

**TOWNSHIP OF RADNOR  
DESIGN REVIEW BOARD**

TOWNSHIP USE ONLY	
APPLICATION NO: _____	
FEE PAID: _____	RECEIVED: _____

**APPLICATION FORM**

**GENERAL INFORMATION:** Meetings of the Design Review Board are held the **second Wednesday of each month at 6:00 P.M. in the Township Municipal Building. All applicants must attend this meeting!!** Application must be filed with the Department of Community Development, along with all required information and appropriate fees, a minimum of **twenty-one (21)** calendar days prior to the meeting. **Incomplete or late applications will not be accepted!!** Applicants are encouraged to obtain and review a copy of Ordinance No 91-14 (Sign Code) and/or Ordinance 91-32 (Design Review); available in the Department of Community Development.

Please refer to the Consolidated Fee Schedule, as amended, on our website at [www.radnor.org](http://www.radnor.org) for a copy of our current fees.

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APPLICANT NAME: \_\_\_\_\_

PROPERTY ADDRESS: \_\_\_\_\_

IS THIS BUILDING STAND ALONE OR ATTACHED TO ANOTHER BUILDING?  
\_\_\_\_\_

MAILING ADDRESS: (if different than above): \_\_\_\_\_

TELEPHONE NO: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

PROPERTY OWNER: \_\_\_\_\_

SIGN MANUFACTURER / CONTRACTOR / ARCHITECT:  
\_\_\_\_\_

ADDRESS: \_\_\_\_\_

TELEPHONE: (\_\_\_\_\_) \_\_\_\_\_ - \_\_\_\_\_

**Please provide a detailed description of proposal:**

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### **BUILDING ADDITION / ACCESSORY STRUCTURES:**

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material samples

### **NEW BUILDING:**

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation drawn to scale - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Landscape plan - **6 copies** (max. size 24" X 36")
- Lighting plan - **6 copies**
- Current photographs of site - **6 copies**
- Material samples Material samples to be presented at meeting.

### **TELECOMMUNICATION ANTENNAS:**

Submission requirements (All of the following **MUST** be submitted with application):

- Site plan drawn to scale - **6 copies** (max. size 24" X 36")
- Building elevation - **6 copies** (max. size 24" X 36")
- Colored rendering - **6 copies**
- Current photographs - **6 copies**

### **OUTDOOR DINING:**

Submission requirements (All of the following **MUST** be submitted with application):

- A detailed/sketched site plan on 8 ½ x 11 paper, but not to exceed 24 X 36. All sidewalk obstruction shall be noted and detailed dimensions shall be clearly shown. (See attached sample site plan.) – **6 copies**
- A photograph of your proposed Outdoor Dining area. – **6 copies**
- A photograph or vendor specification of proposed furniture. – **6 copies**
- A photograph or vendor specification of proposed barrier and detail of how far it will extend onto the sidewalk – **6 copies**
- Description of proposed outdoor furniture which must include quantity, colors, materials, types of the following; chairs, tables, umbrellas, heaters, barriers. – **6 color copies**

**NOTE: All information must be separated into 6 individual packets. Please be sure ALL items on checklists are included in application packets. If all items are not included, the application will NOT be accepted.**

I hereby certify that I am the legal owner of the subject property as set forth in this application:

\_\_\_\_\_  
DATE

\_\_\_\_\_  
PRINT NAME

\_\_\_\_\_  
SIGNATURE

I hereby certify that I am the legal representation and/or agent for the owner of the subject property as set forth in this application:

\_\_\_\_\_  
DATE

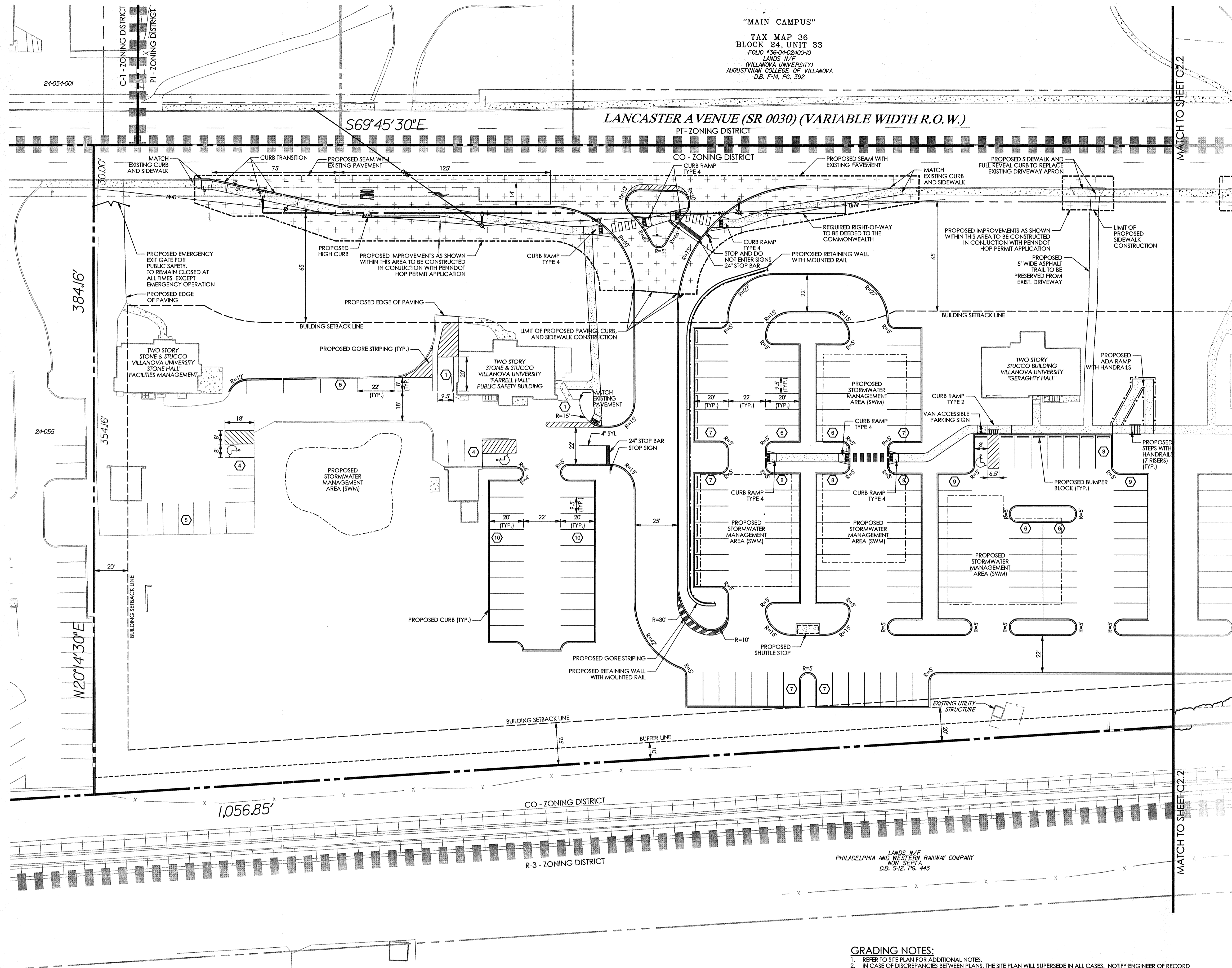
\_\_\_\_\_  
PRINT NAME

\_\_\_\_\_  
SIGNATURE

**NOTE: Applications will not be reviewed without applicant's presence at the meeting. Failure to appear shall result in denial of application.**

4/11/13





"MAIN CAMPUS"  
 TAX MAP 36  
 BLOCK 24, UNIT 33  
 FOLIO #36-04-02400-10  
 LANDS W/F  
 (VILLANOVA UNIVERSITY)  
 AUGUSTINIAN COLLEGE OF VILLANOVA  
 D.B. F-14, PG. 392

LANCASTER AVENUE (SR 0030) (VARIABLE WIDTH R.O.W.)



KEY MAP  
 SCALE 1" = 1,000'

ZONING DATA

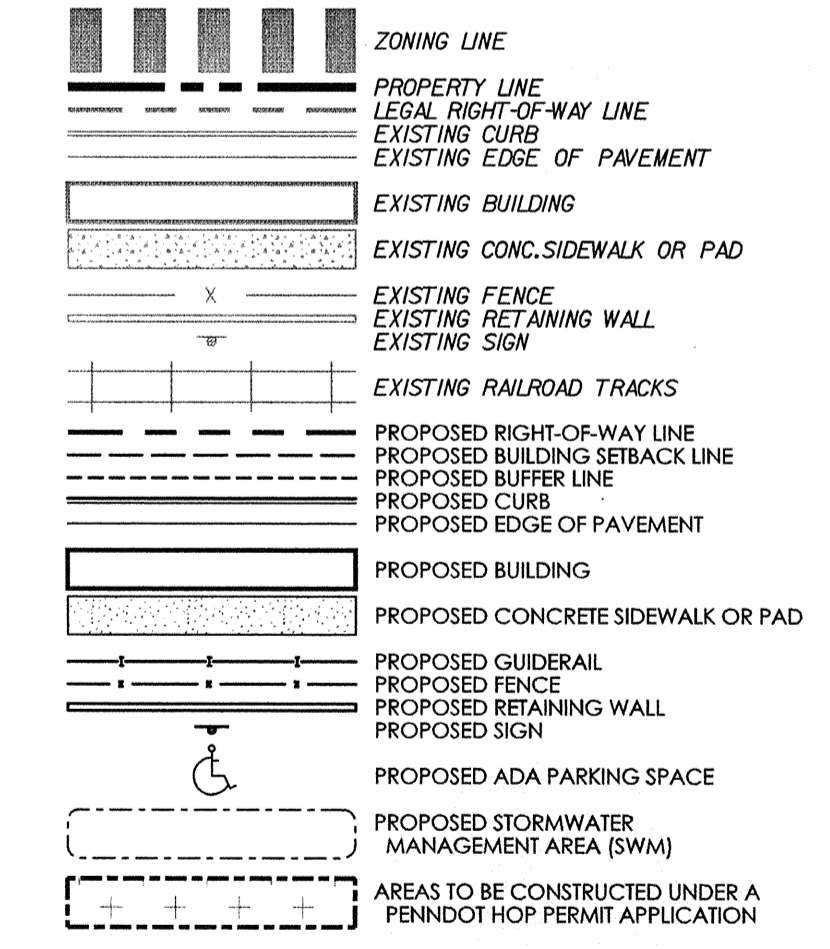
COMMERCIAL OFFICE DISTRICT (CO)  
 GROSS LOT AREA: 8.48 AC. (369,543 SF)  
 NET LOT AREA: 7.53 AC. (328,137 SF)\*

\* - LOT AREAS ARE BASED ON CONSOLIDATION OF 8 PARCELS

CLASSIFICATION:	REQUIRED	PROPOSED
MINIMUM LOT WIDTH	100'	>100'
MAXIMUM BUILDING COVERAGE	20%	3%
MINIMUM BUILDING SETBACK		
FRONT YARD	65'	57.9'*
SIDE YARD	20'	11.9'*
REAR YARD	25'	134.7'
MINIMUM BUFFER SETBACK	10'	20'
MAXIMUM BUILDING HEIGHT	35'	<35'
MINIMUM LANDSCAPE AREA	50%	54.3%
MINIMUM INTERIOR PARKING LANDSCAPE AREA	10%	21.3%

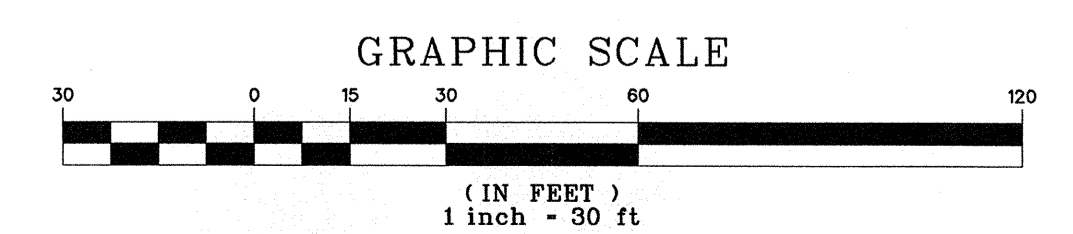
\* - NON-CONFORMITY CAUSED BY PENNDOT RIGHT-OF-WAY DEDICATION  
 \*\* - EXISTING NON-CONFORMITY

LEGEND

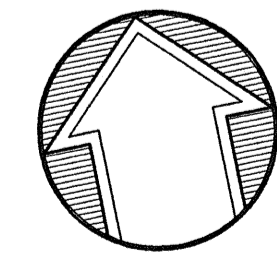


GRADING NOTES:

- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
- IN CASE OF DISCREPANCIES BETWEEN PLANS, THE SITE PLAN WILL SUPERSEDE IN ALL CASES. NOTIFY ENGINEER OF RECORD OF ANY CONFLICT.
- SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR MAXIMUM DENSITY PER A.S.T.M. TEST D-1557. MOISTURE CONTENT AT THE TIME OF PLACEMENT SHALL BE NO MORE THAN 2% ABOVE OR 3% BELOW OPTIMUM. CONTRACTOR SHALL SUBMIT A COMPACTION REPORT, PREPARED BY A QUALIFIED SOILS ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.
- SUBBASE MATERIAL FOR SIDEWALKS, OR ASPHALT SHALL BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL AND COMPACTED TO 95% OPTIMUM DENSITY (AS DETERMINED BY MODIFIED PROCTOR METHOD).
- CONTRACTOR TO UTILIZE APPROPRIATE CONSTRUCTION TECHNIQUES TO PROTECT THE PROPOSED INFILTRATION PRACTICE OF THE STORMWATER BASIN. UNDER NO CIRCUMSTANCE IS THE INFILTRATION AREA TO BE COMPACTED, ROLLED, OR HAVE HEAVY EQUIPMENT OPERATING WITHIN THE EXCAVATED PERIMETER.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION AND/OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
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- CONTRACTOR SHALL ADHERE TO ALL SAFETY REGULATIONS AS REQUIRED BY "OSHA", THE PROPERTY OWNER, OR ANY LOCAL, STATE & FEDERAL AUTHORITY.
- CONTRACTOR TO ENSURE COMPLIANCE WITH A.D.A. REGULATIONS.



20112071855  
 20112071856  
 20112071857  
 20112071858  
 20112071859  
 20112071907  
 20112071927  
 20112071972  
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 CONSTRUCTION PHASE AND 10 WORKING  
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 1-800-242-1776



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 W. Lancaster Ave. Parking  
 Lancaster and Ithan Avenues  
 Villanova PA 19085

VMA  
 RAMSA

ARCHITECT-OF-RECORD  
 Voith & Mactavish Architects LLP  
 2401 Walnut Street, 6th Floor  
 Philadelphia, PA 19103  
 phone: 215-545-4544  
 fax: 215-545-3299  
 www.voithandmactavish.com

DESIGN ARCHITECT  
 Robert A.M. Stern Architects LLP  
 450 West 34th Street  
 New York, New York 10001  
 phone: 212-967-5100  
 fax: 212-967-5588  
 www.ramsa.com

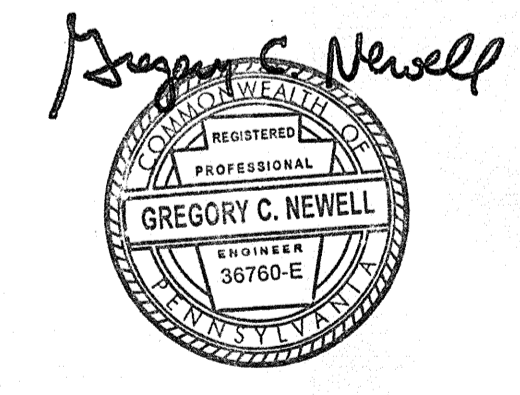
CIVIL ENGINEER  
 Nave Newell Inc.  
 900 West Valley Road, Suite 1100  
 Wayne, PA 19087  
 phone: 610-265-8523  
 fax: 610-265-4299  
 www.navenewell.com

STRUCTURAL ENGINEER - PARKING  
 PLANNING AND DESIGN  
 The Harman Group, Inc.  
 900 West Valley Forge Road, Suite 200  
 King of Prussia, PA 19406  
 phone: 610-337-3360 x 118 voice  
 mobile phone: 610-334-0974  
 fax: 610-337-3359  
 www.HarmanGroup.com

MEP&FP ENGINEER  
 Bala Consulting Engineers, Inc.  
 443 South Gulph Road  
 King of Prussia, PA 19406  
 phone: 610-649-8000  
 fax: 910-649-8475

LANDSCAPE ARCHITECT  
 Sikora Wells Appel  
 8 Kings Hwy West, Suite A  
 Haddonfield NJ 08033  
 phone dir: 856-433-6377  
 phone main: 856-433-6380  
 phone cell: 267-303-3753  
 www.sikora-wa.com

