

Exhibit A-2C

HILBEC Engineering & Geosciences, LLC



Wastewater, Stormwater, Hydrogeology, Environmental, Testing & Design

26 Beaver Run Road, Downingtown, PA 19335-2257

Office: 610.873.6204

www.hilbec.com

Fax: 610.873.6206

August 24, 2020

PA Dept. of Environmental Protection
Ms. Stefanie Rittenhouse
2 East Main Street
Norristown, PA 19401

Re: The Hamilton Estate – Stafford Avenue
Radnor Township, Delaware County
PA DEP Mailer & Reserve Capacity Waiting List

Dear Ms. Rittenhouse:

Please accept the PA DEP Mailer for the proposed project The Hamilton Estate – Stafford Avenue, located in Radnor Township, Delaware County whose sewage flows through Radnor Township for eventual discharge at the Philadelphia SW facility.

Please provide the required coding or please let my office know if a waiver or exemption from the requirement to complete the Sewage Facilities Planning Modules can be obtained. If you have any questions or require additional information, please contact my office.

Very truly yours,
For HILBEC Engineering & Geosciences, LLC

Kevin R. Sech, P.G., P.E.

krsech@hilbec.com

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August 24, 2020

Radnor Township
Mr. William White
301 Iven Avenue
Wayne, PA 19087-5204

Re: Hamilton Estate – Strafford Avenue
Radnor Township, Delaware County
PA DEP Mailer & Reserve Capacity Waiting List

Dear Mr. White:

The Hamilton Estate – Strafford Avenue is a proposed forty-one lot single family townhome development located in Radnor Township, Delaware County and whose sewage flows through Radnor Township for eventual discharge at the Philadelphia SW facility.

The property lies on the northwest corner of the intersection of Strafford Avenue and Eagle Road. The 8.34+/- property is composed of four parcels each of which contain an existing home and garage. The existing buildings will be razed. A total of forty-one (41) EDU's will be required to service the project at a total flow of 10,762.5 gpd (4 existing EDU's + 37 proposed EDU's).

The sewage will flow into the Radnor collection facilities running through the property, travel into the RHM collection system, flow to the Darby Creek Pump Station and ultimately to the Philadelphia Southwest Water Pollution Control Plant for treatment and disposal.

Due to the connection management plan for the sewer watershed, the PA DEP will require sewage facilities planning to be completed so we have sent the Mailer directly to their office for coding. At this time, we request this project to be placed on your waiting connection list in order to reserve sewage capacity as it becomes available. We will follow up with the full Planning Modules once the Mailer coding is received. Attached is a copy of the PA DEP Mailer documents for your records. If you have any questions or require additional information, please contact my office.

Very truly yours,
For HILBEC Engineering & Geosciences, LLC

Kevin R. Sech, P.G., P.E.

krsech@hilbec.com

PA DEP Mailer Narrative

HILBEC Engineering & Geosciences, LLC



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**PA DEP MAILER NARRATIVE
Exemption/Waiver Request**

**HAMILTON ESTATE – STRAFFORD AVENUE
Radnor Township, Delaware County
August 24, 2020**

The developer proposes the development of forty-one new (41) single family townhome lots. A total of four tax parcels, #36-01-00538-00, #36-01-00539-00, #36-01-00540-00, & #36-01-00236-02 (18 Forrest Lane) will be joined for the 41 proposed units. The existing homes, garages, and a greenhouse on the parcels will be razed. A public gravity sewer collection main runs along the northerly side of the property to a manhole in Forrest Lane, to the NW of the development. A new gravity collection system will be installed within the development to service the 41 townhomes. The sanitary collection system for the 41 units will be extended through tax parcel #36-01-00236-02 (18 Forrest Lane) in order to reach the existing public gravity sewer main. The four total parcels are 8.34+/- acres and situated on the northwest corner of Strafford Avenue and Eagle Road.

The project proposes a total of 41 Equivalent Dwelling Units (EDU). At a value of 262.5 gpd/ EDU, the total flow is as follows for the 41 townhomes:

Proposed Flow Per EDU:	41EDU's x 262.5 = 10,762.5 gpd
Proposed EDU's:	37 EDU's or 9,712.5 gpd
<u>Existing EDU's:</u>	<u>4 EDU's or 1,050 gpd</u>
Total EDU's:	41
Total New EDU's Requested	37 or 9,712.5 gpd

Part 4.a. of the PA DEP Mailer uses a value of 400 gpd/EDU for each lot for sewage planning purposes.

The sewerage system flows through Radnor Township, RHM, DELCORA, and DCJA facilities, and ultimately to the Philadelphia SW treatment facility for final disposal. At this time, we are requesting Radnor Township to add this project to their capacity list for the requested EDU's. We will contact RHM as well as all downstream entities to be added to their capacity list. Should Sewage Planning Modules be required, all of the regulatory entities will be required to sign off on the project and provide verification of capacity on the modules.

Potable water will be provided by public facilities.

PA DEP MAILER FORM

1. Development Information

Name of Development Hamilton Estate - Strafford Avenue
Developer Name Trustees of Dorrance H Hamilton Revocable Agreement of Trust, ATTN: Charles Houder
Address 551 W Lancaster Ave, Ste 308
Haverford, PA 19041
Telephone # 610-389-0305
Email dch@haverfordproperties.com

2. Location of Development

a. County Delaware
b. Municipality Radnor Township
c. Address or Coordinates SW Corner of Strafford Ave and Eagle Road
d. Tax Parcel # 36-01-00538-00, 539, 540 (see narrative)
e. USGS Quad Name Valley Forge
inches up 8.5 over 3.52
from bottom right corner of map.
f. Located in a High Quality/Exceptional Value watershed?
 Yes No

3. Type of Development Proposed (check appropriate box)

Residential Multi-Residential
Describe 41 Townhomes
 Commercial Institutional
Describe _____
 Brownfield Site Redevelopment
 Other (specify) _____

4. Size

a. # of lots 41 # of EDUs 41
b. # of lots since 5/15/72 1
c. Development Acreage 8.34+/-
d. Remaining Acreage 0

5. Sewage Flows 10762.5 total with 9712.5 proposed gpd

6. Proposed Sewage Disposal Method (check applicable boxes)

a. Sewerage System
 Existing (connection only) New (extension)
 Public Private
 Pump Station(s)/Force Main Gravity
Name of existing system being extended
NA
Interceptor Name RHM Facilities
Treatment Facility Name Philadelphia SW Treatment Facility
NPDES Permit # PA0026671
b. Construction of Treatment Facility
 With Stream Discharge
 With Land Application (not including IRSIS)
 Other
 Repair?
Name of waterbody where point of discharge is proposed (if stream discharge)

c. Onlot Sewage Disposal Systems (check appropriate box)
 Individual onlot system(s) (including IRSIS)
 Community onlot system
 Large-Volume onlot system
d. Retaining tanks
Number of Holding Tanks _____
Number of Privies _____

7. Request Sewage Facilities Planning Module forms in electronic format

8. Request for Planning Exemption

a. Protection of rare, endangered or threatened species
Check one:
 The "PNDI Project Environmental Review Receipt" is attached.
or
 A completed "PNDI Project Planning & Environmental Review Form," (PNDI Form) is attached. I request DEP staff to complete the required PNDI search for my project. I realize that my planning exemption will be considered incomplete and that the DEP processing of my planning exemption request will be delayed, until a "PNDI Project Environmental Review Receipt" and all supporting documentation from jurisdictional agencies (when necessary) is/are received by DEP.

Applicant or Consultant Initials _____

b. Plot Plan Attached Site Reports Attached

c. Onlot Disposal Systems

(1) I certify that the Official Plan shows this area as an onlot service area.

(Signature of Municipal Official) / Date

Name (Print) / Title

Municipality (must be same as in 2.b.)

Telephone # _____

(2) I certify that each lot in this subdivision has been tested and is suitable for both a primary and replacement sewage disposal system.

