

**TOWNSHIP OF RADNOR
DESIGN REVIEW BOARD**

TOWNSHIP USE ONLY	
APPLICATION NO: _____	
FEE PAID: _____	RECEIVED: _____

APPLICATION FORM

GENERAL INFORMATION: Meetings of the Design Review Board are held the **second Wednesday of each month at 6:00 P.M. in the Township Municipal Building. All applicants must attend this meeting!!** Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of **twenty-one (21)** calendar days prior to the meeting. **Incomplete or late applications will not be accepted!!** Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

Please refer to the Consolidated Fee Schedule, as amended, on our website at www.radnor.org for a copy of our current fees.

APPLICANT NAME: _____

PROPERTY ADDRESS: _____

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?

MAILING ADDRESS: (if different than above): _____

TELEPHONE NO: (_____) _____ - _____

PROPERTY OWNER: _____

SIGN MANUFACTURER / CONTRACTOR / ARCHITECT:

ADDRESS: _____

TELEPHONE: (_____) _____ - _____

Please provide a detailed description of proposal:

BUILDING ADDITION / ACCESSORY STRUCTURES:

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material samples

NEW BUILDING:

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material samples Material samples to be presented at meeting.

TELECOMMUNICATION ANTENNAS:

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Current photographs - **6 copies**

OUTDOOR DINING:

Submission requirements (All of the following **MUST** be submitted with application):

- A detailed/sketched site plan on 8 ½ x 11 paper, but not to exceed 24 X 36. All sidewalk obstruction shall be noted and detailed dimensions shall be clearly shown. (See attached sample site plan.) – **6 copies**
- A photograph of your proposed Outdoor Dining area. – **6 copies**
- A photograph or vendor specification of proposed furniture. – **6 copies**
- A photograph or vendor specification of proposed barrier and detail of how far it will extend onto the sidewalk – **6 copies**
- Description of proposed outdoor furniture which must include quantity, colors, materials, types of the following; chairs, tables, umbrellas, heaters, barriers. – **6 color copies**

NOTE: All information must be separated into 6 individual packets. Please be sure ALL items on checklists are included in application packets. If all items are not included, the application will NOT be accepted.

I hereby certify that I am the legal owner of the subject property as set forth in this application:

DATE

PRINT NAME

SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

DATE

PRINT NAME

SIGNATURE

NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.

4/11/13

VMA RAMSA

ARCHITECT-OF-RECORD
 Voith & Mactavish Architects LLP
 2401 Walnut Street, 6th Floor
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 fax: 215-545-3299
 www.voithandmactavish.com

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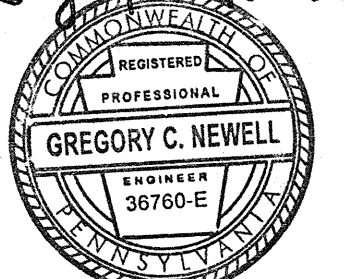
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 phone main: 856-433-6380
 phone cell: 267-303-3753
 www.sikora-wa.com

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 Zipf Associates Inc.
 25 Bala Avenue, Suite 201
 Bala Cynwyd, PA 19004
 phone: 610-667-1777
 fax: 610-667-0216

Gregory C. Newell


FINAL LAND DEVELOPMENT SUBMISSION

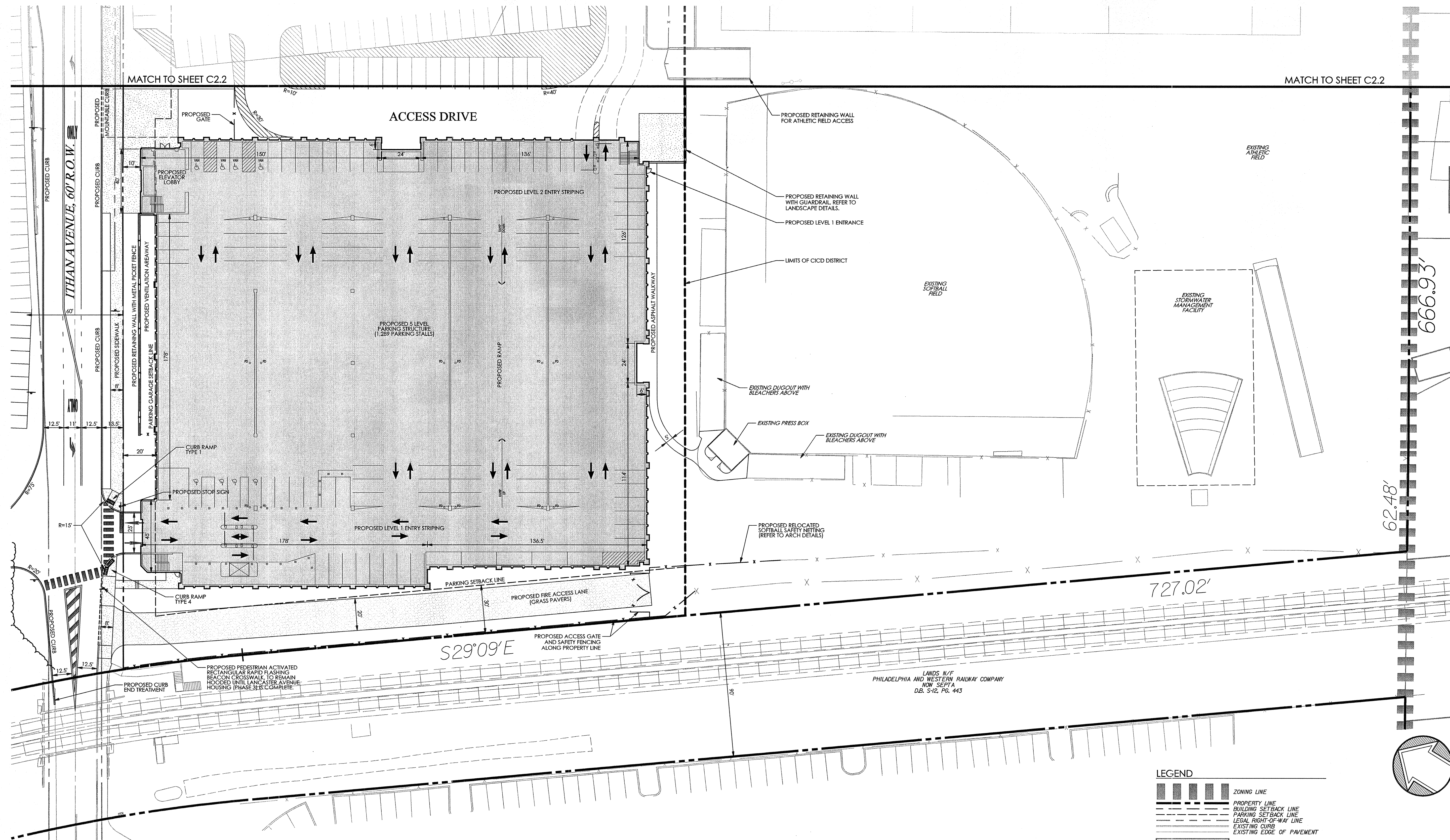
Revision #4 August 10, 2015
 Date March 6, 2015
 Title Site Plan

Scale 1" = 30'
 Drawn By DWN

C2.1

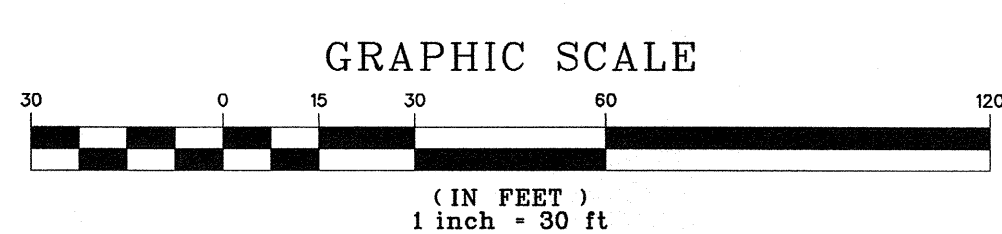
Sheet No. 6 of 37

Contractor to verify all dimensions in field and inform
 Architect of any discrepancies before starting work.

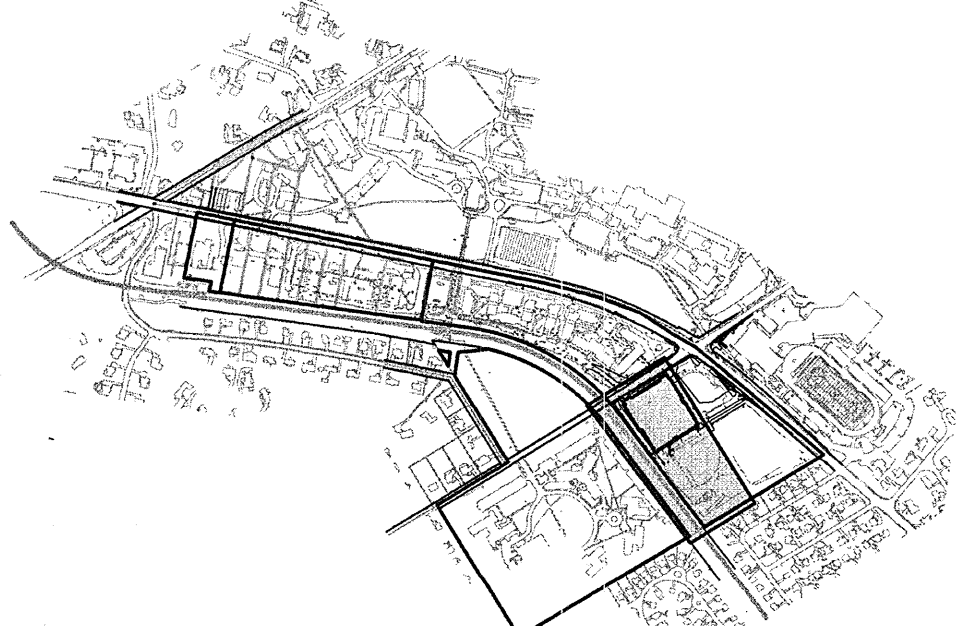


LEGEND

	ZONING LINE
	PROPERTY LINE
	BUILDING SETBACK LINE
	PARKING SETBACK LINE
	LEGAL RIGHT-OF-WAY LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING CONC. SIDEWALK OR PAD
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING SIGN
	EXISTING RAILROAD TRACKS
	EXISTING WETLANDS
	EXISTING LIGHT STANDARDS
	EXISTING TRAFFIC SIGNAL MAST ARM
	LIMITS OF CID DISTRICT
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED CURB
	PROPOSED DEPRESSED OR MOUNTABLE CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED STRUCTURE
	PROPOSED CONCRETE SIDEWALK OR PAD
	PROPOSED SAFETY FENCE
	PROPOSED RETAINING WALL
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED STORMWATER MANAGEMENT AREA (SWM)



APPLICATION TO INSTALL A PEDESTRIAN ACTIVATED RECTANGULAR RAPID FLASHING BEACON AT THE ALDWIN LANE / SOUTH CAMPUS CROSSWALK ALONG ITHAN AVENUE



KEY MAP
 SCALE: 1" = 1,000'

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 20112071869
 20112071907
 20112071937
 20112071972
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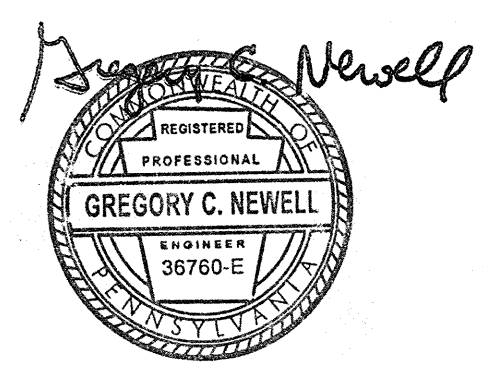
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FINAL LAND DEVELOPMENT SUBMISSION

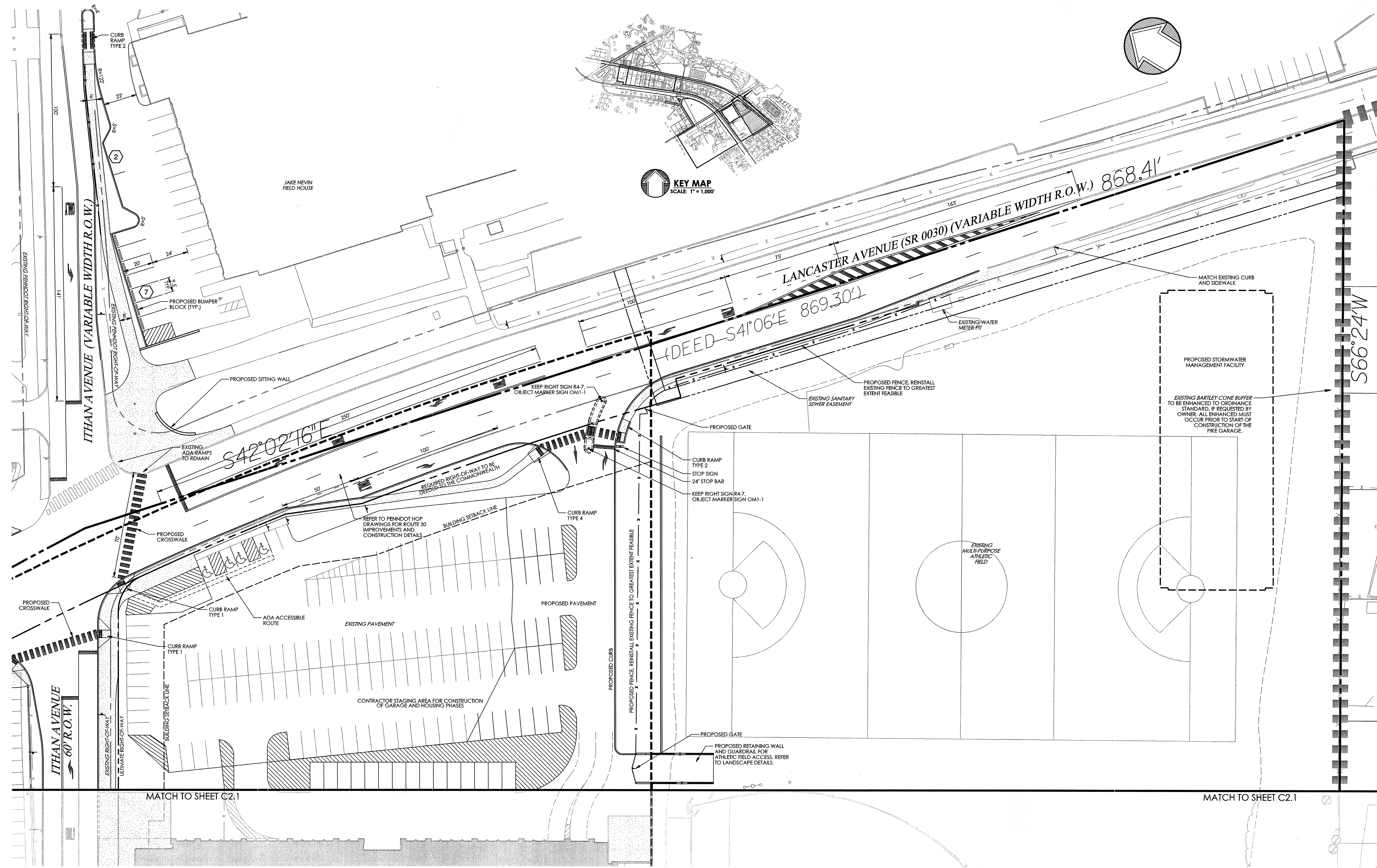
Revision #4 August 10, 2015
 Date March 6, 2015
 Title Site Plan

Scale 1" = 30'
 Drawn By DWN

C2.2

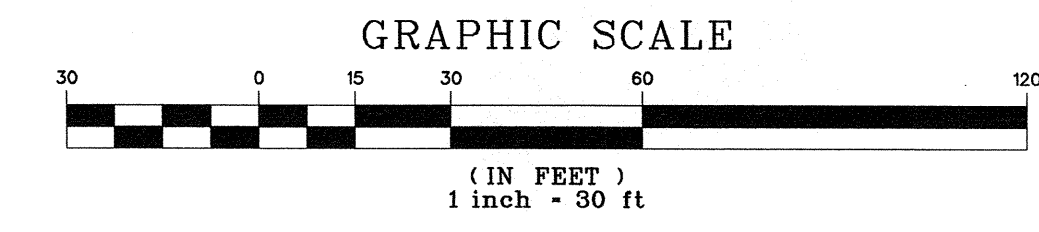
Sheet No. 7 of 37

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



LEGEND

	ZONING LINE		LIMITS OF CID DISTRICT
	PROPERTY LINE		PROPOSED RIGHT-OF-WAY LINE
	BUILDING SETBACK LINE		PROPOSED CURB
	LEGAL RIGHT-OF-WAY LINE		PROPOSED DEPRESSED OR MOUNTABLE CURB
	EXISTING CURB		PROPOSED EDGE OF PAVEMENT
	EXISTING EDGE OF PAVEMENT		PROPOSED STRUCTURE
	EXISTING TREE		PROPOSED CONCRETE SIDEWALK OR PAD
	EXISTING FENCE		PROPOSED SAFETY FENCE
	EXISTING RETAINING WALL		PROPOSED RETAINING WALL
	EXISTING SIGN		PROPOSED SIGN
	PROPOSED ADA PARKING SPACE		PROPOSED BUMPER BLOCK