ELEVATOR CONSULTANT  
 Zipf Associates Inc.  
 25 Bala Avenue, Suite 201  
 Bala Cynwyd, PA 19004  
 phone: 610-667-1717  
 fax: 610-667-0216



FINAL LAND DEVELOPMENT  
 SUBMISSION

Revision #4 August 10, 2015  
 Date March 6, 2015  
 Title Site Plan

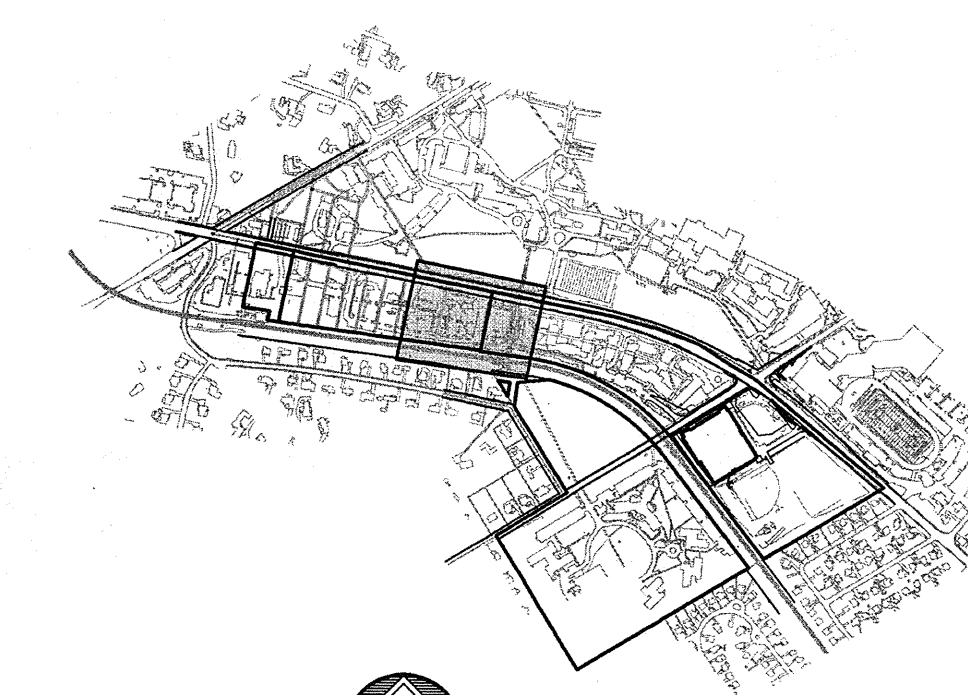
Scale 1" = 30'  
 Drawn By DWN

C2.1

Sheet No. 5 of 34  
 Contractor to verify all dimensions in field and inform  
 Architect of any discrepancies before starting work.

"MAIN CAMPUS"  
 TAX MAP 36  
 BLOCK 24, UNIT 33  
 FOLIO #36-04-02400-10  
 LANDS N/E  
 VILLANOVA UNIVERSITY  
 AUGUSTINIAN COLLEGE OF VILLANOVA  
 D.B. F-14, PG. 392

LANCASTER AVENUE (SR 0030) (VARIABLE WIDTH R.O.W.)  
 1,053.24'



Villanova University  
 W. Lancaster Ave. Parking  
 Lancaster and Ithan Avenues  
 Villanova PA 19085

VMA  
 RAMSA

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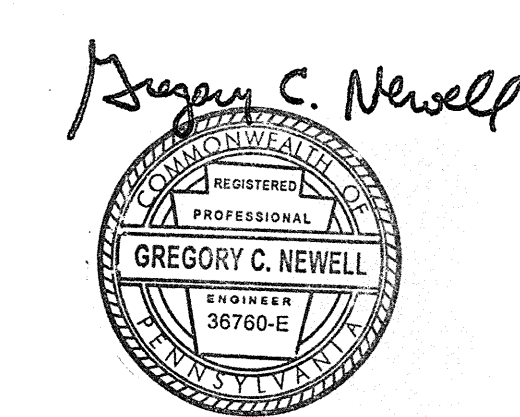
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 fax: 610-667-0216

LEGEND	
	ZONING LINE
	PROPERTY LINE
	LEGAL RIGHT-OF-WAY LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING CONC. SIDEWALK OR PAD
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING SIGN
	EXISTING RAILROAD TRACKS
	EXISTING TRAFFIC SIGNAL MAST ARM
	LIMITS OF CID DISTRICT
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED BUFFER LINE
	PROPOSED CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE SIDEWALK OR PAD
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED DUMPSTER ENCLOSURE WITH DUMPSTER, RECYCLING BINS, SCREEN WALLS AND SCREEN GATE
	PROPOSED STORMWATER MANAGEMENT AREA (SWM)
	AREAS TO BE CONSTRUCTED UNDER A PENNDOT HOP PERMIT APPLICATION



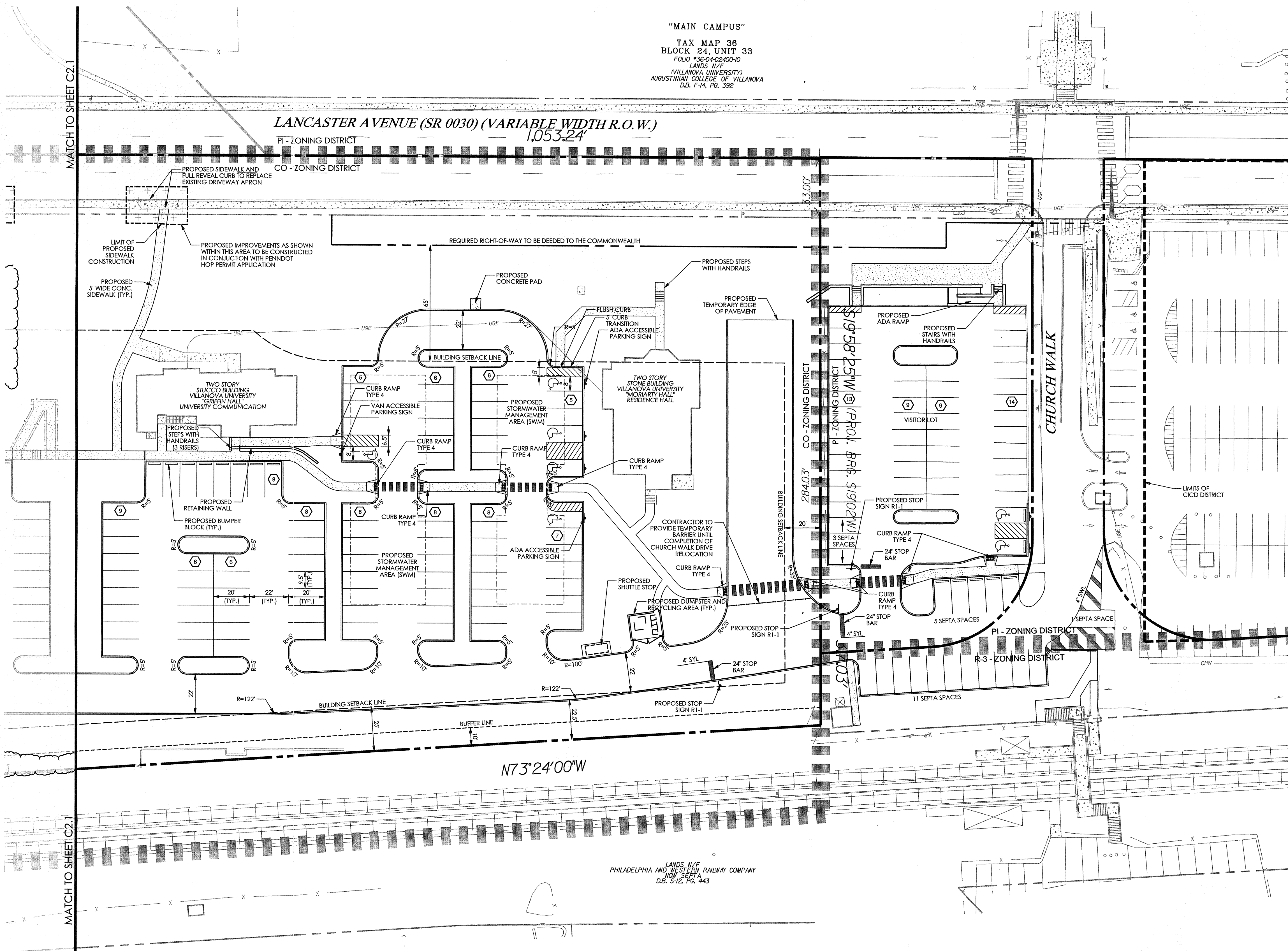
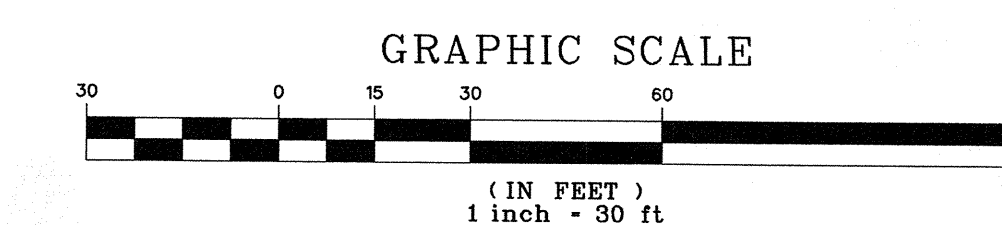
FINAL LAND DEVELOPMENT  
 SUBMISSION  
 Revision #4 August 10, 2015  
 Date March 6, 2015  
 Title Site Plan

Scale 1" = 30'  
 Drawn By DWN

C2.2

Sheet No. 6 of 34

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.

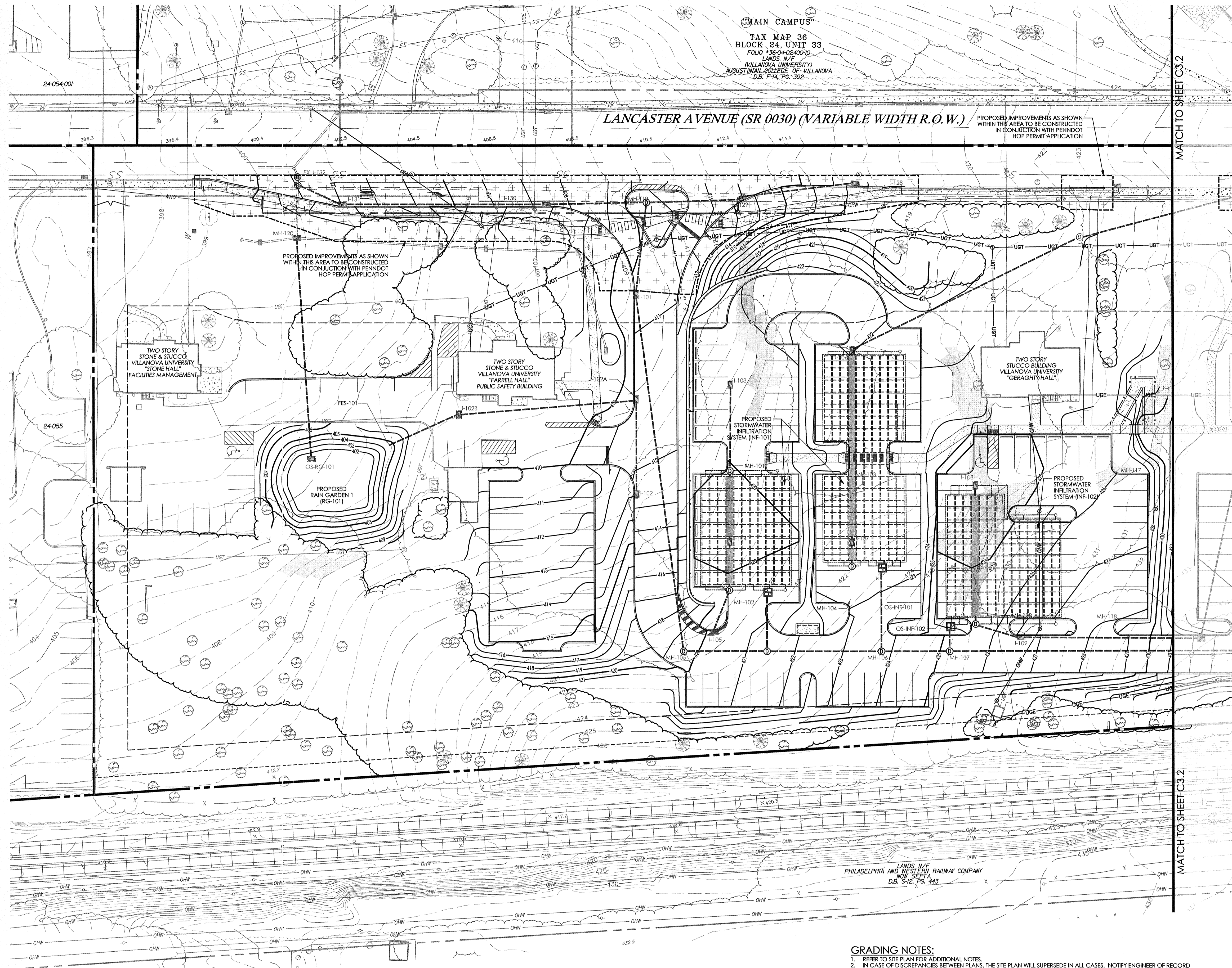


20112021855  
 20112021869  
 20112021907  
 20112021932  
 20112021972  
 PROJECT SERIAL NO.  
 CALL BEFORE YOU DIG!  
 PENNSYLVANIA LAW REQUIRES  
 3 WORKING DAYS NOTICE FOR  
 CONSTRUCTION PHASE AND 10 WORKING  
 DAYS IN DESIGN STAGE - STOP CALL  
 Pennsylvania One Call System, Inc.  
 1-800-242-1776

LANDS N/E  
 PHILADELPHIA AND WESTERN RAILWAY COMPANY  
 NW SECT 4  
 D.B. S-12, PG. 443

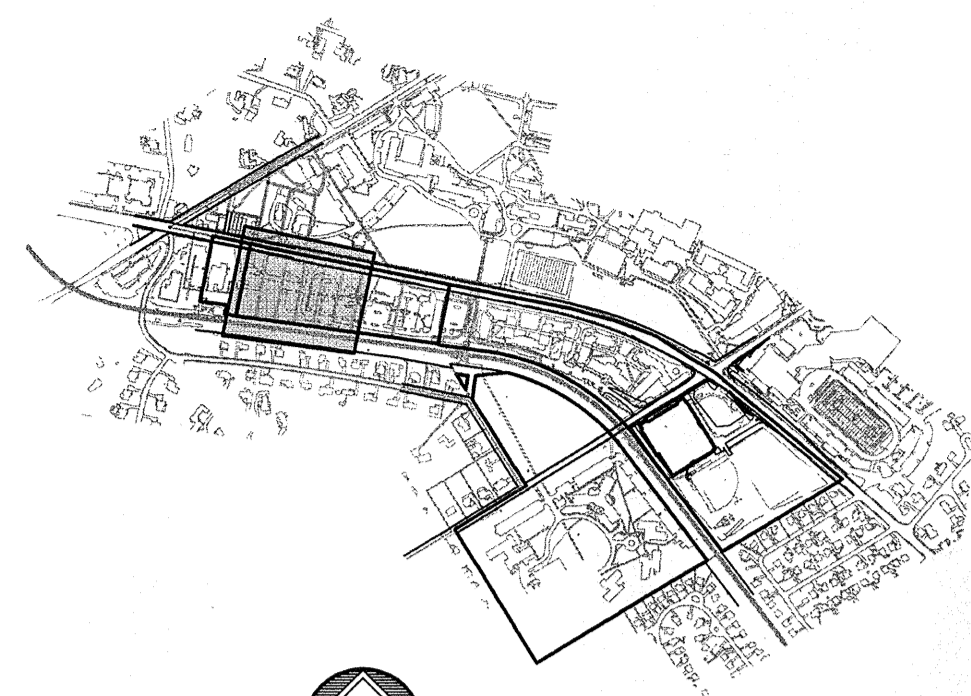
MATCH TO SHEET C2.1

MATCH TO SHEET C2.1



MAIN CAMPUS  
 TAX MAP 36  
 BLOCK 24, UNIT 33  
 FOLIO #36-04-02-000-10  
 LANDS W/1  
 VILLANOVA UNIVERSITY  
 AURUSTINIAN COLLEGE OF VILLANOVA  
 D.B. P-14, PG. 392

LANCASTER AVENUE (SR 0030) (VARIABLE WIDTH R.O.W.)  
 PROPOSED IMPROVEMENTS AS SHOWN WITHIN THIS AREA TO BE CONSTRUCTED IN CONJUNCTION WITH PENNDOT HOP PERMIT APPLICATION