Signature of SEO) / Date

Name (Print) / Certification #

Telephone # _____

(3) I certify that each lot in this subdivision is at least 1 acre in size

(Signature of Project Applicant/Agent) / Date

d. Public Sewerage Service (i.e., ownership by municipality or authority)

Based upon written documentation, I certify that the facilities proposed for use have capacity and that no overload exists or is projected within 5 years. (Attach documents.)

(Signature of Municipal Official) / Date

Name (Print) / Title

Municipality (must be same as in 2.b.)

Telephone # _____

Return Correspondence/Forms to:
HILBEC Engineering & Geosciences, LLC

Kevin R. Sech, P.G., P.E.

26 Beaver Run Road

Downingtown, PA 19335-2257

DEPARTMENT OF ENVIRONMENTAL PROTECTION

2 East Main Street

Norristown, PA 19401

DEP USE	
Components Sent	
Onlot Disposal	<input type="checkbox"/>
Collection and Treatment	<input type="checkbox"/>
Planning Agency Review	<input type="checkbox"/>
Exempt from Planning	<input type="checkbox"/>
Code _____	
Date _____	

"Fold Here"

RHM CAPACITY REQUEST

HILBEC Engineering & Geosciences, LLC



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August 24, 2020

RHM Sewer Authority
Mr. David Adams
600 Glendale Road
Havertown, PA 19083-4211

Re: Hamilton Estate – Strafford Avenue
Radnor Township, Delaware County
Reserve Capacity Waiting List

Dear Mr. Adams:

The Hamilton Estate – Strafford Avenue is a proposed forty-one lot single family townhome development located in Radnor Township, Delaware County and whose sewage flows through Radnor Township for eventual discharge at the Philadelphia SW facility.

The property lies on the northwest corner of the intersection of Strafford Avenue and Eagle Road. The 7.5+/- property is composed of three parcels each of which contain an existing home and garage. The existing buildings will be razed. A total of forty-one (41) EDU's will be required to service the project at a total flow of 10,762.5 gpd (4 existing EDU's + 37 proposed EDU's).

The sewage will flow into the Radnor collection facilities running through the property, travel into the RHM collection system, flow to the Darby Creek Pump Station and ultimately to the Philadelphia Southwest Water Pollution Control Plant for treatment and disposal.

Likely, the PA DEP will require sewage facilities planning to be completed so we request that this project be placed on your waiting connection list in order to reserve sewage capacity as it becomes available. We will follow up with the full Planning Modules once the Mailer coding is received. Attached is a copy of the PA DEP Mailer documents for your records.

If you have any questions or require additional information, please contact my office.

Very truly yours,
For HILBEC Engineering & Geosciences, LLC

Kevin R. Sech, P.G., P.E.

krsech@hilbec.com

PNDI RECEIPT

1. PROJECT INFORMATION

Project Name: **Hamilton Estate - Strafford Avenue**

Date of Review: **2/14/2020 04:51:22 PM**

Project Category: **Development, Residential, Subdivision containing more than 2 lots and/or 2 single-family units**

Project Area: **8.42 acres**

County(s): **Delaware**

Township/Municipality(s): **RADNOR**

ZIP Code: **19087**

Quadrangle Name(s): **VALLEY FORGE**

Watersheds HUC 8: **Lower Delaware; Schuylkill**

Watersheds HUC 12: **Darby Creek; Plymouth Creek-Schuylkill River**

Decimal Degrees: **40.046706, -75.400344**

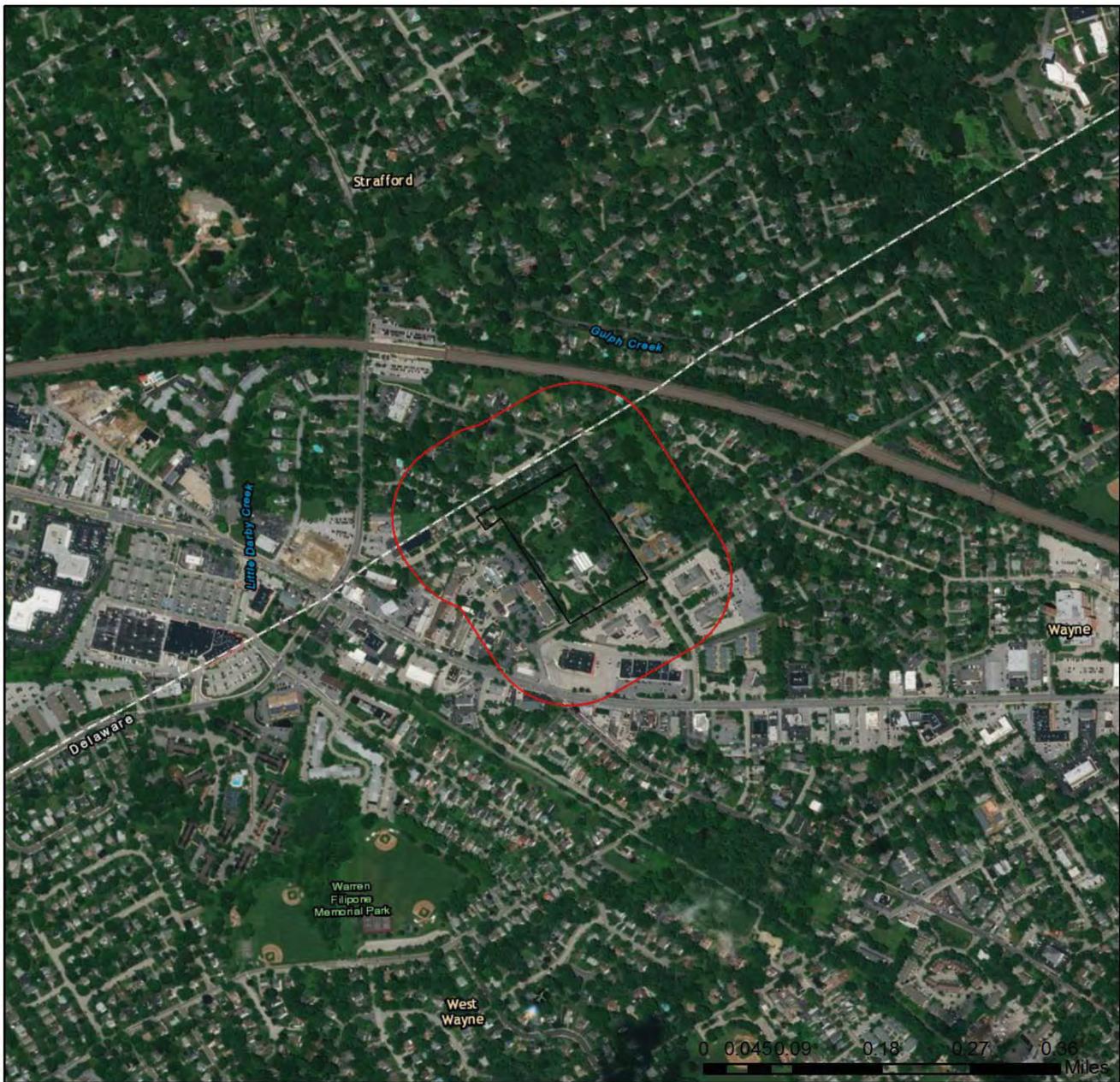
Degrees Minutes Seconds: **40° 2' 48.1432" N, 75° 24' 1.2379" W**

2. SEARCH RESULTS

Agency	Results	Response
PA Game Commission	No Known Impact	No Further Review Required
PA Department of Conservation and Natural Resources	No Known Impact	No Further Review Required
PA Fish and Boat Commission	No Known Impact	No Further Review Required
U.S. Fish and Wildlife Service	No Known Impact	No Further Review Required

As summarized above, Pennsylvania Natural Diversity Inventory (PNDI) records indicate no known impacts to threatened and endangered species and/or special concern species and resources within the project area. Therefore, based on the information you provided, no further coordination is required with the jurisdictional agencies. This response does not reflect potential agency concerns regarding impacts to other ecological resources, such as wetlands.