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 20112071907
 20112071939
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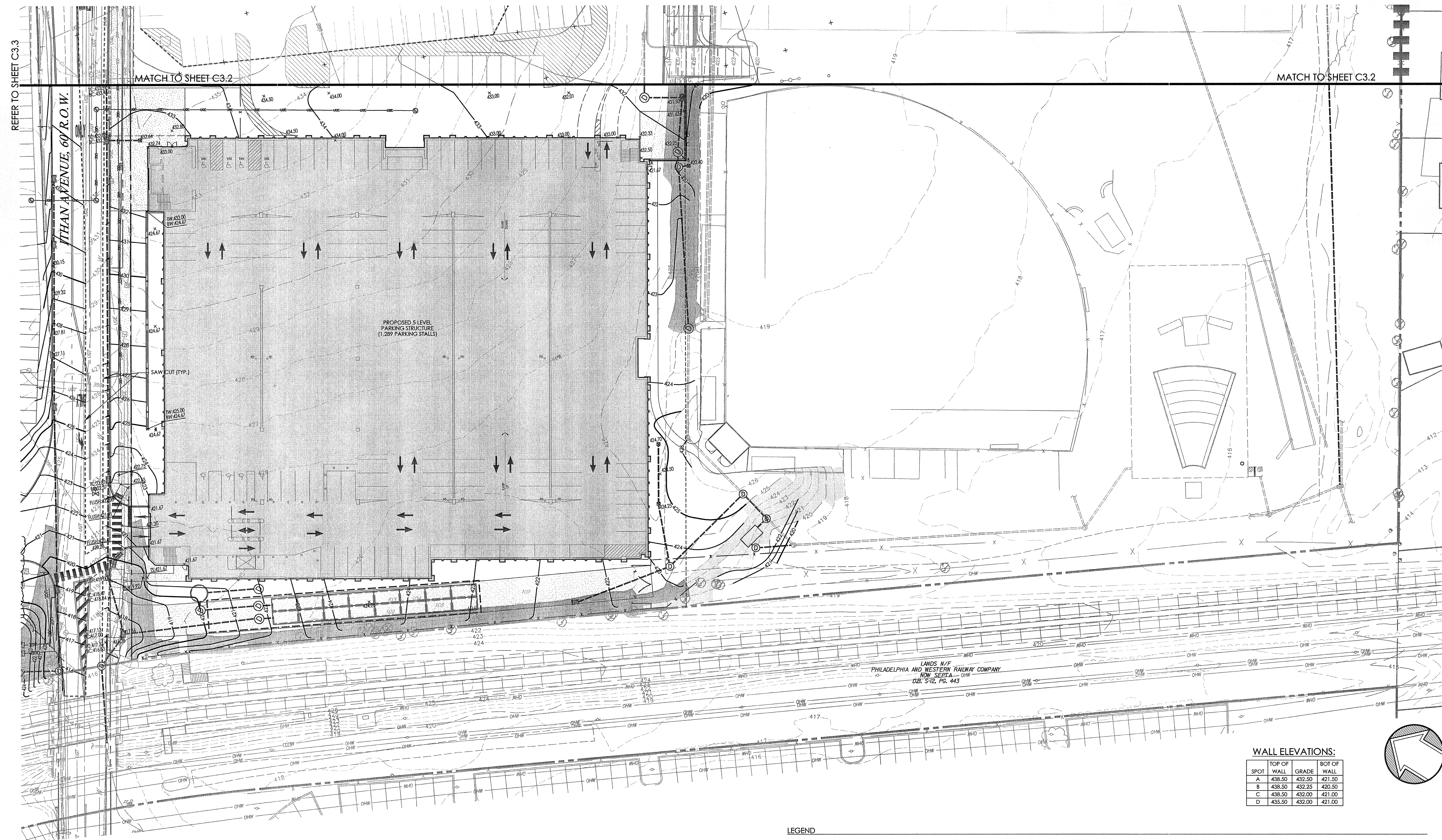
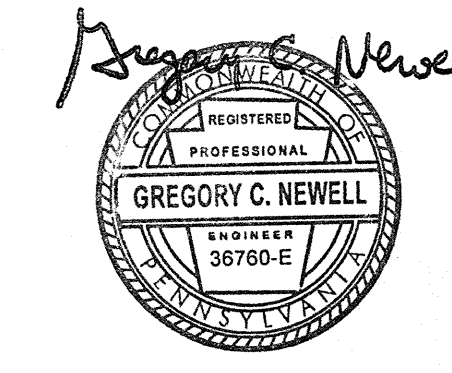
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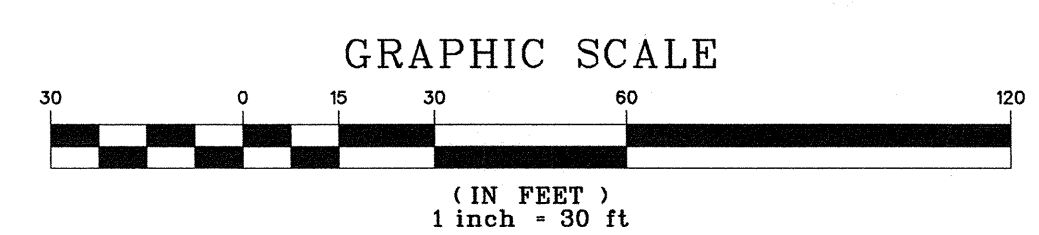
WALL ELEVATIONS:

SPOT	TOP OF WALL	GRADE	BOT OF WALL
A	438.50	432.50	421.50
B	438.50	432.25	420.50
C	438.50	432.00	421.00
D	435.50	432.00	421.00

- GRADING NOTES:**
- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
 - IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICT.
 - SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT, PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
 - SUBBASE MATERIAL FOR SIDEWALKS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 98% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
 - CONTRACTOR TO UTILIZE APPROPRIATE CONSTRUCTION TECHNIQUES TO PROTECT THE PROPOSED INFILTRATION PRACTICE OF THE STORMWATER BASIN. UNDER NO CIRCUMSTANCES IS THE INFILTRATION AREA TO BE COMPACTED, ROLLED, OR HAVE HEAVY EQUIPMENT OPERATING WITHIN THE EXCAVATED PERIMETER.
 - PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION AND/OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
 - SITE CLEARING SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
 - ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
 - CONTRACTOR SHALL ADHERE TO ALL SAFETY REGULATIONS AS REQUIRED BY "OSHA", THE PROPERTY OWNER, OR ANY LOCAL, STATE & FEDERAL AUTHORITY.
 - CONTRACTOR TO ENSURE COMPLIANCE WITH A.D.A. REGULATIONS.
 - CONTRACTOR TO TAR SEAL ALL PAVEMENT INTERSECTIONS.

LEGEND

<ul style="list-style-type: none"> --- PROPERTY LINE --- LEGAL RIGHT-OF-WAY LINE --- EXISTING CURB --- EXISTING EDGE OF PAVEMENT --- EXISTING FENCE --- EXISTING RETAINING WALL --- EXISTING SIGN --- EXISTING TREELINE --- EXISTING TREE --- EXISTING RAILROAD TRACKS --- EXISTING MAJOR CONTOUR --- EXISTING MINOR CONTOUR --- EXISTING STORM SEWER WITH MANHOLE --- EXISTING STORM INLET --- EXISTING WATER SERVICE WITH MANHOLE --- EXISTING BUILDING 	<ul style="list-style-type: none"> --- EXISTING WATER VALVE --- EXISTING UTILITY POLE WITH GUY WIRE --- EXISTING OVERHEAD WIRE --- EXISTING UNDERGROUND ELECTRIC SERVICE WITH MANHOLE --- EXISTING ELECTRIC METER --- EXISTING TRANSFORMER --- EXISTING CABLE SERVICE WITH CABLE BOX --- EXISTING UNDERGROUND TELEPHONE SERVICE WITH MANHOLE --- EXISTING TELEPHONE METER --- EXISTING LIGHT STANDARDS --- EXISTING SLOPES 14% - 20% --- EXISTING SLOPES GREATER THAN 20% --- PROPOSED RIGHT-OF-WAY LINE --- PROPOSED CURB --- PROPOSED EDGE OF PAVEMENT --- PROPOSED STRUCTURE 	<ul style="list-style-type: none"> --- PROPOSED CONCRETE SIDEWALK OR PAD --- PROPOSED SAFETY FENCE --- PROPOSED RETAINING WALL --- SAWCUT LINE --- PROPOSED SIGN --- PROPOSED MAJOR CONTOUR --- PROPOSED MINOR CONTOUR --- PROPOSED TOP OF WALL --- PROPOSED BOTTOM OF WALL --- PROPOSED TOP OF CURB --- PROPOSED BOTTOM OF CURB --- PROPOSED FLUSH CURB --- PROPOSED STORM PIPE --- PROPOSED INLET / YARD DRAIN --- PROPOSED UNDERDRAIN / ROOF DRAIN
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 20110271937
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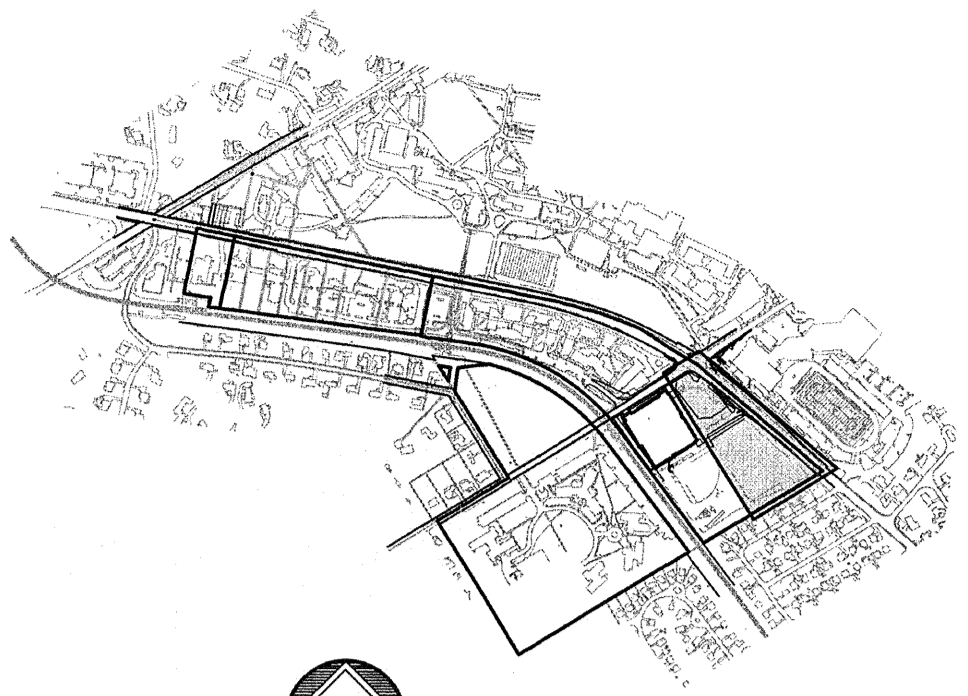
**FINAL LAND DEVELOPMENT
SUBMISSION**

Revision #4 August 10, 2015
 Date March 6, 2015
 Title Grading Plan

Scale 1" = 30'
 Drawn By DWN

C3.1

Sheet No. 10 of 37
 Contractor to verify all dimensions in field and inform
 Architect of any discrepancies before starting work.



KEY MAP
SCALE: 1" = 1,000'

WALL ELEVATIONS:

SPOT	TOP OF WALL	GRADE	BOT OF WALL
E	435.50	431.75	429.00
F	435.50	431.00	431.00
G	429.50	429.00	422.00
H	421.50	421.00	421.00
I	421.50	421.00	421.00
J	428.33	427.83	422.25
K	430.40	429.90	429.00
L	429.90	429.90	429.00
M	431.00	431.00	431.00
N	425.75	425.75	422.25
O	425.75	425.75	422.75

REFER TO PENNDOT HOP DRAWINGS FOR ROUTE 30 IMPROVEMENTS AND CONSTRUCTION DETAILS.

LANCASTER AVENUE (SR 0030) (VARIABLE WIDTH R.O.W.)

REFER TO SHEET C3.3

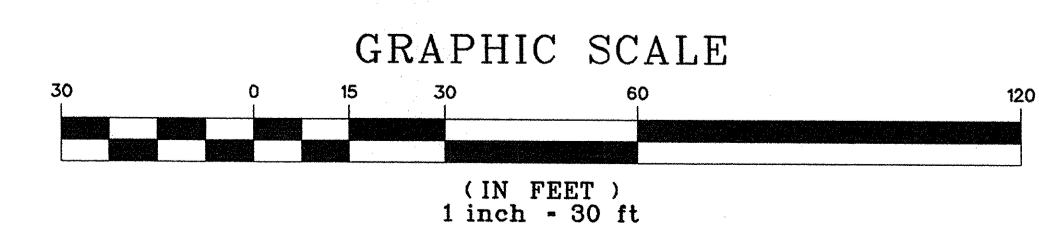
MATCH TO SHEET C3.1

MATCH TO SHEET C3.1

LEGEND

<p>----- PROPERTY LINE</p> <p>----- LEGAL RIGHT-OF-WAY LINE</p> <p>----- EXISTING EASEMENT LINE</p> <p>----- EXISTING CURB</p> <p>----- EXISTING EDGE OF PAVEMENT</p> <p>----- EXISTING FENCE</p> <p>----- EXISTING RETAINING WALL</p> <p>----- EXISTING SIGN</p> <p>----- EXISTING TREE</p> <p>----- EXISTING TREELINE</p> <p>----- EXISTING MAJOR CONTOUR</p> <p>----- EXISTING MINOR CONTOUR</p> <p>----- EXISTING STORM SEWER WITH MANHOLE</p> <p>----- EXISTING STORM INLET</p> <p>----- EXISTING WATER SERVICE WITH MANHOLE</p> <p>----- EXISTING SANITARY SEWER WITH MANHOLE</p>	<p>----- EXISTING BUILDING</p> <p>----- EXISTING WATER VALVE</p> <p>----- EXISTING UTILITY POLE WITH GUY WIRE</p> <p>----- EXISTING UNDERGROUND ELECTRIC SERVICE WITH MANHOLE</p> <p>----- EXISTING ELECTRIC METER</p> <p>----- EXISTING GAS VALVE</p> <p>----- EXISTING CABLE SERVICE WITH CABLE BOX</p> <p>----- EXISTING UNDERGROUND TELEPHONE SERVICE WITH MANHOLE</p> <p>----- EXISTING TELEPHONE METER</p> <p>----- EXISTING LIGHT STANDARDS</p> <p>----- EXISTING TRAFFIC SIGNAL MAST ARM</p> <p>----- EXISTING SLOPES 14% - 20%</p> <p>----- EXISTING SLOPES GREATER THAN 20%</p> <p>----- PROPOSED RIGHT-OF-WAY LINE</p> <p>----- PROPOSED CURB</p> <p>----- PROPOSED EDGE OF PAVEMENT</p> <p>----- PROPOSED STRUCTURE</p>	<p>----- PROPOSED CONCRETE SIDEWALK OR PAD</p> <p>----- PROPOSED SAFETY FENCE</p> <p>----- PROPOSED RETAINING WALL</p> <p>----- SAWCUT LINE</p> <p>----- PROPOSED SIGN</p> <p>----- PROPOSED MAJOR CONTOUR</p> <p>----- PROPOSED MINOR CONTOUR</p> <p>----- PROPOSED TOP OF WALL</p> <p>----- PROPOSED BOTTOM OF WALL</p> <p>----- PROPOSED TOP OF CURB</p> <p>----- PROPOSED BOTTOM OF CURB</p> <p>----- PROPOSED FLUSHED CURB</p> <p>----- PROPOSED SANITARY MAIN</p> <p>----- PROPOSED STORM PIPE</p> <p>----- PROPOSED INLET / YARD DRAIN</p> <p>----- PROPOSED UNDERDRAIN / ROOF DRAIN</p>
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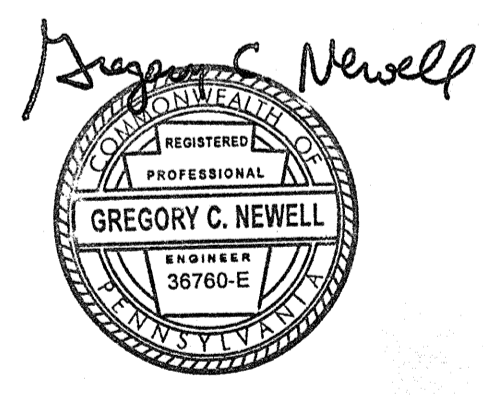
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SUBMISSION**

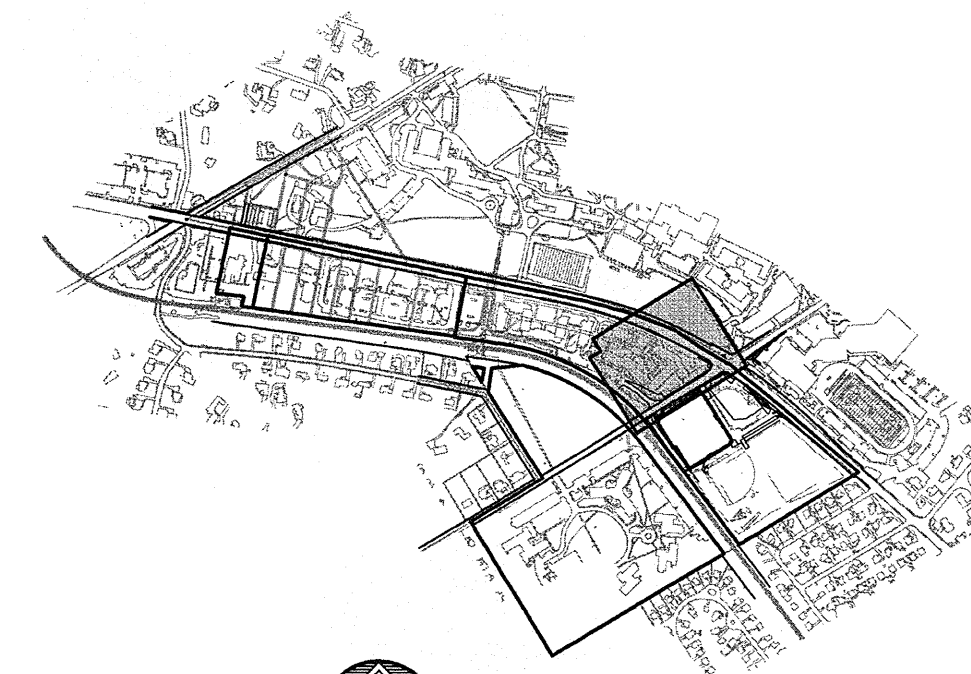
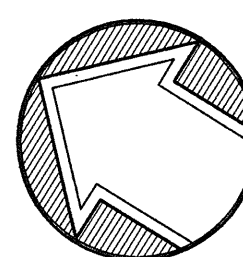
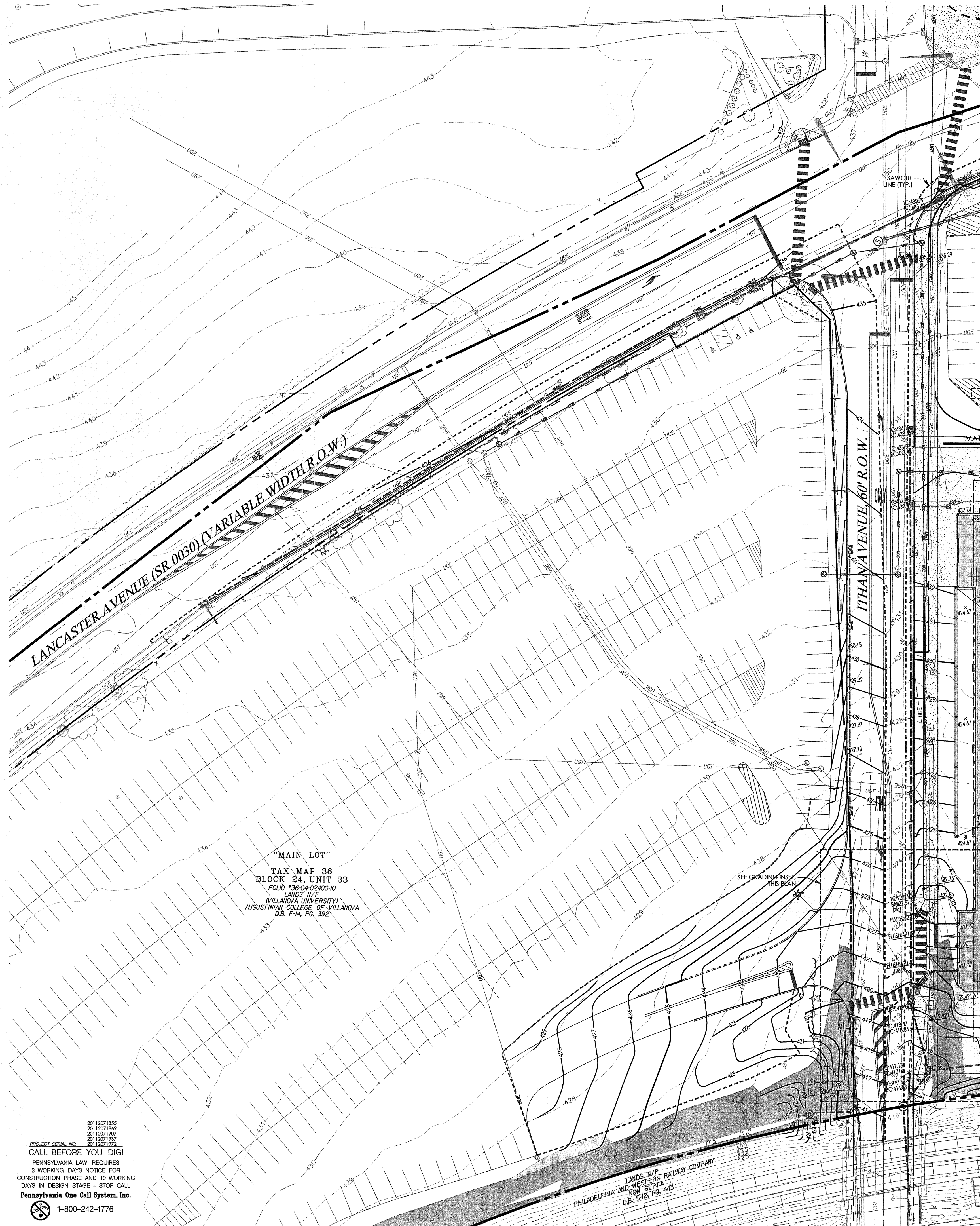
Revision #4 August 10, 2015
Date March 6, 2015
Title Grading Plan