KEY MAP  
 SCALE 1" = 1,000'

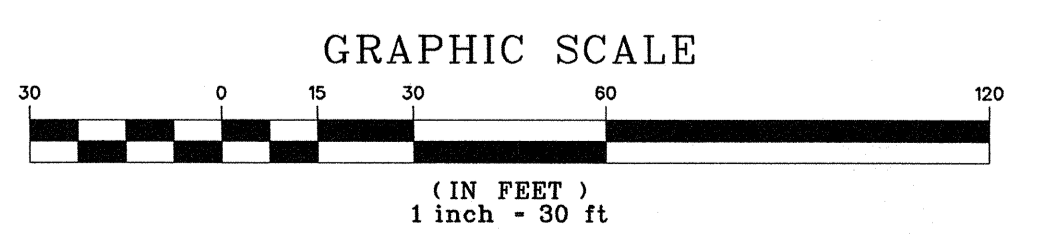
**LEGEND**

	PROPERTY LINE
	LEGAL RIGHT-OF-WAY LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING SIGN
	EXISTING TREE LINE
	EXISTING TREE
	EXISTING RAILROAD TRACKS
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SANITARY SEWER WITH MANHOLE
	EXISTING STORM SEWER WITH MANHOLE
	EXISTING STORM INLET
	EXISTING WATER SERVICE WITH MANHOLE
	EXISTING WATER VALVE
	EXISTING FIRE HYDRANT
	EXISTING GAS SERVICE
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC SERVICE WITH MANHOLE
	EXISTING ELECTRIC METER
	EXISTING UNDERGROUND TELEPHONE SERVICE WITH MANHOLE
	EXISTING TELEPHONE METER
	EXISTING LIGHT STANDARDS
	EXISTING 14% TO 20% SLOPES
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE SIDEWALK OR PAD
	PROPOSED GUIDERAIL
	PROPOSED FENCE
	PROPOSED RETAINING WALL
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TOP OF WALL
	PROPOSED BOTTOM OF WALL
	PROPOSED TOP OF CURB
	PROPOSED BOTTOM OF CURB
	PROPOSED FLUSHED CURB
	PROPOSED STORM PIPE
	PROPOSED INLET / YARD DRAIN
	PROPOSED UNDERDRAIN / ROOF DRAIN
	PROPOSED UTILITY POLE WITH OVERHEAD WIRE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND TELECOM
	AREAS TO BE CONSTRUCTED UNDER A PENNDOT HOP PERMIT APPLICATION
	SLOPES 14% TO 20%
	SLOPES 20% +

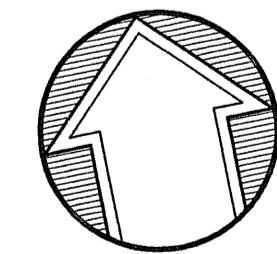
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- REFER TO SITE PLAN FOR ADDITIONAL NOTES.
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  - CONTRACTOR TO ENSURE COMPLIANCE WITH A.D.A. REGULATIONS.

**WALL ELEVATIONS:**

SPOT	TOP OF WALL	GRADE	BOT OF WALL
A	423.5	421.0	420.5
B	423.5	421.0	417.1
C	423.5	421.0	412.8
D	423.5	421.0	412.6
E	423.5	421.0	412.1
F	424.5	421.0	412.1
G	424.5	422.0	412.1
H	424.5	422.0	421.0
I	424.5	422.0	422.0



20112071855  
 20112071859  
 20112071907  
 20112071929  
 20112071972  
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 Pennsylvania One Call System, Inc.  
 1-800-242-1776



Villanova University  
 W. Lancaster Ave. Parking  
 Lancaster and Ithan Avenues  
 Villanova PA 19085

**VMA  
 RAMSA**

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 Philadelphia, PA 19103  
 phone: 215-545-4544  
 fax: 215-545-3299  
 www.voithandmactavish.com

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 New York, New York 10001  
 phone: 212-967-5100  
 fax: 212-967-5588  
 www.ramsa.com

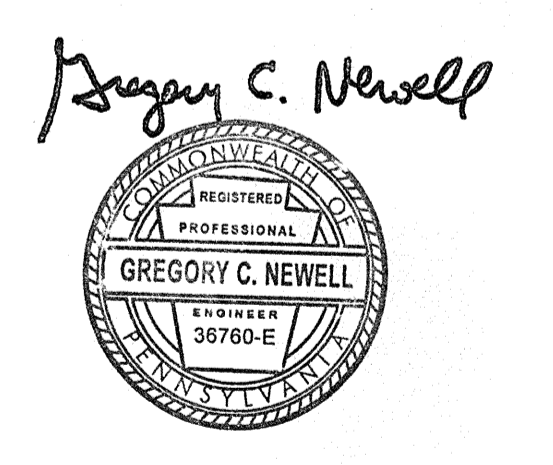
CIVIL ENGINEER  
 Nave Newell Inc.  
 900 West Valley Road, Suite 1100  
 Wayne, PA 19087  
 phone: 610-265-8333  
 fax: 610-265-4299  
 www.navenewell.com

STRUCTURAL ENGINEER - PARKING  
 PLANNING AND DESIGN  
 The Harman Group, Inc.  
 900 West Valley Forge Road, Suite 200  
 King of Prussia, PA 19406  
 phone: 610-337-3360 x 118 voice  
 mobile phone: 610-334-0974  
 fax: 610-337-3359  
 www.HarmanGroup.com

MEP&FP ENGINEER  
 Bala Consulting Engineers, Inc.  
 443 South Gulph Road  
 King of Prussia, PA 19406  
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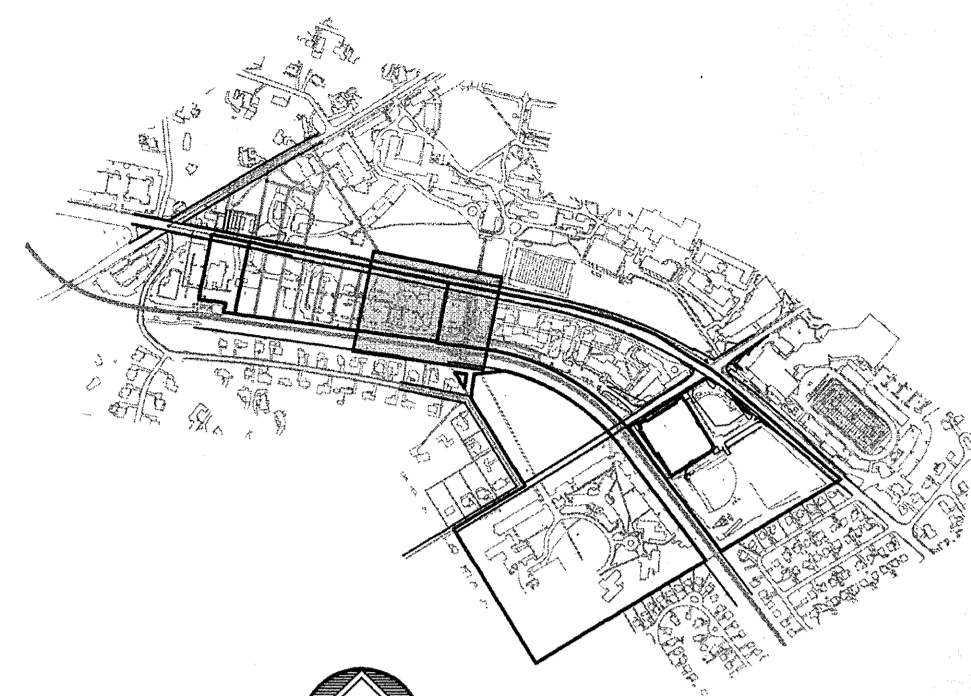
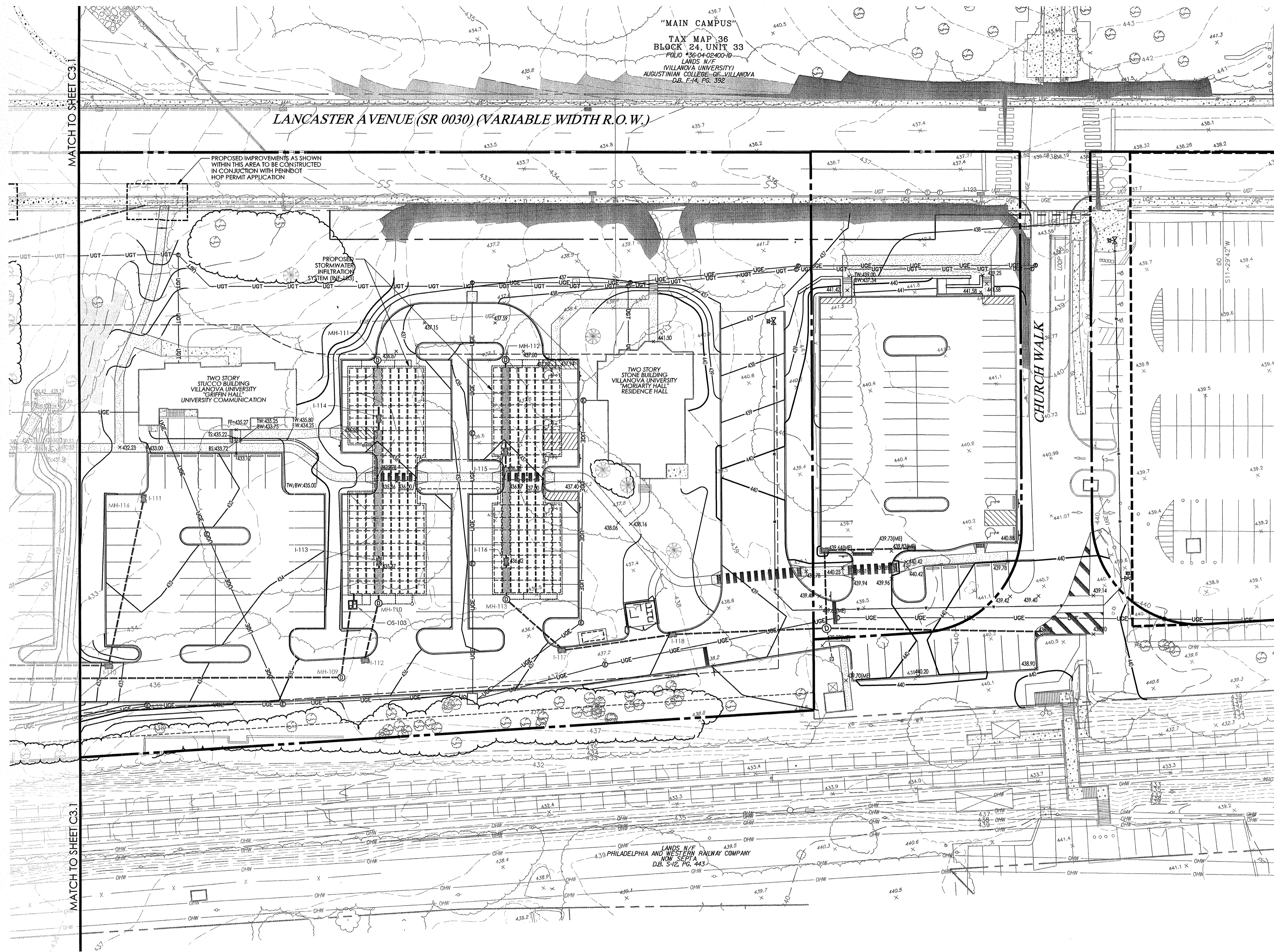
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 SUBMISSION

Revision #4 August 10, 2015  
 Date March 6, 2015  
 Title Grading Plan

Scale 1" = 30'  
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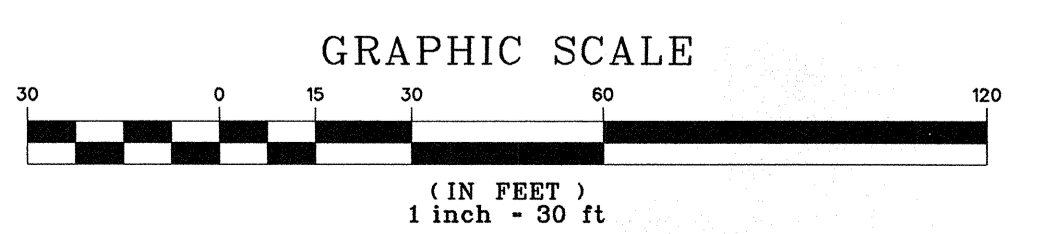
**C3.1**

Sheet No. 7 of 34  
 Contractor to verify all dimensions in field and inform  
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**LEGEND**

	PROPERTY LINE
	LEGAL RIGHT-OF-WAY LINE
	EXISTING CURB
	EXISTING EDGE OF PAVEMENT
	EXISTING BUILDING
	EXISTING FENCE
	EXISTING RETAINING WALL
	EXISTING SIGN
	EXISTING TREE LINE
	EXISTING TREE
	EXISTING RAILROAD TRACKS
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	EXISTING SANITARY SEWER WITH MANHOLE
	EXISTING STORM SEWER WITH MANHOLE
	EXISTING STORM INLET
	EXISTING WATER SERVICE WITH MANHOLE
	EXISTING WATER VALVE
	EXISTING UTILITY POLE WITH GUY WIRE
	EXISTING OVERHEAD WIRE
	EXISTING UNDERGROUND ELECTRIC SERVICE WITH MANHOLE
	EXISTING ELECTRIC METER
	EXISTING TRANSFORMER
	EXISTING CABLE SERVICE WITH CABLE BOX
	EXISTING UNDERGROUND TELEPHONE SERVICE WITH MANHOLE
	EXISTING TELEPHONE METER
	EXISTING LIGHT STANDARDS
	EXISTING TRAFFIC SIGNAL MAST ARM
	EXISTING 4x4 TO 20% SLOPES
	LIMITS OF CICD DISTRICT
	PROPOSED RIGHT-OF-WAY LINE
	PROPOSED BUILDING SETBACK LINE
	PROPOSED BUFFER LINE
	PROPOSED CURB
	PROPOSED EDGE OF PAVEMENT
	PROPOSED BUILDING
	PROPOSED CONCRETE SIDEWALK OR PAD
	PROPOSED SIGN
	PROPOSED ADA PARKING SPACE
	PROPOSED DUMPSTER ENCLOSURE WITH DUMPSTER, RECYCLING BINS, SCREEN WALLS AND SCREEN GATE
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED TOP OF WALL
	PROPOSED BOTTOM OF WALL
	PROPOSED TOP OF CURB
	PROPOSED BOTTOM OF CURB
	PROPOSED STORM PIPE
	PROPOSED FLUSHED CURB
	PROPOSED INLET / YARD DRAIN
	PROPOSED UNDERDRAIN / ROOF DRAIN
	PROPOSED UTILITY POLE WITH OVERHEAD WIRE
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED ELECTRIC METER
	PROPOSED UNDERGROUND TELECOM
	AREAS TO BE CONSTRUCTED UNDER A PENNDOT HOP PERMIT APPLICATION
	SLOPES 14% TO 20%
	SLOPES 20% +



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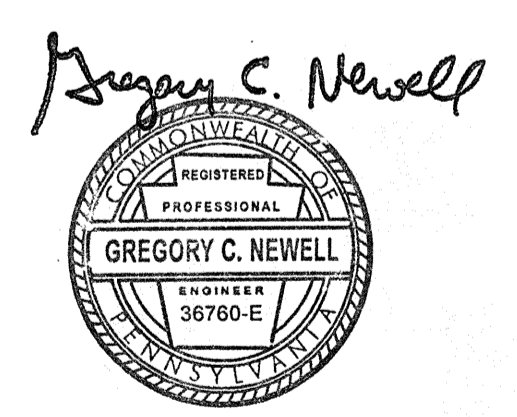
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Revision #4 August 10, 2015  
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Title Grading Plan