Hamilton Estate - Strafford Avenue

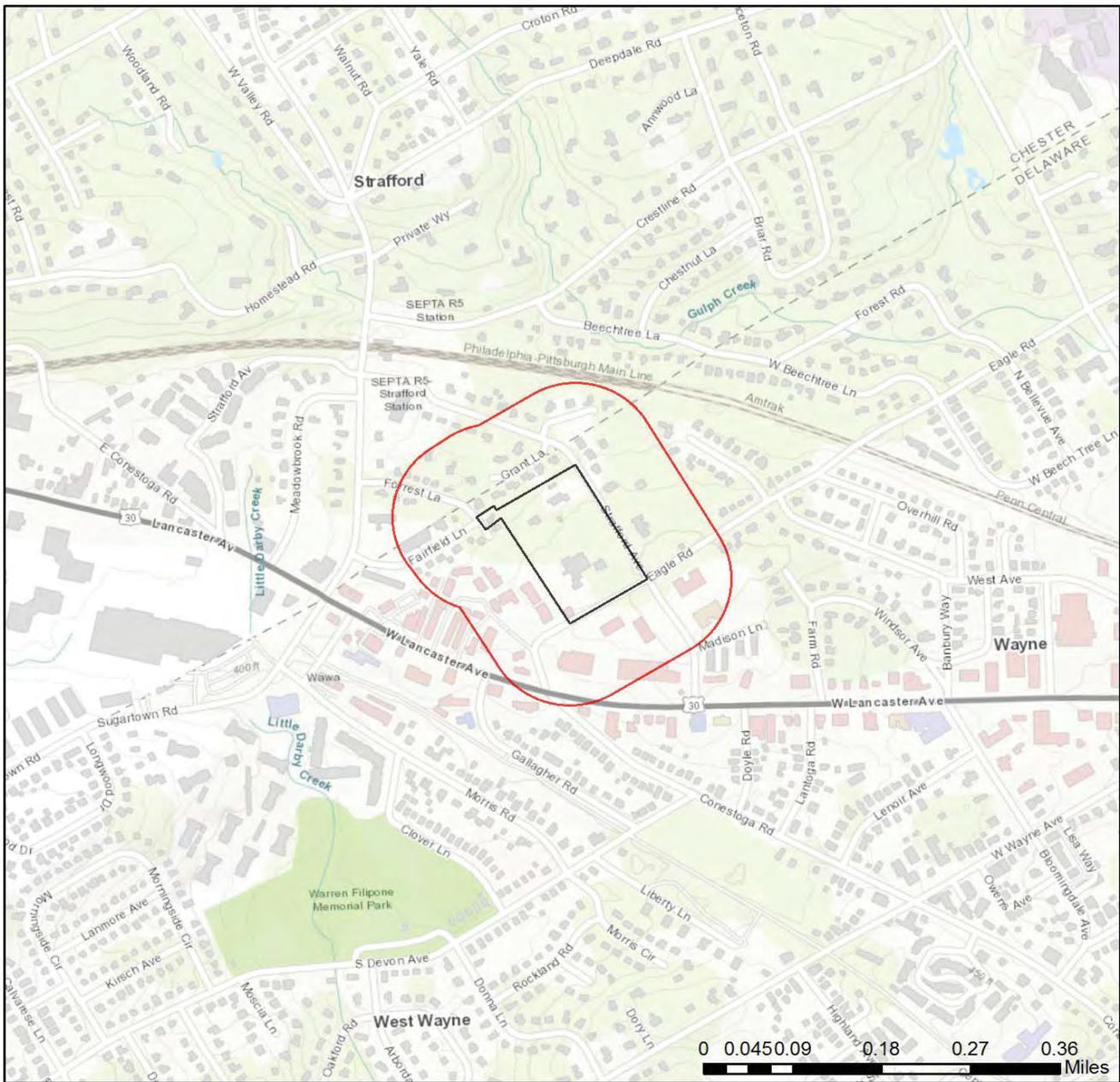


- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

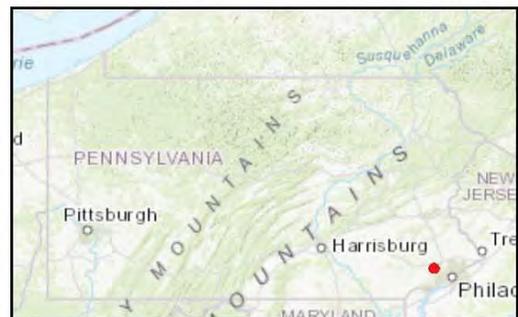


Hamilton Estate - Stafford Avenue



- Project Boundary
- Buffered Project Boundary

Service Layer Credits: Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), swisstopo, MapmyIndia, © OpenStreetMap contributors, and the GIS User Community
Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS,



RESPONSE TO QUESTION(S) ASKED

Q1: Accurately describe what is known about wetland presence in the project area or on the land parcel by selecting ONE of the following. "Project" includes all features of the project (including buildings, roads, utility lines, outfall and intake structures, wells, stormwater retention/detention basins, parking lots, driveways, lawns, etc.), as well as all associated impacts (e.g., temporary staging areas, work areas, temporary road crossings, areas subject to grading or clearing, etc.). Include all areas that will be permanently or temporarily affected -- either directly or indirectly -- by any type of disturbance (e.g., land clearing, grading, tree removal, flooding, etc.). Land parcel = the lot(s) on which some type of project(s) or activity(s) are proposed to occur.

Your answer is: Someone qualified to identify and delineate wetlands has investigated the site, and determined that NO wetlands are located in or within 300 feet of the project area. (A written report from the wetland specialist, and detailed project maps should document this.)

Q2: The proposed project is in the range of the Indiana bat. Describe how the project will affect bat habitat (forests, woodlots and trees) and indicate what measures will be taken in consideration of this. Round acreages up to the nearest acre (e.g., 0.2 acres = 1 acre).

Your answer is: No forests, woodlots or trees will be affected by the project.

Q3: Is tree removal, tree cutting or forest clearing of 40 acres or more necessary to implement all aspects of this project?

Your answer is: No

3. AGENCY COMMENTS

Regardless of whether a DEP permit is necessary for this proposed project, any potential impacts to threatened and endangered species and/or special concern species and resources must be resolved with the appropriate jurisdictional agency. In some cases, a permit or authorization from the jurisdictional agency may be needed if adverse impacts to these species and habitats cannot be avoided.

These agency determinations and responses are **valid for two years** (from the date of the review), and are based on the project information that was provided, including the exact project location; the project type, description, and features; and any responses to questions that were generated during this search. If any of the following change: 1) project location, 2) project size or configuration, 3) project type, or 4) responses to the questions that were asked during the online review, the results of this review are not valid, and the review must be searched again via the PNDI Environmental Review Tool and resubmitted to the jurisdictional agencies. The PNDI tool is a primary screening tool, and a desktop review may reveal more or fewer impacts than what is listed on this PNDI receipt. The jurisdictional agencies **strongly advise against** conducting surveys for the species listed on the receipt prior to consultation with the agencies.

PA Game Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Department of Conservation and Natural Resources

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

PA Fish and Boat Commission

RESPONSE:

No Impact is anticipated to threatened and endangered species and/or special concern species and resources.

U.S. Fish and Wildlife Service

RESPONSE:

No impacts to **federally** listed or proposed species are anticipated. Therefore, no further consultation/coordination under the Endangered Species Act (87 Stat. 884, as amended; 16 U.S.C. 1531 et seq. is required. Because no take of federally listed species is anticipated, none is authorized. This response does not reflect potential Fish and Wildlife Service concerns under the Fish and Wildlife Coordination Act or other authorities.