Scale 1" = 30'
Drawn By DWN

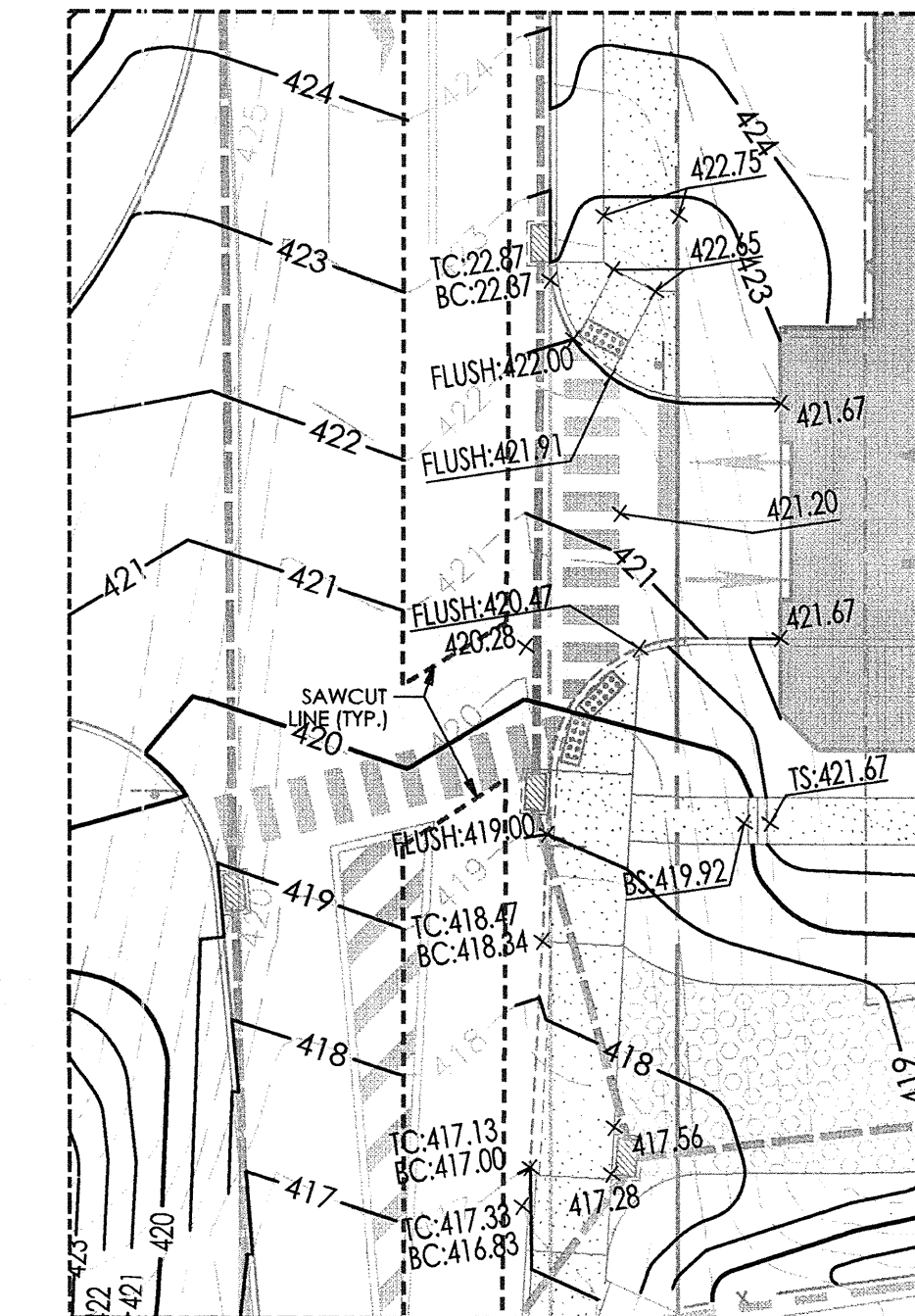
C3.2

Sheet No. 11 of 37

Contractor to verify all dimensions in field and inform
Architect of any discrepancies before starting work.



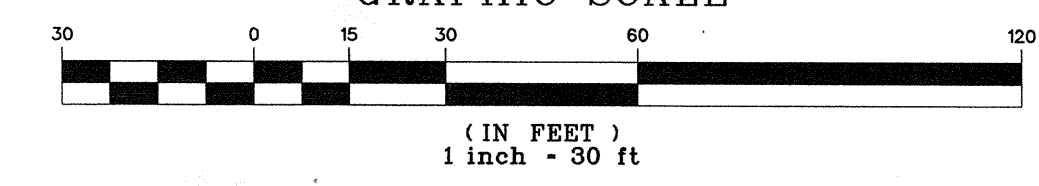
KEY MAP
SCALE: 1" = 1,000'



GRADING INSET
SCALE: 1" = 20'

LEGEND

- PROPERTY LINE
- LEGAL RIGHT-OF-WAY LINE
- EXISTING CURB
- EXISTING EDGE OF PAVEMENT
- EXISTING FENCE
- EXISTING RETAINING WALL
- EXISTING SIGN
- EXISTING TREELINE
- EXISTING TREE
- EXISTING RAILROAD TRACKS
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- EXISTING STORM SEWER WITH MANHOLE
- EXISTING STORM INLET
- EXISTING WATER SERVICE WITH MANHOLE
- EXISTING WATER VALVE
- EXISTING GAS VALVE
- EXISTING UTILITY POLE WITH GUY WIRE
- EXISTING UNDERGROUND ELECTRIC SERVICE WITH MANHOLE
- EXISTING ELECTRIC METER
- EXISTING TRANSFORMER
- EXISTING CABLE SERVICE WITH CABLE BOX
- EXISTING UNDERGROUND TELEPHONE SERVICE WITH MANHOLE
- EXISTING TELEPHONE METER
- EXISTING LIGHT STANDARDS
- EXISTING TRAFFIC SIGNAL MAST ARM
- EXISTING SLOPES 14% - 20%
- EXISTING SLOPES GREATER THAN 20%
- PROPOSED RIGHT-OF-WAY LINE
- PROPOSED CURB
- PROPOSED EDGE OF PAVEMENT
- PROPOSED STRUCTURE
- PROPOSED CONCRETE SIDEWALK OR PAD
- PROPOSED SAFETY FENCE
- PROPOSED RETAINING WALL
- PROPOSED SIGN
- 320 --- PROPOSED MAJOR CONTOUR
- 322 --- PROPOSED MINOR CONTOUR
- TW --- PROPOSED TOP OF WALL
- BW --- PROPOSED BOTTOM OF WALL
- TC --- PROPOSED TOP OF CURB
- BC --- PROPOSED BOTTOM OF CURB
- FLUSH --- PROPOSED FLUSHED CURB
- --- PROPOSED SANITARY MAIN
- --- PROPOSED STORM PIPE
- --- PROPOSED INLET / YARD DRAIN
- --- PROPOSED UNDERDRAIN / ROOF DRAIN



"MAIN LOT"
TAX MAP 36
BLOCK 24, UNIT 33
FOLD #36-04-02400-10
LANDS N/F
(VILLANOVA UNIVERSITY)
AUGUSTINIAN COLLEGE OF VILLANOVA
D.B. F-14, PG. 392

LANDS N/F
PHILADELPHIA AND WESTERN RAILWAY COMPANY
NOR. SECT. 7
D.B. 212, PG. 443

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REFER TO SHEET C3.1

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Pike Field Garage
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Villanova PA 19085

**VMA
RAMSA**

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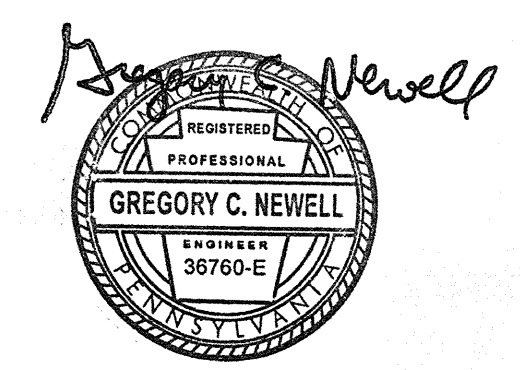
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mobile phone: 610-334-0974
fax: 610-337-3359
www.HarmanGroup.com

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**FINAL LAND DEVELOPMENT
SUBMISSION**

Revision #4 August 10, 2015
Date March 6, 2015
Title Grading Plan

Scale 1" = 30'
Drawn By DWN

C3.3

Sheet No. 12 of 37

Contractor to verify all dimensions in field and inform
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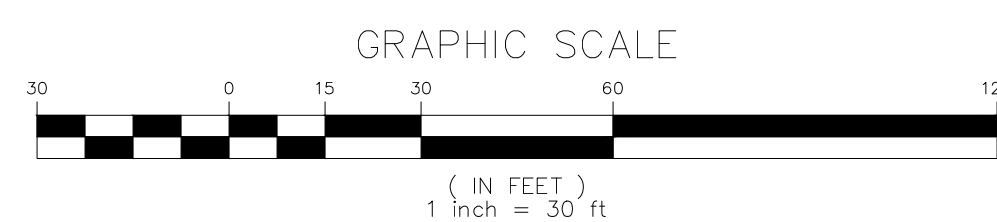
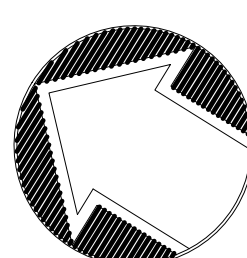
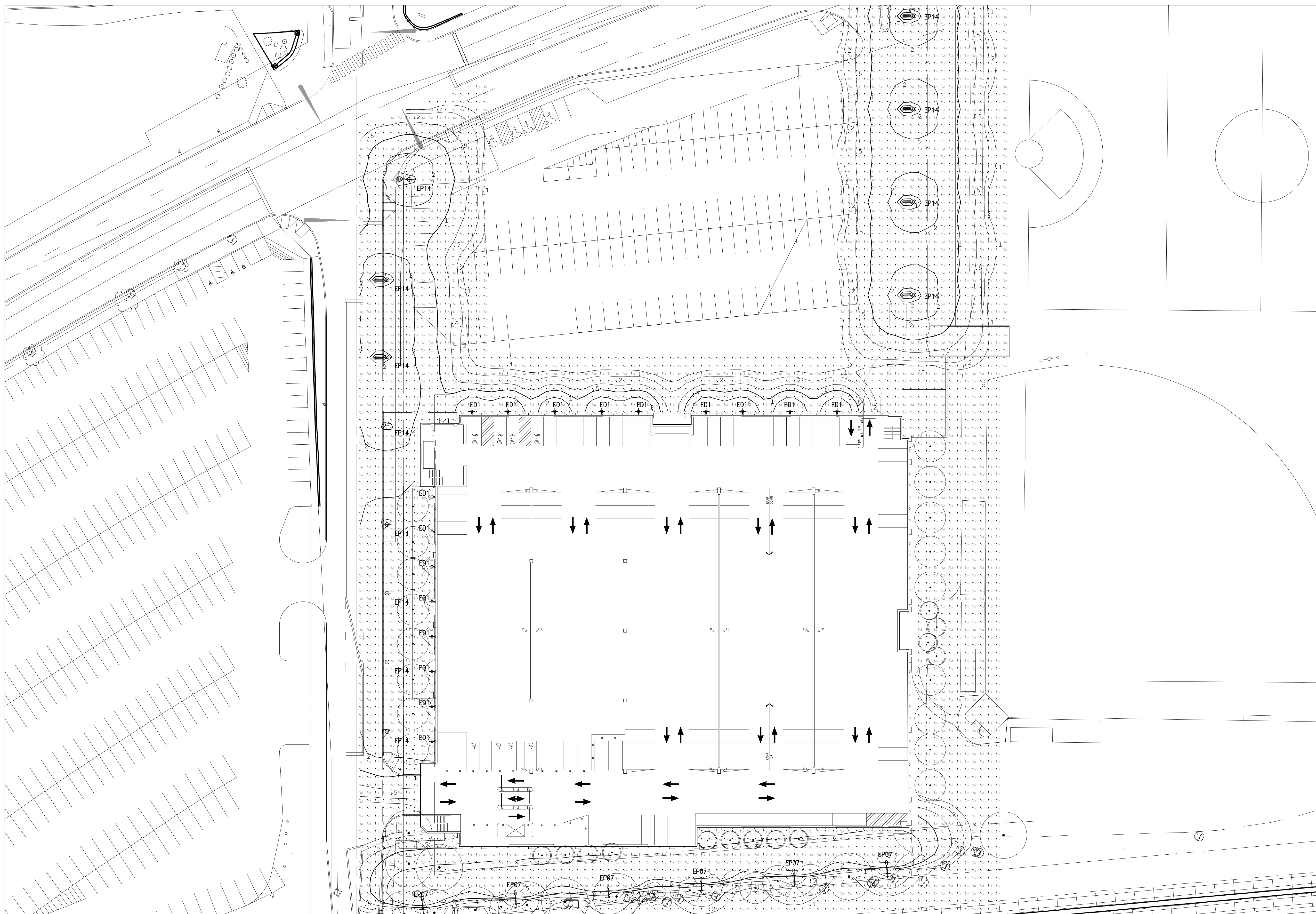
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FINAL LAND DEVELOPMENT PLANS

Revision August 10, 2015
Date March 6, 2015
Title Site Lighting Plan

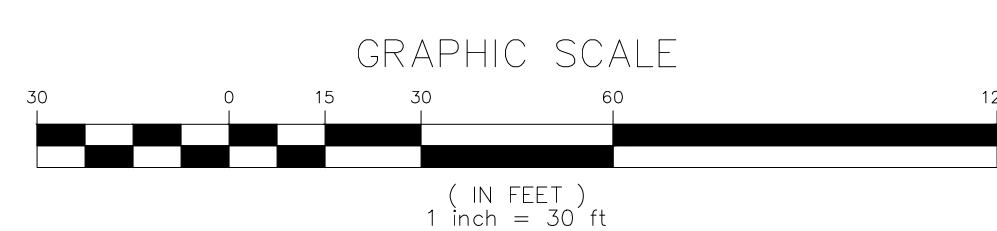
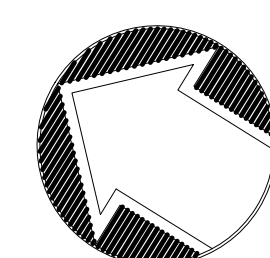
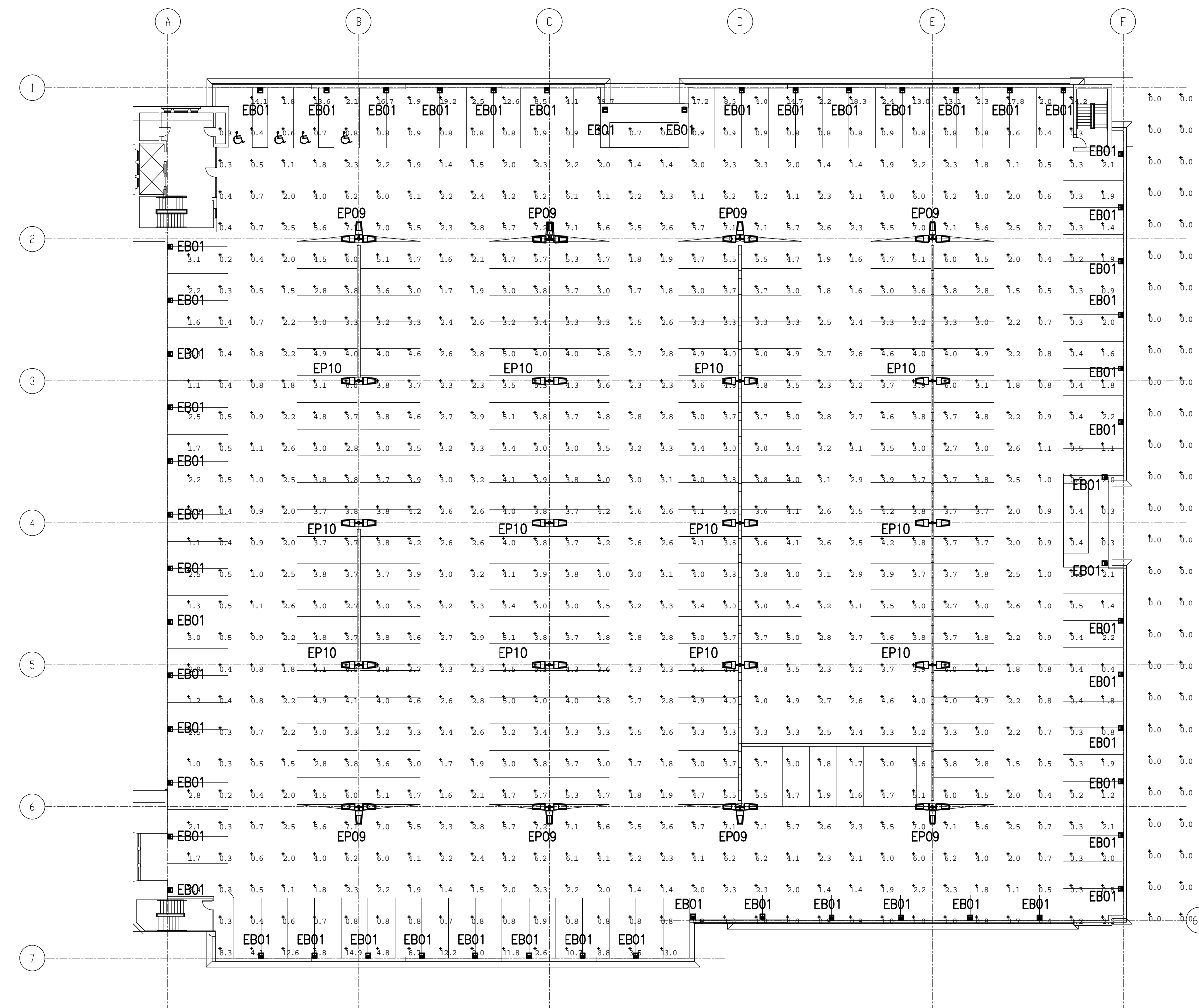
Scale 1" = 30'
Drawn By JO/JL



C7.1

Sheet No. 29 of 37

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Architect of any discrepancies before starting work.