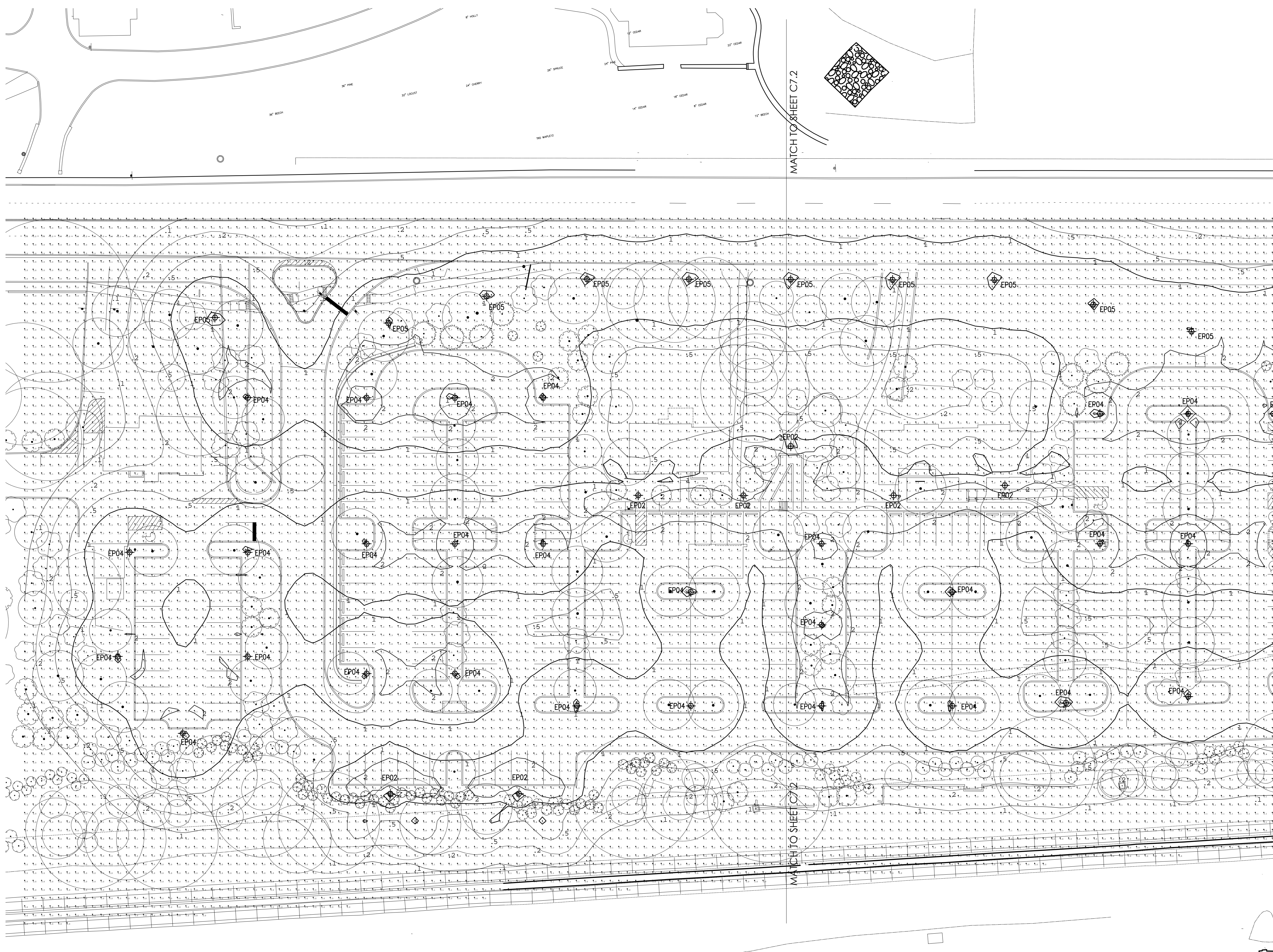
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Sheet No. 8 of 34

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LIGHTING DESIGN CONSULTANT  
O'Donohoe & Rose Lighting  
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## FINAL LAND DEVELOPMENT PLANS

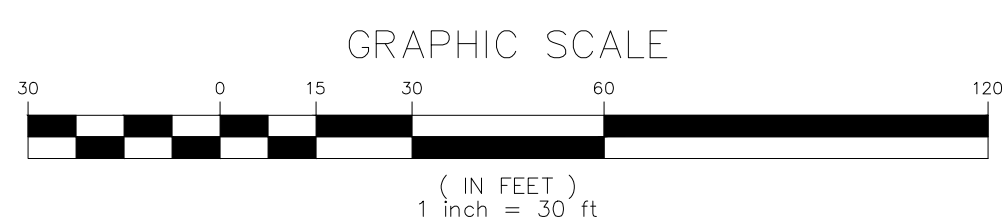
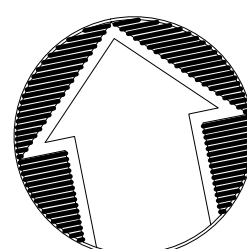
Revision  
Date August 10, 2015  
Title Site Lighting Plan

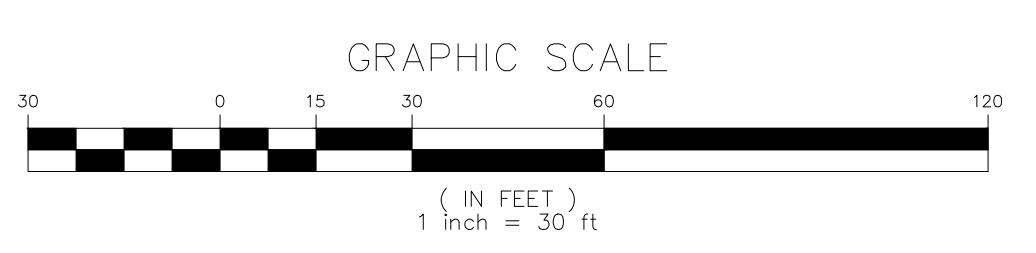
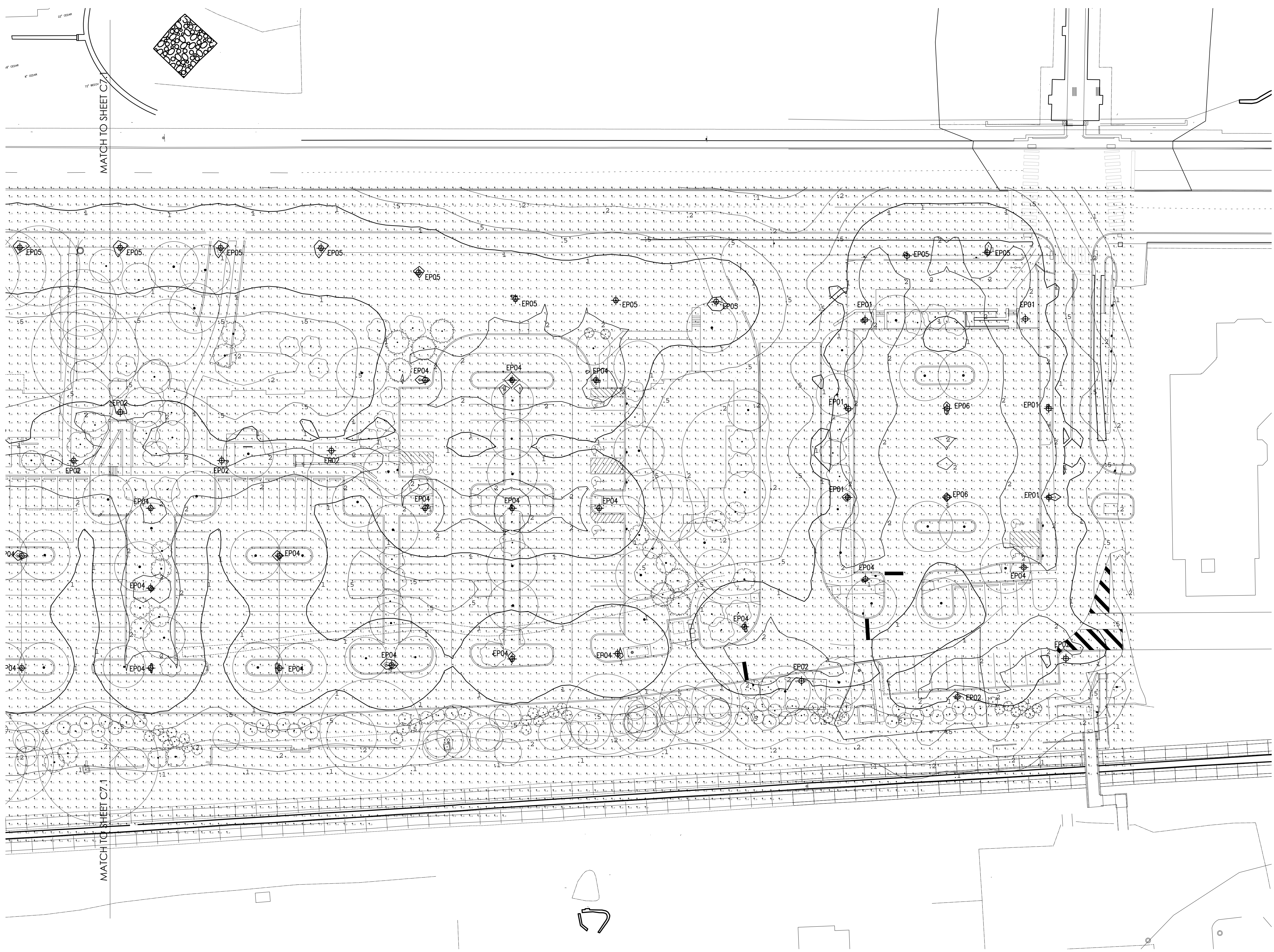
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Sheet No. 22 of 34

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## FINAL LAND DEVELOPMENT PLANS

Revision  
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Scale 1" = 30'  
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Sheet No. 23 of 34

Contractor to verify all dimensions in field and inform  
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MS805A/MS805B LED MAIN STREET  
LED Lighting Lantern Fixtures  
SPECIFICATIONS

**EPO2, EPO4, EPO5 (1 of 3)**

**LUMINAIRE DESIGN**

- The luminaire shall be a modern replica of a popularly styled lantern fixture, available with (A) or without (B) decorative aplys.
- The MS805A LED luminaire shall be 17 1/2" (19" with the diagonal) and 38" tall (with 3" stem). The MS805B LED luminaire shall be 18" (17" with the diagonal) and 38" tall (with 3" stem).
- The luminaire shall be appointed with a cast aluminum 6 1/2" decorative apical finial.
- The luminaire shall have LED light sources with roof mounted, downlighting optics.
- The luminaire shall be supplied with line ground, line-neutral and neutral-ground electrical wiring protection in accordance with IEEE/ANSI C82.41.2 guidelines.
- The luminaire shall be UL or E.T.C. listed in the U.S. and Canada.

**POST FITTER**

- The fitter shall be heavy wall cast aluminum for high tensile strength.
- The fitter shall have an inside diameter opening to attach to a 3", 4", 5", 6" or 7" pole or stem.
- When ordered with a Slemberg pole, the fitter shall be attached by set-screws to the pole top or stem.

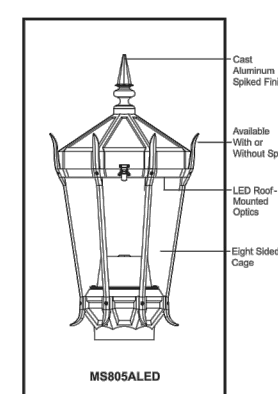
**DRIVER**

- The LED driver shall be securely mounted inside the fitter, for optimized performance and longevity.
- The LED driver shall be supplied with a quick-disconnect electrical connector on the power supply providing easy power connections and fixture installation.

**LIGHT SOURCES**

- The luminaire shall use high output, high brightness LEDs.
- The LEDs shall be mounted to strips, on printed circuit boards designed to maximize heat transfer to the heat sink surface.
- The LED array shall be roof mounted to minimize up-light.
- The LEDs shall be attached to the printed circuit board with not less than 90% pure silver to insure optimal electrical and thermal conductivity.
- The LEDs and printed circuit boards shall be protected from moisture and corrosion by a conformal coating of 3 to 3 mils.
- The LEDs and printed circuit board construction shall be environmentally friendly and 100% recyclable. They shall not contain lead, mercury or any other hazardous substances and shall be RoHS compliant.
- The LED life rating data shall be determined in accordance with IESNA LM-80.

**LIST NO. MS805A/MS805B LED MAIN STREET SERIES**



EPA = 24 (95)  
WEIGHT = 65.05

**DLC**

MS805A/MS805B LED MAIN STREET  
LED Lighting Lantern Fixtures  
SPECIFICATIONS

**EPO2, EPO4, EPO5 (2 of 3)**

**OPTICS**

- The luminaire shall be provided with individual, acrylic, refractive type optics applied to each LED.
- The luminaire shall provide Type \_\_\_\_\_ (2, 3, 3R, 4 or 5) light distribution per the IESNA classifications. Testing shall be done in accordance with IESNA LM-79-08.
- \*Frosted Glass Hurricane Chimey (FHC) is an option which adds an authentic touch.
- \*House Side Shield (HSS) is an option which will block up to 120° of light in any one direction.

**PERFORMANCE**

- The LED arrays are built in series-parallel circuits which maintain overall light output in the event of single LED failures.
- The LEDs and LED driver shall operate over a -40°C (-40°F) to +55°C (127°F) ambient air temperature range.
- The High Performance white LEDs will have a life expectancy of approximately 70,000 hours with not less than 70% of original brightness (lumen maintenance), rated at 23°C.
- The High Brightness, High Output LEDs shall be 4000K (2700K or 5000K option) color temperature with a minimum of 70 CRI.
- The luminaire shall have a minimum \_\_\_\_\_ (see table) delivered initial lumen rating when operated at steady state with an average ambient temperature of 23°C (73°F).

Light Source	Wattage (W)	Initial Lumen (lm)	50% Lumen (lm)	70% Lumen (lm)	75% Lumen (lm)	80% Lumen (lm)	85% Lumen (lm)	90% Lumen (lm)	95% Lumen (lm)
18001070-00, 3A, CA	300	1300	750	550	450	417	378	342	307
18001070-00, 3A, CA	300	1300	750	550	450	417	378	342	307
18001070-00, 3A, CA	300	1300	750	550	450	417	378	342	307

**ELECTRONIC DRIVERS**

- The driver shall be UL or E.T.C. Recognized.
- The driver shall have overload as well as short circuit protection.
- The driver shall be a DC voltage output, constant current design, 50/60HZ.

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Fixture Type: EP01, EP02, EP04, EP05, EP06 Page: 1

Fixture Type: EP01, EP02, EP04, EP05, EP06 Page: 2

Project Name: Location: MS805A/MS805B LED MAIN STREET City: \_\_\_\_\_

Fixture Type: \_\_\_\_\_ Catalog No. \_\_\_\_\_

**Ordering Guide**

Example: P4465 12 A T D

Code	Description	Options
P4465	12 A T D	12" H x 4" W
T	Transparent	Black
A	Asymmetrical	Asymmetrical
T	Transparent	Black
T	Transparent	Black
T	Transparent	Black

**Specifications**

Finish: \_\_\_\_\_

Material: \_\_\_\_\_

Weight: \_\_\_\_\_

Dimensions: \_\_\_\_\_

**PHILIPS**

Fixture Type: EP01, EP02, EP04, EP05, EP06 Page: 3

# LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	MFR	CATALOG #	LAMP MFR	LAMP TYPE	QTY	WATTS	VOLTS	APERTURE	DEPTH	O.A.H.
EP01	EXTERIOR DECORATIVE LED POLE MOUNTED LANTERN FIXTURE WITH CAST ALUM. HOUSING CLEAR ACRYLIC LENSES, INTEGRAL DIMMING DRIVER, ROOF MOUNTED CUT OFF OPTIC WITH TYPE III DISTRIBUTION ON 12'-0" DECORATIVE POLE. BLACK TEXTURED FINISH ON ALL ITEMS.	STERNBERG LIGHTING / HADCO	MS805ALEDV/ OTHER4AIR-45-T3AMD,CA/BLACK-T- P4465-12-A	INCLUDED			57	120	19W	26"	14'-2" O.A.H.
EP02	EXTERIOR DECORATIVE LED POLE MOUNTED LANTERN FIXTURE WITH CAST ALUM. HOUSING CLEAR ACRYLIC LENSES, INTEGRAL DIMMING DRIVER, ROOF MOUNTED CUT OFF OPTIC WITH TYPE III DISTRIBUTION ON 12'-0" DECORATIVE POLE. BLACK TEXTURED FINISH ON ALL ITEMS.	STERNBERG LIGHTING / HADCO	MS805ALEDV/ OTHER4AIR-45-T3AMD,CA/BLACK-T- P4465-12-A	INCLUDED			57	120	19W	26"	14'-2" O.A.H.
EP04	EXTERIOR DECORATIVE LED POLE MOUNTED LANTERN FIXTURE WITH CAST ALUM. HOUSING CLEAR ACRYLIC LENSES, INTEGRAL DIMMING DRIVER, ROOF MOUNTED CUT OFF OPTIC WITH TYPE V DISTRIBUTION ON 12'-0" DECORATIVE POLE. BLACK TEXTURED FINISH ON ALL ITEMS.	STERNBERG LIGHTING / HADCO	MS805ALEDV/ OTHER4AIR-45-T3AMD,CA/BLACK-T- P4465-12-A	INCLUDED			57	120	19W	26"	14'-2" O.A.H.
EP05	EXTERIOR DECORATIVE LED POLE MOUNTED LANTERN FIXTURE WITH CAST ALUM. HOUSING CLEAR ACRYLIC LENSES, INTEGRAL DIMMING DRIVER, ROOF MOUNTED CUT OFF OPTIC WITH TYPE V DISTRIBUTION ON 12'-0" DECORATIVE POLE. BLACK TEXTURED FINISH ON ALL ITEMS.	STERNBERG LIGHTING / HADCO	MS805ALEDV/ OTHER4AIR-45-T3AMD,CA/BLACK-T- P4465-12-A	INCLUDED			57	120	19W	26"	18'-2" O.A.H.
EP06	EXTERIOR DECORATIVE LED POLE MOUNTED LANTERN FIXTURE WITH CAST ALUM. HOUSING CLEAR ACRYLIC LENSES, INTEGRAL DIMMING DRIVER, ROOF MOUNTED CUT OFF OPTIC WITH TYPE V DISTRIBUTION ON 12'-0" DECORATIVE POLE ON 2" CONC. BASE. BLACK TEXTURED FINISH ON ALL ITEMS.	STERNBERG LIGHTING / HADCO	MS805ALEDV/ OTHER4AIR-45-T3AMD,CA/BLACK-T- P4465-12-A	INCLUDED			57	120	19W	26"	14'-2" O.A.H.