4. DEP INFORMATION

The Pa Department of Environmental Protection (DEP) requires that a signed copy of this receipt, along with any required documentation from jurisdictional agencies concerning resolution of potential impacts, be submitted with applications for permits requiring PNDI review. Two review options are available to permit applicants for handling PNDI coordination in conjunction with DEP's permit review process involving either T&E Species or species of special concern. Under sequential review, the permit applicant performs a PNDI screening and completes all coordination with the appropriate jurisdictional agencies prior to submitting the permit application. The applicant will include with its application, both a PNDI receipt and/or a clearance letter from the jurisdictional agency if the PNDI Receipt shows a Potential Impact to a species or the applicant chooses to obtain letters directly from the jurisdictional agencies. Under concurrent review, DEP, where feasible, will allow technical review of the permit to occur concurrently with the T&E species consultation with the jurisdictional agency. The applicant must still supply a copy of the PNDI Receipt with its permit application. The PNDI Receipt should also be submitted to the appropriate agency according to directions on the PNDI Receipt. The applicant and the jurisdictional agency will work together to resolve the potential impact(s). See the DEP PNDI policy at <https://conservationexplorer.dcnr.pa.gov/content/resources>.



5. ADDITIONAL INFORMATION

The PNDI environmental review website is a preliminary screening tool. There are often delays in updating species status classifications. Because the proposed status represents the best available information regarding the conservation status of the species, state jurisdictional agency staff give the proposed statuses at least the same consideration as the current legal status. If surveys or further information reveal that a threatened and endangered and/or special concern species and resources exist in your project area, contact the appropriate jurisdictional agency/agencies immediately to identify and resolve any impacts.

For a list of species known to occur in the county where your project is located, please see the species lists by county found on the PA Natural Heritage Program (PNHP) home page (www.naturalheritage.state.pa.us). Also note that the PNDI Environmental Review Tool only contains information about species occurrences that have actually been reported to the PNHP.

6. AGENCY CONTACT INFORMATION

PA Department of Conservation and Natural Resources

Bureau of Forestry, Ecological Services Section
400 Market Street, PO Box 8552
Harrisburg, PA 17105-8552
Email: RA-HeritageReview@pa.gov

U.S. Fish and Wildlife Service

Pennsylvania Field Office
Endangered Species Section
110 Radnor Rd; Suite 101
State College, PA 16801
NO Faxes Please

PA Fish and Boat Commission

Division of Environmental Services
595 E. Rolling Ridge Dr., Bellefonte, PA 16823
Email: RA-FBPACENOTIFY@pa.gov

PA Game Commission

Bureau of Wildlife Habitat Management
Division of Environmental Planning and Habitat Protection
2001 Elmerton Avenue, Harrisburg, PA 17110-9797
Email: RA-PGC_PNDI@pa.gov
NO Faxes Please

7. PROJECT CONTACT INFORMATION

Name: Kevin R. Sech, P.G., P.E.
Company/Business Name: HILBEC Engineering & Geosciences, LLC
Address: 26 Beaver Run Road
City, State, Zip: Downingtown, PA 19335-2257
Phone: (484) 888-8700 Fax: (_____) _____
Email: krsech@hilbec.com

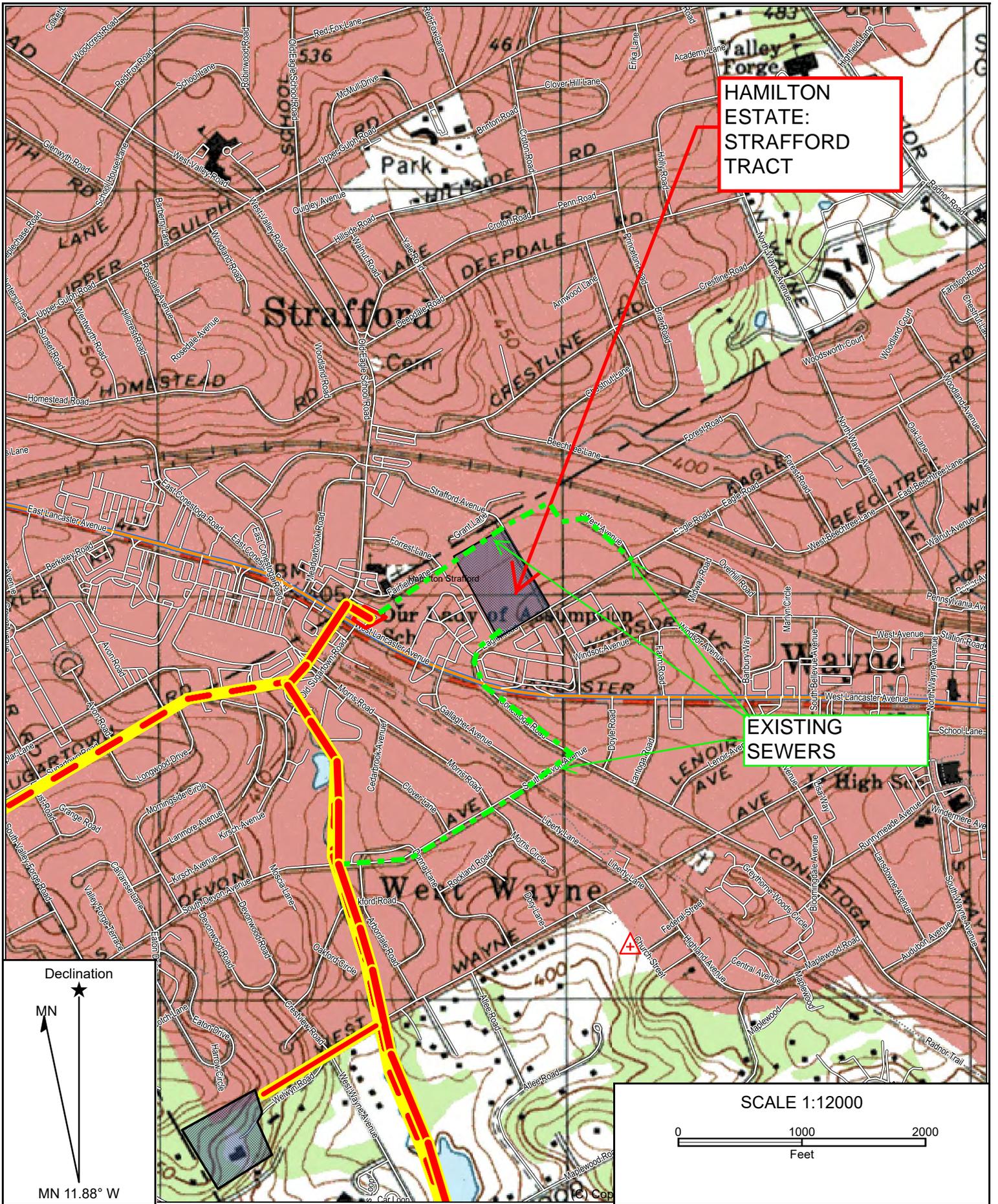
8. CERTIFICATION

I certify that ALL of the project information contained in this receipt (including project location, project size/configuration, project type, answers to questions) is true, accurate and complete. In addition, if the project type, location, size or configuration changes, or if the answers to any questions that were asked during this online review change, I agree to re-do the online environmental review.


applicant/project proponent signature

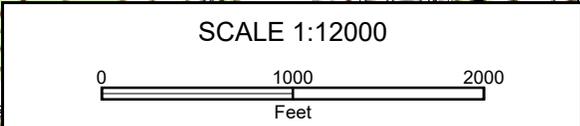
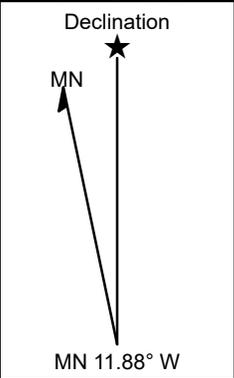
02/14/2020
date

