION NO: 2017-30
FEE PAID: 100 RECEIVED: 6/19/17

APPLICATION FORM

GENERAL INFORMATION: Meetings of the Design Review Board are held the **second Wednesday of each month at 6:00 P.M. in the Township Municipal Building. All applicants must attend this meeting.** Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of **twenty-one (21)** calendar days prior to the meeting. **Incomplete or late applications will not be accepted.** Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

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APPLICANT NAME: Donna M. Goetz / Hope Chest, Ltd.

PROPERTY ADDRESS: 104 E Lancaster Ave. ~~in~~ Wexley PC

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?
attached

MAILING ADDRESS: (if different than above): _____

TELEPHONE NO: (215) 859-0722 Email: jdgoetz@comcustwv

PROPERTY OWNER: J Jones

SIGN MANUFACTURER/CONTRACTOR/ARCHITECT:

mac curtis and sons

ADDRESS: 815 Rail Road Av, Bryn Mawr

TELEPHONE: (610) 519-0858 19010

Please provide a detailed description of proposal:

Putting new cover on existing frame
black awning w/ white script

Signs (check all that apply):

- | | | |
|--|-----------|----------|
| <input type="checkbox"/> Ground Sign | How many? | _____ |
| <input type="checkbox"/> Wall Sign | How many? | _____ |
| <input type="checkbox"/> Freestanding Sign | How many? | _____ |
| <input type="checkbox"/> Window Sign | How many? | _____ |
| <input checked="" type="checkbox"/> Awning | How many? | <u>1</u> |

Submission requirements (All of the following, that apply, MUST be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering of sign (*drawn to scale & include material type*)- **6 copies**
- Paint chip or exact color number to be used- **required.**
- Current photographs of site showing existing building and signage - **6 copies**
- Lighting Plan (including fixture detail; light cuts) - **6 copies**
- Landscape Plan (including types) - **6 copies**
- Attachment Plan - **6 copies**
- Sign Area Compliance Calculations - (calculations demonstrating compliance with sign area regulations in Zoning Ordinance) - 6 copies**
- Electronic submission in PDF form

Other (check all that apply):

- Façade Renovation
- Building Addition/Accessory Structures
- New Building
- Telecommunication Antennas

Submission requirements (All of the following, that apply, MUST be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
***Note* Removal of trees may need to be reviewed by the Shade Tree Commission. Please refer to Chapter 263 in the Township Code.**
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material sample
- Electronic submission in PDF form

OUTDOOR DINING:

Submission requirements (All of the following **MUST** be submitted with application):

- A detailed/sketched site plan on 8 ½ x 11 paper, but not to exceed 24 X 36.
All sidewalk obstruction shall be noted and detailed dimensions shall be clearly shown - **6 copies**
- A photograph of your proposed Outdoor Dining area. - **6 copies**
- A photograph or vendor specification of proposed furniture. - **6 copies**
- A photograph or vendor specification of proposed barrier and detail of how far it will extend onto the sidewalk - **6 copies**
- Description of proposed outdoor furniture which must include quantity, colors, materials, types of the following; chairs, tables, umbrellas, heaters, barriers. - **6 color copies**
- Electronic submission in PDF form

NOTE: All information must be separated into 6 individual packets. Please be sure ALL items on checklists are included in application packets. If all items are not included, the application will NOT be accepted.

I hereby certify that I am the legal owner of the subject property as set forth in this application:

4/5/17

DATE

DONNA Goetz

PRINT NAME



SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

DATE

PRINT NAME

SIGNATURE

NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.

TOWNSHIP OF RADNOR
DESIGN REVIEW BOARD

TOWNSHIP USE ONLY

APPLICATION NO: 2017-31

FEE PAID: 100 RECEIVED: 6/30/17

APPLICATION FORM

GENERAL INFORMATION: Meetings of the Design Review Board are held the **second Wednesday of each month at 6:00 P.M. in the Township Municipal Building.** All applicants must attend this meeting. Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of **twenty-one (21)** calendar days prior to the meeting. **Incomplete or late applications will not be accepted.** Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

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APPLICANT NAME: MRC Signs - Brittany Storz

PROPERTY ⁽¹⁶³⁾
ADDRESS: 165 West Lancaster Ave

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?
attached to another

MAILING ADDRESS: (if different than above): _____

TELEPHONE NO: (267) 988 - 4370 Email: Brittany@mrcsigns.net

PROPERTY OWNER: Eadeh Enterprises - Stacey Ballard

SIGN MANUFACTURER/CONTRACTOR/ARCHITECT:
MRC Signs

ADDRESS: 145 Railroad Dr, Ste C Warminster, PA 18974

TELEPHONE: (267) 988 - 4370

Please provide a detailed description of proposal:

MRC Signs to remove existing face of cabinet w/ channel letters. we will then refurbish cabinet face and install new channel letters on cabinet face.