**For additional information on lighting fixtures refer to cut sheets in Lighting Design Book section of specifications**

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### FINAL LAND DEVELOPMENT PLANS

Revision \_\_\_\_\_  
Date August 10, 2015  
Title Site Lighting Details

Scale 1" = 30'  
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# C7.3

Sheet No. 24 of 34

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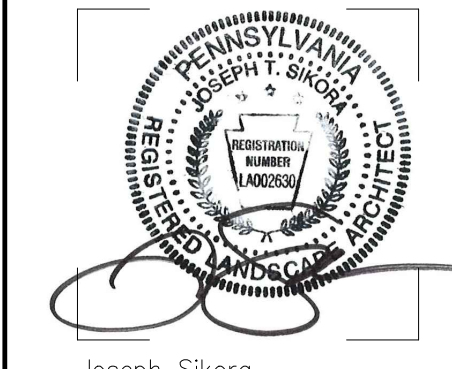
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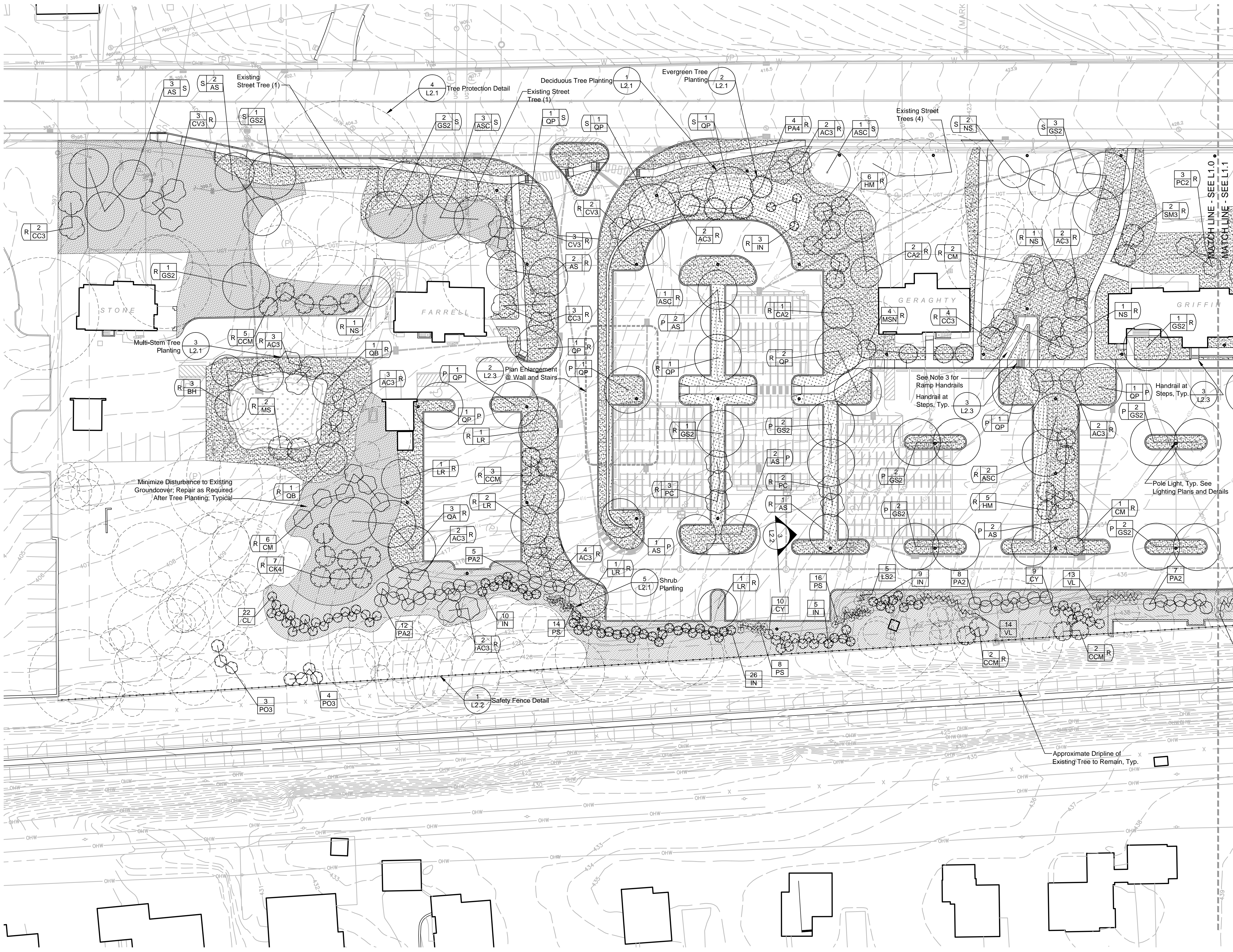
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Date March 6, 2015  
Title Planting Plan

Scale 1" = 30'-0"  
Drawn By RM

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Sheet No. 25 of 34

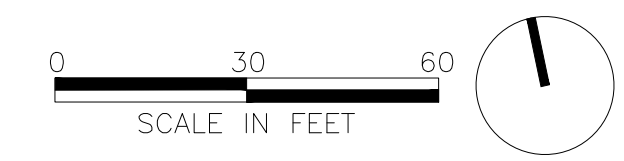
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**Legend**

- 8  
AC3 S Street Trees
- 1  
AS R Replacement Trees
- 1  
ASC P Parking Lot Trees
- Lawn
- Refurbish Existing Turf Grass As Required
- Planting Bed
- "No-Mow" Seed Mix
- Rain Garden Seed Mix
- Pole Light: See Lighting Plans and Details
- Fence

- Notes:**
- See Land Development Plans for Lancaster Avenue Tree Replacements Shown Within Aldwyn Triangle.
  - See "EX" series of drawings in the Lancaster Avenue Housing set for an elevation view of proposed buffer planting at the southern project boundary.
  - Handrails at Ramps Similar to Those Shown in Detail 3, Sheet L2.3, including Base and Alternate Design.
  - Buffer planting to be completed prior to the completion of project.



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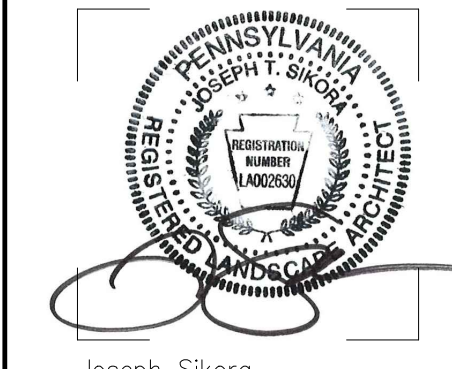
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Joseph Sikora  
 P.A.L.A. # LA002630

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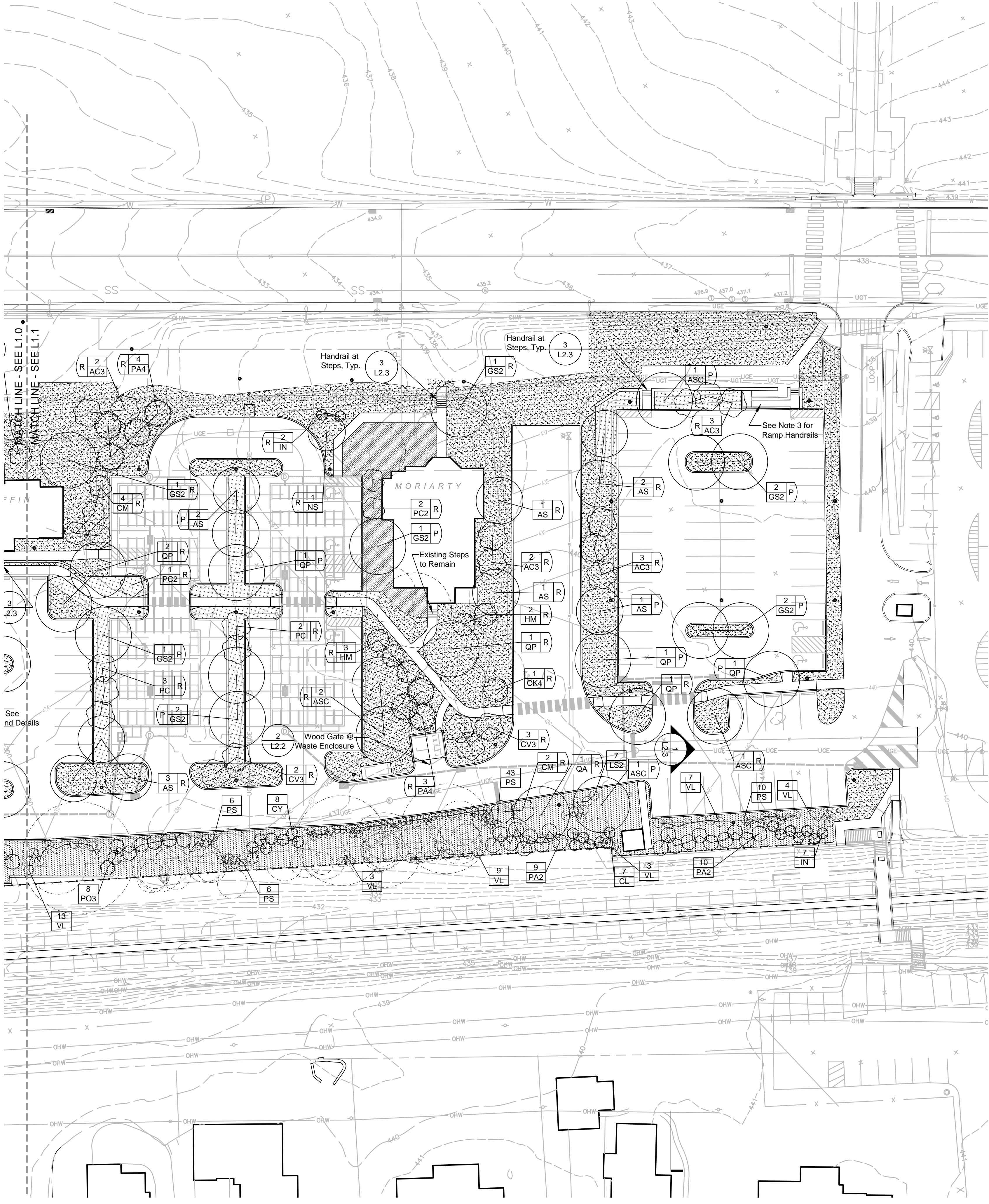
Revision August 10, 2015  
 Date March 6, 2015  
 Title Planting Plan

Scale 1" = 30'-0"  
 Drawn By RM

**L1.1**

Sheet No. 26 of 34

Contractor to verify all dimensions in field and inform Architect of any discrepancies before starting work.



**Legend**

- 8 AC3 S Street Trees
- 1 AS R Replacement Trees
- 1 ASC P Parking Lot Trees
- Lawn
- Refurbish Existing Turf Grass As Required
- Planting Bed
- 'No-Mow' Seed Mix
- Rain Garden Seed Mix
- Pole Light; See Lighting Plans and Details
- Fence

**Notes:**

1. See Land Development Plans for Lancaster Avenue Tree Replacements Shown Within Aldwyn Triangle.
2. See "EX" series of drawings in the Lancaster Avenue Housing set for an elevation view of proposed buffer planting at the southern project boundary.
3. Handrails at Ramps Similar to Those Shown in Detail 3, Sheet L2.3, including Base and Alternate Design.
4. Buffer planting to be completed prior to the completion of project.



TREE REQUIREMENT TABLE		
	REQUIRED	PROPOSED
<b>STREET TREES</b>		
LANCASTER AVENUE = 785 FT. SECTION 255-38.B. - INTERVALS OF NOT MORE THAN 30 FEET	785/30' = 26 TREES	26 TREES
<b>BUFFER SCREENS</b>		
SOUTHERN PROPERTY LINE ADJACENT TO R-100 TRAIN RIGHT OF WAY SECTION 255-42 CLASS 'B' BUFFER SCREEN OPTION SELECTED: (1) EVERGREEN PER 15 FEET (INFORMALLY ARRANGED) PLUS: (1) EVERGREEN SHRUB PER 8 FEET (INFORMALLY ARRANGED)	1,198/15' = 80 EVERGREEN TREES 1,198/8' = 150 EVERGREEN SHRUBS	162 EVERGREEN TREES 174 EVERGREEN SHRUBS
<b>REPLACEMENT TREES</b>		
6 TO 18 INCH DBH REMOVED = (1) REPLACEMENT TREE 19 TO 29 INCH DBH REMOVED = (3) REPLACEMENT TREES** 30 INCH DBH OR GREATER REMOVED = (6) REPLACEMENT TREES***	(112) REMOVALS @ 6 TO 18 INCH = 112 REPLACEMENTS (13) REMOVALS @ 19 TO 29 INCH = (13) x 3= 39 REPLACEMENTS (23) REMOVALS @ 30 INCH+ = (23) x 6 = 138 REPLACEMENTS TOTAL REPLACEMENT TREES REQUIRED = 289 TREES	LARGE CANOPY TREES = 92 TREES ORNAMENTAL TREES = 163 TREES* EVERGREEN TREES = 34 TREES TOTAL TREES PROPOSED = 289 (INCLUDES 36 LARGE CANOPY TREES, 25 ORNAMENTAL TREES, AND 18 EVERGREEN TREES AT ALDWYN TRIANGLE; SEE LANCASTER AVENUE HOUSING AND CHURCH WALK AND BRIDGE PROJECTS FOR LOCATIONS; 8 LARGE CANOPY TREES AND 6 ORNAMENTAL TREES AT PIKE GARAGE - SEE PIKE FIELD GARAGE PROJECT FOR LOCATIONS) SEE NOTE #2
<b>PARKING LOT</b>		
SECTION 255-29.B. - (1) ONE TREE FOR EVERY FIVE PARKING SPACES IN SINGLE BAYS AND ONE TREE FOR EVERY TEN PARKING SPACES IN DOUBLE BAYS	68 SINGLE BAY SPACES/ 5 = 13.6 TREES 222 DOUBLE BAY SPACES/ 10 = 22.2 TREES TOTAL PARKING LOT TREES REQUIRED = 36 TREES (THE REQUIRED TREES ARE PROVIDED FOR A TOTAL OF 290 PARKING SPACES. THIS COUNT OF 290 SPACES INCLUDES 20 SEPTA PARKING SPACES, AND DOES NOT INCLUDE 22 EXISTING SPACES OUTSIDE THE PROJECT LIMITS).	38
* PROPOSED BUFFER PLANTING INCLUDES UNDERSTORY DECIDUOUS TREES, AND LARGE, DENSE, DECIDUOUS SHRUBS IN AREAS WHERE EXISTING, MATURE TREES ARE TO REMAIN. THESE PLANTS OFFER VISUAL SCREENING QUALITIES AND FOUR SEASON INTEREST WITHIN SHADY AREAS. ** TWO BEING LARGE CANOPY TREES *** FOUR BEING LARGE CANOPY TREES		

NOTES:

- QUANTITY, AND ARRANGEMENT OF PLANT MATERIAL WITHIN BUFFER SCREEN WILL PRODUCE A VISUAL SCREEN NOT TO BE SEEN THROUGH AND PROVIDE IMMEDIATE VISUAL SCREENING TO THE ABUTTING PROPERTY OR DISTRICT AS PER SECTION 280-71.A. OF THE TOWNSHIP ZONING ORDINANCE.
- THE TOTAL NUMBER OF PROPOSED REPLACEMENT TREES MEETS THE QUANTITY REQUIRED BY ORDINANCE; HOWEVER, THE RATIO OF LARGE CANOPY TREES TO UNDERSTORY ORNAMENTAL TREES DOES NOT, DUE TO THE NATURE OF THIS PARTICULAR SITE, AND THE NUMBER OF LARGE, EXISTING TREES TO REMAIN, A GREATER NUMBER OF UNDERSTORY, ORNAMENTAL TREES HAVE BEEN USED THAT CAN TOLERATE SUCH CONDITIONS, WHILE PROVIDING MAXIMUM SCREENING AND VISUAL INTEREST.