FINAL LAND DEVELOPMENT
PLANS

Revision August 10, 2015
Date March 6, 2015
Title Roof Lighting Plan

Scale 1" = 30'
Drawn By JO/JL

C7.2

Sheet No. 30 of 37

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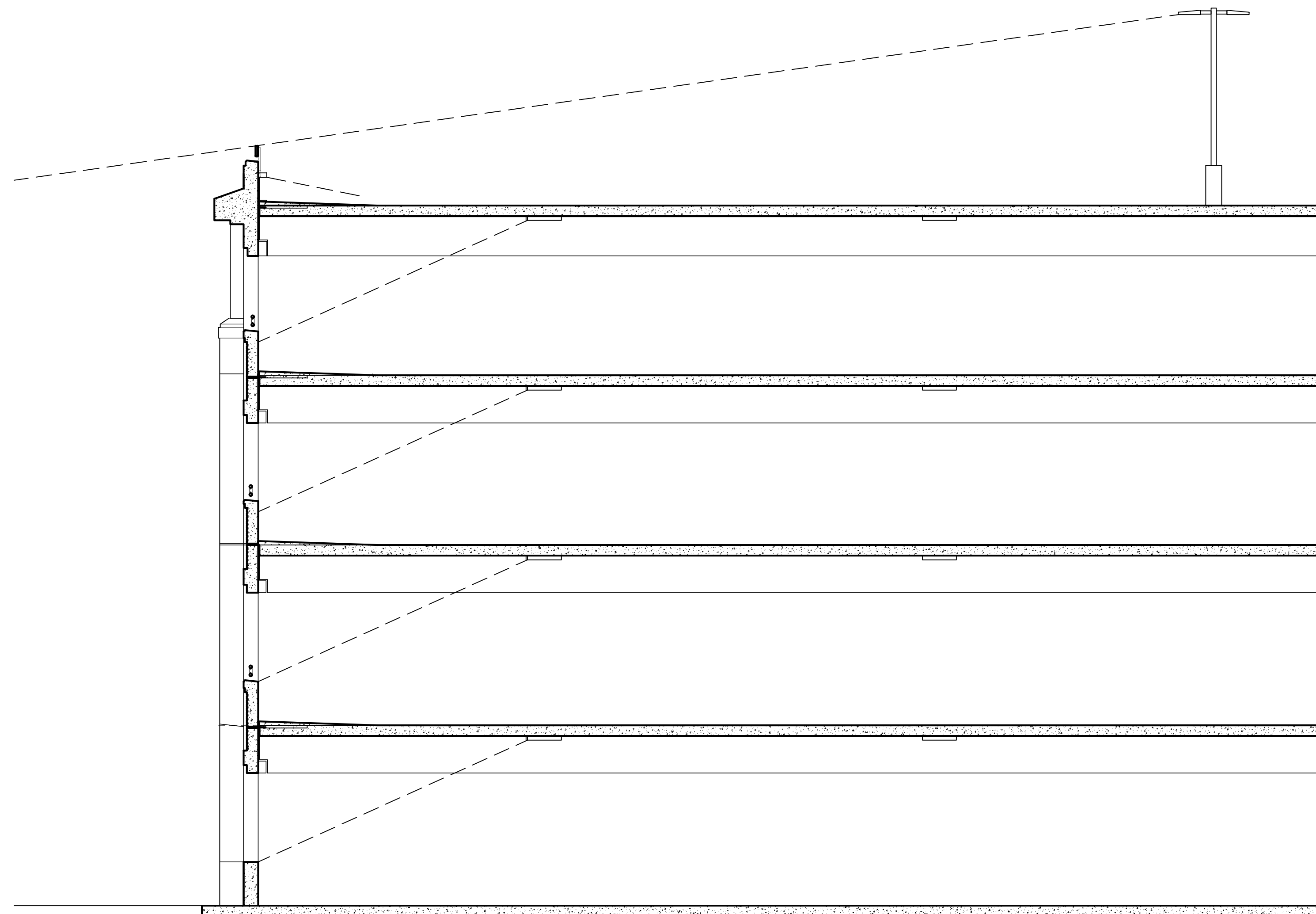
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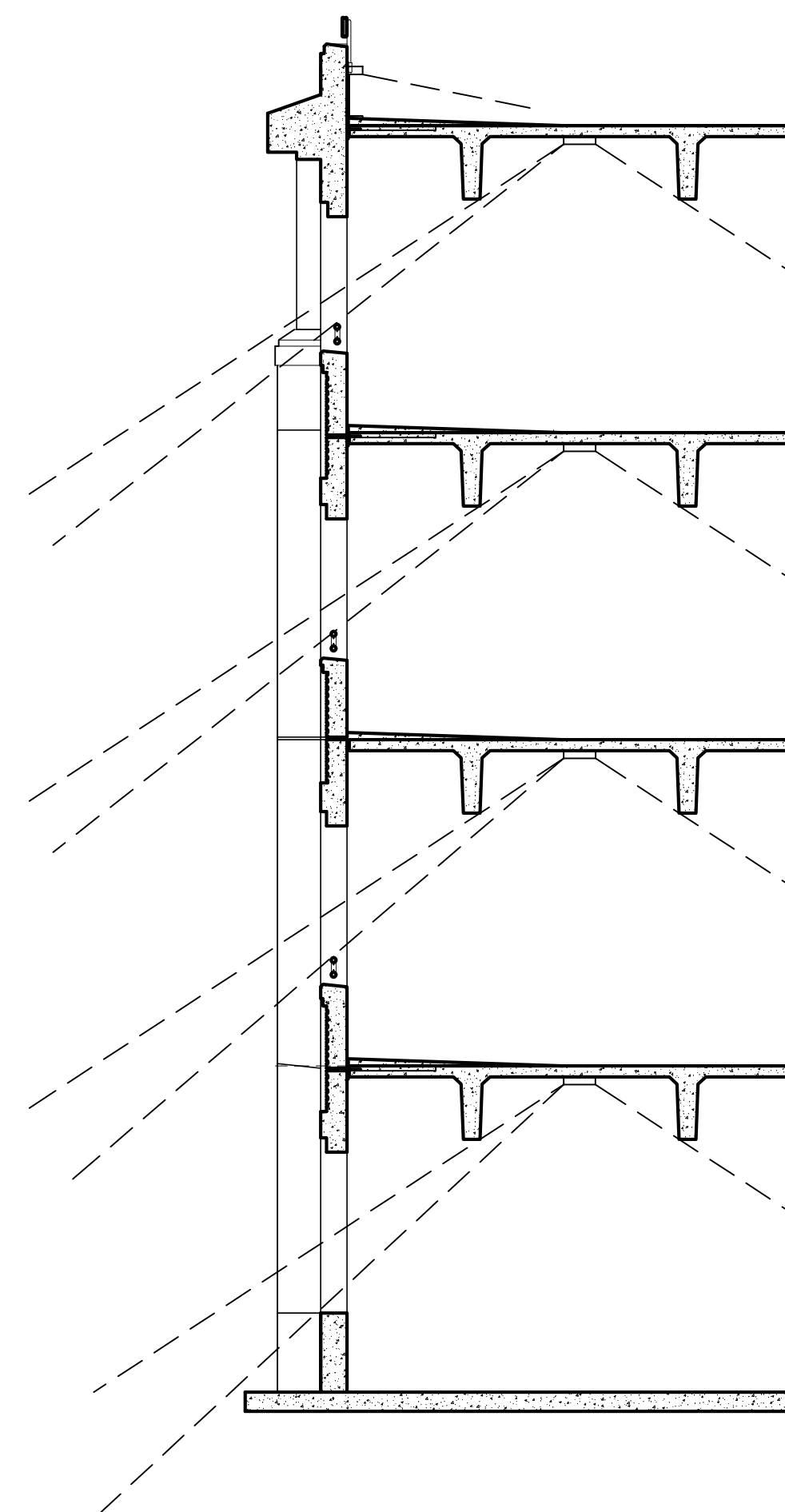
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TYPICAL LONGITUDINAL CROSS SECTION THROUGH GARAGE



TYPICAL TRANSVERSE CROSS SECTION THROUGH GARAGE

FINAL LAND DEVELOPMENT
 PLANS

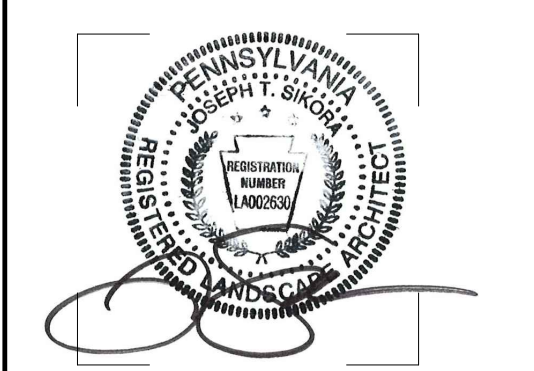
Revision August 10, 2015
 Date March 6, 2015
 Title Building Lighting Diagram

Scale 3/16" = 1'-0"
 Drawn By JO/JL

C7.3

Sheet No. 31 of 37

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**FINAL LAND DEVELOPMENT
SUBMISSION**

Revision	August 10, 2015
Date	March 6, 2015
Title	Planting Plan and Schedule
Scale	1" = 30'-0"
Drawn By	RM

L1.0

Legend: Pike Field Garage

- Reinforced Turf Fire Lane with Sod (4 L2.0)
- Lawn (7 L2.3)
- Planting Beds
- "No Mow" Seed Mix (7 L2.3)
- Pole Light: See Lighting Plans and Details
- Litter Receptacle (1 L2.0)
- Bicycle Rack (2 L2.0)
- 6' Ht. Safety Fence (5 L2.0)
- 6' Ht. Chain Link Fence (3 L2.0)
- Ornamental Metal Picket Fence (4 L2.1)
- Existing Tree To Remain
- Street Tree (3 AA2 S)
- Replacement Tree (3 AA2 R)
- Replacement Tree for W. Lancaster Ave. Parking Project; see W. Lancaster Ave. Parking Tree Requirement Table (3 AA2 A)

Notes:

- See Site Plans for all proposed paving information.
- See Sheet L1.0 in the Barley Cone Lane Buffer Project for a supplemental landscape plan for the buffer area along the Barley Cone Lane neighboring residents' property lines. Any landscaping to be installed on Villanova property along the Barley Cone Lane properties, shall be installed during Phase 1 construction activities and before the start of Pike Field Garage construction in Phase 2A.

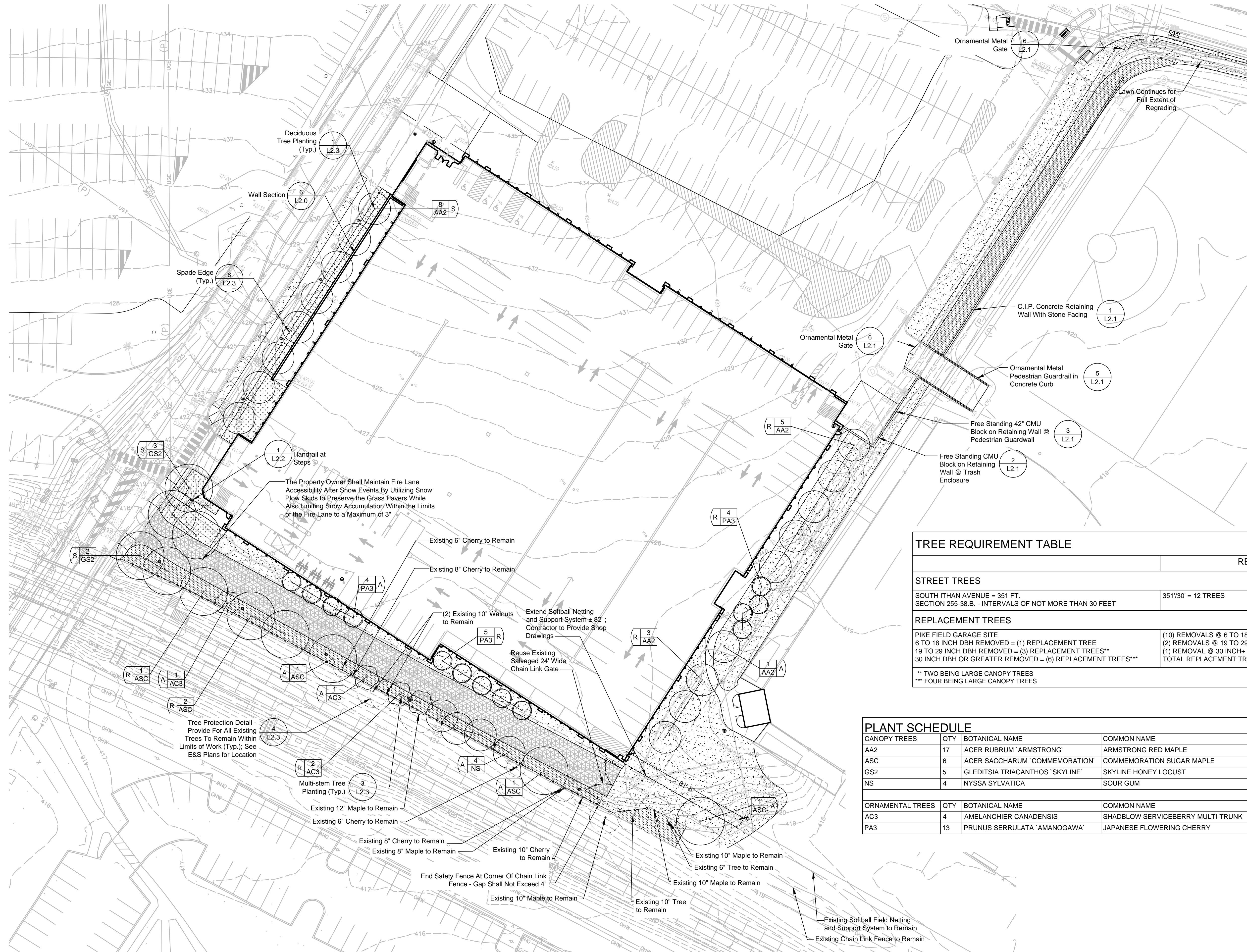
TREE REQUIREMENT TABLE

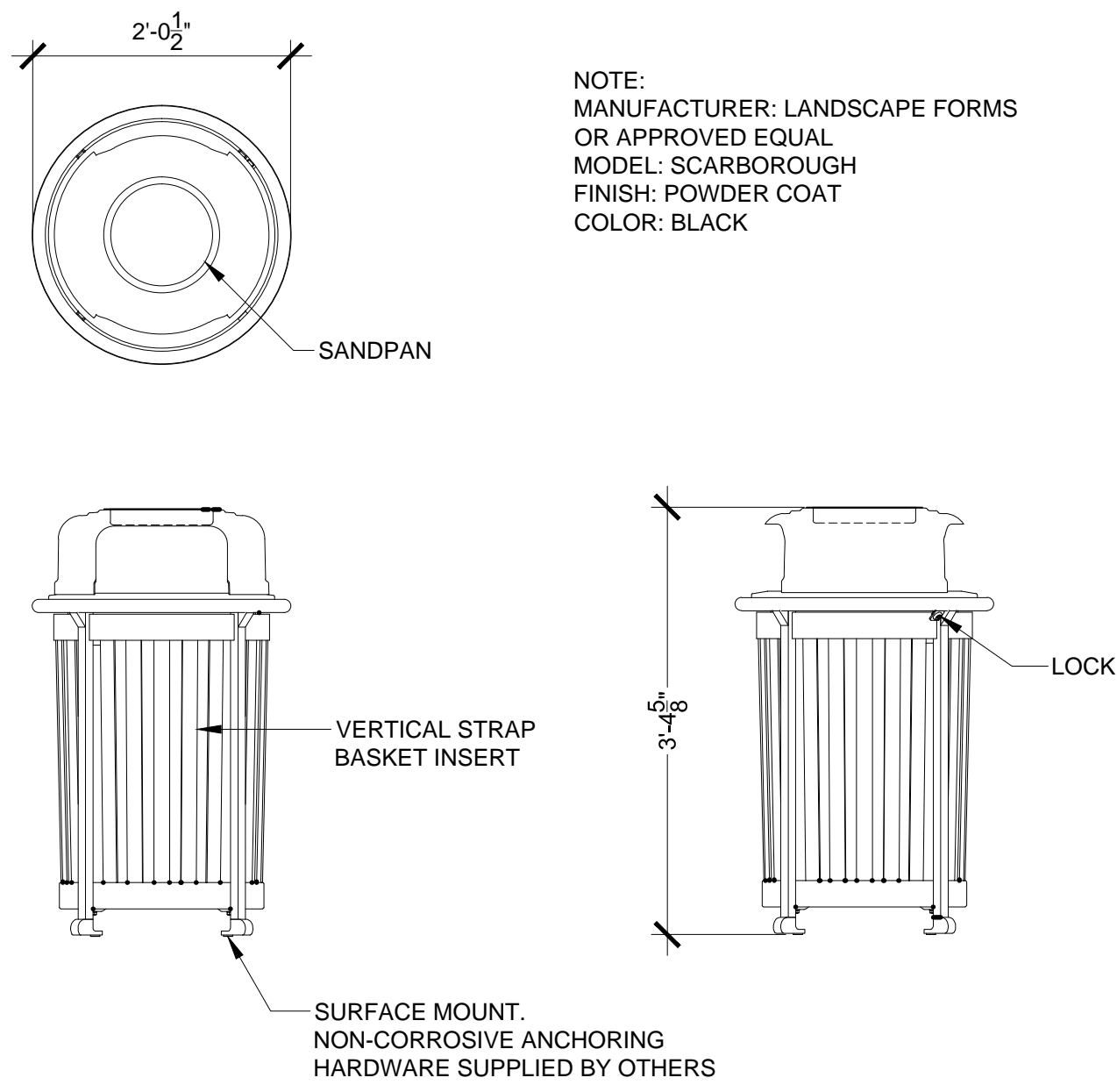
	REQUIRED	PROPOSED
STREET TREES		
SOUTH ITHAN AVENUE = 351 FT. SECTION 255-38.B. - INTERVALS OF NOT MORE THAN 30 FEET	351/30 = 12 TREES	13 TREES
REPLACEMENT TREES		
PIKE FIELD GARAGE SITE 6 TO 18 INCH DBH REMOVED = (1) REPLACEMENT TREE 19 TO 29 INCH DBH REMOVED = (3) REPLACEMENT TREES** 30 INCH DBH OR GREATER REMOVED = (6) REPLACEMENT TREES***	(10) REMOVALS @ 6 TO 18 INCH = 10 REPLACEMENTS (2) REMOVALS @ 19 TO 29 INCH = (3)x2= 6 REPLACEMENTS (1) REMOVAL @ 30 INCH+ = (6)x1= 6 REPLACEMENTS TOTAL REPLACEMENT TREES REQUIRED = 22 TREES	LARGE CANOPY TREES = 11 TREES ORNAMENTAL TREES = 11 TREES