MAPS



**HAMILTON
ESTATE:
STRAFFORD
TRACT**

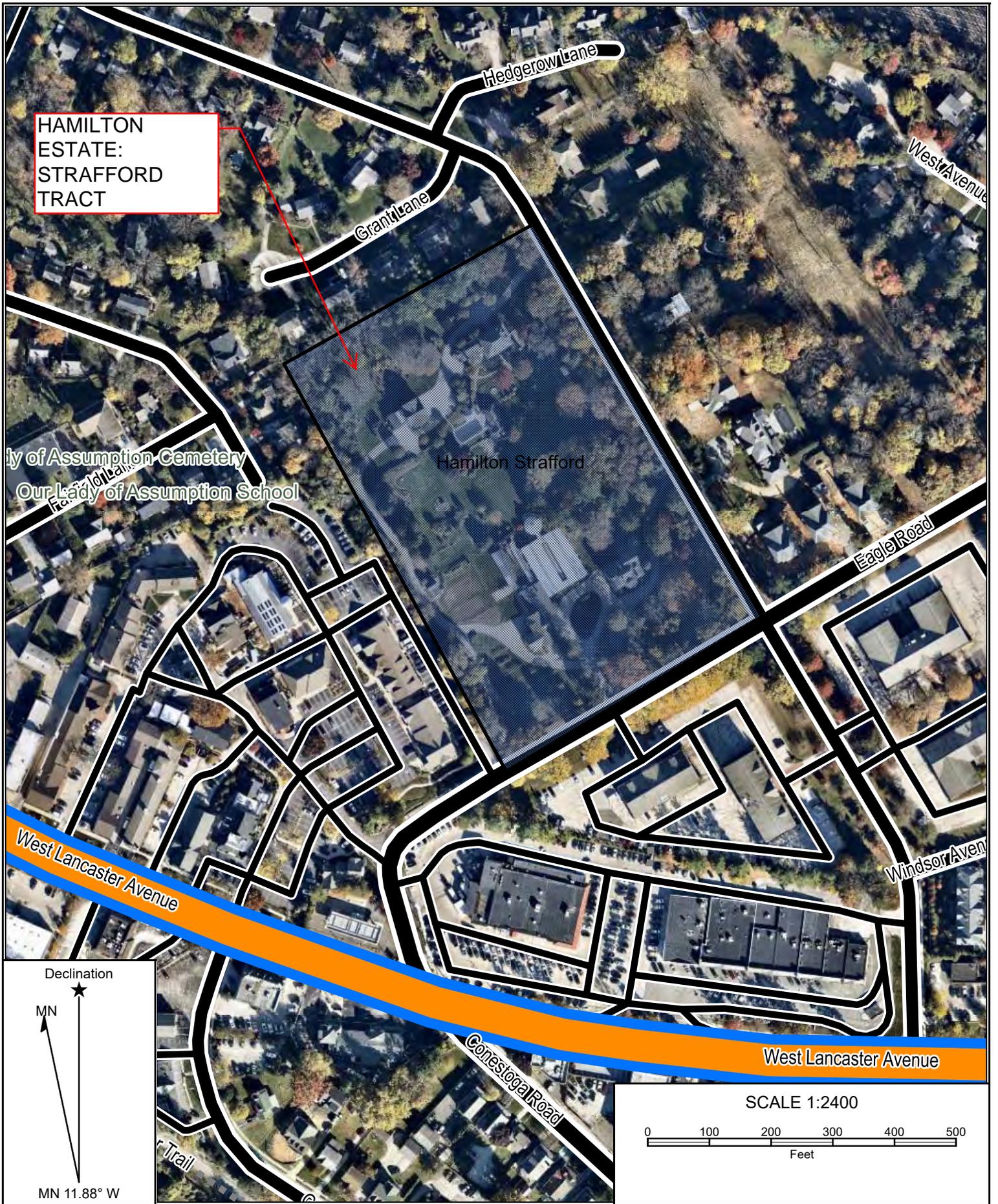
**EXISTING
SEWERS**



Map Name: VALLEY FORGE
 Date Prepared: 01/31/20
 Scale: 1 inch = 1,000 ft.

Map Type: Topographic, North American 1983
 PROJECT: Hamilton Strafford Tract

Hill BEC Engineering & Geosciences, LLC

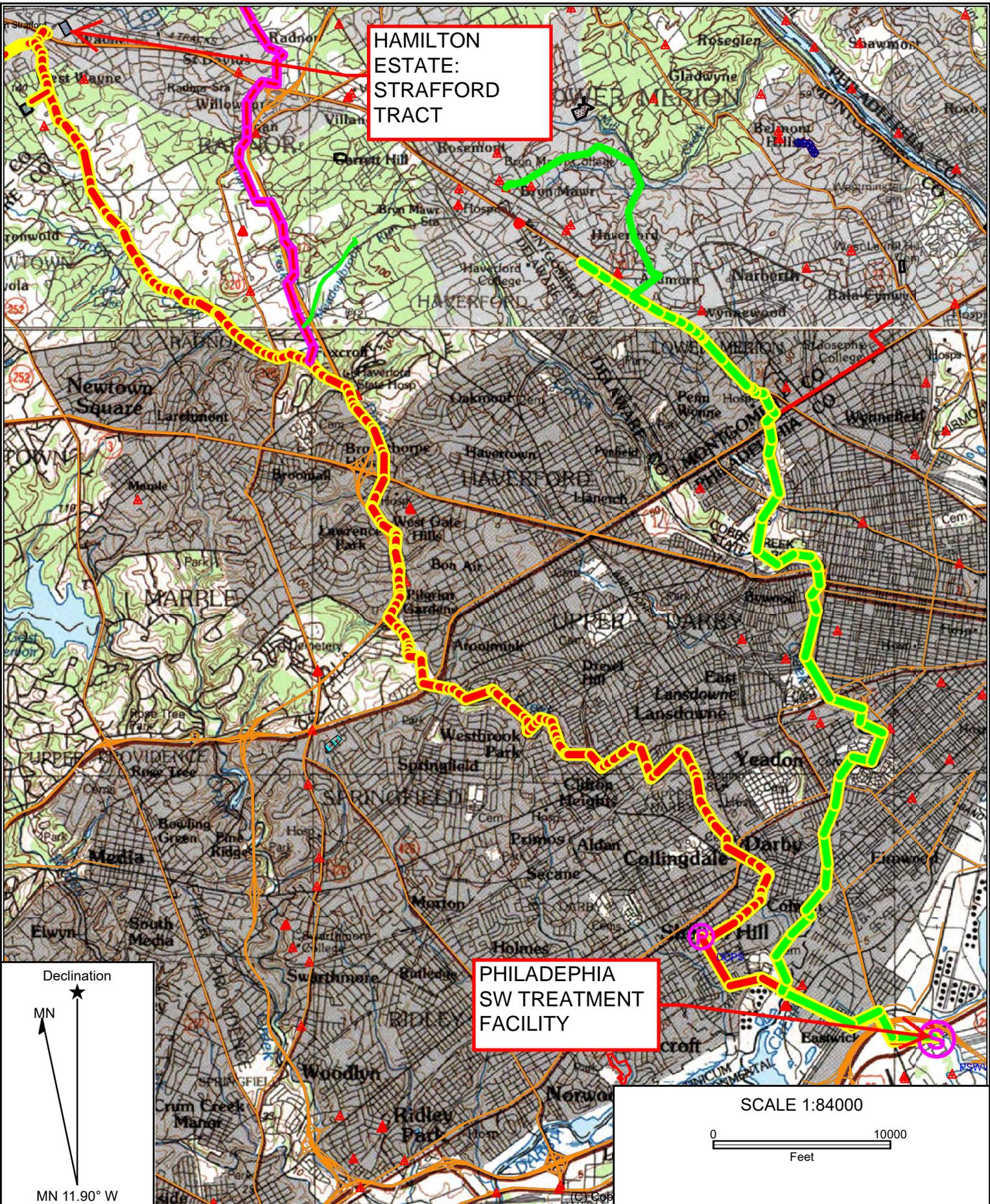


Map Name: Satellite Image
 Date Prepared: 01/31/20
 Scale: 1 inch = 200 ft.