PLANT SCHEDULE

CANOPY TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
AS	25	ACER RUBRUM 'SOMERSET'	SOMERSET RED MAPLE	B & B	2" - 2 1/2"		
ASC	12	ACER SACCHARUM 'COMMEMORATION'	COMMEMORATION SUGAR MAPLE	B & B	2" - 2 1/2"		FULL HEAD
BH	3	BETULA NIGRA 'HERITAGE'	HERITAGE RIVER BIRCH	B & B		10' - 12' MULTISTEMMED	
GS2	29	GLEDTISIA TRIACANTHOS 'SKYLINE'	SKYLINE HONEY LOCUST	B & B	2 1/2" - 3"		MATCHED SPECIMENS; FULL HEAD
LR	6	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA' TM	ROUND-LOBED SWEET GUM	B & B	2 1/2" - 3"		MATCHED SPECIMENS; FULL HEAD
NS	6	NYSSA SYLVATICA	SOUR GUM	B & B	2" - 2 1/2"		SPECIMEN QUALITY
OA	4	QUERCUS ALBA	WHITE OAK	B & B	2" - 2 1/2"		SPECIMEN QUALITY
QB	2	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	2" - 2 1/2"		
QP	19	QUERCUS PHELLOS	WILLOW OAK	B & B	2" - 2 1/2"		
<b>EVERGREEN TREES</b>							
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
CY	27	CRYPTOMERIA JAPONICA 'YOSHINO'	YOSHINO CRYPTOMERIA	B & B		8'-10' HT.	SPECIMENS; FULL TO GROUND; 6' MAX. O.C. SPACING
IN	62	ILEX X 'NELLIE R STEVENS'	NELLIE STEVENS HOLLY	B & B		8'-10' HT.	SPECIMENS; FULL TO GROUND; 6' MAX. O.C. SPACING IN BUFFER
PA2	51	PICEA ABIES	NORWAY SPRUCE	B & B		8'-10' HT.	SPECIMENS; FULL TO GROUND; 8' MAX. O.C. SPACING
PO3	15	PICEA OMORIKA	SERBIAN SPRUCE	B & B		8'-10' HT.	SPECIMENS; FULL TO GROUND; 8' MAX. O.C. SPACING
PA4	11	PICEA ORIENTALIS 'AUREA'	SPRUCE	B & B		8'-10' HT.	
CL	29	X CUPRESSOCYPARIS LEYLANDII	LEYLANDI CYPRESS	B & B		8'-10' HT.	SPECIMENS; FULL TO GROUND; MAX. 6' O.C. SPACING
<b>ORNAMENTAL TREES</b>							
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	REMARKS
AC3	32	AMELANCHIER CANADENSIS	SHADBLOW SERVICEBERRY MULTI-TRUNK	B & B		8'-10' HT.	FULL SPECIMENS; MIN. 5 STEMS
CA2	3	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B & B			
CCM	12	CERCIS CANADENSIS	EASTERN REDBUD MULTI-TRUNK	B & B		8'-10' HT.	FULL SPECIMENS; MIN. 5 STEMS
CC3	9	CORNUS FLORIDA 'CHEROKEE CHIEF'	CHEROKEE CHIEF DOGWOOD	B & B	2" - 2 1/2"		MATCHED SPECIMENS
CK4	8	CORNUS KOUSA	KOUSA DOGWOOD	B & B		8'-10' HT.	FULL SPECIMENS
CM	15	CORNUS MAS	CORNELIAN CHERRY DOGWOOD	B & B		8'-10' HT.	FULL SPECIMENS
CV3	13	CRATAEGUS VIRIDIS 'WINTER KING'	'WINTER KING' HAWTHORN	B & B	2" - 2 1/2"		
HM	16	HAMAMELIS MOLLIS	WITCH HAZEL	B & B		5'-6' HT MULTISTEM	
MS	2	MAGNOLIA VIRGINIANA	SWEET BAY MULTI-TRUNK	B & B		8'-10' HT.	SPECIMEN QUALITY; WELL-BRANCHED
MSN	4	MALUS X 'SNOWDRIFT'	SNOWDRIFT CRAB APPLE	B & B	2 1/2" - 3"		
PC2	6	PRUNUS SARGENTII 'COLUMNARIS'	COLUMNAR SARGENT CHERRY	B & B	2" - 2 1/2"		
PC	10	PRUNUS VIRGINIANA 'CANADA RED'	CANADA RED CHOKECHERRY	B & B	2" - 2 1/2"		
SM3	2	STEWARTIA PSEUDOCAMELLIA 'MILK AND HONEY'	JAPANESE STEWARTIA	B & B		10'-12'	
<b>SHRUBS</b>							
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	CONT	SIZE		REMARKS
LS2	12	LINDERA GLAUCA SALICIFOLIA	SPICEBUSH	B & B	4'-5' HT.		
PS	103	PRUNUS LAUROCERASUS 'SCHIPKAENSIS'	SCHIPKA LAUREL	B & B	3' - 4' HT.		DENSE, FULL PLANTS; 4' MAX. O.C. SPACING
VL	66	VIBURNUM RHYTIDOPHYLLUM	LEATHERLEAF VIBURNUM	B & B	5'-6' HT.		DENSE, FULL PLANTS; 5' MAX. O.C. SPACING

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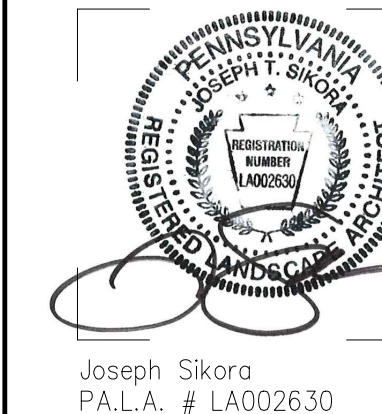
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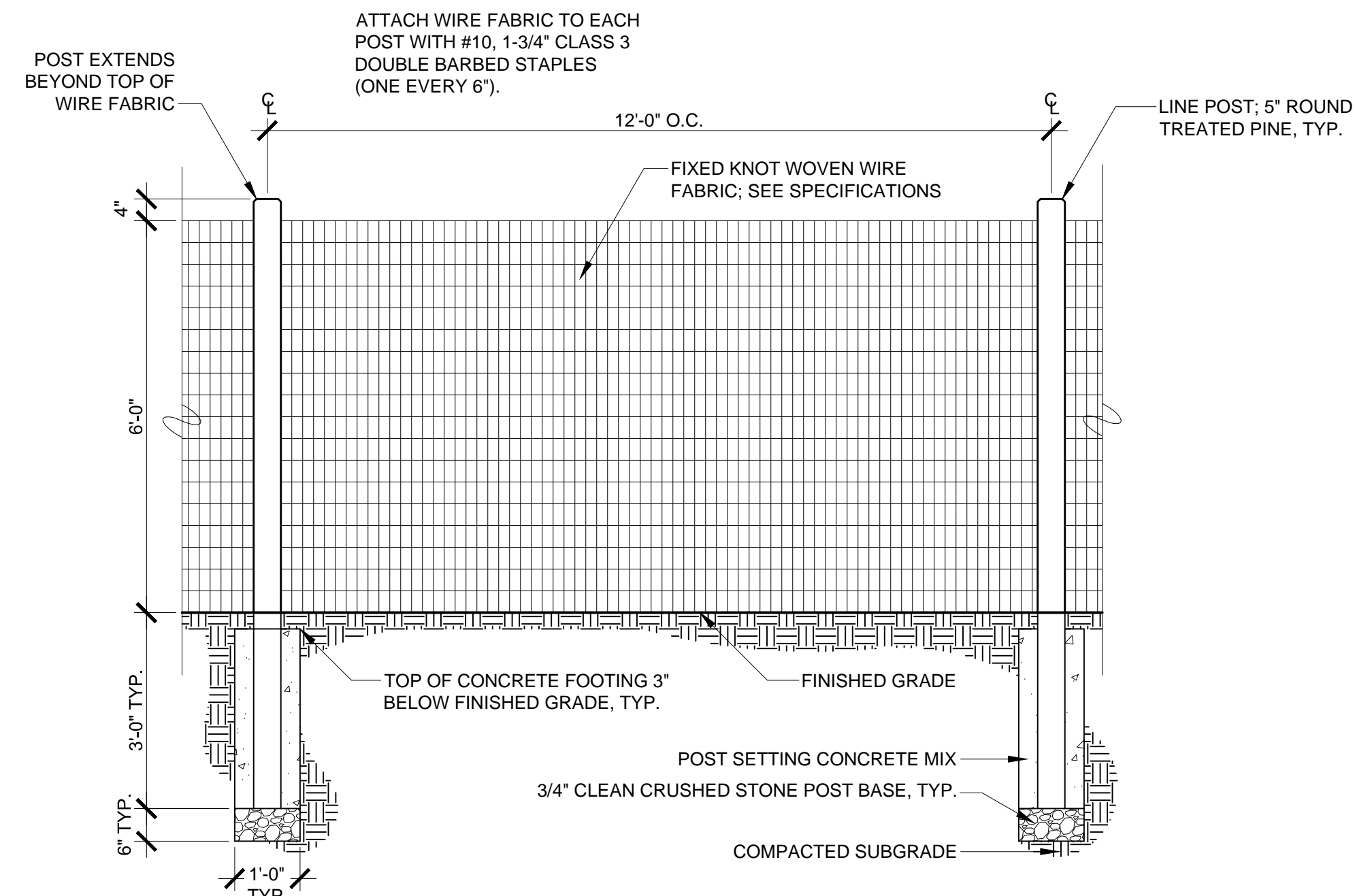