** TWO BEING LARGE CANOPY TREES
*** FOUR BEING LARGE CANOPY TREES

PLANT SCHEDULE

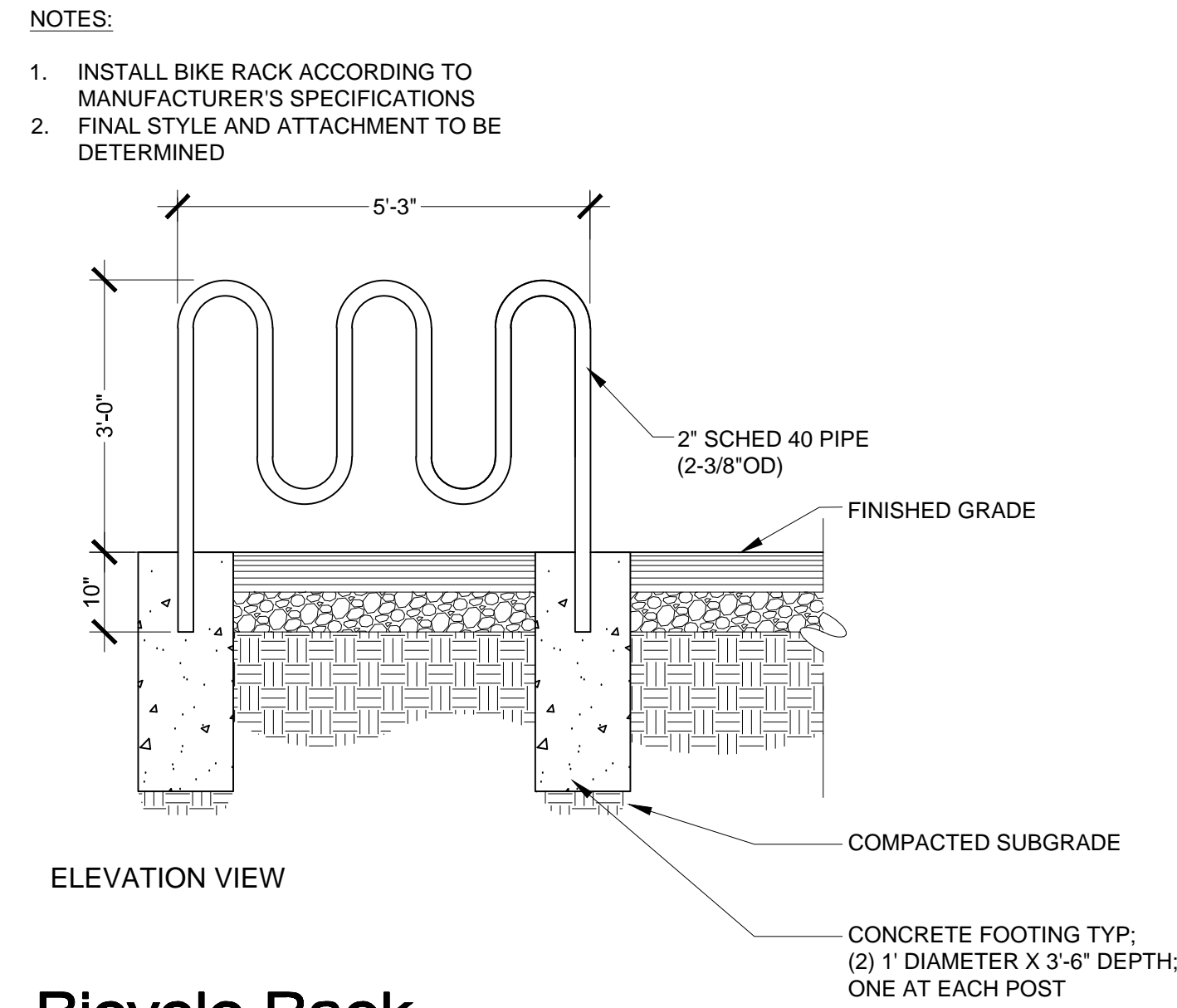
CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
AA2	17	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	B & B	2 1/2" - 3"		MATCHED SPECIMENS
ASC	6	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	B & B	2" - 2 1/2"		FULL HEAD
GS2	5	GLEDITSIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B & B	2 1/2" - 3"		MATCHED SPECIMENS; FULL HEAD
NS	4	NYSSA SYLVATICA	SOUR GUM	B & B	2"-2-1/2"		SPECIMEN QUALITY
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
AC3	4	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY MULTI-TRUNK	B & B		8'-10' HT.	FULL SPECIMENS; MIN. 5 STEMS
PA3	13	PRUNUS SERRULATA 'AMANOGAWA'	JAPANESE FLOWERING CHERRY	B & B	2"-2-1/2"		MATCHED SPECIMENS; FULL HEAD





1 Litter Receptacle

L2.0 N.T.S.

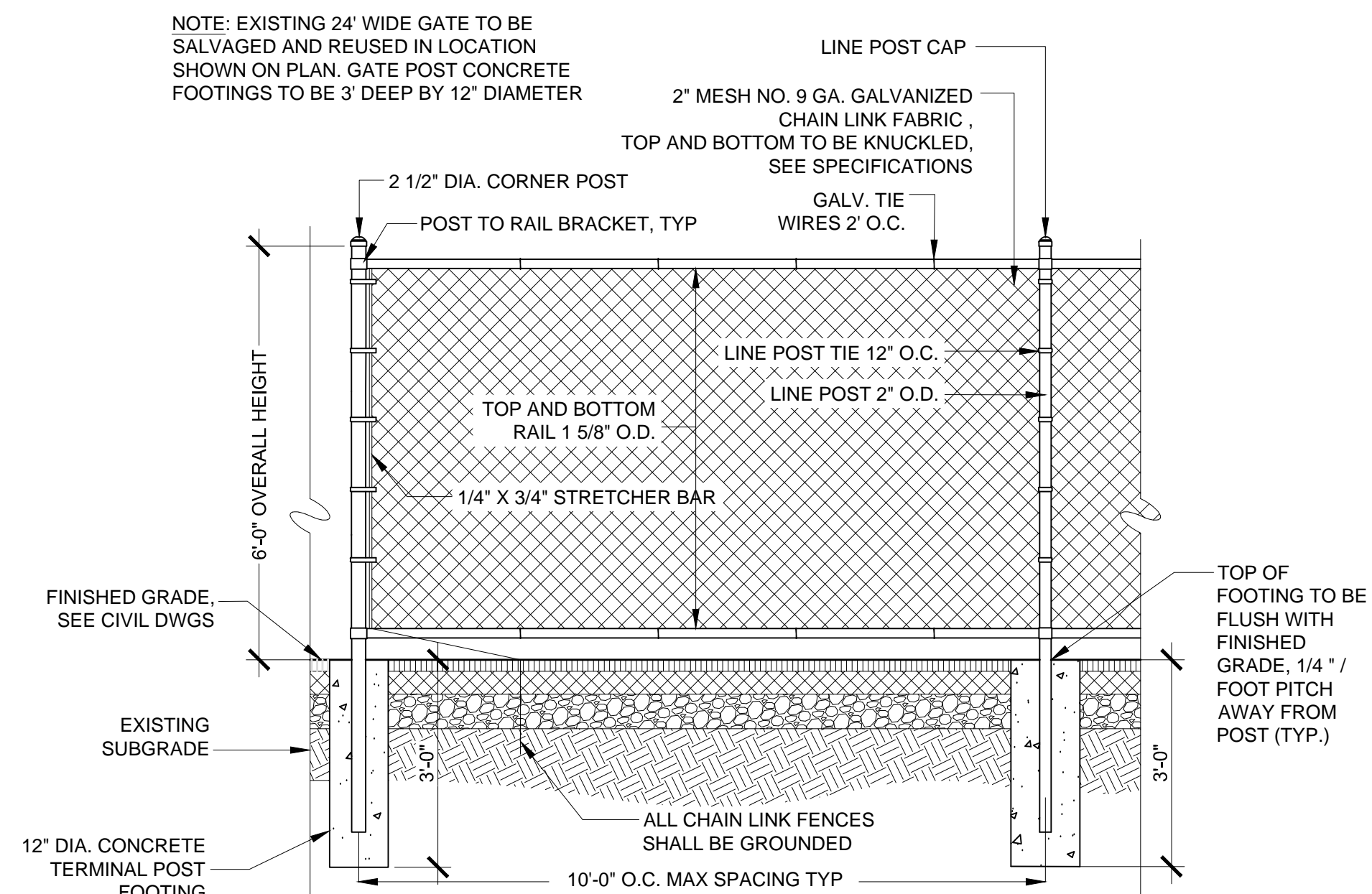


2 Bicycle Rack

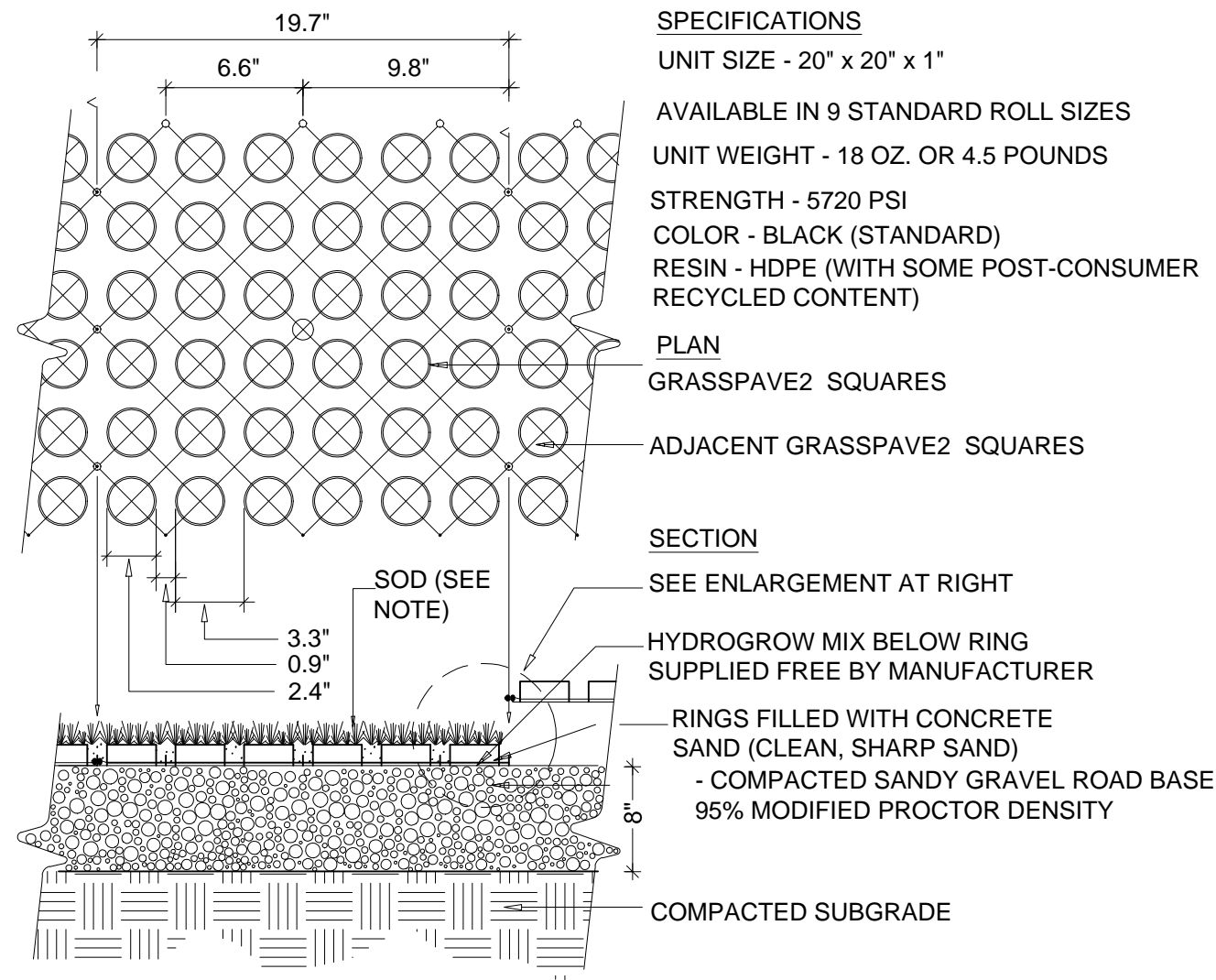
L2.0 N.T.S.

3 6' Ht. Chain Link Fence

L2.0 Scale: 0 1' 2' 4' Scale: 1/2" = 1'-0"

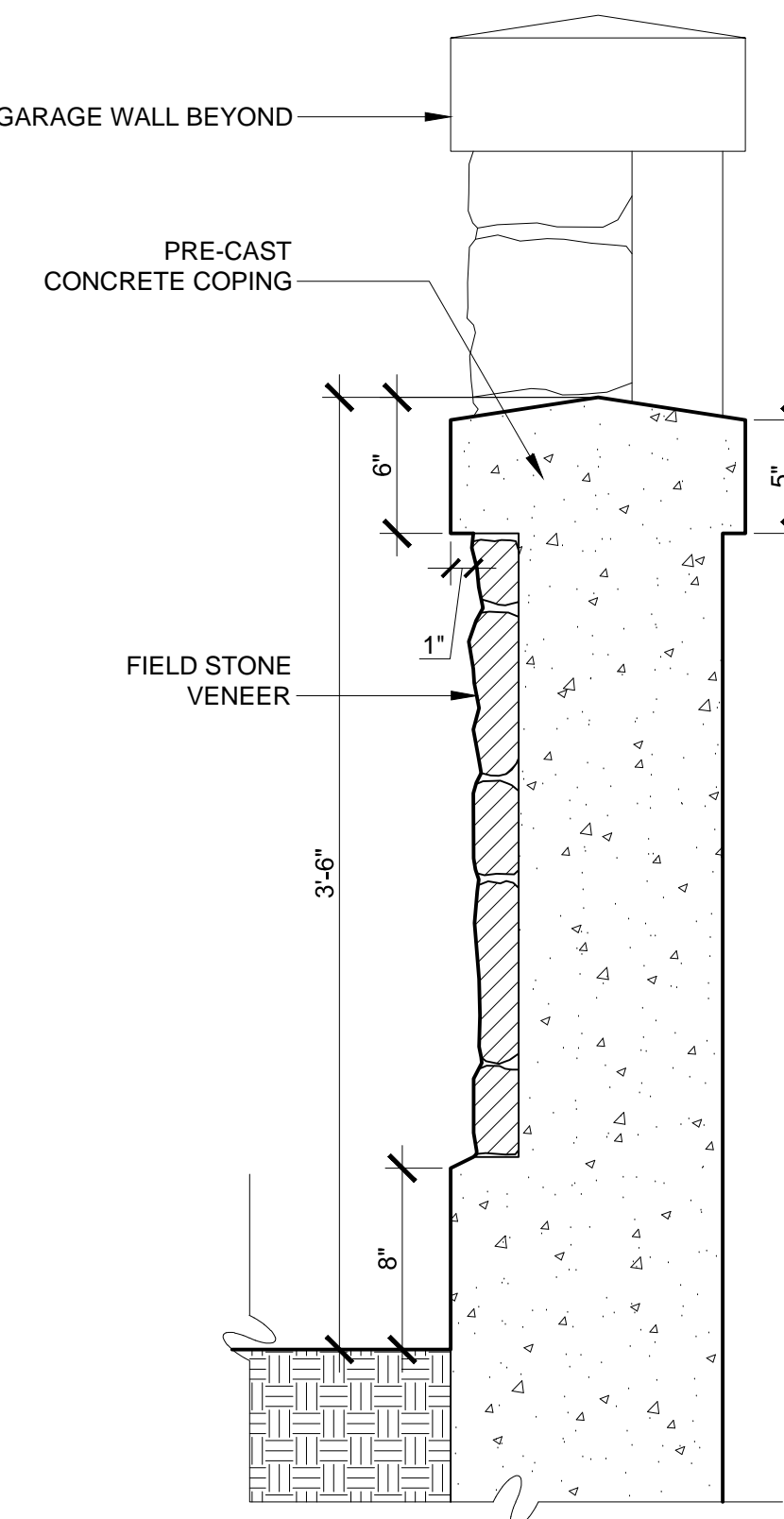
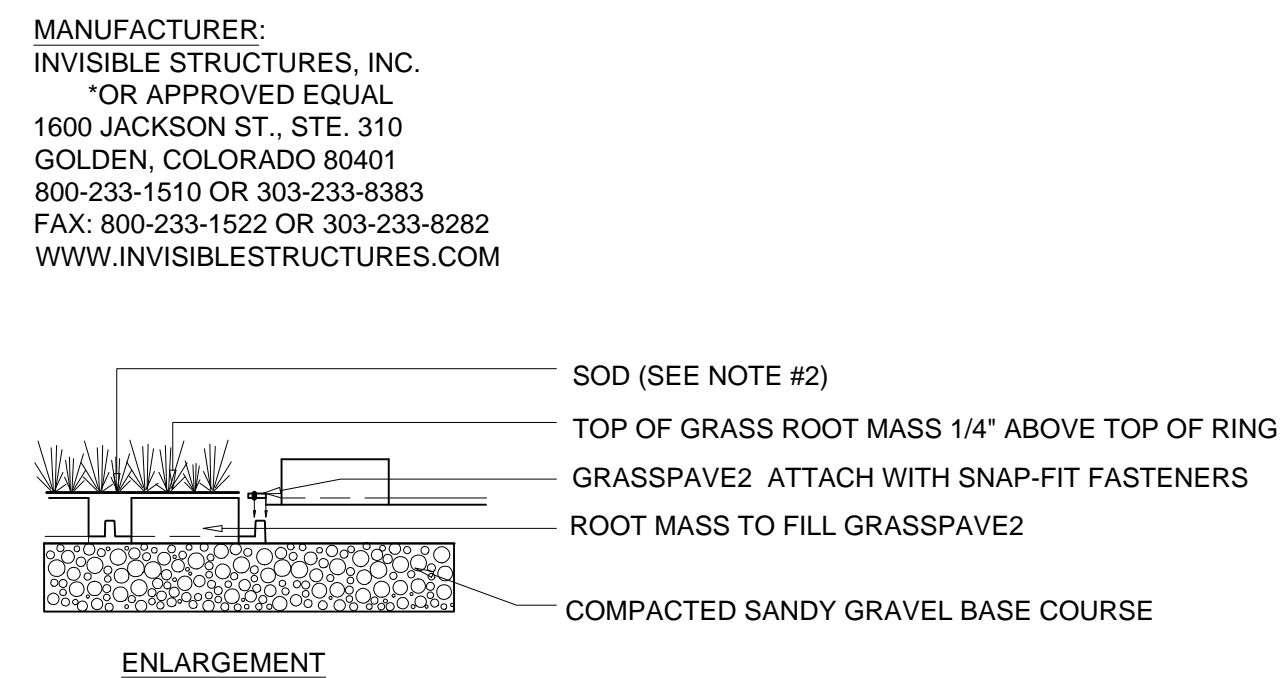