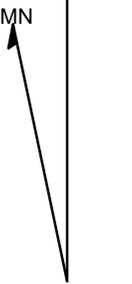
Map Type: Aerial Photo, North American 1983
 PROJECT: Hamilton Strafford Tract

HAMILTON
ESTATE:
STRAFFORD
TRACT

PHILADELPHIA
SW TREATMENT
FACILITY



Declination



MN 11.90° W

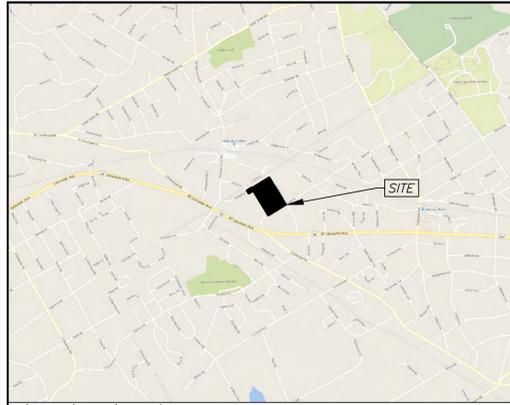
SCALE 1:84000



Map Name: SANITARY SEWER RUN
Date Prepared: 01/31/20
Scale: 1 inch = 7,000 ft.

Map Type: Topographic, North American 1983
PROJECT: Hamilton Strafford Tract

SITE PLAN



LOCATION MAP

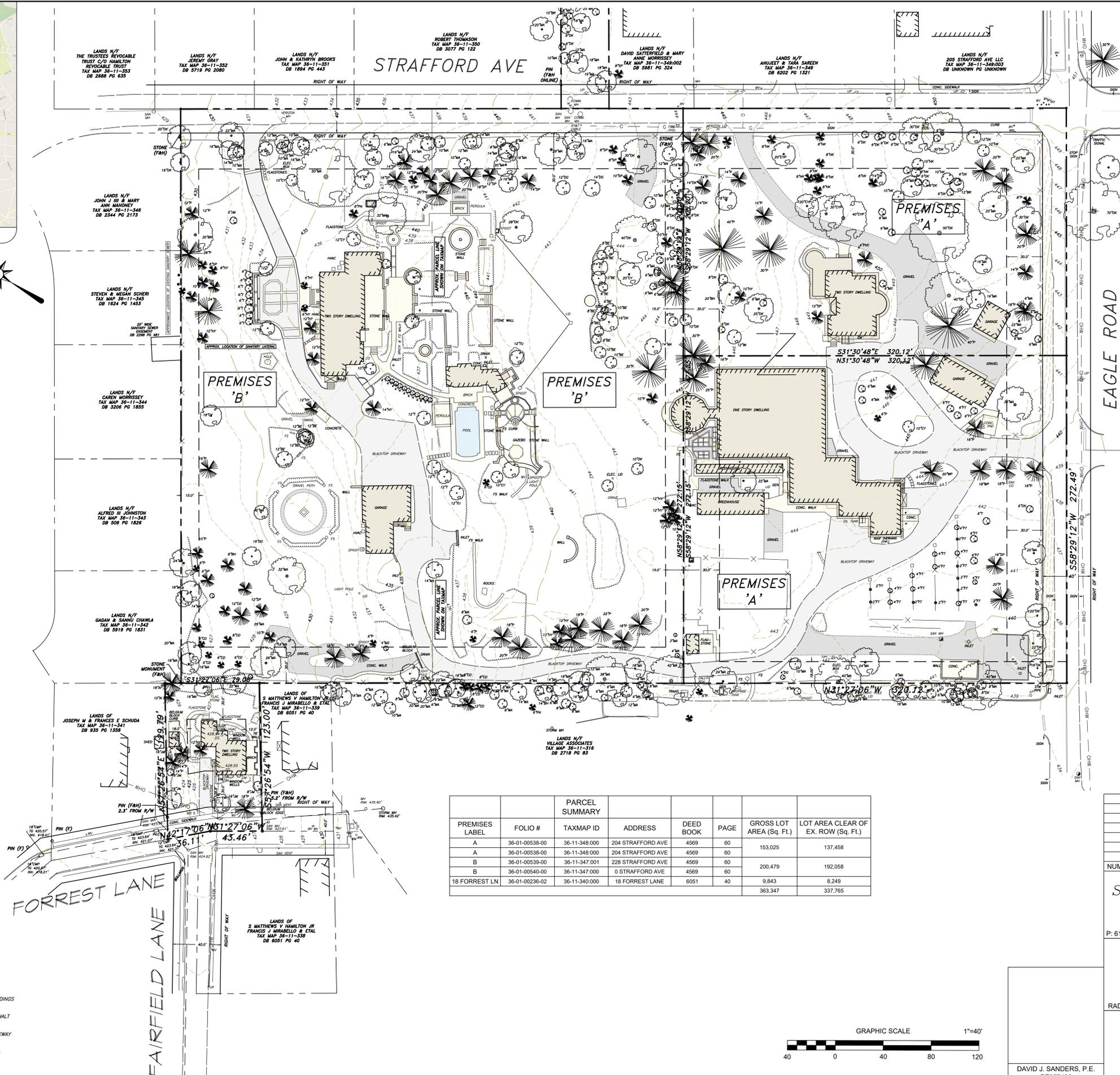
NOTE: THE EXACT LOCATION AND DEPTH OF EXISTING UTILITIES CANNOT BE GUARANTEED. ALL UTILITIES DEPICTED ON THIS PLAN HAVE BEEN DEVELOPED FROM ABOVE GROUND OBSERVATIONS AND/OR EXISTING RECORDS. CONTRACTOR MUST VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. PENNSYLVANIA STATE LAW REQUIRES NOTIFICATION TO 1-800-242-1776 3-10 BUSINESS DAYS PRIOR TO ANY EXCAVATION.

DESIGN S/N: 20190750324 & 20190750325

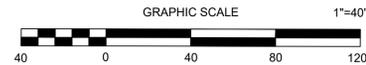


PLAN LEGEND

- SUPPLEMENTAL CONTOUR (1' INTERVAL)
- - - INDEX CONTOUR (5' INTERVAL)
- ST --- STORM SEWER PIPING
- S --- SANITARY SEWER PIPING
- G --- GAS MAIN
- W --- WATER MAIN / SERVICE
- OW --- OVERHEAD WIRE
- T --- UNDERGROUND TELEPHONE
- E --- EDGE OF PAVEMENT
- X --- FENCE LINE
- █ EXISTING BUILDINGS
- █ EXISTING ASPHALT
- █ EXISTING WALKWAY
- █ EXISTING WALL



PREMISES LABEL	FOLIO #	TAXMAP ID	ADDRESS	DEED BOOK	PAGE	GROSS LOT AREA (Sq. Ft.)	LOT AREA CLEAR OF EX. ROW (Sq. Ft.)
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
A	36-01-00538-00	36-11-348-000	204 STRAFFORD AVE	4569	60	153,025	137,458
B	36-01-00539-00	36-11-347-001	228 STRAFFORD AVE	4569	60	200,479	192,058
B	36-01-00540-00	36-11-347-000	0 STRAFFORD AVE	4569	60	9,843	8,249
18 FORREST LN	36-01-00236-02	36-11-340-000	18 FORREST LANE	6051	40	363,347	337,765