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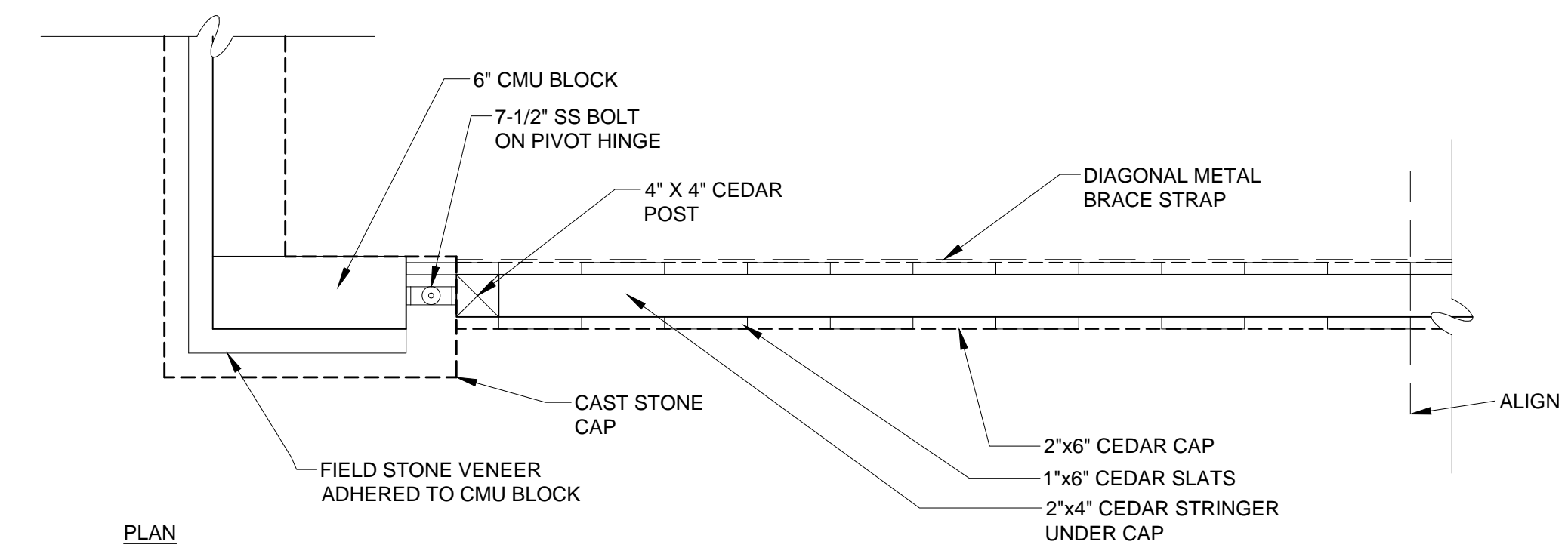
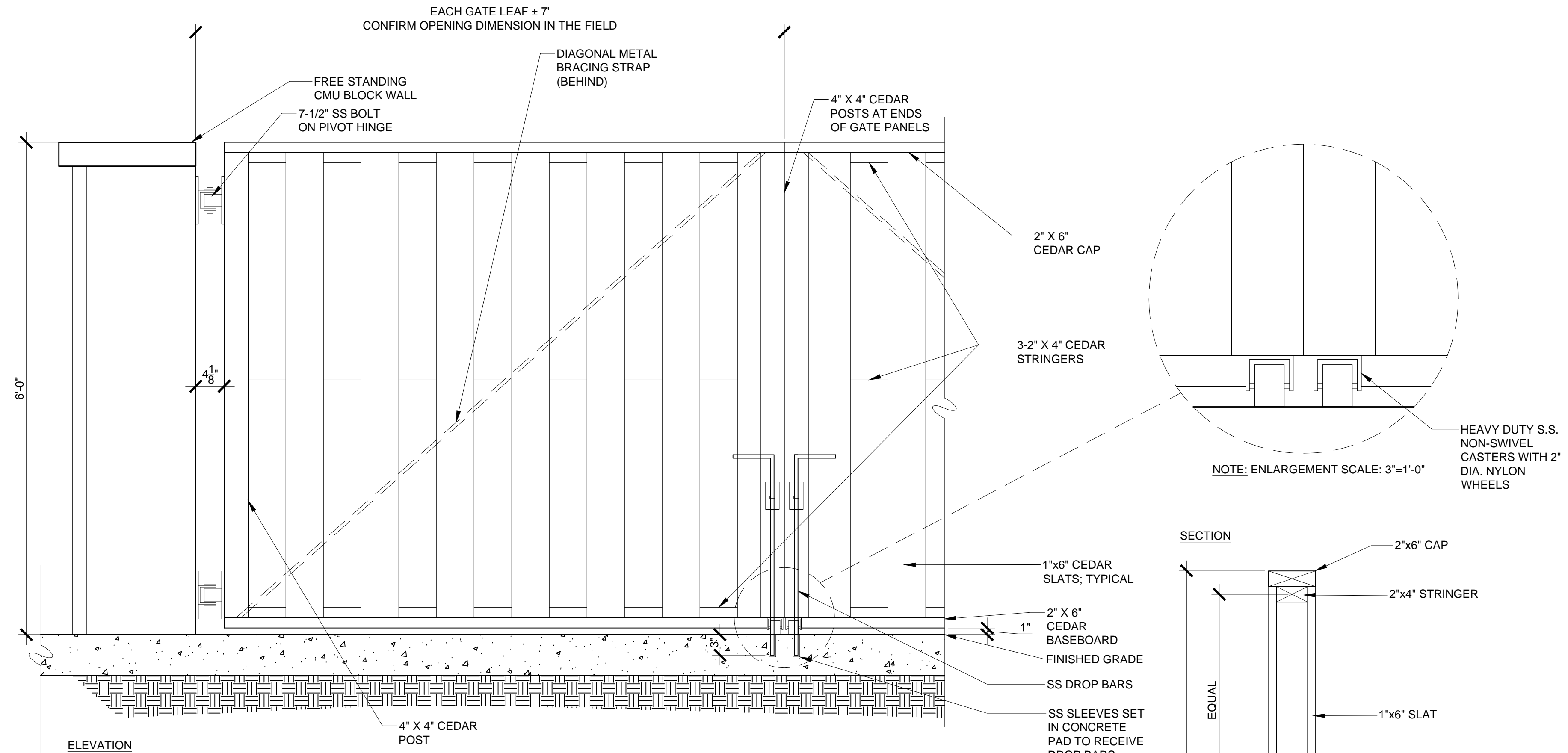
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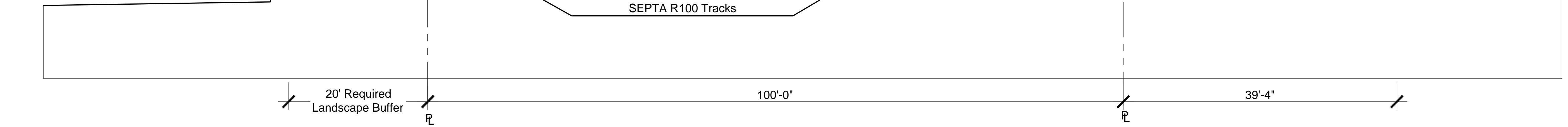
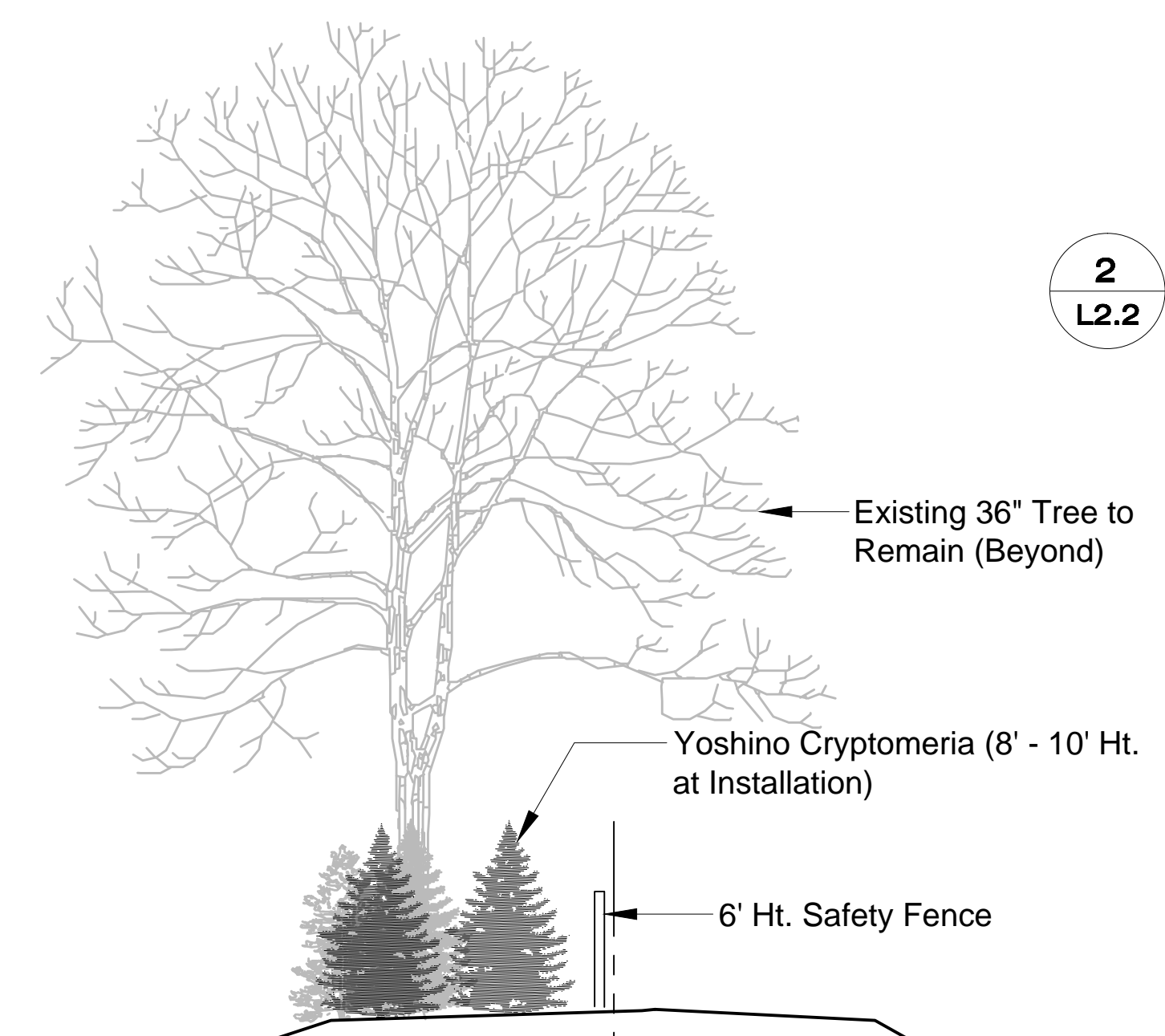
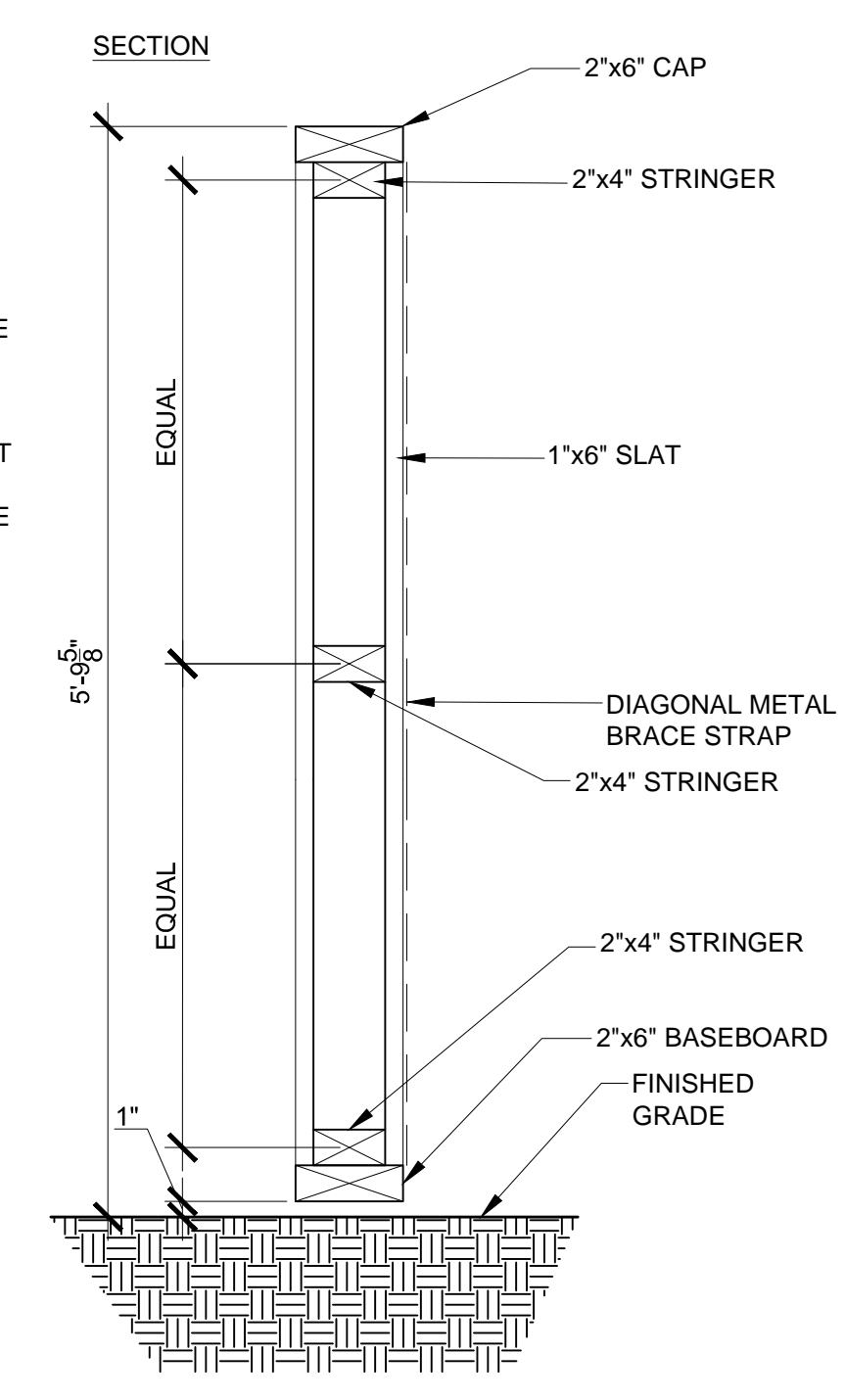
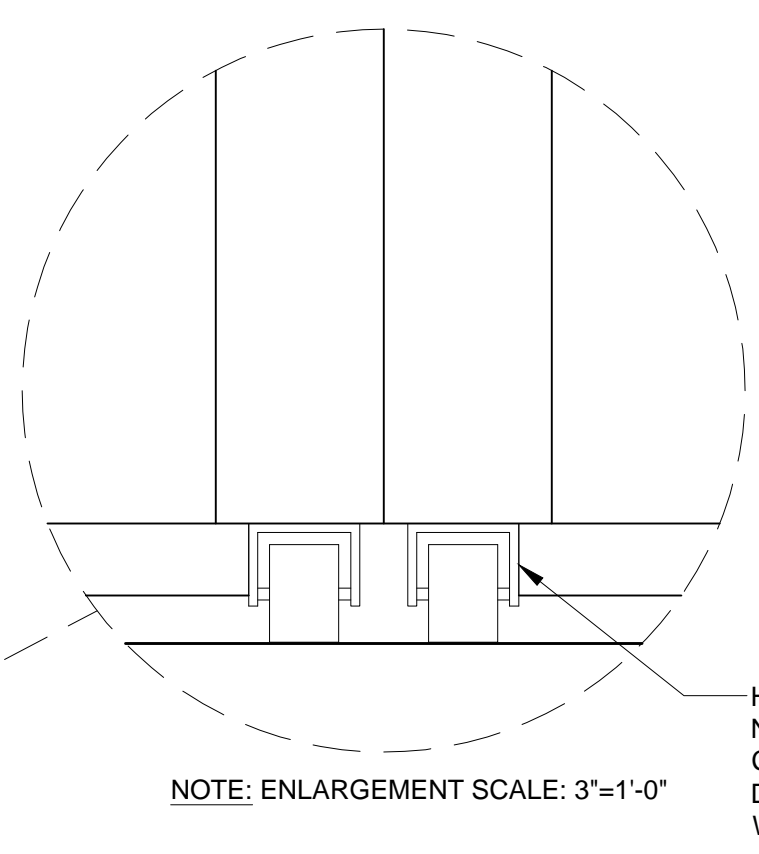
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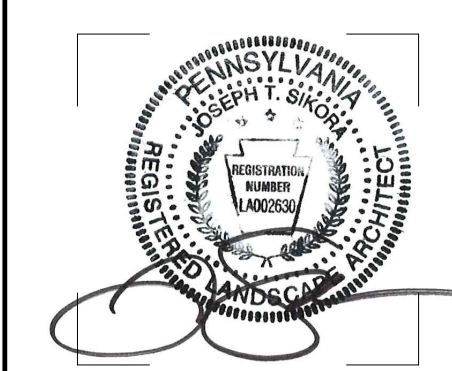
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**2 Wood Gate @ Waste Enclosure**  
 Scale: 0 6' 12' 24' Scale: 1"=1'-0"



**3 Section 01**  
 Scale: 0 4' 8' 16' Scale: 1/8"=1'-0"



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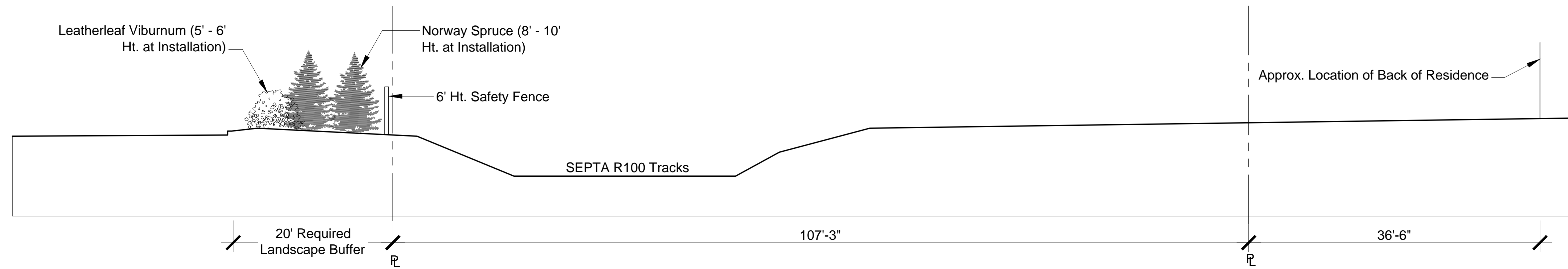
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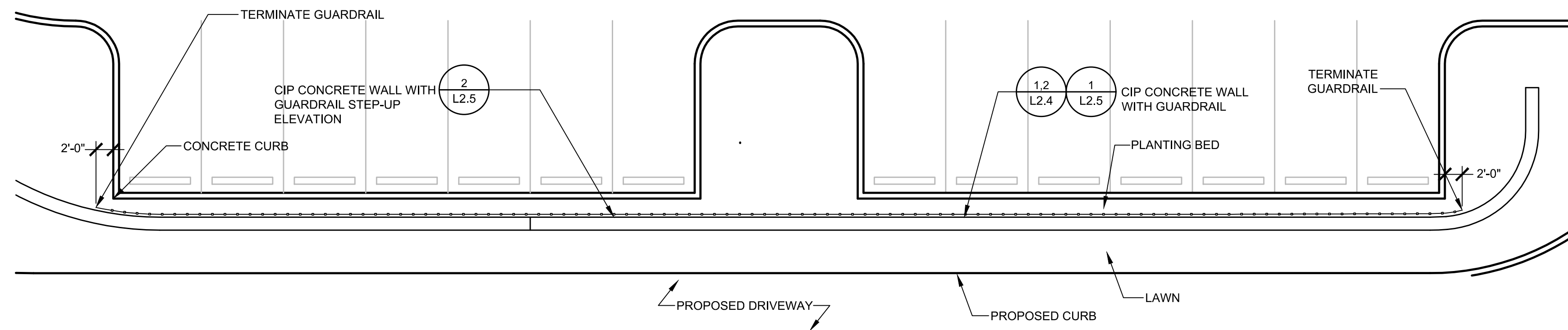
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Sheet No. 30 of 34

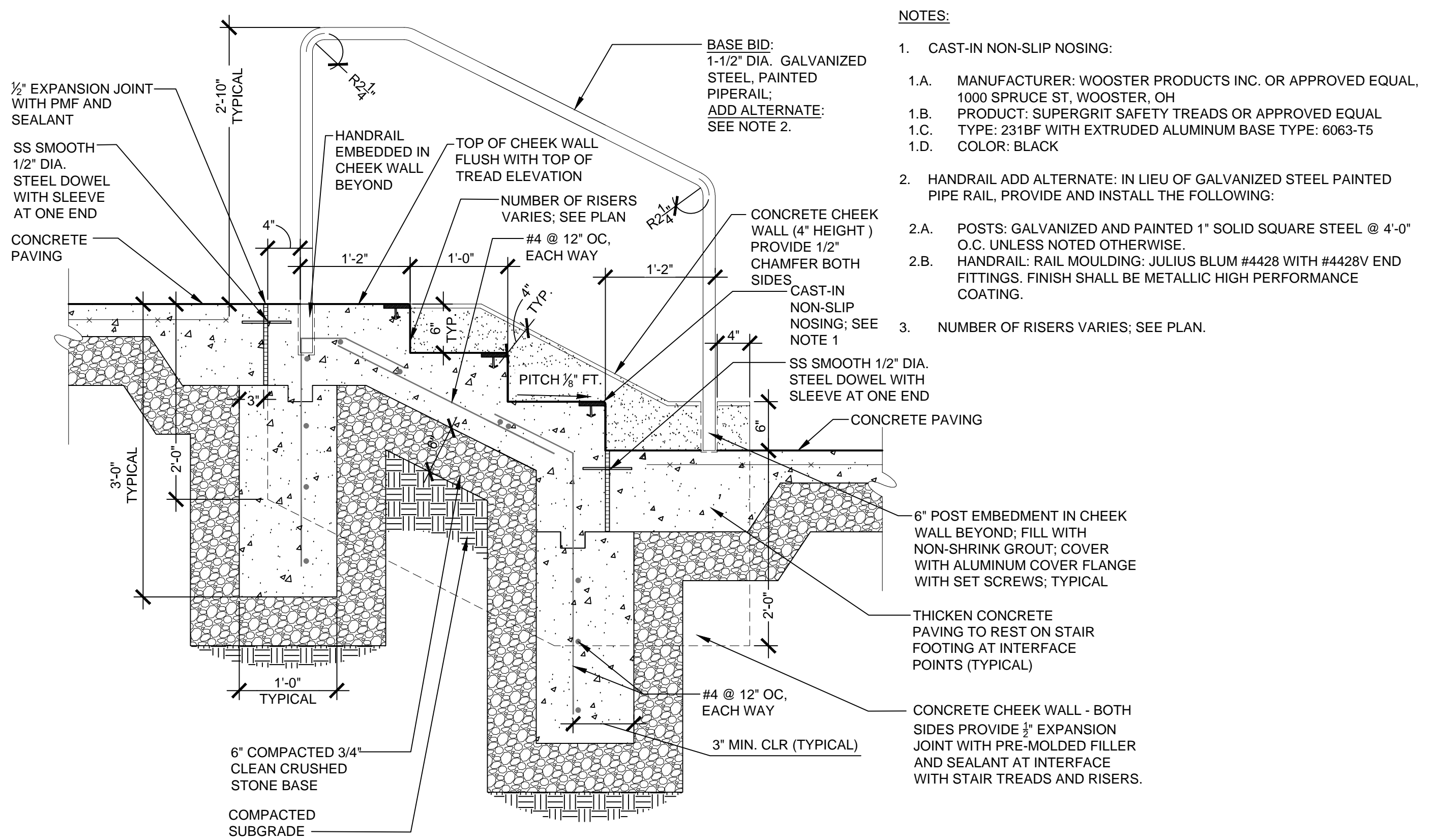
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**1 Section 02**  
 L2.3 Scale: 0 4' 8' 16' Scale: 1/8"=1'-0"