L2.0



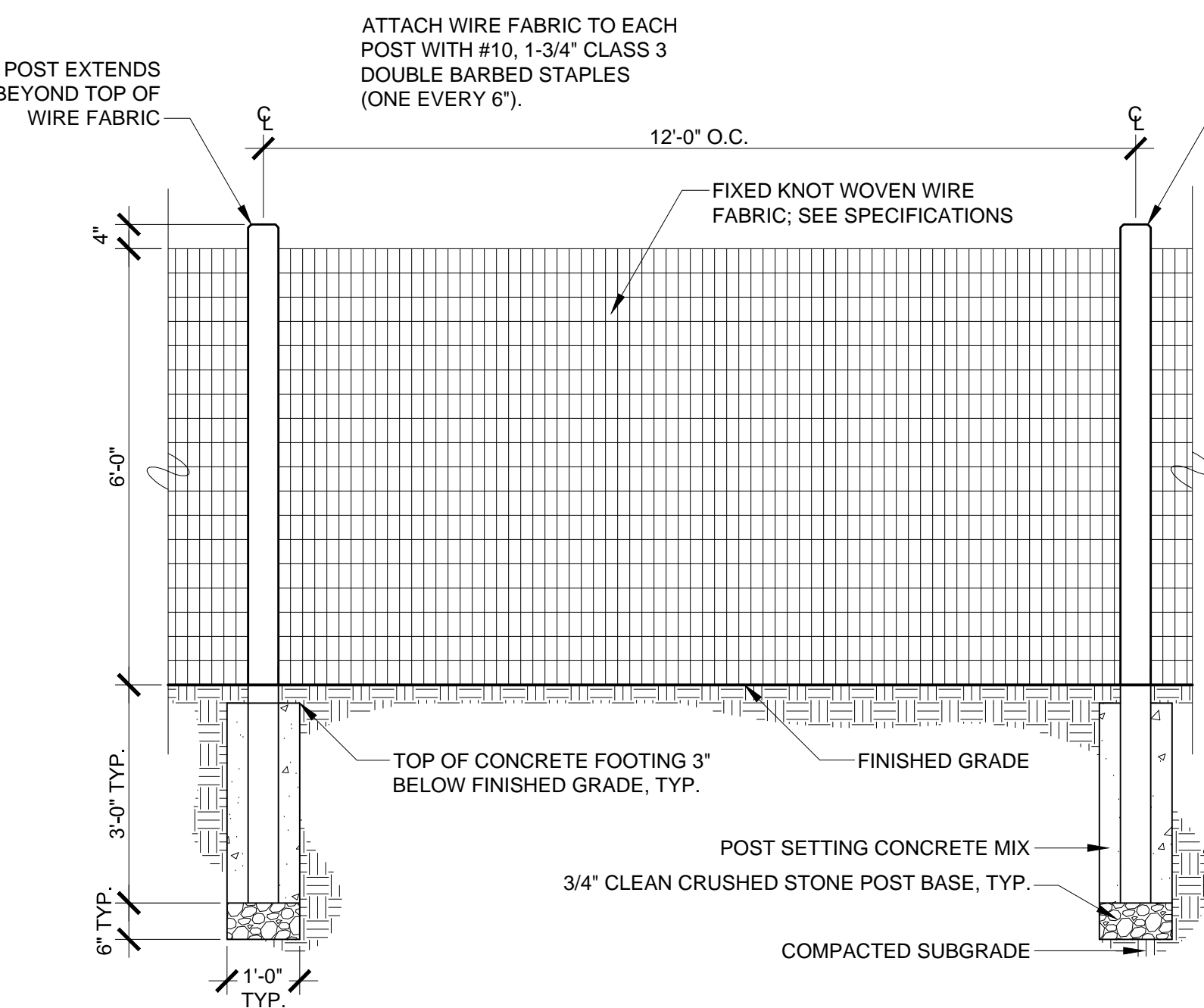
4 Reinforced Turf Fire Lane, Typ.

L2.0 N.T.S.



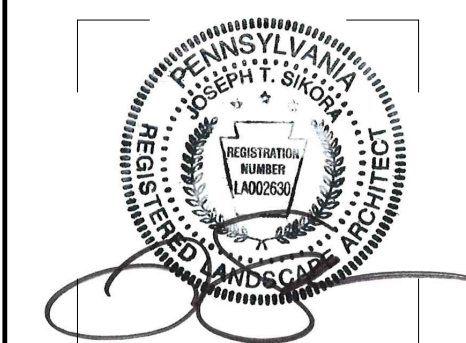
6 Wall Section

L2.0 Scale: 0 4" 8" 1'-4" Scale: 1-1/2" = 1'-0"



5 6' Ht. Safety Fence

L2.0 Scale: 0 1' 2' 4' Scale: 1/2" = 1'-0"

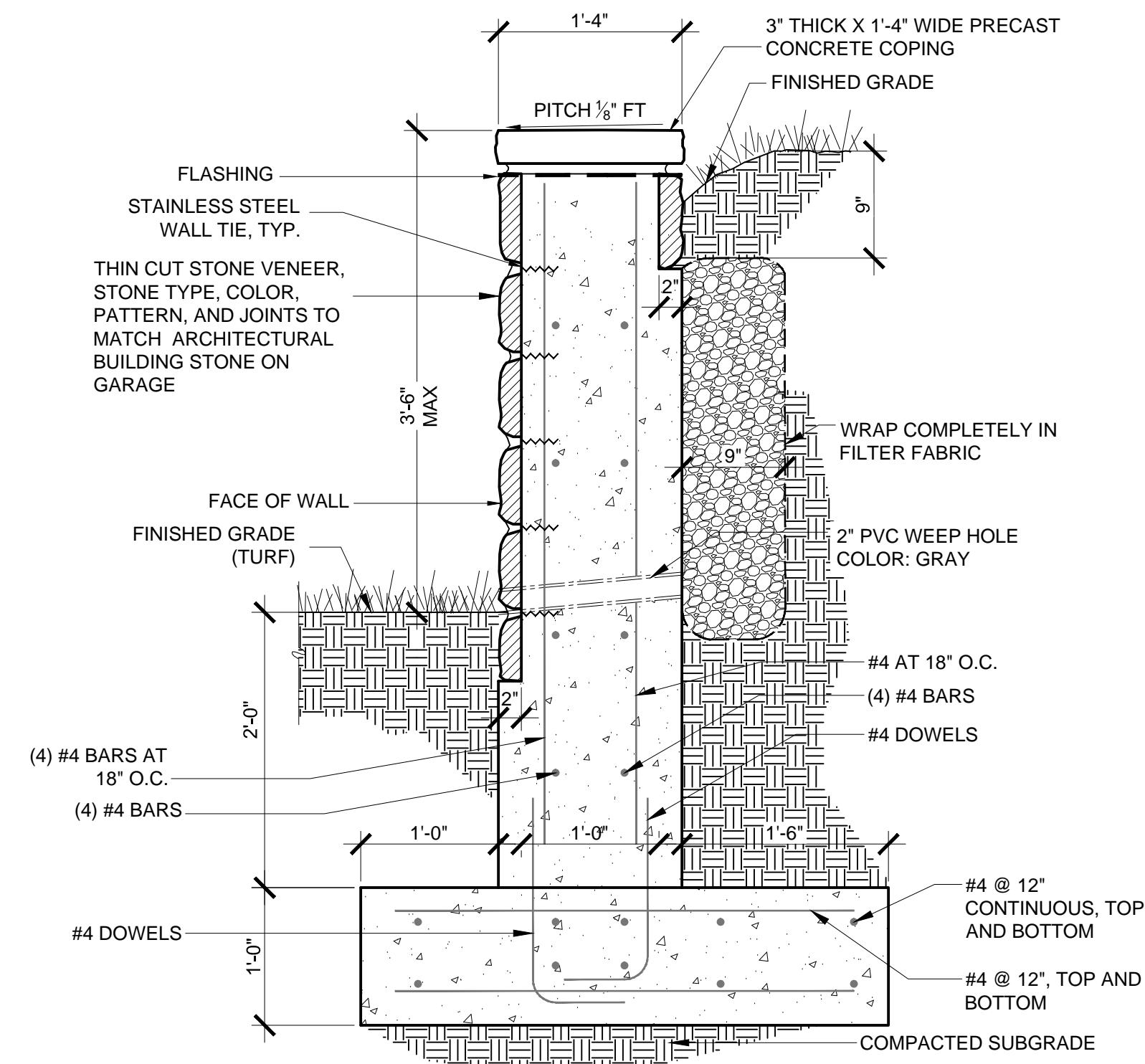


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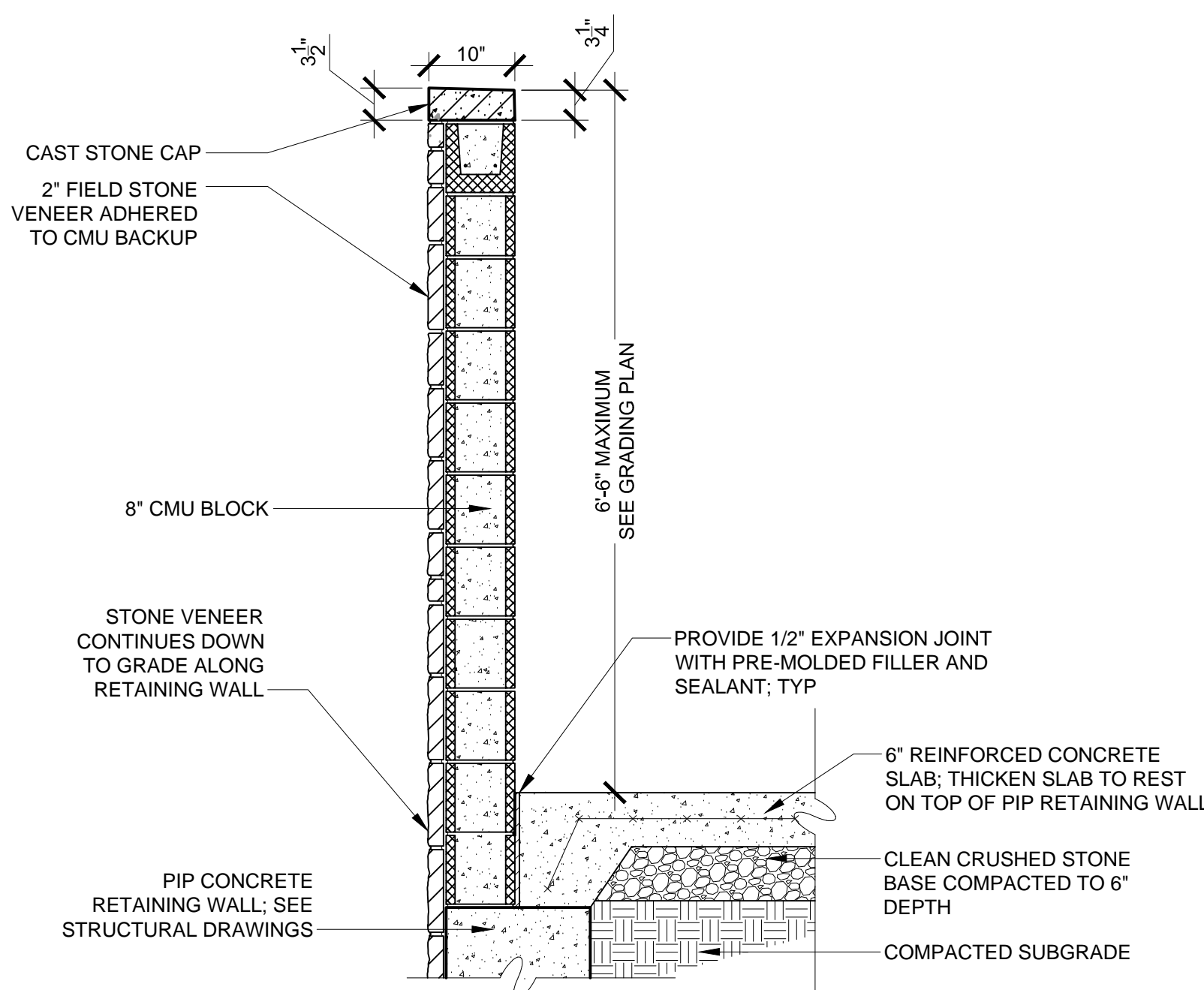
Revision August 10, 2015
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Title Landscape Details

Scale As Indicated
Drawn By RM



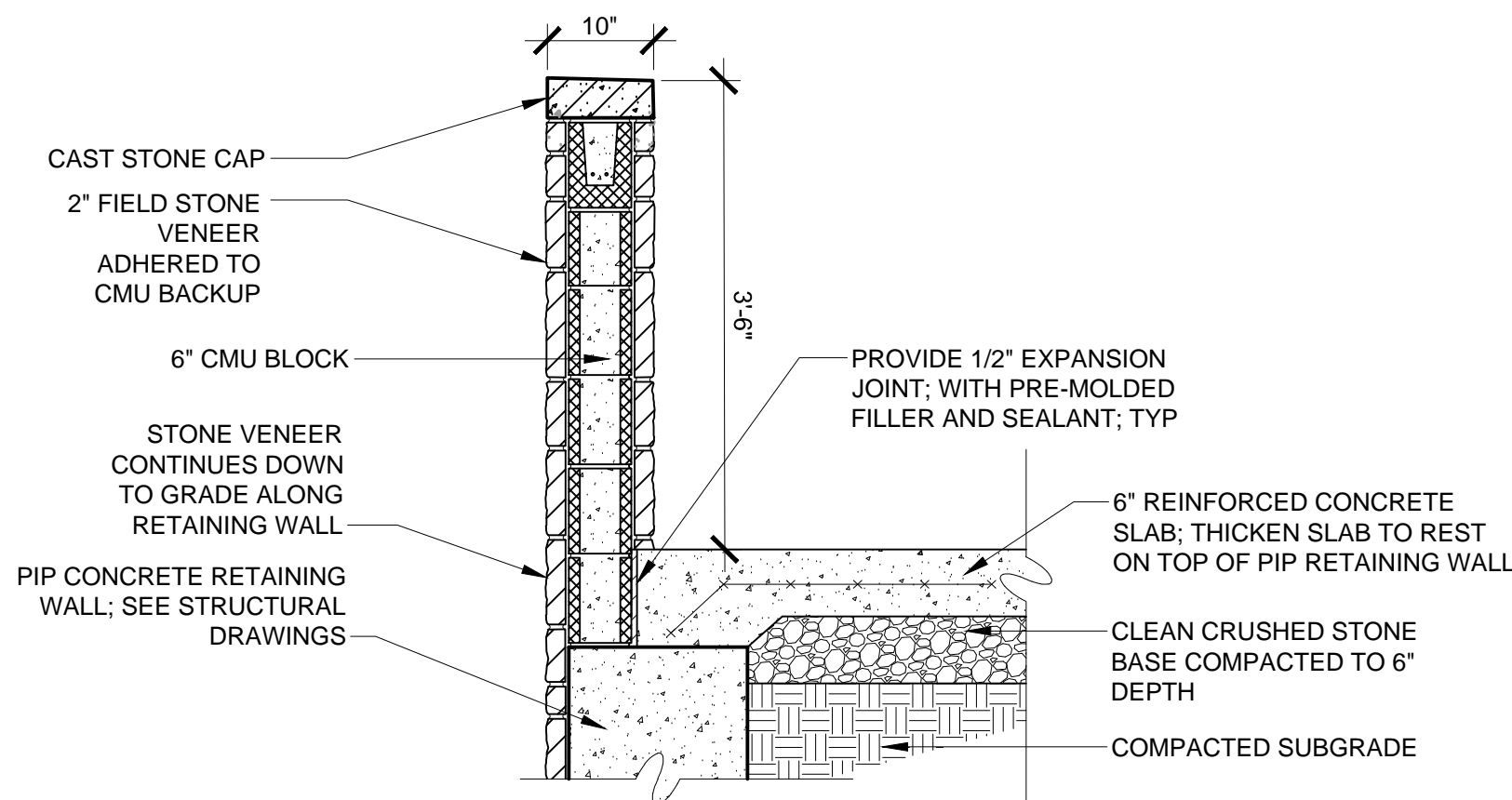
1 C.I.P. Concrete Retaining Wall With Stone Facing

L2.1 Scale: 0 6" 1' 2' Scale: 1" = 1'-0"