GENERAL NOTES

- BEARINGS SHOWN ARE BASED ON A MERIDIAN ESTABLISHED USING PA STATE PLANE COORDINATES. MERIDIAN DIFFERS FROM THE RECORDED DEED BY 6'35"48".
- CONTOURS PLOTTED FROM FIELD RUN SURVEY. GPS CONTROL PERFORMED ON SITE TO ESTABLISH BENCHMARK. DATUM NAD83/NAVOD88.
- THIS SURVEY WAS PERFORMED WITH THE BENEFIT OF A CURRENT TITLE REPORT.
- THIS SURVEY IS NOT TO BE USED FOR TREE REMOVAL ALONG PROPERTY LINES. TREE LOCATIONS ARE APPROXIMATE. FOR TREE REMOVAL PURPOSES, PROPERTY LINES MUST BE FIELD MARKED WITH STAKES SET TO ESTABLISH EXACT TREE OWNERSHIP.
- THERE IS NO IDENTIFIABLE FEMA FLOOD PLAN AREAS WITHIN THE PROJECT SITE AS ILLUSTRATED ON COMMUNITY PANEL NUMBER 420428 0017F OF THE FLOOD INSURANCE RATE MAP AS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FOR THE TOWNSHIP OF RADNOR, PENNSYLVANIA.
- EXISTING SUBSURFACE UTILITY INFORMATION INDICATED IS BASED UPON VISUAL FIELD INSPECTION BY JEFFERY P. TURNER, PLS. SUCH INFORMATION CONCERNING THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF SUBSURFACE UTILITIES IS APPROXIMATE IN NATURE AND HAS BEEN OBTAINED AS A SUPPLEMENT TO THE SITE SURVEY. THE INFORMATION PROVIDED IS REPRESENTATIVE OF SUBSURFACE CONDITIONS ONLY AT LOCATIONS AND DEPTHS WHERE SUCH INFORMATION WAS OBTAINED. THERE IS NO EXPRESSED OR IMPLIED AGREEMENT THAT UTILITY SIZE, LOCATION, DEPTH, QUANTITY, ETC. AS SHOWN EXISTS BETWEEN EXPLORED LOCATIONS. ACCORDINGLY, UTILITY INFORMATION SHOWN SHOULD NOT BE RELIED UPON FOR CONSTRUCTION PURPOSES. IT IS INCUMBENT UPON THE CONTRACTOR TO VERIFY THE SIZE, LOCATION, DEPTH, QUANTITY, ETC. OF ALL UTILITIES BEFORE EXCAVATION. THE EXISTENCE AND/OR LOCATION OF ALL SUBSURFACE UTILITIES SHALL BE CONSIDERED APPROXIMATE AND MUST BE FIELD VERIFIED BY ALL CONTRACTORS PRIOR TO ANY CONSTRUCTION. NO GUARANTEE IS MADE THAT UNDERGROUND UTILITIES ARE ACCURATELY OR COMPLETELY SHOWN HEREON.
- PLANS REFERENCED: LOT LINE CHANGE PLAN PREPARED BY YERKES ASSOCIATES, INC. FOR MRS. S.M.V HAMILTON DATED JULY 21, 2001.
- DEED BOOK 1920 PAGE 91 SITES A SANITARY SEWER EASEMENT LOCATED ON THIS TRACT. ADDITIONAL INFORMATION IS NEEDED TO DETERMINE ITS LOCATION. A PA ONE CALL HAS BEEN PLACED AND WE ARE STILL AWAITING A RESPONSE.

NUM. DATE REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
 P.O. BOX 1992
 SOUTHEASTERN, PA 19399

P: 610-240-0450 F: 610-240-0451 E: INFO@SITE-ENGINEERS.COM

PLAN PREPARED FOR:
HAMILTON ESTATE

208 & 228 STRAFFORD AVE AND 18 FORREST LANE
 WAYNE, PA 19087

RADNOR TOWNSHIP DELAWARE COUNTY PENNSYLVANIA
 DATE: NOVEMBER 6, 2019

EXISTING CONDITIONS PLAN

DAVID J. SANDERS, P.E.
 PE057436

SHEET 2 of 4
 SCALE: 1" = 40'