Signs (check all that apply):

- | | | |
|---|-----------|----------|
| <input type="checkbox"/> Ground Sign | How many? | _____ |
| <input checked="" type="checkbox"/> Wall Sign | How many? | <u>1</u> |
| <input type="checkbox"/> Freestanding Sign | How many? | _____ |
| <input type="checkbox"/> Window Sign | How many? | _____ |
| <input type="checkbox"/> Awning | How many? | _____ |

Submission requirements (All of the following, that apply, MUST be submitted with application):

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- Attachment Plan - **6 copies**
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- Electronic submission in PDF form**

Other (check all that apply):

- Façade Renovation
- Building Addition/Accessory Structures
- New Building
- Telecommunication Antennas

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- Landscape plan - **6 copies** (max. size 24" X 36")
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- Lighting plan - **6 copies**
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- Material sample
- Electronic submission in PDF form**

OUTDOOR DINING:

Submission requirements (All of the following **MUST** be submitted with application):

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- Electronic submission in PDF form**

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I hereby certify that I am the legal owner of the subject property as set forth in this application:

DATE

PRINT NAME

SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

6/14/2017
DATE

Brittany Starz
PRINT NAME


SIGNATURE

NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.

TOWNSHIP OF RADNOR
DESIGN REVIEW BOARD

TOWNSHIP USE ONLY

APPLICATION NO: 2017-32

FEE PAID: 300

RECEIVED: 6/21/17

APPLICATION FORM

GENERAL INFORMATION: Meetings of the Design Review Board are held the second Wednesday of each month at 6:00 P.M. in the Township Municipal Building. All applicants must attend this meeting. Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of twenty-one (21) calendar days prior to the meeting. Incomplete or late applications will not be accepted. Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

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APPLICANT NAME: Ernesto Betancourt, R.A., Senior Project Manager, Thomas Jefferson University

PROPERTY

ADDRESS: 789 East Lancaster Avenue, Villanova, P.A. 19085

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?

Stand alone building partially leased by Jefferson Health Marcus Institute of Integrative Health

MAILING ADDRESS: (if different than above): 130 S. 9th Street, Philadelphia PA, 19107

TELEPHONE NO: (215) 569 - 4292

Email: bpeanasky@klehr.com

PROPERTY OWNER: Enrico Partners, Inc.

SIGN MANUFACTURER/CONTRACTOR/ARCHITECT:

Wurz Sign Systems

ADDRESS: 801 Burlington Avenue, Delanco, NJ 08075

TELEPHONE: (856) 461 - 4397

Please provide a detailed description of proposal:

Applicant is lessee of a portion of the existing building. Application seeks approval for copy changes to existing signage located at the property as part of the rebranding of this location within the Thomas Jefferson University health system. The existing signs were previously reviewed and approved by the Design Review Board on November 11, 2015.

Signs (check all that apply):

- | | | |
|---|-----------|----------|
| <input type="checkbox"/> Ground Sign | How many? | _____ |
| <input checked="" type="checkbox"/> Wall Sign | How many? | <u>3</u> |
| <input type="checkbox"/> Freestanding Sign | How many? | _____ |
| <input type="checkbox"/> Window Sign | How many? | _____ |
| <input type="checkbox"/> Awning | How many? | _____ |

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Other (check all that apply):

- Façade Renovation
- Building Addition/Accessory Structures
- New Building
- Telecommunication Antennas

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- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
***Note* Removal of trees may need to be reviewed by the Shade Tree Commission. Please refer to Chapter 263 in the Township Code.**
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- Material sample
- Electronic submission in PDF form

OUTDOOR DINING:

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- A detailed/sketched site plan on 8 1/2 x 11 paper, but not to exceed 24 X 36.
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- Electronic submission in PDF form


NOTE: All information must be separated into 6 individual packets. Please be sure ALL items on checklists are included in application packets. If all items are not included, the application will NOT be accepted.

I hereby certify that I am the legal owner of the subject property as set forth in this application:

_____ SEE ATTACHED LETTER. _____
 DATE PRINT NAME

 SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

6/20/2017 _____ Ronald H. Patterson/Brett Peanasky _____
 DATE PRINT NAME
 _____  _____
 SIGNATURE

NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.

ENRICO PARTNERS, L.P.
SUITE 200 • BUILDING TWO
795 EAST LANCASTER AVENUE • VILLANOVA, PA • 19085
PHONE: (610) 520-4572 • FAX: (610) 520-1905

Radnor Township
Department of Community Development
301 Iven Avenue
Wayne, PA 19087-5297

March 11, 2016

*Re: Owner's Authorization of Property: 789 E Lancaster Ave., Villanova, PA
19085*

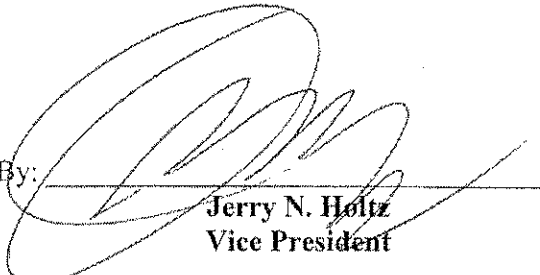
Dear Sir/Madam:

We, Enrico Partners, L.P., are the owners of the aforementioned property located at 789 E. Lancaster Ave., Villanova, PA 19085.

We hereby consent to Ronald J. Patterson, Esquire and Sean Whalen, Esquire of Klehr, Harrison, Harvey, Branzburg & Ellers, LLP to submit on behalf of Thomas Jefferson University Hospitals, Inc. ("TJU") proposed signage for TJU on the 789 E. Lancaster Ave., Villanova building – both front and rear – as illustrated on the Schedule attached herein.

Thank you for your consideration.

By: _____


Jerry N. Holtz
Vice President