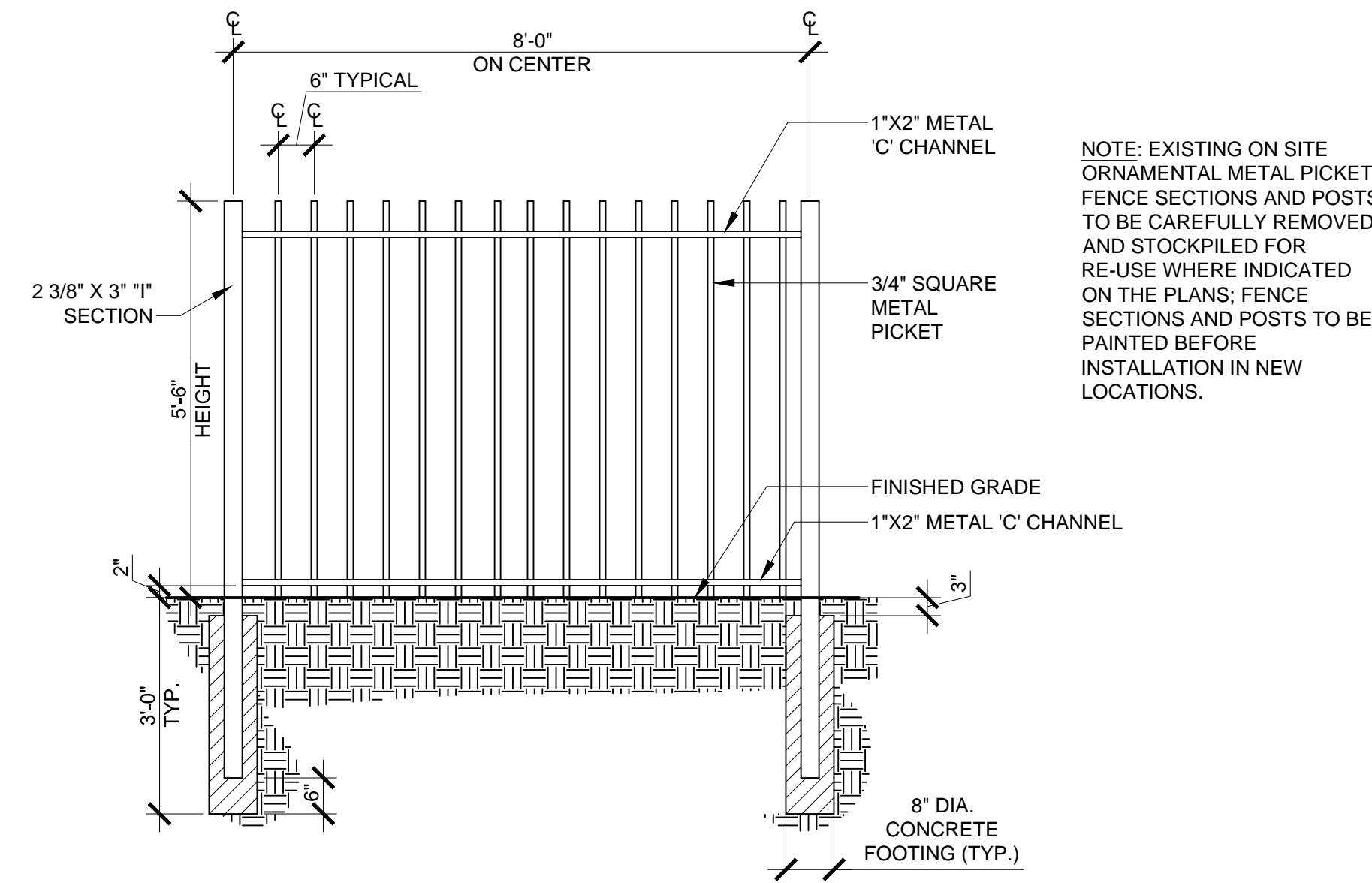
2 Free Standing CMU Block on Retaining Wall @ Trash Enclosure

L2.1 Scale: 0 8" 1'-4" 2'-8" Scale: 3/4" = 1'-0"



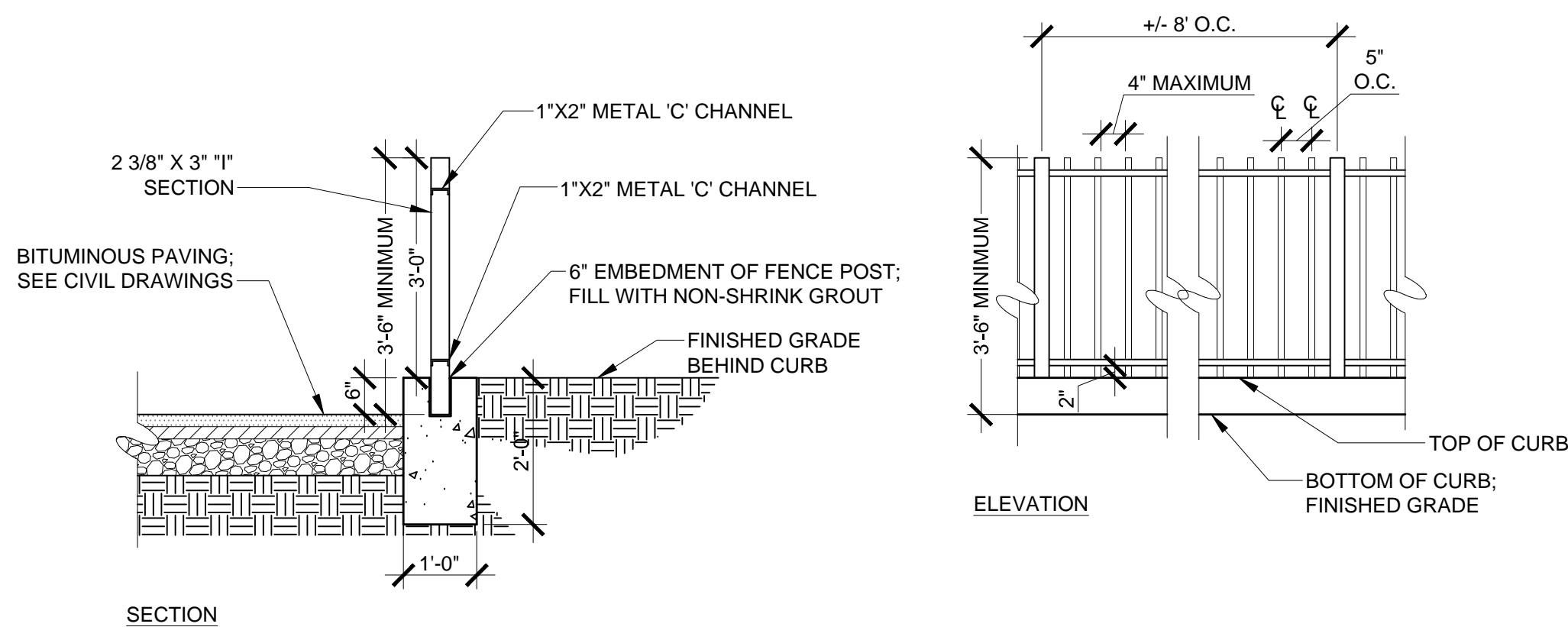
3 Free Standing 42" CMU Block on Retaining Wall @ Pedestrian Guardwall

L2.1 Scale: 0 8" 1'-4" 2'-8" Scale: 3/4" = 1'-0"



4 Ornamental Metal Picket Fence

L2.1 Scale: 0 1' 2' 4' Scale: 1/2" = 1'-0"

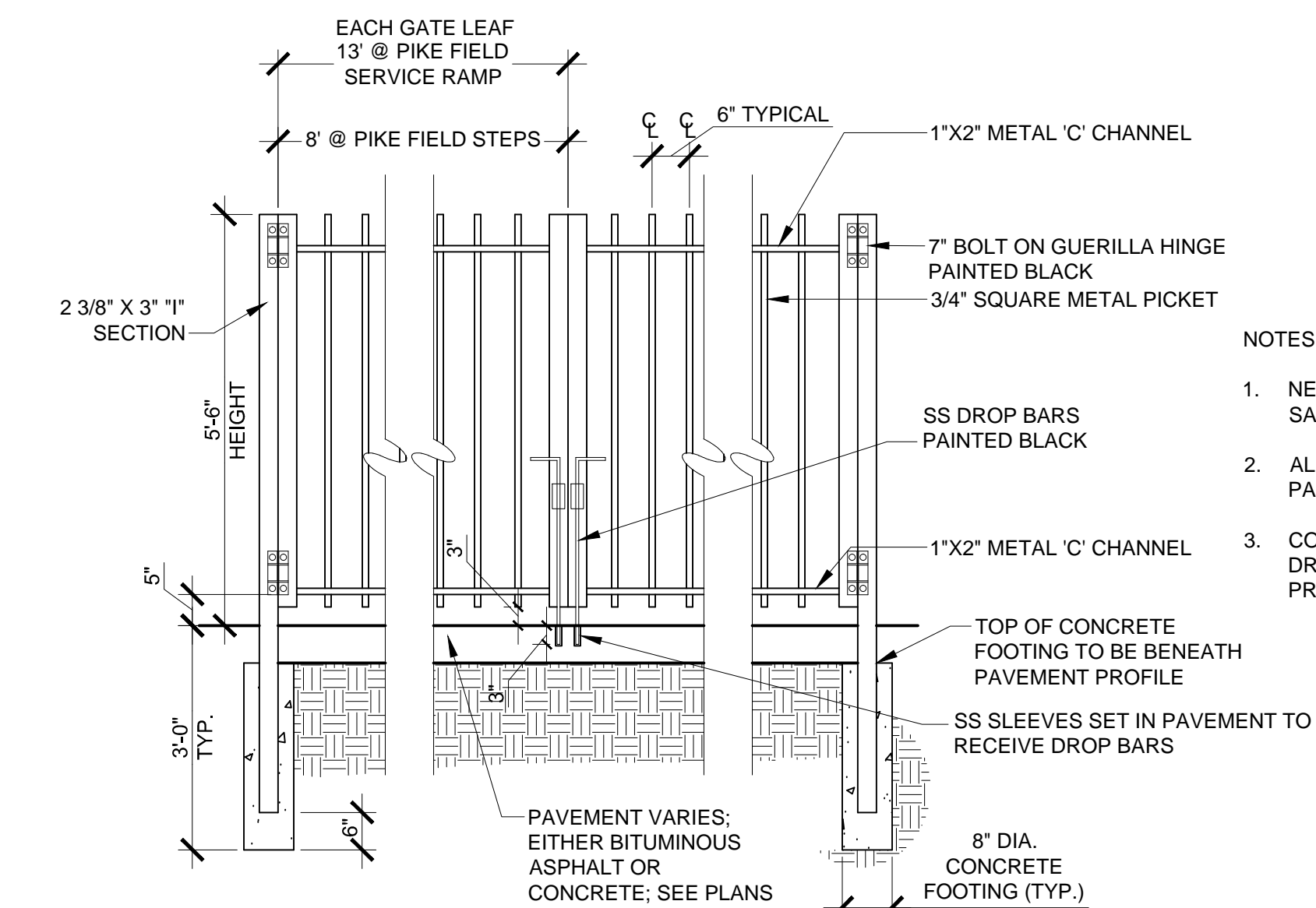


NOTES:

1. ALL GUARDRAIL MEMBERS TO BE GALVANIZED, PAINTED STEEL (COLOR: BLACK).
2. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

5 Ornamental Metal Pedestrian Guardrail in Concrete Curb

L2.1 Scale: 0 1' 2' 4' Scale: 1/2" = 1'-0"

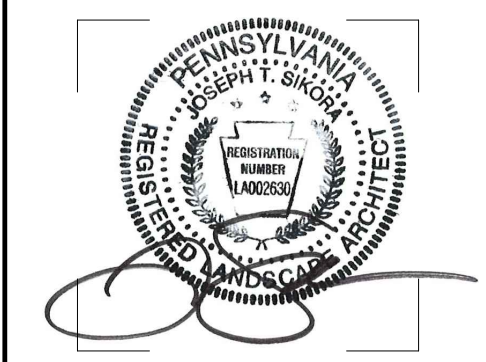


NOTES:

1. NEW GATE: STYLE TO MATCH EXISTING SALVAGED FENCE SECTIONS.
2. ALL GATE MEMBERS TO BE GALVANIZED, PAINTED STEEL; COLOR: BLACK.
3. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION.

6 Ornamental Metal Gate

L2.1 Scale: 0 1' 2' 4' Scale: 1/2" = 1'-0"

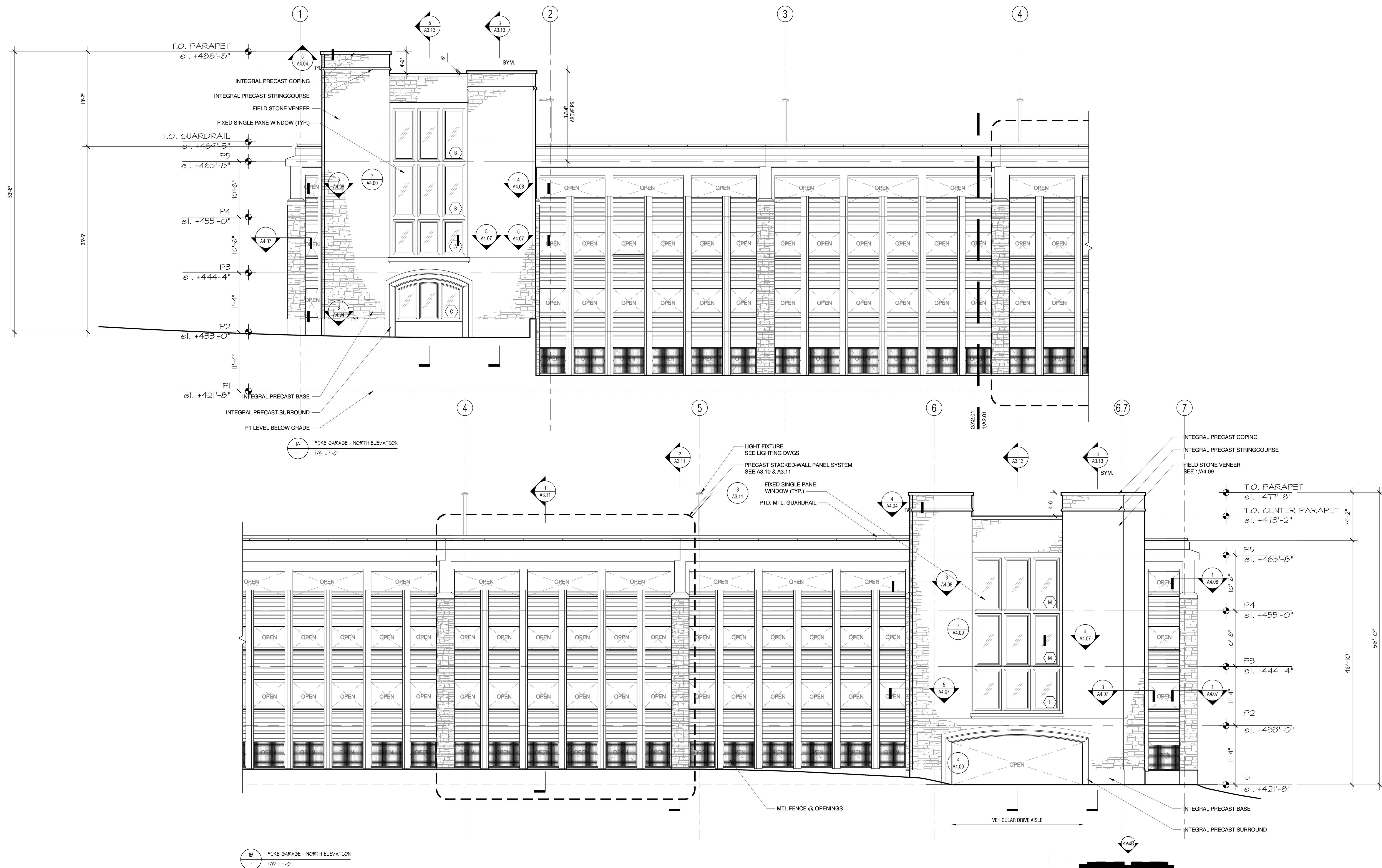


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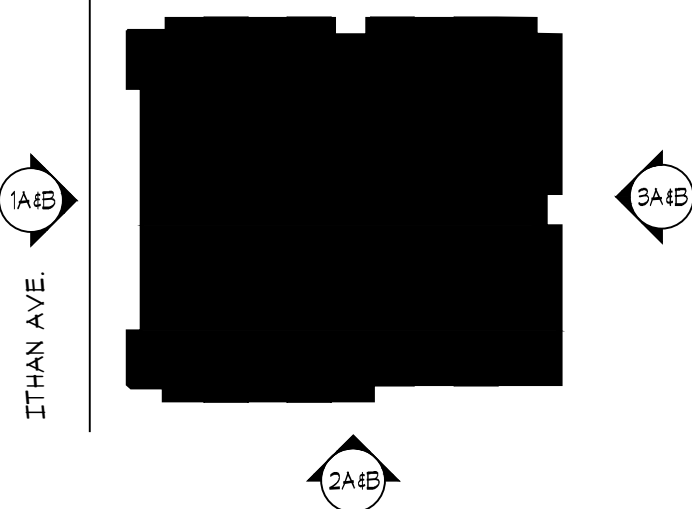
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Title Landscape Details

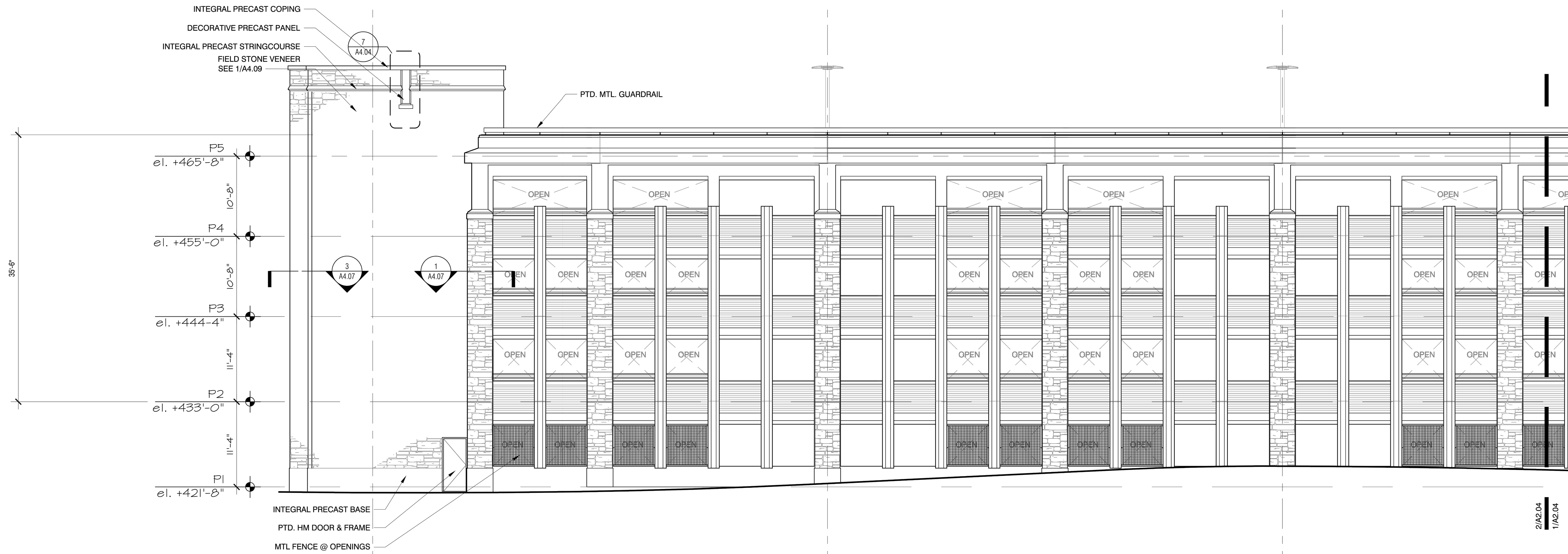
Scale As Indicated
Drawn By SP



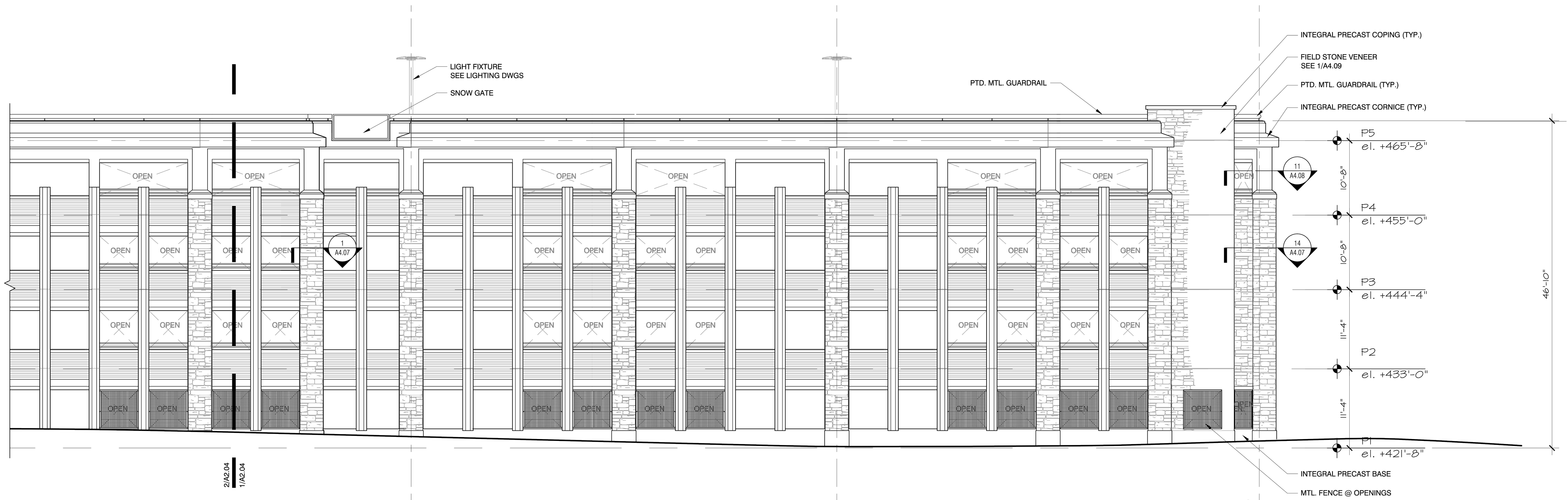
1A PIKE GARAGE - NORTH ELEVATION
1/8" = 1'-0"