LANDS N/F THE TRUSTEES REVOCABLE TRUST C/O HAMILTON REVOCABLE TRUST TAX MAP 36-11-353 DB 2688 PG 633

LANDS N/F JOHN J III & MARY ANN MAHONEY TAX MAP 36-11-346 DB 2344 PG 2173

LANDS N/F STEVEN & MEGAN SCHER TAX MAP 36-11-345 DB 1624 PG 1653

LANDS N/F GARY MORRISSEY TAX MAP 36-11-344 DB 3206 PG 1835

LANDS N/F ALBERT W JOHNSON TAX MAP 36-11-343 DB 309 PG 1826

LANDS N/F GAGAN & SHANI CHAWLA TAX MAP 36-11-342 DB 5819 PG 1851

LANDS N/F JOSEPH W & FRANCES E SCHUDA TAX MAP 36-11-341 DB 935 PG 1358

LANDS N/F S MATTHEWS V HAMILTON JR FRANCIS J MIRABELLO & ETAL TAX MAP 36-11-339 DB 8051 PG 40

LANDS N/F VILLAGE ASSOCIATES TAX MAP 36-11-316 DB 2718 PG 83

LANDS N/F ROBERT THOMASON TAX MAP 36-11-350 DB 3077 PG 122

LANDS N/F DAVID SATTERFIELD & MARY ANNE MORRISSEY TAX MAP 36-11-348002 DB 5881 PG 324

LANDS N/F ANJULIE & TAMM GREENE TAX MAP 36-11-349 DB 6202 PG 1321

LANDS N/F 205 STRAFFORD AVE LLC TAX MAP 36-11-348,003 DB UNKNOWN PG UNKNOWN

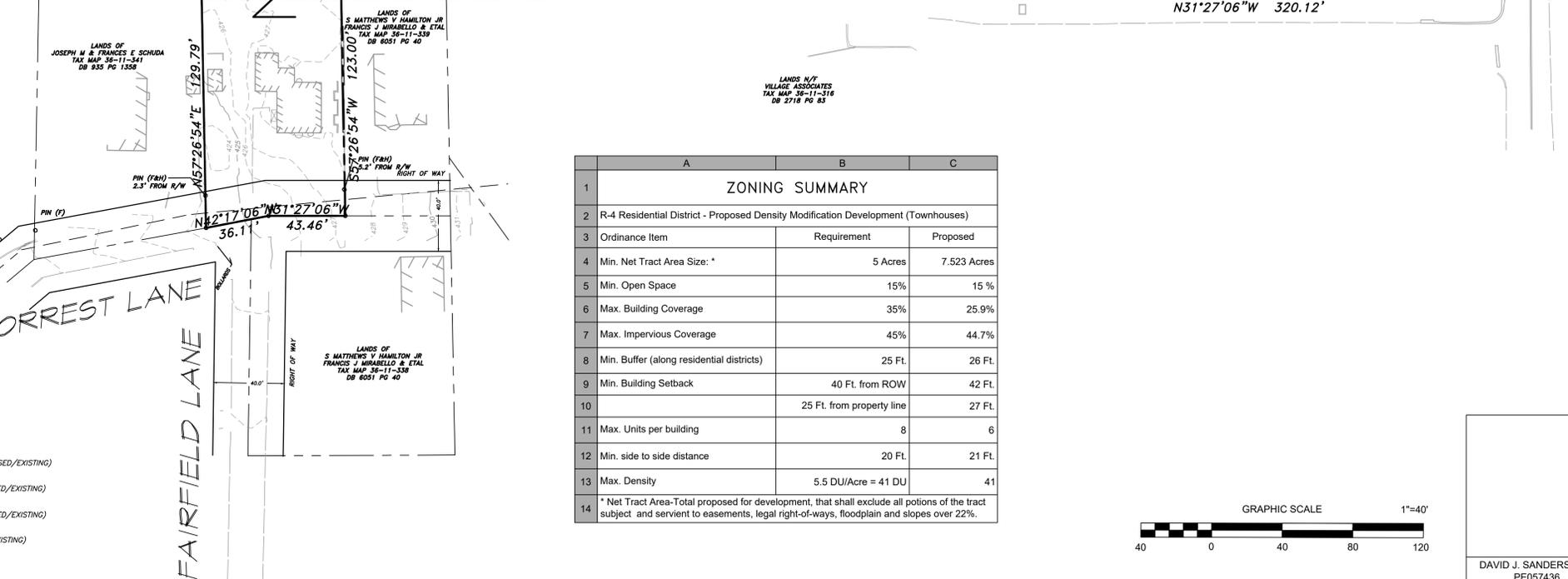
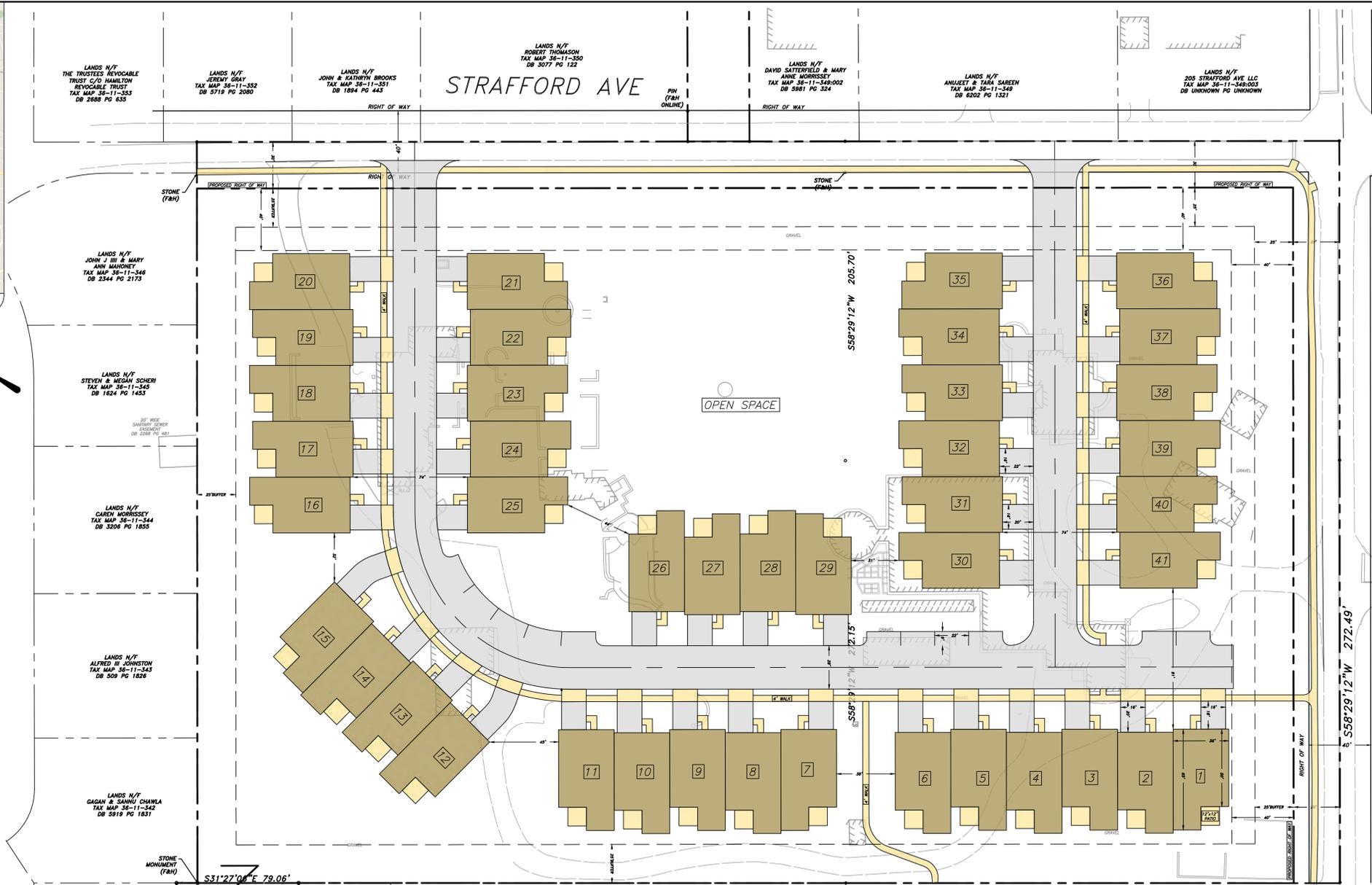
PLAN LEGEND

BOLD LINES: PROPOSED
FADED LINES: EXISTING

--- SUPPLEMENTAL CONTOUR (1' INTERVAL)
--- INDEX CONTOUR (5' INTERVAL)
--- ST STORM SEWER PIPING
--- S SANITARY SEWER PIPING
--- G GAS MAIN
--- W WATER MAIN / SERVICE
--- OHV OVERHEAD WIRE
--- T UNDERGROUND TELEPHONE
--- --- EDGE OF PAVEMENT
--- X FENCE LINE

■ BUILDINGS (PROPOSED/EXISTING)
■ ASPHALT (PROPOSED/EXISTING)
■ WALKWAY (PROPOSED/EXISTING)
■ WALL (PROPOSED/EXISTING)

DAVID J. SANDERS, P.E.
PE057436



GRAPHIC SCALE 1"=40'

40 0 40 80 120

GENERAL NOTES

1. THE TOWNHOUSE DEVELOPMENT SHALL BE CONSTRUCTED < OWNED AND OPERATED UNDER SINGLE OWNERSHIP OR UNDER THE PENNSYLVANIA UNIT PROPERTY ACT.
2. THE DEVELOPMENT WILL BE SERVED BY SANITARY SEWERS AND PUBLIC WATER SUPPLY.

ZONING SUMMARY

R-4 RESIDENTIAL DISTRICT - PROPOSED DENSITY MODIFICATION DEVELOPMENT (TOWNHOUSES)

ORDINANCE ITEM	REQUIREMENT	EXISTING	PROPOSED
MIN. NET TRACT AREA SIZE	-	N/A	7.523 ACRES
MIN. RESIDENTIAL BUFFER	-	N/A	26 FT
MIN. SETBACKS			
FROM ROW	40 FT	N/A	46 FT
FROM PROPERTY LINE	25 FT	N/A	42 FT
MAX UNITS PER BUILDING	8		6
MIN. SIDE TO SIDE DISTANCE	20 FT		21 FT
MAX DENSITY	5.5 DU/ACRE = 41 DU	N/A	41
MAX. BUILDING COVERAGE	35%	7.8%	25.9%
MAX. IMPERVIOUS COVERAGE	45%	24.7%	44.7%
MIN. OPEN SPACE	15%	15%	15%

IMPERVIOUS SUMMARY (SQ. FT.)

GROSS LOT AREA	IMPERVIOUS SUMMARY			
	EXISTING	TO BE REMOVED	TO BE ADDED	PROPOSED
BUILDINGS	25,600	25,600	84,870	84,870
ASPHALT	27,676	27,676	46,700	46,700
WALKS/CONC.	9,634	9,634	14,810	14,810
OTHER IMPERVIOUS	17,877	17,877	0	0
TOTAL BUILDING COVERAGE	25,600	25,600	84,870	84,870
TOTAL BUILDING PERCENTAGE	7.8%			25.9%
TOTAL IMPERVIOUS COVERAGE	80,787	80,787	146,380	146,380
TOTAL IMPERVIOUS PERCENTAGE	24.7%			44.7%
IMPERVIOUS REMAINING FOR FUTURE DEVELOPMENT				1,093

ZONING SUMMARY

	A	B	C
1			
2	R-4 Residential District - Proposed Density Modification Development (Townhouses)		
3	Ordinance Item	Requirement	Proposed
4	Min. Net Tract Area Size: *	5 Acres	7.523 Acres
5	Min. Open Space	15%	15%
6	Max. Building Coverage	35%	25.9%
7	Max. Impervious Coverage	45%	44.7%
8	Min. Buffer (along residential districts)	25 FT.	26 FT.
9	Min. Building Setback	40 Ft. from ROW	42 Ft.
10		25 Ft. from property line	27 Ft.
11	Max. Units per building	8	6
12	Min. side to side distance	20 Ft.	21 Ft.
13	Max. Density	5.5 DU/Acre = 41 DU	41
14	* Net Tract Area-Total proposed for development, that shall exclude all portions of the tract subject and servant to easements, legal right-of-ways, floodplain and slopes over 22%.		

NUM.	DATE	REVISION

PLAN PREPARED BY:
SITE ENGINEERING CONCEPTS, LLC
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DATE: NOVEMBER 6, 2019

RECORD PLAN

SHEET 3 of 4
SCALE: 1" = 40'