**2 Plan Enlargement at Wall**  
 L2.3 Scale: 0 5' 10' 20' Scale: 1"=10'-0"



**3 Handrail at Steps**  
 L2.3 Scale: 0 6" 1' 2' Scale: 1"=1'-0"



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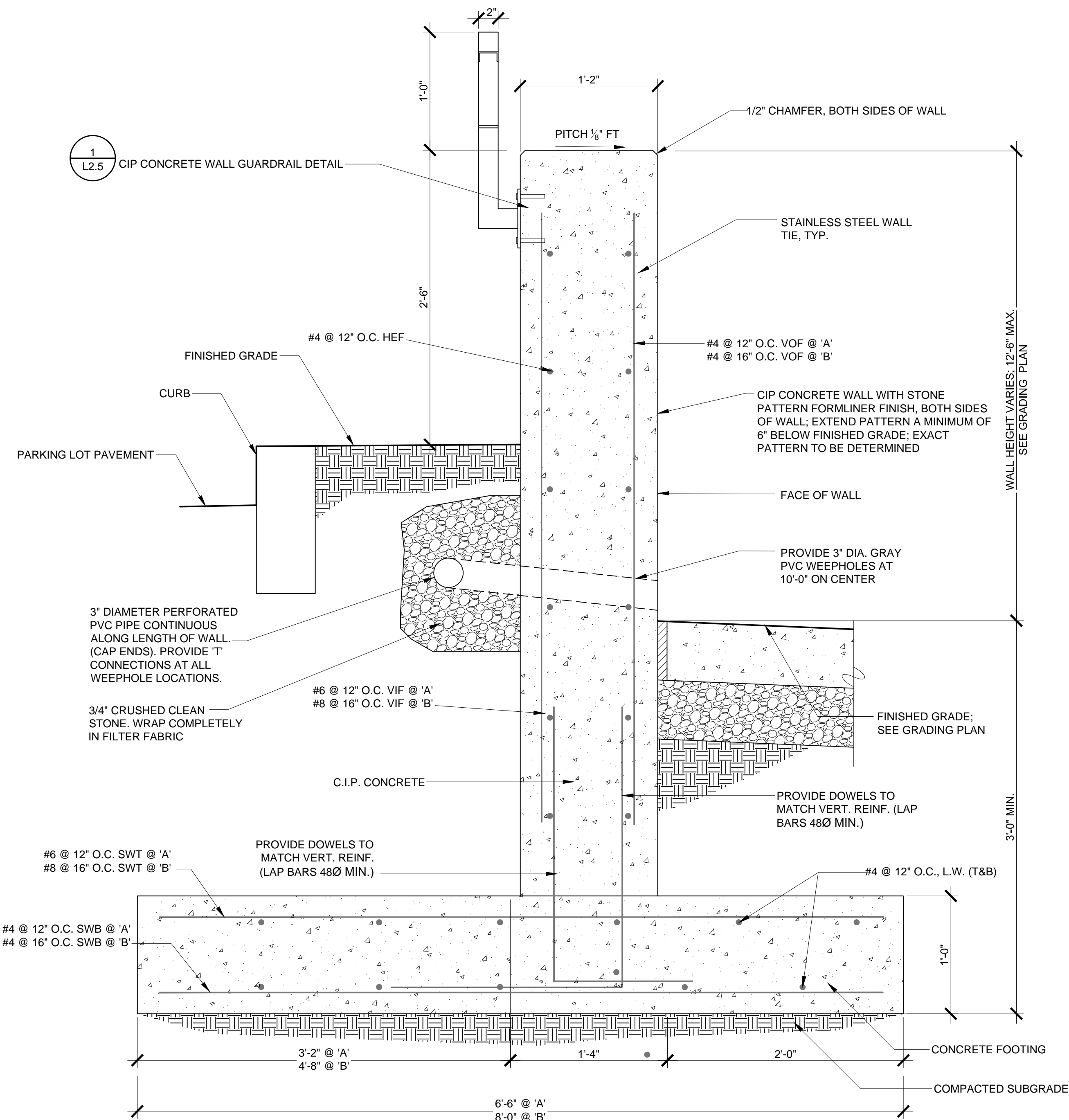
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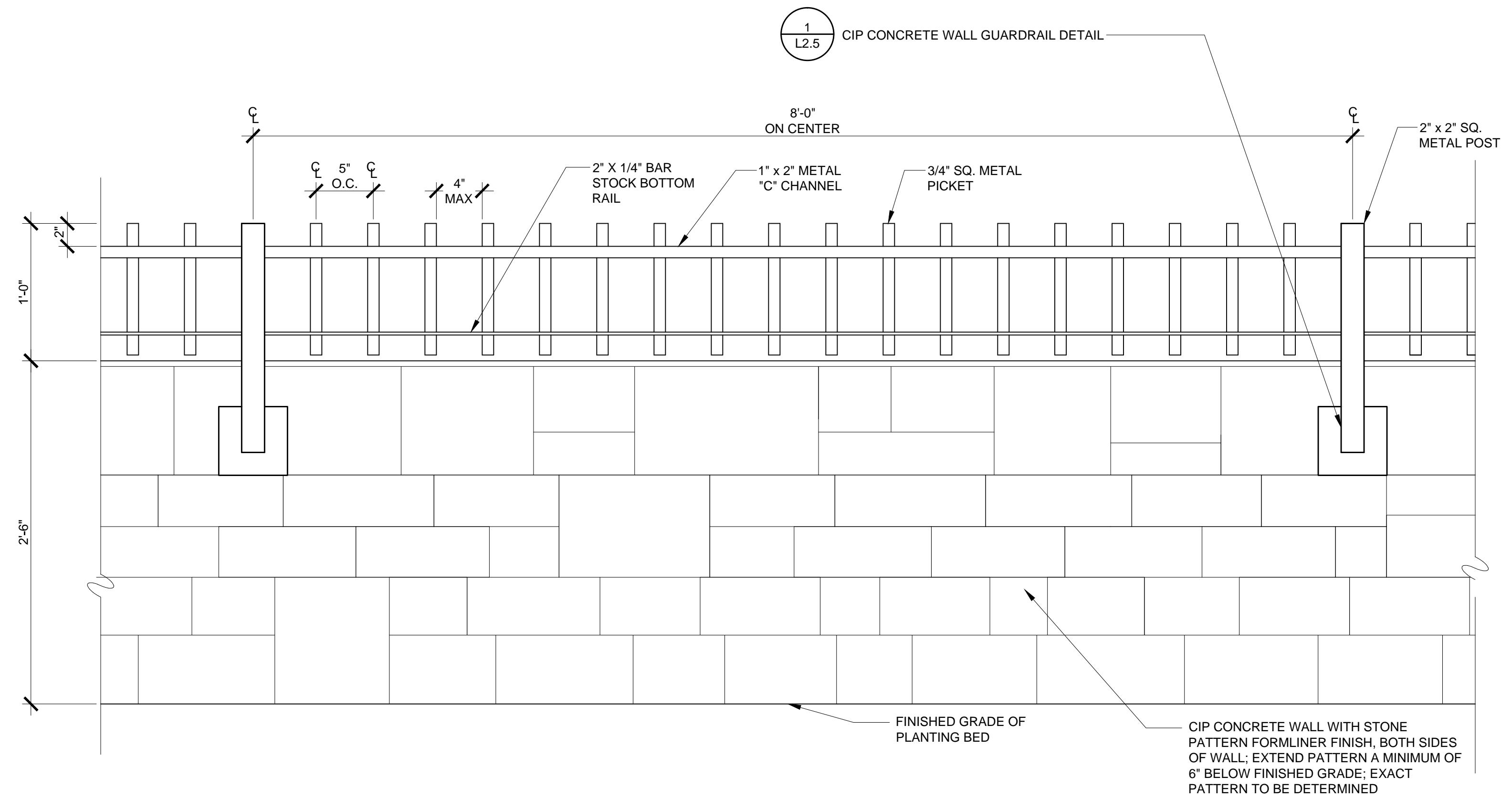
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**1** CIP Concrete Wall with Guardrail  
**L2.4** Scale: 0 4" 8" 1'-4" Scale: 1-1/2" = 1'-0"



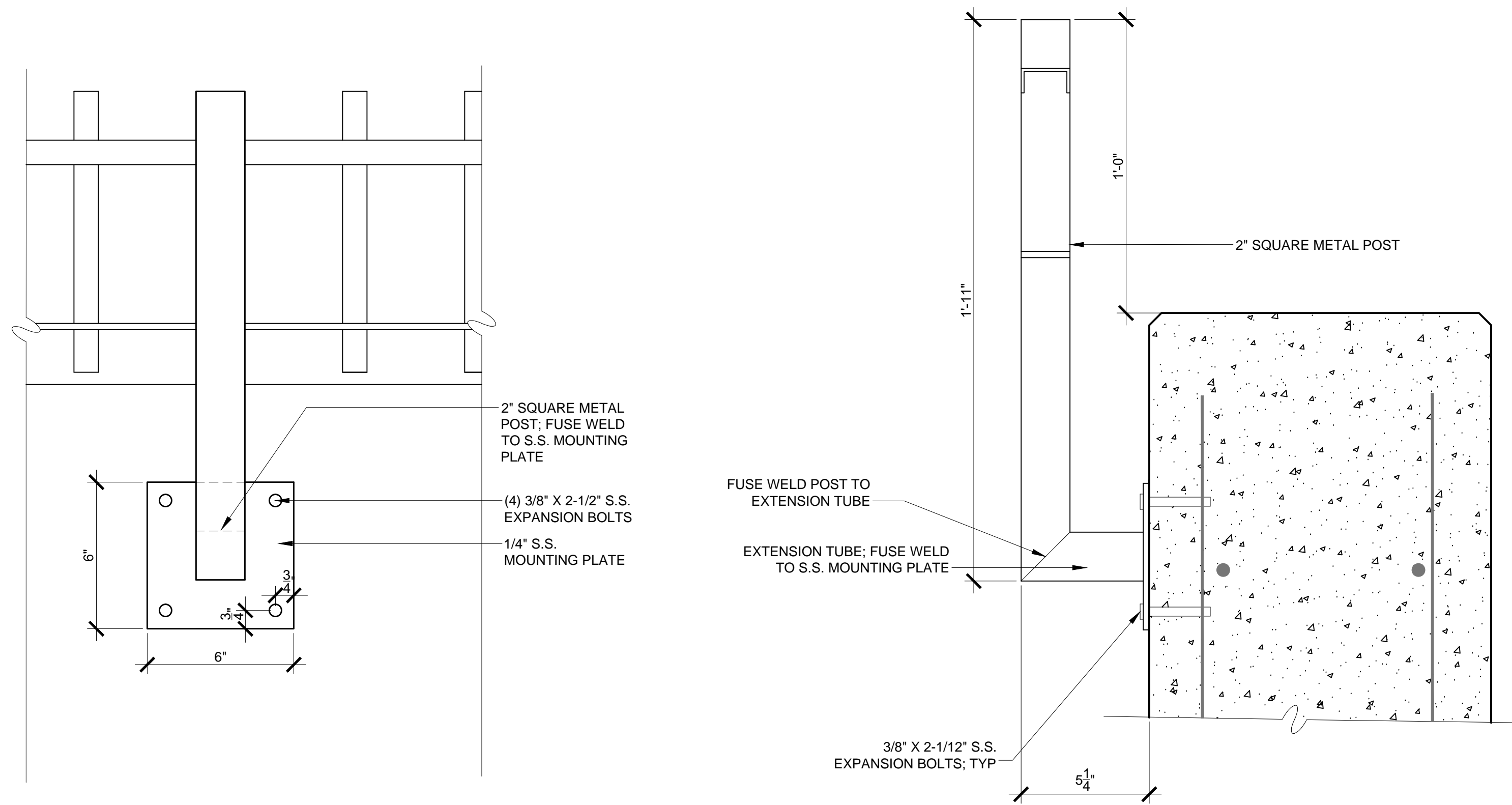
**2** CIP Concrete Wall with Guardrail - Elevation  
**L2.4** Scale: 0 4" 8" 1'-4" Scale: 1-1/2" = 1'-0"

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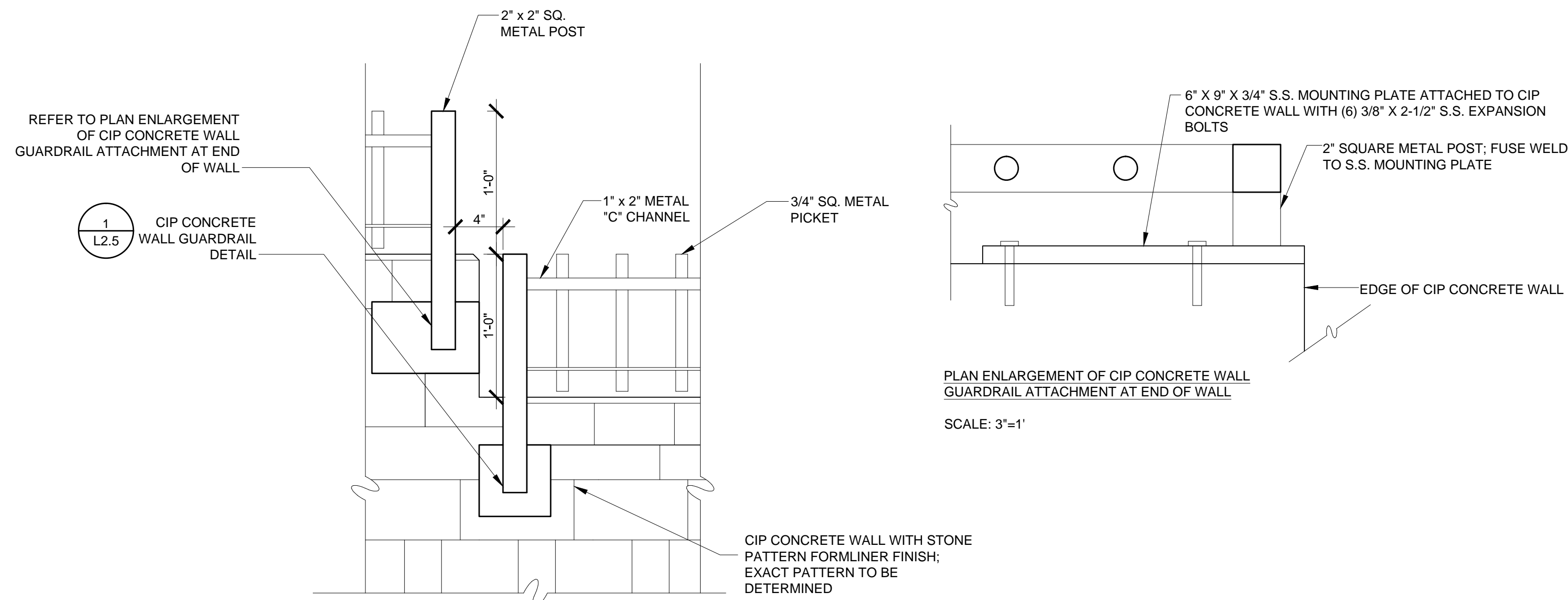
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**L2.4**



**1 CIP Concrete Wall Guardrail Detail**

**L2.5** Scale: 0 2" 4" 8" Scale: 3" = 1'-0"



**2 CIP Concrete Wall with Guardrail Step-up Elevation**

**L2.5** Scale: 0 4" 8" 1'-4" Scale: 1-1/2" = 1'-0"

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VIEW OF MORIARITY HALL LOOKING NORTH EAST ALONG LANCASTER AVENUE



VIEW OF MAIN LOT PARKING LOOKING SOUTH WEST



VIEW FARRELL HALL LOOKING SOUTH WEST



VIEW VILLANOVA CHALLENGE COURSE LOOKING WEST

# Villanova University - West Lancaster Avenue Parking Lot

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