1B PIKE GARAGE - NORTH ELEVATION
1/8" = 1'-0"

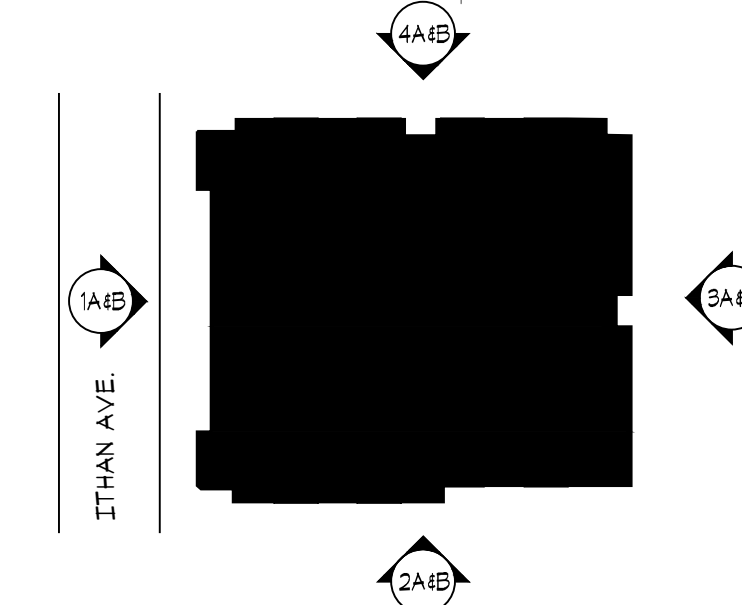


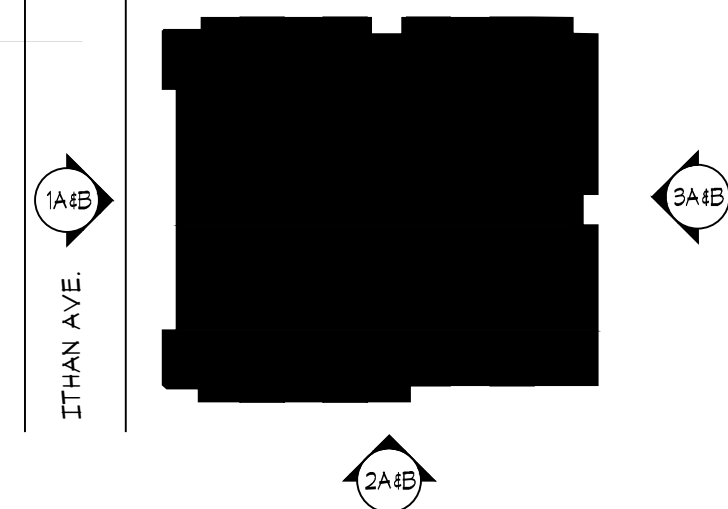
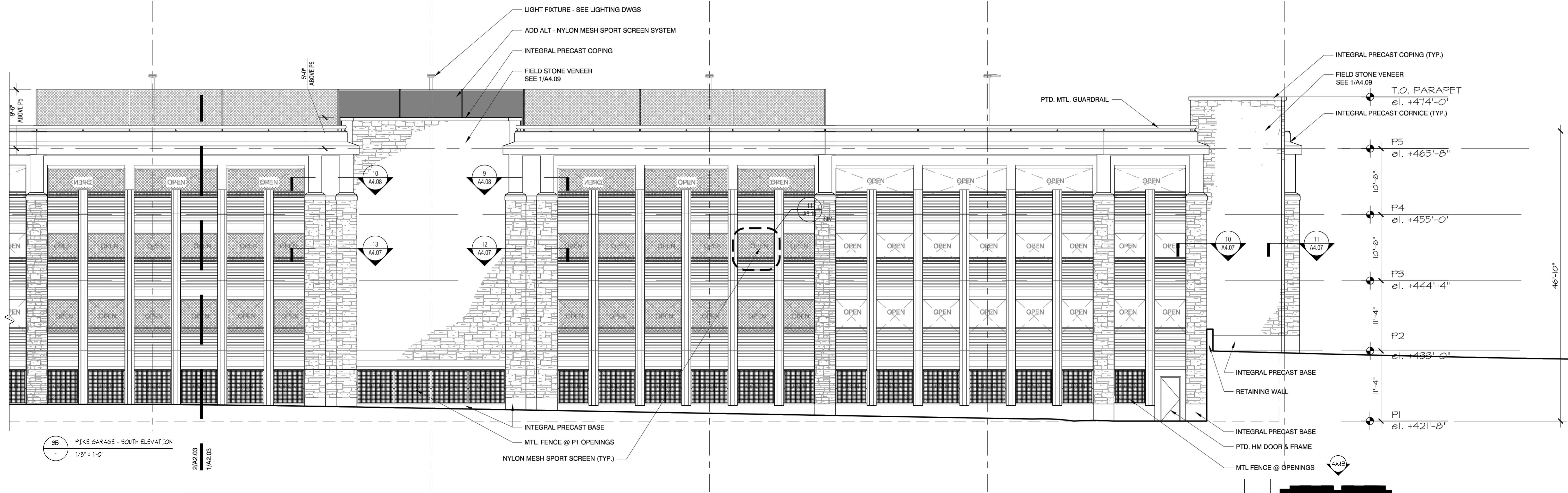
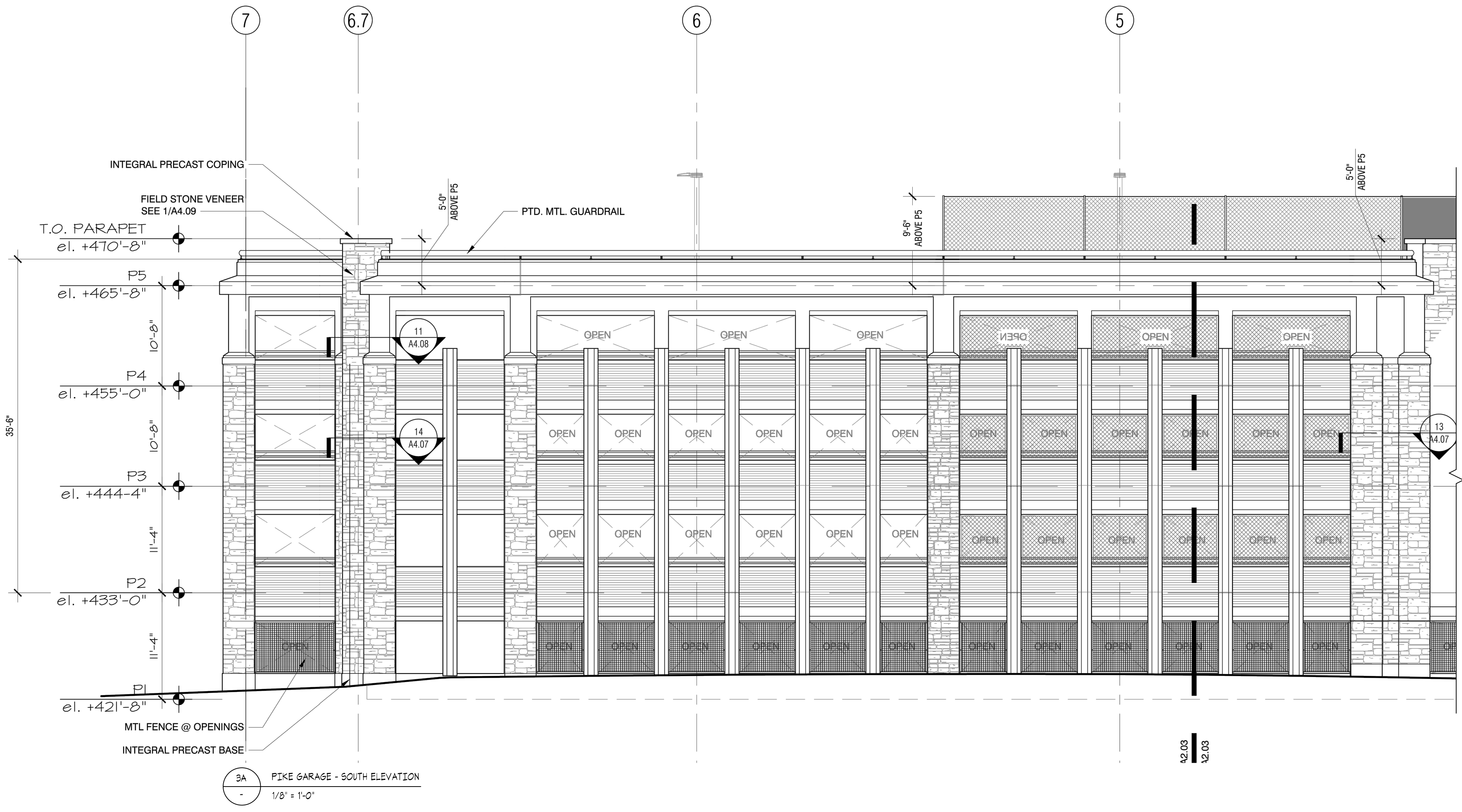


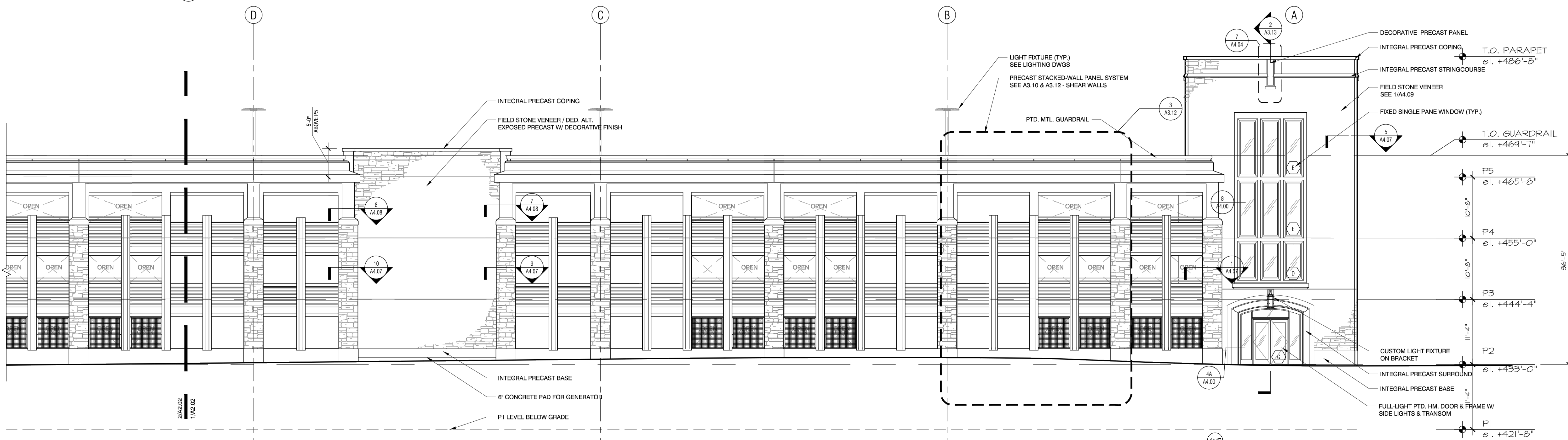
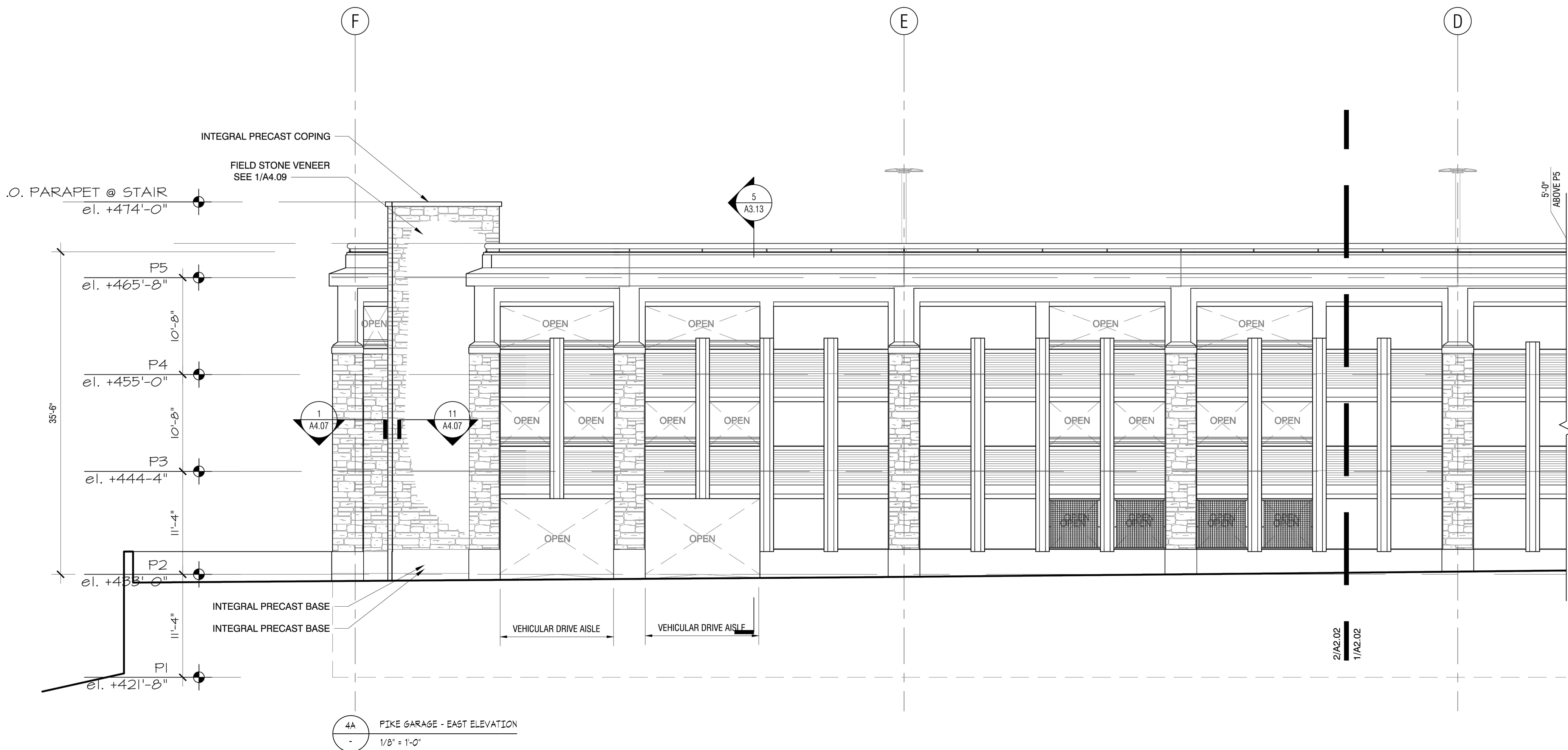
2A PIKE GARAGE - WEST ELEVATION
1/8" = 1'-0"



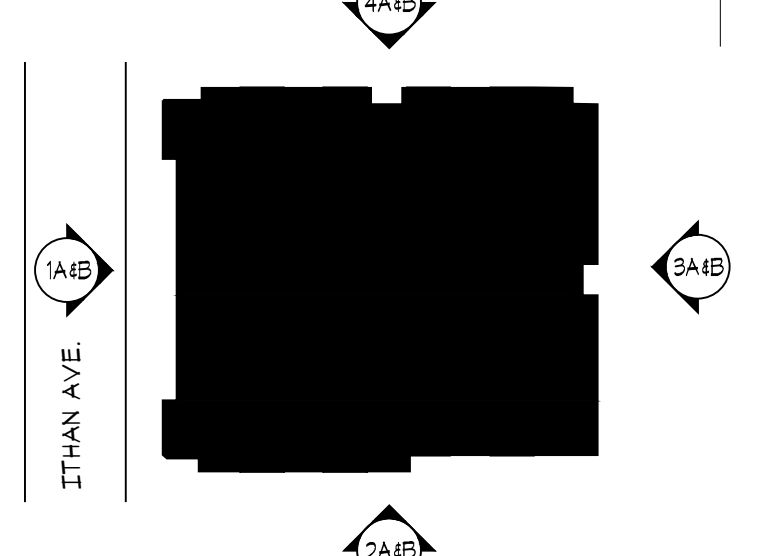
2B PIKE GARAGE - WEST ELEVATION
1/8" = 1'-0"







Villanova University - Pike Garage
 Exterior Elevations - Sheet 4 of 4
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VIEW ITAN AVENUE - DESIGN CONCEPT PRESENTED MAY 2015

Villanova University - Pike Garage

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VMA
VOITH & MACTAVISH ARCHITECTS

RAMSA
ROBERT A.M. STERN ARCHITECTS



VIEW LOOKING WEST FROM PIKE FIELD - DESIGN CONCEPT PRESENTED MAY 2015

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VIEW OF RR BRIDGE FROM ITHAN AVENUE LOOKING SOUTH



STADIUM STATION STAIRS AT NORTH SIDE OF RR



VIEW OF FROM PIKE FIELD LOOKING WEST

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VIEW FROM MAIN LOT PARKING LOOKING SOUTH